

**BEFORE THE DISTRICT OF COLUMBIA
BOARD OF ZONING ADJUSTMENT**

**APPLICATION OF
210 VARNUM STREET NW LLC**

ANC 4C

STATEMENT OF THE APPLICANT

I. NATURE OF RELIEF SOUGHT

This statement is submitted on behalf of the Applicant, 210 Varnum Street NW LLC (the “Applicant”), the owner of the property located at 210 Varnum Street NW (Square 3317, Lot 104) (the “Property”), in support of its application for special exception relief, pursuant to Subtitle X § 901.2 and Subtitle U § 421.1, to construct a new residential development in the RA-1 zone.

II. JURISDICTION OF THE BOARD

The Board of Zoning Adjustment (the “Board”) has jurisdiction to grant the special exception relief requested herein pursuant to Subtitle X § 901.2 of the Zoning Regulations.

III. BACKGROUND

A. The Property and the Surrounding Neighborhood

The Property is located in the RA-1 Zone District and has a lot area of 2,407 sq. ft. A copy of the zoning map is attached at **Tab A** and a copy of the Baist’s Map is attached at **Tab B**. The Property is improved with an attached single family home that has two stories plus a cellar (the “Existing Structure”). The Property is an interior lot with frontage on Varnum Street NW and a 15-foot-wide alley to the rear. The Property is not in an historic district.

The surrounding Petworth neighborhood has both residential and commercial uses. The residential uses on and around Varnum Street primarily consist of attached rowhomes and low-to-medium density apartment buildings. To the south of the Property on Upshur Street NW is a block

of commercial uses. Just to the east of the Property is the Armed Forces Retirement Home, a portion of which is slated for redevelopment in the coming years.

B. Traffic Conditions and Mass Transit

The Property has access to several public transportation options, including metrorail and metrobus. The Petworth Metrorail station is approximately 2/3 of a mile from the Property. There are stops for metrobus lines H8 and 64 within three blocks of the Property, with additional access to priority buslines 70 and 79 on Georgia Avenue NW. There is also a Capital Bikeshare station within three blocks of the Property. In general, the area is pedestrian- and bicycle-friendly, as Walkscore.com rates the Property as a “very walkable” and “very bikeable.”

C. The Project

The Applicant proposes to renovate the Existing Structure to a four-unit apartment building (the “Project”). A copy of the Architectural Plans (the “Plans”) are attached at **Tab C**. As part of the Project, the Applicant will add a full third story and rear addition to the Existing Structure. The Applicant also proposes to construct a small penthouse and a roof deck. The cellar level will be renovated as well. Ultimately, one dwelling unit will be located on each of the cellar, first, second, and third/penthouse levels. The Project will have landscaping features and two parking spaces in the rear yard.

Notably, the Applicant originally pursued the Project as a matter-of-right development. As such, the Project is designed to comply with all of the physical development standards in the RA-1 zone. The Project will have a floor-area-ratio of 0.9 (maximum of 0.9 FAR) and a building height of 32’10” (maximum of 40’). The Project will have a total lot occupancy of 39% (maximum

of 40%) with a rear yard of 83'2" (20' required). Although there is no parking requirement for four units in the RA-1 zone, the Project will provide two parking spaces.¹

Almost a year ago on October 10, 2019 the Applicant filed for Building Permit B2000387 (the "Building Permit") to construct the Project as a matter-of-right. The architectural plans submitted with the Building Permit proposed four units and were substantially similar to the Plans submitted as part of this BZA application. Further, at the time of the Building Permit, the Zoning Administrator had issued written guidance allowing certain "new residential developments" as a matter-of-right in the RA-1 zone under Subtitle U § 421.1 (the "ZA Guidance"). A copy of the ZA Guidance is attached at **Tab D**. Under the ZA Guidance, in certain circumstances, an existing residential building in the RA-1 zone could be expanded into a larger multiple-dwelling development as a matter-of-right, without seeking special exception relief for a "new residential development." In such an instance, special exception relief was required only where the permit application proposed a 100% or greater increase in both dwelling units and new gross floor area compared to the existing building or increased the number of dwelling units by 10 or more. The Project proposes three new dwelling units, but does not propose to increase the Existing Structure's gross floor area by 100% or more.² Therefore, when the Building Permit was filed in October 2019, the Project was a by-right development in the RA-1 zone.

However, on January 3, 2020, BZA Appeal 20266 (Michael Yates) was filed challenging the ZA Guidance. On June 30, 2020, the Building Permit had been reviewed and approved by the Department of Consumer and Regulatory Affairs for all disciplines, *including zoning*. On July 1, 2020, the Board granted the appeal and overruled the ZA Guidance. Although in review for 9

¹ The parking requirement is 1 space per 3 units in excess of 4 units.

² The Existing Structure has 1,350 sq. ft. of gross floor area and the Project proposes 2,164 sq. ft. of gross floor area.

months and fully approved by DCRA, the Building Permit had not been issued yet.³ On or about July 7, 2020, the Applicant paid the permitting fees to DCRA. On July 31, 2020, DCRA informed the Applicant the Building Permit could not be issued due to the decision in BZA Appeal 20266. The result was the Project could no longer be constructed as a matter-of-right. As such, the Applicant is filing this application for special exception relief.

IV. NATURE OF SPECIAL EXCEPTION RELIEF SOUGHT AND STANDARD OF REVIEW

The Applicant requests special exception relief under Subtitle U § 421.1 for a new residential development in order to construct a four-unit apartment house in the RA-1 zone. Pursuant to D.C. Code § 6-641.07(g)(2) and 11 DCMR X § 901.2, the Board is authorized to grant a special exception where it finds the special exception:

- (1) Will be in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps;
- (2) Will not tend to affect adversely, the use of neighboring property in accordance with the Zoning Regulations and Zoning Maps; and
- (3) Subject in specific cases to special conditions specified in the Zoning Regulations. 11 DCMR Subtitle X § 901.2.

Relief granted through a special exception is presumed appropriate, reasonable, and compatible with other uses in the same zoning classification, provided the specific requirements for the relief are met. In reviewing an application for special exception relief, “[t]he Board’s discretion . . . is limited to a determination of whether the exception sought meets the requirements of the regulation.” *First Baptist Church of Wash. v. District of Columbia Bd. of Zoning Adjustment*, 432 A.2d 695, 701 (D.C. 1981) (quoting *Stewart v. District of Columbia Bd. of Zoning Adjustment*,

³ The neighboring property at 212 Varnum Street NW, which is under different ownership, proposed a substantially similar renovation and expansion to a four-unit apartment building as the Project. However, the owner of 212 Varnum Street NW was able to complete that project as a matter-of-right by obtaining a permit just before the Board’s decision on the ZA Guidance.

305 A.2d 516, 518 (D.C. 1973)). If the applicant meets its burden, the Board must ordinarily grant the application. *Id.*

V. APPLICANT MEETS BURDEN FOR SPECIAL EXCEPTION RELIEF

A. The Relief is Harmonious with the General Purpose and Intent of the Zoning Regulations and Maps

The special exception relief will be in harmony with the purpose and intent of the Zoning Regulations and related maps. The RA zones are “designed to be mapped in areas identified as moderate- or high density residential areas suitable for multiple dwelling unit development and supporting uses.” *See* Subtitle F § 100.2. Likewise, the RA-1 zone is intended to be “predominantly developed with low- to moderate-density development, including detached dwellings, rowhouses, and low-rise apartments.” *See* Subtitle F § 300.2.

The Project is consistent with the intent of the RA zones because it is a moderate-density, multiple-dwelling development. The Project accomplishes the goal of providing three new housing units while minimizing the increase of density in comparison to the Existing Structure. To that end, the Project complies with all physical development standards in the RA-1 zone and provides an expansive rear yard.

The Project is also designed to harmonize with the surrounding neighborhood by maintaining the general design elements of the rowhome aesthetic.⁴ The Project will remove a bay projection on the second level that is inconsistent with the pattern of homes on the block. In place of the bay projection, the Applicant will renovate and repair the original brick façade on the first and second levels as well as the shingled mansard above the second level. The Project will also maintain the existing front porch rails and columns while replacing and updating the concrete

⁴ The neighboring property at 212 Varnum Street NW is completing a by-right expansion to a four-unit apartment with substantially similar plans and design elements to the Project.

porch slab and trellis cover. Further, the Project employs setbacks on the third level and penthouse to reinforce the original appearance of the home. Accordingly, the special exception relief will be in harmony with the Zoning Regulations and maps.

B. The Relief Will Not Tend to Adversely Affect the Use of Neighboring Property

The relief will not adversely affect the use of neighboring properties by remaining within the physical development parameters of the RA-1 zone. The Project proposes a relatively modest increase in density over the Existing Structure. Notably, the Project increases the footprint of the Existing Structure by only 100 square feet, and remains within the permitted lot occupancy of 40% in the RA-1 zone. The Project will also have a substantial rear yard of approximately 83’2” where the existing parking pad will be reduced with the remainder of the yard dedicated to open green space and landscape features. By comparison, the adjacent neighboring homes on both sides of the Property have accessory structures in the rear yard.

In terms of height, the Project’s proposed third story and 210-square-foot penthouse will not substantially increase the height over existing conditions. Both the third story and penthouse are setback from the level below. The Project’s penthouse is 9’2” in height, less than the permitted 12’. The penthouse will meet all required setbacks as well, including a setback of 15’6” front the Project’s front façade, which is significantly larger than the required 9’2” setback.⁵

C. The Project Satisfies the Special Conditions of Subtitle U § 421.1 for a New Residential Development

In addition to the general special exception standard, the Project satisfies the special conditions for a new residential development pursuant to Subtitle U § 421.1, as follows:

Subtitle U § 421.2: The Board of Zoning Adjustment shall refer the application to the relevant District of Columbia agencies for comment and recommendation as to the adequacy of the following:

⁵ The penthouse does not have a required side setback pursuant to Subtitle C § 1502.1(c).

(a) Existing and planned area schools to accommodate the numbers of students that can be expected to reside in the project; and

Since the Project proposes only four units, none of which are larger than two bedrooms, it is not expected the Project will have a significant impact on school enrollment. Nonetheless, once filed, the Board will refer this application to DCPS and other relevant agencies to obtain comment on existing and planned schools near the Project. The Property is currently within the boundaries for Barnard Elementary School, MacFarland and Lasalle-Backus Middle Schools, and Roosevelt High School.

(b) Public streets, recreation, and other services to accommodate the residents that can be expected to reside in the project.

The Board will refer the application to the relevant public agencies to assess the Project's impacts on public streets, recreation and other services. Similar to schools, the Project is not expected to substantially impact public streets, recreation and other services because the Project only proposes an increase of three dwelling units to the Existing Structure. In terms of streets, the Property is located within .65 miles of the Petworth Metrorail Station and three blocks from two bus routes. While the Project is not required to provide parking, it will have two parking spaces for residents. The combination of public transportation and on-site parking will limit impacts to public streets through traffic, parking, or the overcrowding of public transportation facilities. Additionally, in terms of recreation facilities, the Project is within 2.5 blocks of Grant Circle Park and approximately ½ mile to Fort Totten Park and the Petworth Playground.

Subtitle U § 421.3: The Board of Zoning Adjustment shall refer the application to the Office of Planning for comment and recommendation on the site plan, arrangement of buildings and structures, and provisions of light, air, parking, recreation, landscaping, and grading as they relate to the surrounding neighborhood, and the relationship of the proposed project to public plans and projects.

The Board will refer the application to Office of Planning for comment and

recommendation as set forth under Subtitle U § 421.3. The Plans include a site plan and landscape plan depicting the proposed Project and open space in context of the two adjacent structures. The Project's design elements are consistent with the arrangement of the Existing Structure from Varnum Street and along the rear alley. The sloped front yard, retaining wall, and front walkway will remain, and the Applicant proposes to renovate the existing porch. To the rear, the Project provides substantial open space with a large rear yard over four times the size of the required rear yard. The Project's lot occupancy is only 7% greater than the Existing Structure; thus, the Project represents a modest increase in density from the Existing Structure. Notwithstanding, the Project's rear wall aligns with the rear walls of the two adjacent properties, thereby further limiting impacts to light and air.

As part of the Project, the Applicant proposes to add new landscaping features to the rear yard. *See **Tab C***. A majority of the rear yard will be planted with a large red maple tree in the center. While the existing parking pad will be substantially reduced for the landscaping and green elements, the Project will provide two parking spaces where none are required. Finally, the Project is not expected to substantially alter the grading of the Property compared to existing conditions.

Subtitle U § 421.4: In addition to other filing requirements, the developer shall submit to the Board of Zoning Adjustment with the application a site plan and set of typical floor plans and elevations, grading plan (existing and final), landscaping plan, and plans for all new rights-of-way and easements.

The Plans incorporate a site plan, typical floor plans, elevations and landscaping plan. There are no plans for new rights-of-way or easements.

IV. COMMUNITY OUTREACH

The Applicant will contact Advisory Neighborhood Commission 4C after the application is filed. The Applicant will formally present the application to ANC 4C at its next available public meeting.

V. **CONCLUSION**

For the reasons stated above, the Project meets the applicable standards for special exception relief under the Zoning Regulations. Accordingly, the Applicant respectfully requests the Board grant the application.

Respectfully Submitted,
COZEN O'CONNOR

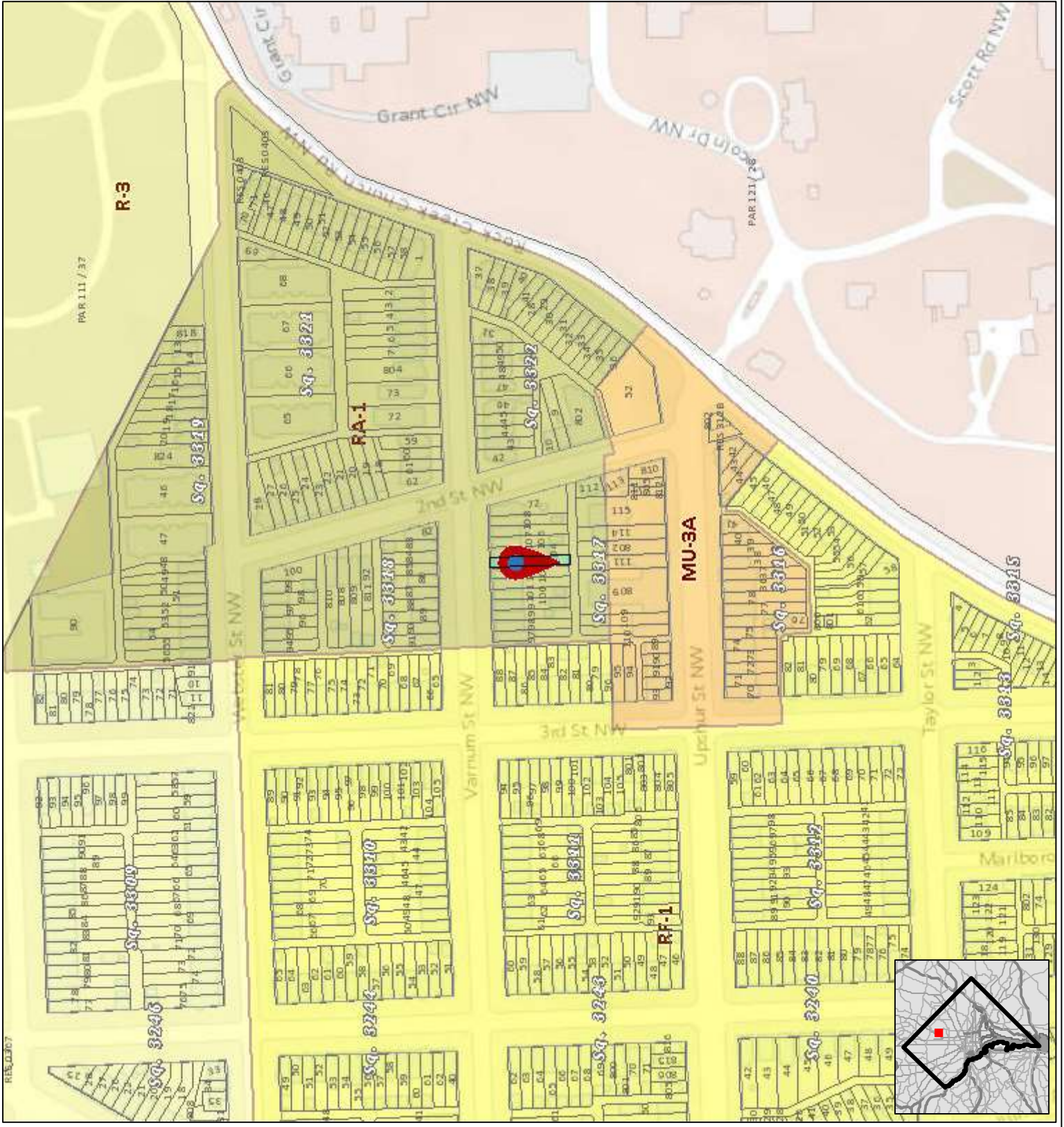


Meridith H. Moldenhauer
1200 19th Street NW
Washington, DC 20036

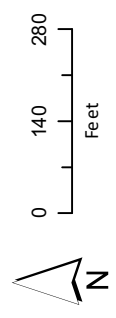


Eric J. DeBear
1200 19th Street NW
Washington, DC 20036

Tab A



Zoning Map of the District of Columbia



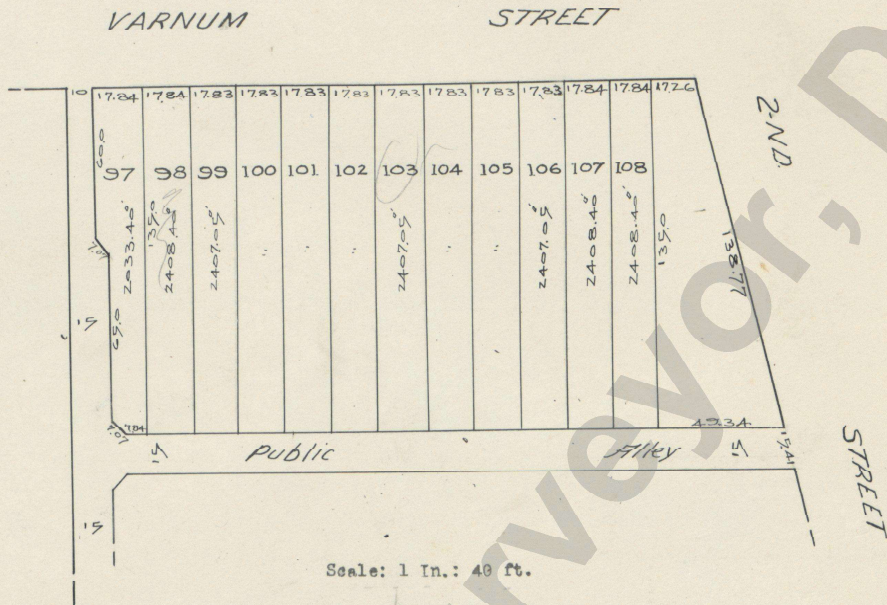
Extracted from Online Zoning Information published by the District of Columbia Office of Zoning, DCOZ, and Office of the Chief Technology Officer (OCTO) Exported on: 9/9/2020

To certify zoning on any property in order to satisfy a legal requirement, contact the office of Zoning at the address listed below.

District of Columbia Office of Zoning, 441 4th St NW, Suite 200 South, Washington, DC 20001 202-727-6311 | dcoz@dc.gov

Tab B

Square 3317



I hereby subdivide lots 61 to 71 (of subdivision by David J. Dunigan, recorded in Book 65, page 47), Square 3317, into lots 97 to 108, as shown above.

Witnesses
 (Signed) John A. McCarthy
 (Signed) Agatha M. Lanigan

Owners
 (Signed) David J. Dunigan (Seal)
 Trustees Assent

I certify that the foregoing plat is correct, and agrees with the records of this office, and was received for record at 4:15 P.M. December 13th, 1922.

Witness my hand and seal this 13th, day of December 1922.

W. L. Hayer (Seal)
 Surveyor, District of Columbia.

Comp. Hayer

Tab C

GENERAL CONDITIONS

- THESE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE PREPARED TO BE USED BY ANY ENTITY FOR THE PURPOSES OF BIDDING, PRICING, PRINTING, AND ON THE BASIS OF THE INFORMATION PROVIDED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROPRIATE APPROVALS PRIOR TO COMMENCEMENT OF WORK.
- DO NOT SCALE DIMENSIONS. DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD DRAWINGS AND FIELD MEASUREMENTS. CONTACT ARCHITECT FOR ANY DISCREPANCIES OR CONFLICTS.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND ADJACENT PROPERTIES. VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
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- MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS SHALL BE INSTALLED AND OPERATED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS AND THE NATIONAL ELECTRICAL CODE (NEC) STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROPRIATE APPROVALS PRIOR TO CONSTRUCTION.
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| # | ADDRESS | SQUARE | ZONING DISTRICT | TOPIC | ZONING/CODE | INFO |
|----|------------------|--------|-----------------|-------|-------------|------|
| 1 | 210 VARNUM ST NW | 3317 | R-1 | | | |
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ARCHITECTURAL FIRM

202-295-9081

www.architectural.com

ARCHITECTURAL FIRM

202-295-9081

www.architectural.com

ATTESTATION STATEMENT:

I AM RESPONSIBLE FOR DETERMINING THAT THE PROJECT COMPLIES WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY REVIEWED THE ARCHITECTURAL DESIGNS INCLUDED IN THIS PROJECT.

CATARINA FERREIRA, AIA

WASHINGTON DC

LICENSE NO. ARC 07008

REGISTERED ARCHITECT

PROJECT INFORMATION

210 Varnum Condominium

210 Varnum SILLC

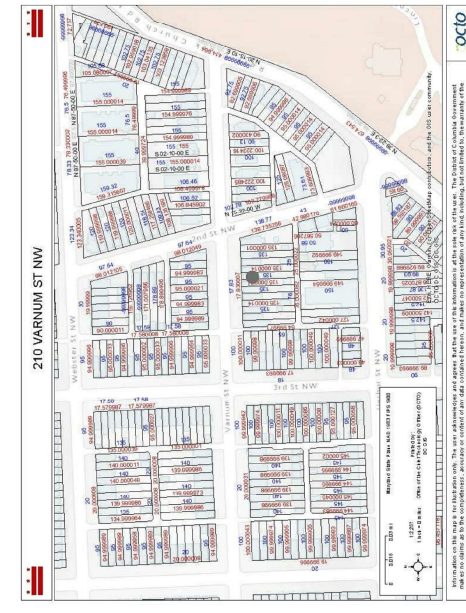
210 Varnum Street NW

PROJECT NUMBER: 2019-22

ISSUE RECORD

11/19/19 PERMIT SET

02/18/20 PERMIT REVISION 1



210 VARNUM

210 VARNUM ST NW

Cover Sheet

Drawing Scale: 1/4" = 1'-0"

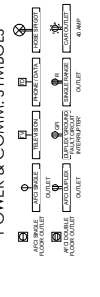
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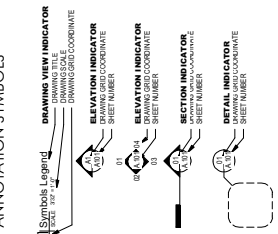
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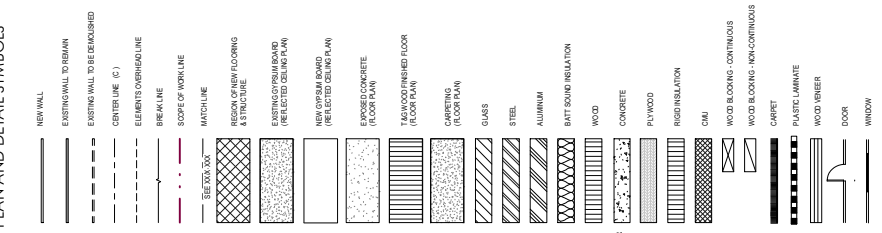
POWER & COMM. SYMBOLS



ANNOTATION SYMBOLS



PLAN AND DETAIL SYMBOLS



ARCHITEXTUAL
AR CT
 ARCHITEXTUAL PLLC
 ARCHITECTS & INTERIORS
 210 VARNUM STREET, NW
 WASHINGTON, DC 20004
 202-295-9001
 www.architextual.com

STATEMENT OF WORK
 I AM RESPONSIBLE FOR DETERMINING THAT THE PROJECT COMPLIES WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY REVIEWED THE PROJECT AND AM PROVIDING THIS STATEMENT OF WORK TO THE ARCHITECTURAL DESIGNER AS PART OF THE ARCHITECTURAL DESIGN SERVICES.
 CATARINA FERREIRA, AIA
 WASHINGTON, DC
LICENSE NO. ARC 101008
 PROJECT INFORMATION

210 Varnum Condominium
 210 Varnum S.W.
 210 Varnum Street NW
 PROJECT INFORMATION
 2018-22

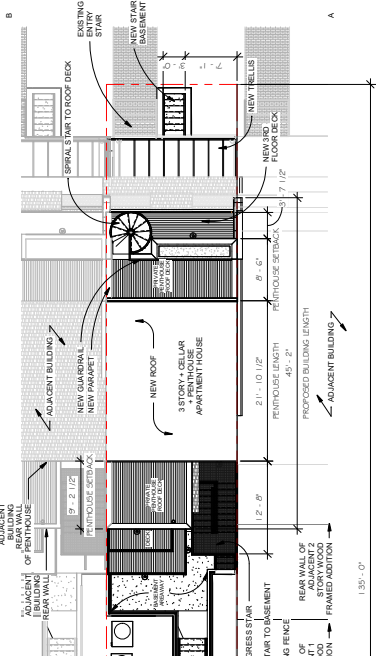
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|--------------|-----------|-------------|
| | 11/19/19 | PERMIT SET |

DRAWING INFORMATION
 Drawing Scale: As Indicated
 Checked By: [Signature]
 C/P

210 Varnum Condominium
 Maximum Lot Occupancy (%) = 40 (882 SQ FT)
 Proposed Lot Occupancy (%) = 39 (866 SQ FT)

LOT OCCUPANCY:
 Maximum Lot Occupancy (%) = 40 (882 SQ FT)
 Proposed Lot Occupancy (%) = 39 (866 SQ FT)

FAS:
 2,407 SQ FT
 FAR: 0.9 = 2,166 SQ FT
 GARAGE: 826 SQ FT
 1ST Floor: 675 SQ FT
 2ND Floor: 675 SQ FT
Proposed Gross SQ. Ft.:
 1ST Floor: 675 SQ FT
 2ND Floor: 675 SQ FT
 3RD Floor: 843 SQ FT
 FAR: 0.9 = 2,166 SQ FT



A0001



ARCT
 ARCHITECTURAL RECORDING
 ARCHITECTS IN MICHIGAN
 1000 S. FARMBUSH AVE.
 ANN ARBOR, MI 48106
 202-295-9001
 info@architextual.com
 www.architextual.com

ATTENTION STATEMENT:
 I AM RESPONSIBLE FOR DETERMINING THAT THE SYSTEMS I HAVE SPECIFIED ARE COMPLIANT WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND I HAVE CONDUCTED A VISUAL VERIFICATION OF THE CONSTRUCTION TO VERIFY COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY VISITED THE PROJECT TO VERIFY COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. ANY CHANGES TO THE ARCHITECTURAL DESIGN ARE INCLUDED IN THIS RECORD SET.



CATALINA FERREBA, AIA
 ARCHITECT
 LICENSE NO. AR.C 107008
 PROJECT INFORMATION
 210 Varnum Condominium
 210 Varnum Street NW
 WASHINGTON, DC 20004
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 ILLUSTRATION NUMBER: 2018-22
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 PERMIT REVISION 1
 DATE: 02/15/20

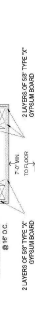
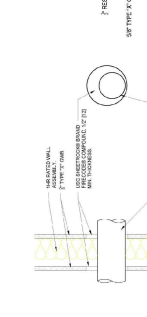
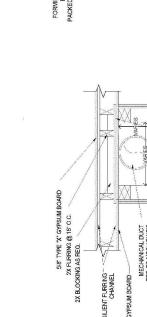
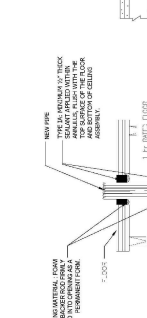
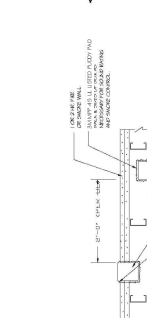
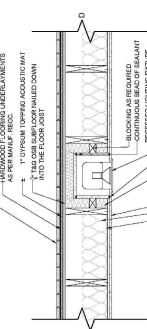
01 Type Rated Wall Penetration - UL 1020
 SECTION 1107-1107

02 Rated Bulkhead - UL U801
 SECTION 1107-1107

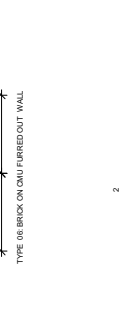
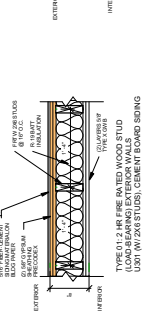
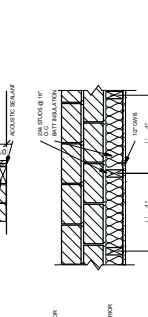
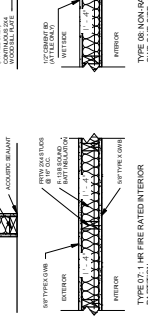
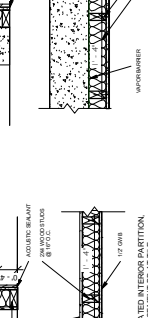
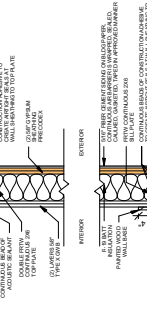
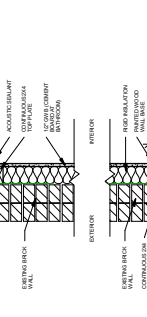
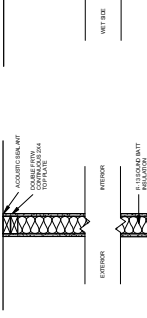
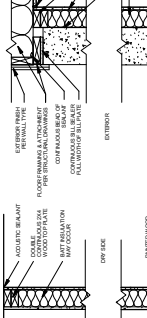
03 Rated Ceiling/Floor Penetration
 SECTION 1107-1107

04 Rated Wall
 SECTION 1107-1107

05 Recessed Light Fire Stopping Detail - UL 501
 SECTION 1107-1107



| Type | Function | Description | Fire Rating | UL Class # | STC |
|------|----------|---|-------------|------------|-----|
| 01 | Exterior | FIRE RATED WOOD STUD/LOAD BEARING EXTERIOR WALL | 2 hour | UL501 | 54 |
| 02 | Interior | FURRED WALL OVER EXISTING BRICK | 2 hour | UL505 | 56 |
| 03 | Interior | FIRE RATED INTERIOR PARTITION | 1 HOUR | UL505 | 56 |
| 04 | Interior | NON RATED INTERIOR PARTITION | 0 HOUR | | |
| 05 | Interior | CONCRETE | | | |



WALL TYPES LEGEND

1
 2
 3
 4

| Area | Name |
|---------|--------|
| 123 SF | Common |
| 667 SF | Unit 2 |
| 668 SF | Unit 3 |
| 673 SF | Unit 4 |
| 2159 SF | |

| PENTHOUSE FAR | Name |
|---------------|-----------|
| 210 SF | PENTHOUSE |

| GROSS BUILDING AREA | Name |
|---------------------|-----------|
| 123 SF | Common |
| 210 SF | PENTHOUSE |
| 667 SF | Unit 2 |
| 668 SF | Unit 3 |
| 673 SF | Unit 4 |
| 3226 SF | |

FAR:
 2,473 SQ. FT.
 FAR: 0.9 = 2,168 SQ. FT.

Penthouse FAR:
 210 SQ. FT.
 FAR: 0.9 = 214.8 SQ. FT.

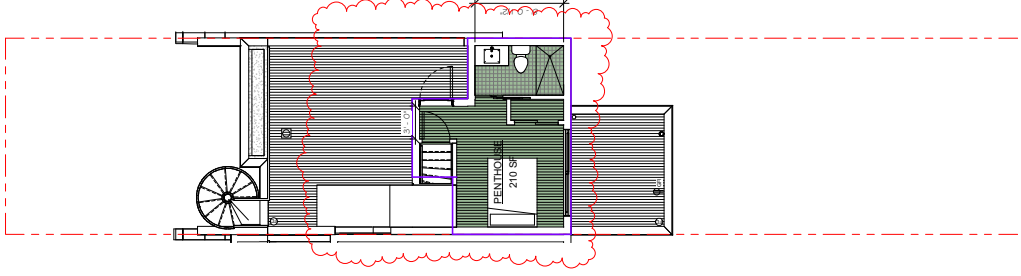
Existing Gross SQ. FT.:
 181 Floor: 675 SQ. FT.
 2ND Floor: 675 SQ. FT.

Proposed Gross SQ. FT.:
 Cellar: 626 SQ. FT.
 1st Floor: 725 SQ. FT.
 2nd Floor: 725 SQ. FT.
 3RD Floor: 843 SQ. FT.

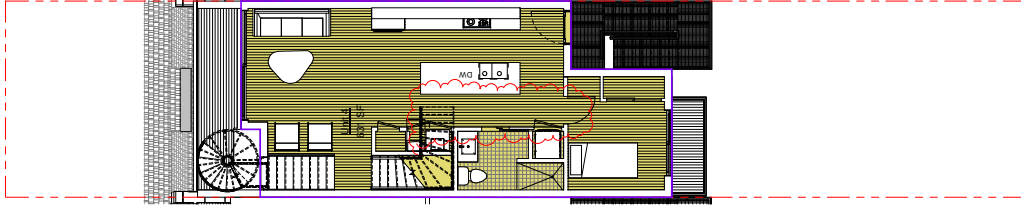
FAR: 0.9 = 2,168 SQ. FT.
 Maximum Lot Occupancy (%) = 40 (882 SQ. FT.)
 Proposed Lot Occupancy (%) = 38 (888 SQ. FT.)

Building Area Legend

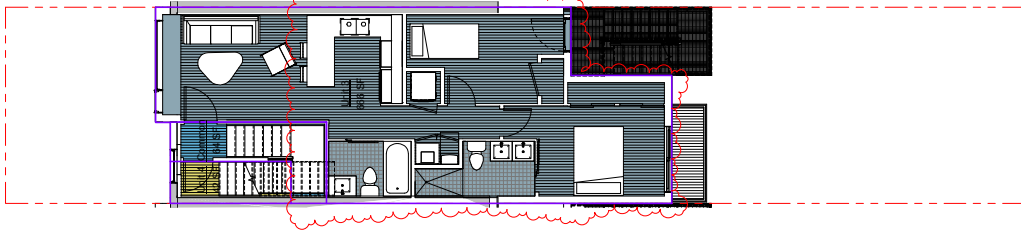
- Common
- PENTHOUSE
- Unit 1
- Unit 2
- Unit 3
- Unit 4



0.5 Penthouse
 SCALE: 3/8" = 1'-0"



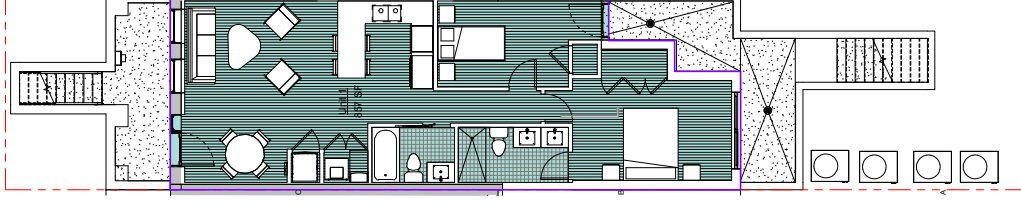
0.4 1st Floor
 SCALE: 3/8" = 1'-0"



0.3 2nd Floor
 SCALE: 3/8" = 1'-0"



0.2 1st Floor
 SCALE: 3/8" = 1'-0"



0.1 Proposed Cellar
 SCALE: 3/8" = 1'-0"

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 WASHINGTON, DC 20004
 202-295-9001
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 WASHINGTON, DC 20004
 202-295-9001
 info@architectural.com
 www.architectural.com

REGISTRATION
 CATALINA FERREIRA, AIA
 WASHINGTON, DC
LICENSE NO. ARC 101008
 PROJECT INFORMATION



210 Varium Condominium
 210 Varium S1 LLC
 210 Varium Street NW
 DISTRICT OF COLUMBIA
 20116-22

| MARK DATE | DESCRIPTION |
|--------------|-------------------|
| 1 - 11/19/19 | PERMIT SET |
| 3 - 02/18/20 | PERMIT REVISION 1 |

DRAWING INFORMATION
 Drawing Scale: 3/8" = 1'-0"
 Checked By: [Signature]
 Checker: [Signature]

Area Plans

A0005



| PROJECT NUMBER | 2019-22 |
|----------------|-------------|
| REVISION | DESCRIPTION |
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DRAWING INFORMATION
Drawing Scale:
Author:
Checked By:
Existing Conditions- Roof



Adjacent Property - East



212 VARNUM ST NW - AERIAL VIEW



EXISTING REAR YARD

GENERAL NOTES:
CONSTRUCTION PLAN

1. REFER TO THE GENERAL NOTES TO THE CONSTRUCTION PLAN FOR ALL DIMENSIONS, FINISHES, AND MATERIALS. DIMENSIONS ARE TO THE FACE UNLESS NOTED OTHERWISE.

2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

3. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOARDS (IRC AND IRCM).

4. ALL NEW WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

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- 7. REFER TO THE GENERAL NOTES TO THE CONSTRUCTION PLAN FOR ALL DIMENSIONS, FINISHES, AND MATERIALS.

PLAN SYMBOLS LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO BE REMOVED AND REPLACED
- EXISTING WALL TO BE REFINISHED
- EXISTING WALL TO BE REPAIRED
- EXISTING WALL TO BE RECONSTRUCTED
- EXISTING WALL TO BE REFINISHED AND REPAIRED
- EXISTING WALL TO BE RECONSTRUCTED AND REPAIRED
- EXISTING WALL TO BE REFINISHED AND RECONSTRUCTED
- EXISTING WALL TO BE RECONSTRUCTED AND RECONSTRUCTED

GENERAL NOTES:
CONSTRUCTION PLAN

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7. REFER TO THE GENERAL NOTES TO THE CONSTRUCTION PLAN FOR ALL DIMENSIONS, FINISHES, AND MATERIALS.

| # | Description |
|-----|--|
| 101 | PROPERTY LINE |
| 102 | HOSE BIB |
| 103 | CONCRETE RETAINING WALLS. SEE STRUCT. |
| 104 | 2" FURRED WALL OVER EXIST. MASONRY, TYP. |
| 105 | NEW WOOD FLOOR |
| 106 | NEW EXT. CONCRETE SLAB, SLOPE TO DRAIN, 1/4" PER FT., TYP. |
| 107 | NEW 3/4" X 3/4" LED GROUTING |
| 108 | NEW 3/4" X 3/4" LED GROUTING |
| 109 | NEW 3/4" X 3/4" LED GROUTING |
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| 140 | NEW 3/4" X 3/4" LED GROUTING |

Key Note - Construction

1. REFER TO THE GENERAL NOTES TO THE CONSTRUCTION PLAN FOR ALL DIMENSIONS, FINISHES, AND MATERIALS.

2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

3. ALL NEW WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOARDS (IRC AND IRCM).

4. ALL NEW WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

5. ALL DIMENSIONS ARE TO THE FACE UNLESS NOTED OTHERWISE.

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7. REFER TO THE GENERAL NOTES TO THE CONSTRUCTION PLAN FOR ALL DIMENSIONS, FINISHES, AND MATERIALS.

ATTENTION STATEMENT:
I AM RESPONSIBLE FOR DETERMINING THAT THE CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND ALL APPLICABLE CODES AND REGULATIONS. I HAVE REVIEWED ALL APPLICABLE REGULATIONS AND I AM CONFIDENT THAT ALL APPLICABLE REGULATIONS AND ALL APPLICABLE CODES AND REGULATIONS HAVE BEEN FULLY COMPLIED WITH AND ALL APPLICABLE REGULATIONS AND ALL APPLICABLE CODES AND REGULATIONS HAVE BEEN FULLY COMPLIED WITH.

CATALINA FERREIRA, AIA
WASHINGTON, DC
LICENSE NO. ARC 101008
PROJECT REGISTRATION

210 Yarnum Condominium
210 Yarnum S1 LLC
210 Yarnum Street NW
DISTRICT OF COLUMBIA
2019-22

REVISION RECORD
MARK DATE DESCRIPTION
1/18/19 PERMIT SET
02/16/20 PERMIT REVISION 1

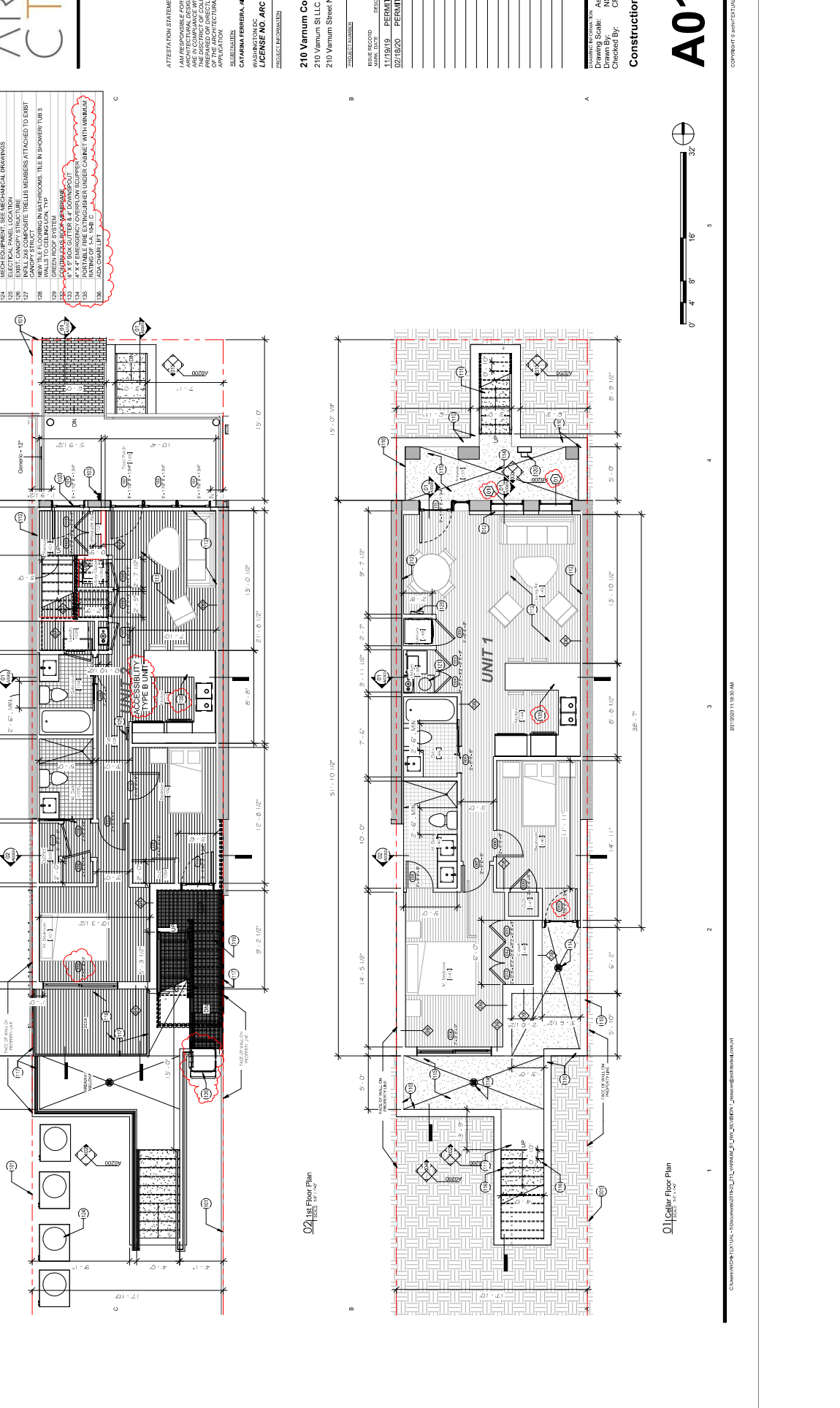
DESIGNED BY: CATHERINE M. KENNY
DRAWING SCALE: As Indicated
CHECKED BY: CATHERINE M. KENNY
CONSTRUCTION PLANS

A0110

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02 1st Floor Plan
1/2020, 1/1/2020

01 Caller Floor Plan
1/2020, 1/1/2020



© CATHERINE M. KENNY ARCHITECTURE, LLC
2019-22

GENERAL NOTES:
CONSTRUCTION PLAN

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL CONDITIONS AND DIMENSIONS.
2. VERIFY THE EXISTING CONDITIONS AND DIMENSIONS BEFORE COMMENCING CONSTRUCTION.
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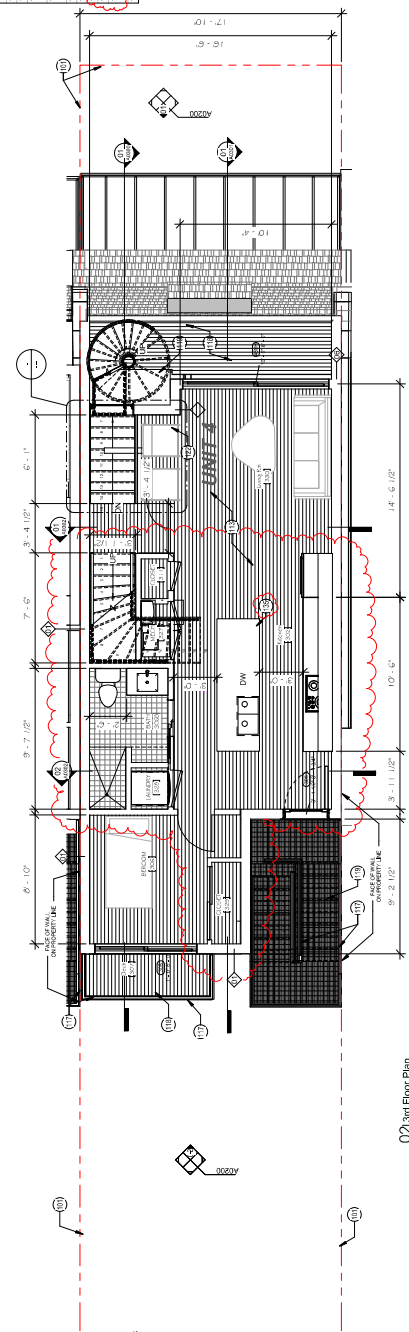
PLAN SYMBOLS LEGEND

- 1. REINFORCED CONCRETE WALL
- 2. REINFORCED CONCRETE COLUMN
- 3. REINFORCED CONCRETE BEAM
- 4. REINFORCED CONCRETE SLAB
- 5. REINFORCED CONCRETE STAIR
- 6. REINFORCED CONCRETE RAMP
- 7. REINFORCED CONCRETE CURB
- 8. REINFORCED CONCRETE CHASE
- 9. REINFORCED CONCRETE VOID
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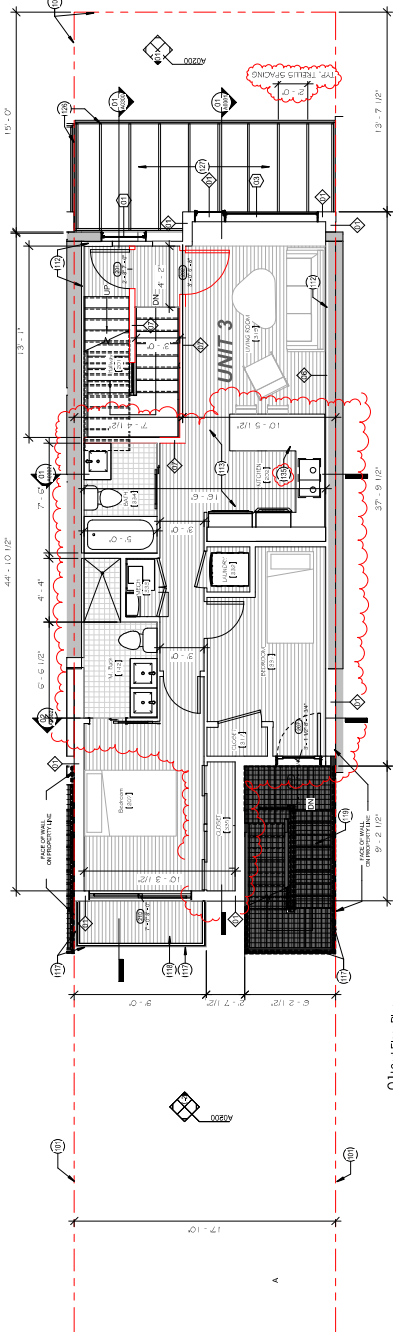
NOTE:

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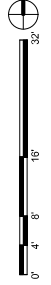
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| 249 | REINFORCED CONCRETE PENETRATION |
| 250 | REINFORCED CONCRETE PENETRATION |



02nd Floor Plan
SCALE: 1/8" = 1'-0"



01st Floor Plan
SCALE: 1/8" = 1'-0"



ARCHITECTURAL
ART CT

ARCHITECTURAL, PLLC
ARCHITECTS & ENGINEERS
1000 15th Avenue NW
Seattle, WA 98101
202-295-9001
www.arttextual.com

ATTESTATION STATEMENT:
I AM RESPONSIBLE FOR DETERMINING THAT THE PROJECT DESCRIBED IN THESE PLANS CONFORMS TO THE CITY OF COLUMBIA AND THE STATE OF MARYLAND. I HAVE PERSONALLY CONDUCTED A VISUAL VERIFICATION OF THE PROJECT AND THE INFORMATION PROVIDED IN THESE PLANS IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HAVE REVIEWED THE PLANS AND THE INFORMATION PROVIDED IN THESE PLANS AND I AM Satisfied THAT THE PROJECT DESCRIBED IN THESE PLANS CONFORMS TO THE CITY OF COLUMBIA AND THE STATE OF MARYLAND. I HAVE PERSONALLY CONDUCTED A VISUAL VERIFICATION OF THE PROJECT AND THE INFORMATION PROVIDED IN THESE PLANS IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HAVE REVIEWED THE PLANS AND THE INFORMATION PROVIDED IN THESE PLANS AND I AM Satisfied THAT THE PROJECT DESCRIBED IN THESE PLANS CONFORMS TO THE CITY OF COLUMBIA AND THE STATE OF MARYLAND.

CATALINA FERREBA, AIA
WASHINGTON DC
LICENSE NO. ARC 101008
PROJECT REGISTRATION

210 Varnum Condominium
210 Varnum S LLC
210 Varnum Street NW

PROJECT INFORMATION
2018-22

REVISION RECORD

| MARK | DATE | DESCRIPTION |
|----------|-------------------|-------------|
| 11/18/19 | PERMIT SET | |
| 02/18/20 | PERMIT REVISION 1 | |

DESIGNED BY: ARCHITECTURAL, PLLC
DRAWING SCALE: As Indicated
DATE: 11/18/19
CHECKED BY: CF

Construction Plans

A0111

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GENERAL NOTES:
CONSTRUCTION PLAN

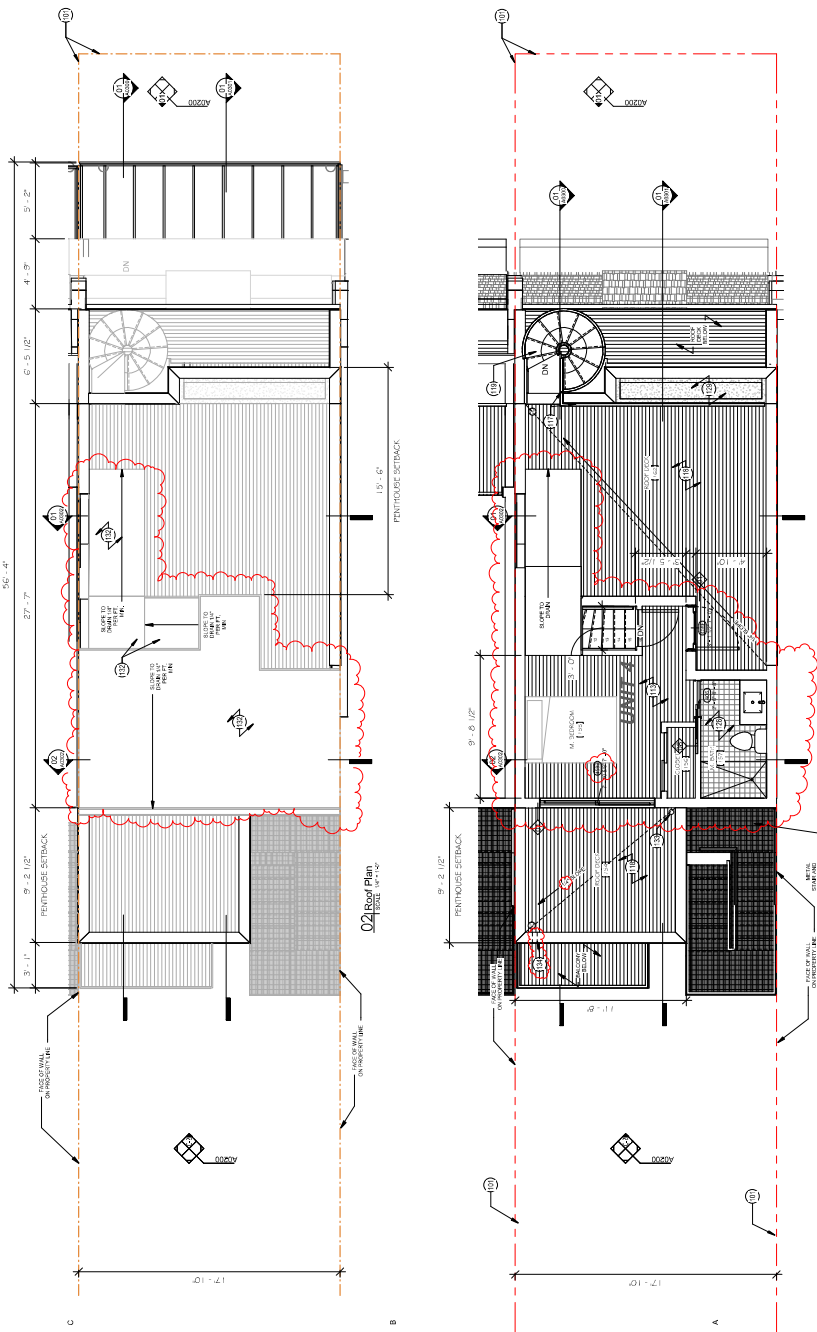
1. THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND ALL APPLICABLE CODES AND REGULATIONS.
2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PERMITS AND ALL APPLICABLE CODES AND REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF COLUMBIA DEPARTMENT OF CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF COLUMBIA DEPARTMENT OF CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF COLUMBIA DEPARTMENT OF CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF COLUMBIA DEPARTMENT OF CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT OF COLUMBIA DEPARTMENT OF CONSTRUCTION.

PLAN SYMBOLS LEGEND

- NEW WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO BE RECONSTRUCTED
- EXISTING WALL TO BE RECONSTRUCTED WITH DIFFERENT FINISH
- EXISTING WALL TO BE RECONSTRUCTED WITH DIFFERENT FINISH AND STRUCTURE
- EXISTING WALL TO BE RECONSTRUCTED WITH DIFFERENT FINISH AND STRUCTURE AND MATERIAL
- EXISTING WALL TO BE RECONSTRUCTED WITH DIFFERENT FINISH AND STRUCTURE AND MATERIAL AND COLOR

NOTE:
ALTHOUGH THERE ARE SOME EXCEPTIONS OVERLAYS, KEYNOTE NUMBERS ARE GENERALLY ORGANIZED AS FOLLOWS:
001-099 EXISTING CONDITIONS/REDEMPTION PLANS
100-199 EXTERIOR ELEVATIONS
200-299 EXTERIOR ELEVATIONS
300-399 EXTERIOR ELEVATIONS
400-499 WALL SECTIONS

| # | Description |
|-----|---|
| 101 | PROPERTY LINE |
| 102 | NEW DOOR IN EXIST. MASONRY OPENING |
| 103 | CONG. RETAINING WALLS. SEE STRUCT |
| 110 | CONG. STAIR WALL OVER EXIST. MASONRY, TYP. |
| 111 | CONG. STAIR WALL OVER EXIST. MASONRY, TYP. |
| 112 | NEW WOOD FLOOR |
| 113 | NEW WOOD FLOOR |
| 114 | NEW FINISH FLOOR |
| 115 | NEW FINISH FLOOR |
| 116 | HANDRAIL @ 3' ABOVE FINISH |
| 117 | ROOF SYSTEM BY FRUITONE OR SIMILAR TO MEASURE |
| 118 | ROOF SYSTEM BY FRUITONE OR SIMILAR TO MEASURE |
| 119 | ROOF SYSTEM BY FRUITONE OR SIMILAR TO MEASURE |
| 120 | ELECTRICAL METER LOCATION |
| 121 | SWAMP PUMP |
| 122 | MECH. EQUIPMENT (SEE MECHANICAL DRAWINGS) |
| 123 | ELECTRICAL PANEL LOCATION |
| 124 | ELECTRICAL PANEL LOCATION |
| 125 | ELECTRICAL PANEL LOCATION |
| 126 | ELECTRICAL PANEL LOCATION |
| 127 | INFILL 2x4 COMPOSITE TRUSS/STUDS ATTACHED TO EXIST. WALLS TO CEILING JOIN. TYP. |
| 128 | INFILL 2x4 COMPOSITE TRUSS/STUDS ATTACHED TO EXIST. WALLS TO CEILING JOIN. TYP. |
| 129 | INFILL 2x4 COMPOSITE TRUSS/STUDS ATTACHED TO EXIST. WALLS TO CEILING JOIN. TYP. |
| 130 | INFILL 2x4 COMPOSITE TRUSS/STUDS ATTACHED TO EXIST. WALLS TO CEILING JOIN. TYP. |
| 131 | INFILL 2x4 COMPOSITE TRUSS/STUDS ATTACHED TO EXIST. WALLS TO CEILING JOIN. TYP. |
| 132 | CONTINUOUS ROOF MEMBRANE |
| 133 | 6" X 8" BOX GIRDER 8' P DOWNSPOUT |
| 134 | 6" X 8" BOX GIRDER 8' P DOWNSPOUT |
| 135 | 6" X 8" BOX GIRDER 8' P DOWNSPOUT |
| 136 | 6" X 8" BOX GIRDER 8' P DOWNSPOUT |
| 137 | 6" X 8" BOX GIRDER 8' P DOWNSPOUT |
| 138 | 6" X 8" BOX GIRDER 8' P DOWNSPOUT |



01 Penthouse Floor Plan
1/2024, 1/2/24

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Washington, DC 20004
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ATTESTATION STATEMENT:
I AM RESPONSIBLE FOR DETERMINING THAT THE PROJECT DESCRIBED IN THESE PLANS IS IN ACCORDANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA AND I HAVE PERSONALLY REVIEWED THE PLANS TO VERIFY THAT THEY ARE IN ACCORDANCE WITH ALL LAWS AND REGULATIONS OF THE ARCHITECTURAL DESIGNS INCLUDED IN THIS SUBMISSION.

CATALINA FERREIRA, AIA
WASHINGTON, DC
LICENSE NO. ARC 171008
PROJECT DESCRIPTION

210 Varum Condominium
210 Varum S LLC
210 Varum Street NW

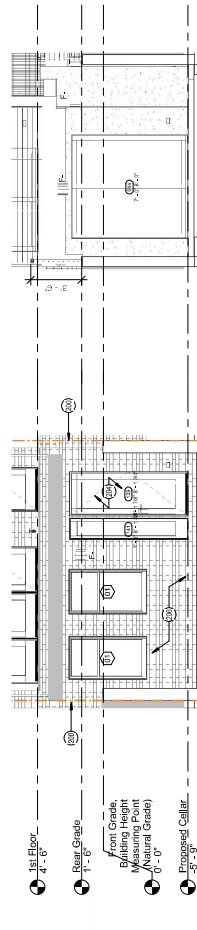
| REVISION | DATE | DESCRIPTION |
|----------|-------------------|-------------|
| 1/18/19 | PERMIT SET | |
| 02/18/20 | PERMIT REVISION 1 | |

DESIGNED BY: [Name]
DRAWING SCALE: As Indicated
CHECKED BY: [Name]
CONSTRUCTION PLANS

A0112

NOTE:
 ALL DIMENSIONS ARE IN FEET AND INCHES. KEYNOTE NUMBERS ARE GENERALLY ORGANIZED AS FOLLOWS:
 00-999 EXISTING CONDITIONS/SECTION PLANS
 100-999 CONSTRUCTION PLANS
 200-999 SECTIONS
 300-999 ELEVATIONS
 400-999 WALL SECTIONS

| # | Description |
|-----|--|
| 107 | CONCRETE FINISHING WALLS. SEE STRUCT |
| 111 | CONCRETE STAIR |
| 113 | NEW WOOD FLOOR |
| 115 | NEW WOOD FLOOR |
| 117 | WALLS. SEE NOTES |
| 117 | CABLE CHAINS. 3/8" AFF |
| 118 | COMPOSITE DECKING ON FRT W/D FRAMING. SEE STRUCTURAL |
| 119 | MTL STAIR WITH CONC TREADS |
| 120 | THIN-SET PORCELAIN TILE FLOORING |
| 201 | CEMENT BLD GING |
| 202 | EXISTING ROOF TO REMAIN |
| 204 | SCHEDULED DOOR |
| 205 | SCHEDULED WINDOW |
| 207 | RED DASHED LINE INDICATES FIRE SEPARATION. TYP. SEE WALL |
| 209 | FRAMING STRUC. OF EXISTING SEMI-ENCLOSURE WALL. SEE STRUCT |
| 210 | FRAMING STRUC. OF EXISTING SEMI-ENCLOSURE WALL. SEE STRUCT |
| 211 | FRAMING STRUC. OF EXISTING SEMI-ENCLOSURE WALL. SEE STRUCT |
| 212 | FRAMING STRUC. OF EXISTING SEMI-ENCLOSURE WALL. SEE STRUCT |
| 213 | FRAMING STRUC. OF EXISTING SEMI-ENCLOSURE WALL. SEE STRUCT |
| 304 | ULTRALIGHT MEMBRANE ROOF SYSTEM BY FIRESTONE OR SIMILAR |

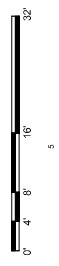
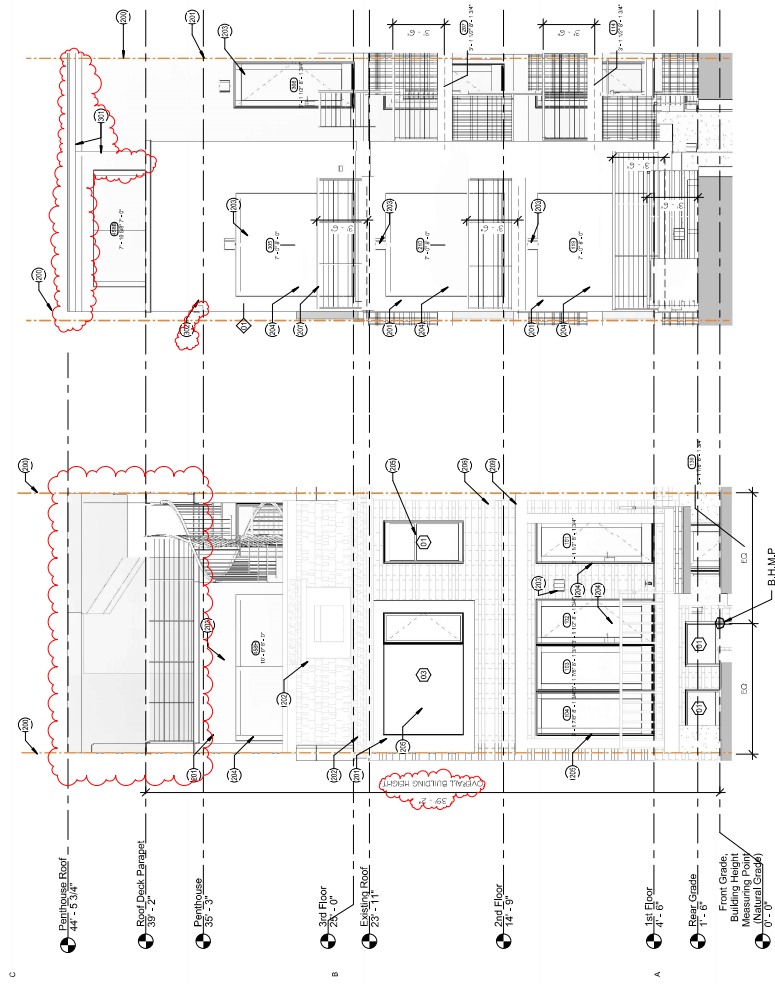


03 Front Elevation - Basement
 SCALE: 1/8" = 1'-0"

04 Rear Elevation - Basement
 SCALE: 1/8" = 1'-0"

01 Front Elevation
 SCALE: 1/4" = 1'-0"

02 Rear Elevation
 SCALE: 1/4" = 1'-0"



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 ARCHITECTS IN WASHINGTON
 DISTRICT OF COLUMBIA
 202-295-9001
 info@architextual.com
 www.architextual.com

I AM RESPONSIBLE FOR DETERMINING THAT THE ARCHITECTURAL DESIGN IS IN ACCORDANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY REVIEWED THE ARCHITECTURAL DESIGN AND I AM PROVIDING MY SIGNATURE AND SEAL AS EVIDENCE OF MY PROFESSIONAL OPINION. THE ARCHITECTURAL DESIGN IS NOT TO BE REPRODUCED OR COPIED WITHOUT MY WRITTEN PERMISSION. ANY REPRODUCTION OR COPIING OF THIS DOCUMENT WITHOUT MY WRITTEN PERMISSION IS STRICTLY PROHIBITED.



CATARINA FERREIRA, AA
 WASHINGTON DC
LICENSE NO. ARC 191008
 PROJECT DESCRIPTION
 210 Varnum Condominium

210 Varnum S.I.L.L.C.
 210 Varnum Street NW

| PROJECT NUMBER | 2019-22 |
|-----------------|-------------------|
| REVISION NUMBER | |
| DATE | |
| DESCRIPTION | |
| 1/18/19 | PERMIT SET |
| 02/18/20 | PERMIT REVISION 1 |

DESIGNED BY: ARCHITEXTUAL
 DRAWING SCALE: 1/4" = 1'-0"
 CHECKED BY: C.A.
 C.F.

Exterior Elevations

A0200

NOTE
 ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED. KEYNOTE
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 ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED. KEYNOTE
 000-000 EXISTING CONDITIONS/RESOLUTION PLANS
 000-000 CONSTRUCTION PLANS
 000-000 MECHANICAL/ELECTRICAL/HVAC
 000-000 WALL SECTIONS

| # | Description |
|-----|------------------------------------|
| 110 | CONC. RETAINING WALLS, SEE STRUCT. |
| 111 | CONC. STAIR |
| 112 | CONC. FLOOR |
| 113 | CONC. WALL |
| 114 | INSULATION, SEE ABOVE NOISE |
| 115 | CABLE RAILING, 3/4" AFF |
| 116 | WALLS, SEE DRAWINGS |
| 117 | WALLS, SEE DRAWINGS |
| 118 | WALLS, SEE DRAWINGS |
| 119 | MIL. STAIR WITH CONC. TREADS |
| 120 | CONC. FLOOR |
| 121 | PROPERTY LINE |
| 122 | CEMENT EDGING |
| 123 | SCHEDULED DOOR |
| 124 | SCHEDULED DOOR |
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| 199 | SCHEDULED DOOR |
| 200 | SCHEDULED DOOR |

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 info@architectural.com
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ATTESTATION STATEMENT:
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 ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF
 THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY
 REVIEWED THE ARCHITECTURAL DESIGN AND CONSTRUCTION
 OF THE ARCHITECTURAL DESIGNS INCLUDED IN THIS
 SUBMISSION.



CATARINA FERREIRA, EA
 WASHINGTON, DC
LICENSE NO. ARC 101008
 PROJECT INFORMATION

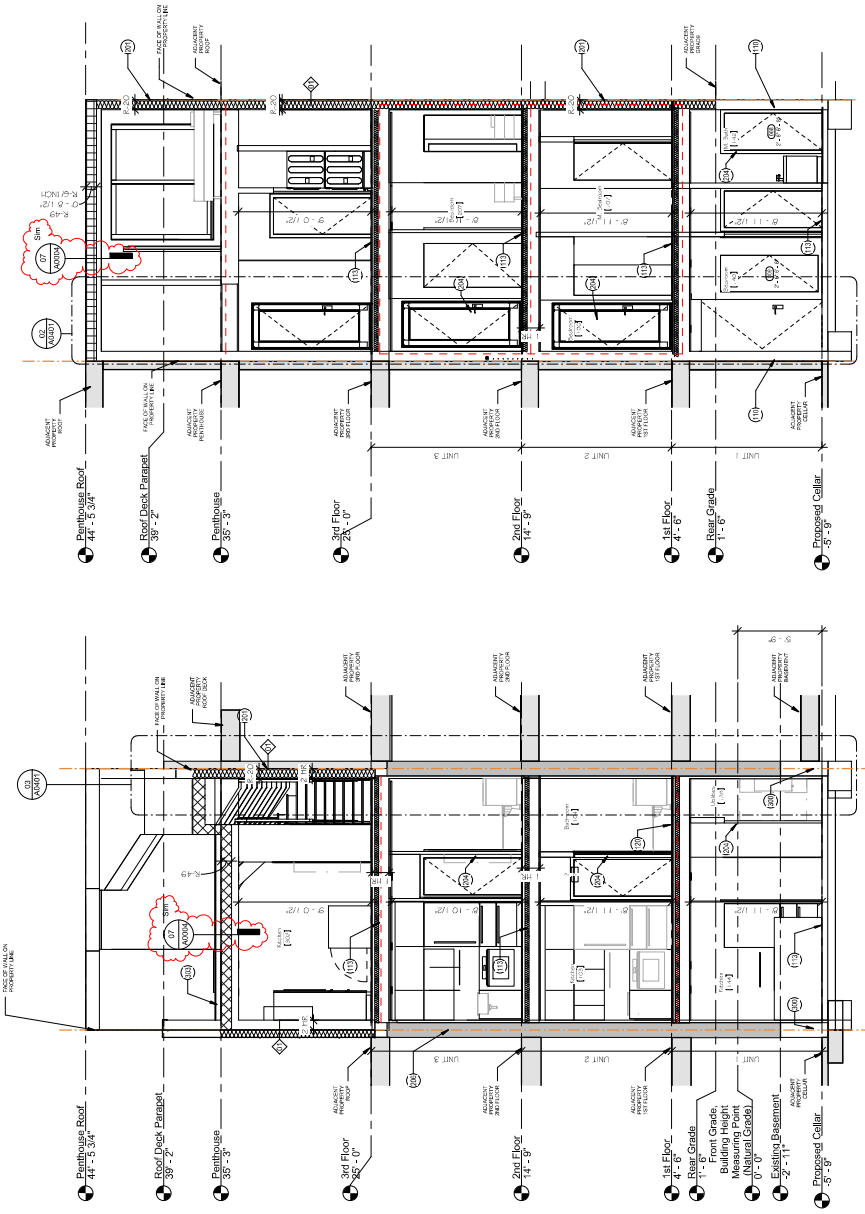
210 Varnum Condominium
 210 Varnum S LLC
 210 Varnum Street NW

PROJECT NUMBER: 2019-22
 REVISION: 02/18/20 PERMIT REVISION 1

DISTRICT OF COLUMBIA
 DEPARTMENT OF PERMITS
 Drawing Scale: 1/4" = 1'-0"
 Checked By: [Signature]
 Building Sections

A0302

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02 Transverse Section 2
 1/4" = 1'-0"

01 Transverse Section 1
 1/4" = 1'-0"

202003 11:46:28 AM

GREEN AREA RATIO
GAR PLAN

210 VARNUM ST NW
WASHINGTON, DC 20011

GREEN AREA RATIO
GAR
Cover sheet
210 VARNUM ST NW
WASHINGTON, DC 20011

PROFESSIONAL SEAL

AIA GREEN SOLUTIONS LLC.

929 West Broad Street #249
Falls Church, VA 22046
PHONE NO: 703 799 9882
EMAIL: INFO@AIA.GS.COM



WARD: 4 LOT104 SQUARE3317
DESIGNED BY: A.R
CHECKED BY: J.A
DATE: 10/11/2019
SCALE: --
No. DATE DESCRIPTION BY

REVISIONS

| |
|--|
| INDEX |
| 1- COVER |
| 2- GAR SCORE SHEET AND PLANTING DETAILS |
| 3- ROOTABLE AREA CALCULATION SITE PLAN AND PLANTING PLAN |
| 4- GAR SPECIFICATION / EXISTING AND PROPOSED VEGETATION NOTE |

Green Area Ratio Scoresheet

Address: **210 VARNUM STREET NW** Lot: **104** Zone: District **RA-1**

Other: _____

Square: **3317** Minimum Score: **4** Multiplier: **0.400**

Lot area (sq ft): **2,407** Score: _____

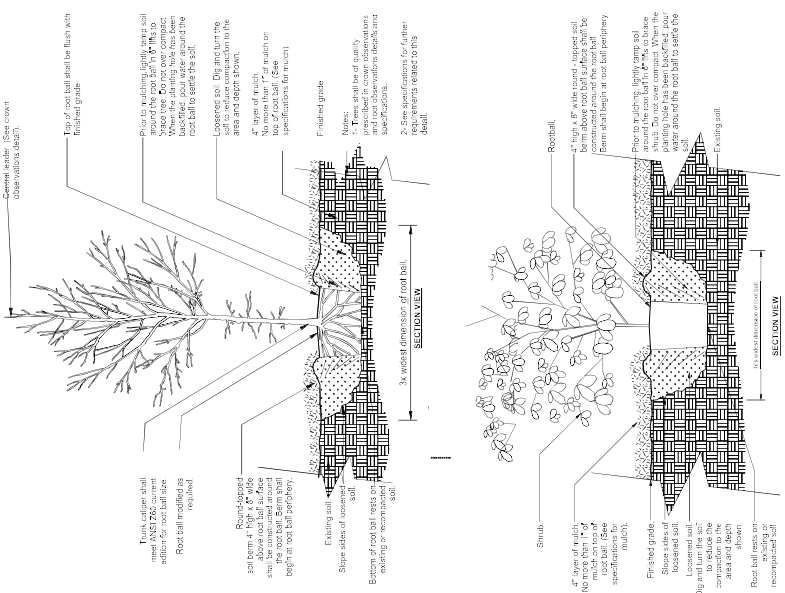
| Landscape Elements | Factor | | Total |
|---|-------------------|-------|-------|
| | Square Feet | Score | |
| A Landscaped areas (select one of the following for each area) | | | |
| 1 Landscaped areas with a soil depth < 24" | 0 square feet | 0.30 | - |
| 2 Landscaped areas with a soil depth ≥ 24" | 535 square feet | 0.60 | 321.0 |
| 3 Bioretention facilities | 0 square feet | 0.40 | - |
| B Plantings (credit for plants in landscaped areas from Section A) | | | |
| 1 Groundcovers, or other plants < 2' height | 0 square feet | 0.20 | - |
| 2 Plants ≥ 2' height at maturity | 130 sq. plants | 0.30 | 351.0 |
| - calculated at 9-sf per plant | | | |
| 3 New trees with less than 40-foot canopy spread | 0 sq. trees | 0.50 | - |
| - calculated at 50 sq ft per tree | | | |
| 4 New trees with 40-foot or greater canopy spread | 1 sq. trees | 0.60 | 150.0 |
| - calculated at 250 sq ft per tree | | | |
| 5 Preservation of existing tree 6" to 12" DBH | 0 sq. trees | 0.70 | - |
| - calculated at 250 sq ft per tree | | | |
| 6 Preservation of existing tree 12" to 18" DBH | 0 sq. trees | 0.70 | - |
| - calculated at 600 sq ft per tree | | | |
| 7 Preservation of existing trees 18" to 24" DBH | 0 sq. trees | 0.70 | - |
| - calculated at 1300 sq ft per tree | | | |
| 8 Preservation of existing trees 24" DBH or greater | 0 sq. trees | 0.80 | - |
| - calculated at 2000 sq ft per tree | | | |
| 9 Vegetated wall, plantings on a vertical surface | 0 square feet | 0.60 | - |
| C Vegetated or "green" roofs | | | |
| 1 Over at least 2" and less than 8" of growth medium | 0 square feet | 0.60 | - |
| 2 Over at least 8" of growth medium | 0 square feet | 0.80 | - |
| D Permeable Paving*** | | | |
| 1 Permeable paving over 6" to 24" of soil or gravel | 0 square feet | 0.40 | - |
| 2 Permeable paving over at least 24" of soil or gravel | 0 square feet | 0.50 | - |
| E Other | | | |
| 1 Enhanced tree growth systems*** | 0 square feet | 0.40 | - |
| 2 Renewable energy generation | 0 square feet | 0.50 | - |
| 3 Approved water features | 0 square feet | 0.20 | - |
| F Bonuses | | | |
| 1 Native plant species | 1,420 square feet | 0.10 | 142.0 |
| 2 Landscaping in food cultivation | 0 square feet | 0.10 | - |
| 3 Harvested stormwater irrigation | 0 square feet | 0.10 | - |
| Total square footage of all acmeable paving and enhanced tree growth: 1,935 | | | |

sub-total of sq ft = 1,935

Green Area Ratio score = 142.0

Total square footage of all acmeable paving and enhanced tree growth: 1,935

*** Permeable paving and structural soil together may not qualify for more than one kind of the Green Area Ratio score.



Notes:
 1- Shrub soil to be of quality prescribed in the root observations table and specifications.
 2- See specifications for further requirements related to this table.

SHRUB - UNMODIFIED SOIL

NOTE:
 ALL NEW PLANT MATERIALS MUST MEET THE STANDARDS IN THE ANLA AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2014).
 TREES AND SHRUBS MUST HAVE A SPECIES IDENTIFICATION TAG FROM THE NURSERY TO REMAIN ON 2 OF EACH PLANTED SPECIES UNTIL THE LANDSCAPE CHECKLIST IS SIGNED. TAGS MAY BE REMOVED AFTER FINAL INSPECTION TO PREVENT GIRDLING.

NOTE:
 ALL TOP SOIL DISTURBED BY CONSTRUCTION IN PROPOSED LANDSCAPED AREAS SHALL BE DECOMPACTED TO A MINIMUM OF 24" INDEPTH AND AMENDED ACCORDING TO THE SOIL SPECIFICATIONS (L.102) BEFORE THE INSTALLATION OF ANY PLANTS OR TURF GRASS.

NOTE:
 THE PROPERTY OWNER IS REQUIRED TO MAINTAIN THE LOT'S MINIMUM GAR SCORE THROUGH APPROPRIATE STEWARDSHIP AND MAINTENANCE OF LANDSCAPE ELEMENTS AFTER THE PROPERTY IS GRANTED ITS CERTIFICATE OF OCCUPANCY.

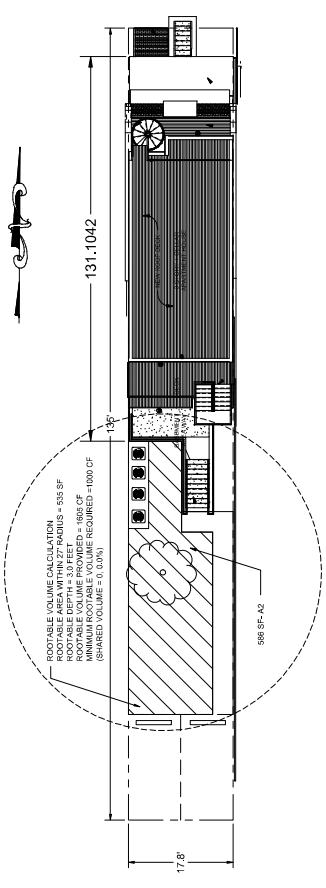
**ZONING RA-1
 REQUIRED GAR : 0.40**

STATEMENT BY CERTIFIED LANDSCAPE EXPERT:
 THIS IS TO CERTIFY THAT I HAVE EXAMINED ALL REQUIRED GAR PLANS SUBMITTED PRIOR TO SUBMISSION. I FURTHER CERTIFY THAT ALL ASPECTS OF THE SUBMITTAL, INCLUDING LANDSCAPE ELEMENTS WITHIN THE LOT AND THE LISTED GAR SCORE, MEET THE SPECIFICATIONS REQUIRED UNDER SUBTITLE C, CHAPTER 6 OF TITLE 11 OF THE DISTRICT OF COLUMBIA MUNICIPAL REGULATIONS.

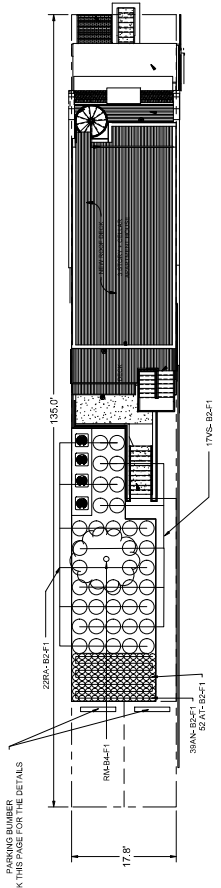
PETER REYNOLDS ISA CERTIFIED ARBORIST
 NAME AND TITLE: _____
 3810 WANDA COURT, WOODBRIDGE, VA 22193
 ADDRESS: _____
 DATE: 10/11/2019 PHONE NUMBER: (703)875-5530
 INTERNATIONAL SOCIETY OF
 CERTIFYING ORGANIZATION: ISA-4753A
 CERTIFICATE NUMBER: _____
 CERTIFIED LANDSCAPE EXPERT SIGNATURE: _____

REVISIONS

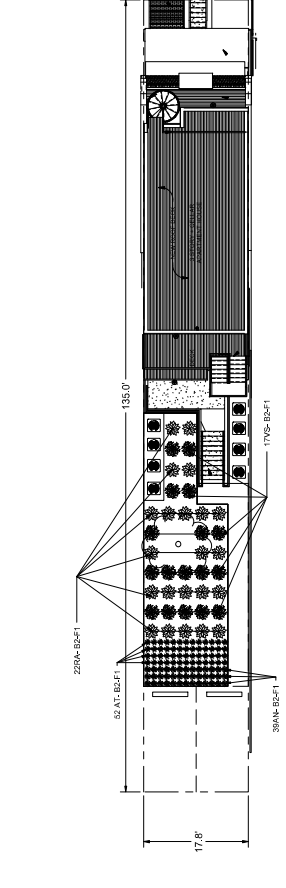
| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
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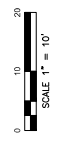
ROOTABLE SOIL VOLUME CALCULATION



SITEPLAN



LANDSCAPE PLAN



| Number | BOTANICAL NAME | COMMON NAME | GAR | RECOMMENDED SPACING | PROPOSED SPACING | PLANT / CONTAINER SIZE |
|--------|-----------------------------|------------------------------|-------|---------------------|------------------|------------------------|
| RH 1 | RED MAPLE | ACER RUBRUM | B2-F1 | | | TRUNK 7.5" CALIPER |
| AN 38 | ASTER (SP. BELLS) | NEW YORK ASTER | B2-F1 | 1' | 1' | 3 CALLONS CONTAINER |
| AT 52 | ASTERS | BUTTERFLY WILD TULIP | B2-F1 | 1' | 1' | 3 CALLONS CONTAINER |
| RA 22 | RHUS SPERMATICA 'GOLD-LOV' | FRAGRANT VIRGINIA SWEETSPIRE | B2-F1 | 2.5' | 2.7' | 3 CALLONS CONTAINER |
| VS 17 | ITEA VIRGINICA LITTLE HENRY | VIRGINIA SWEETSPIRE | B2-F1 | 2.5' | 2.7' | 3 CALLONS CONTAINER |

STATEMENT BY CERTIFIED LANDSCAPE EXPERT:
 I, PETER REYNOLDS, A CERTIFIED ARBORIST, HAVE REVIEWED THE LANDSCAPE PLAN SUBMITTED FOR SUBMISSION. I CERTIFY THAT ALL ASPECTS OF THE SUBMITTAL, INCLUDING LANDSCAPE ELEMENTS WITHIN THE LOT AND THE LISTED GAR, MEET THE SPECIFICATIONS REQUIRED UNDER SUBTITLE C, CHAPTER 6 OF TITLE 11 OF THE DISTRICT OF COLUMBIA MUNICIPAL REGULATIONS.

NAME AND TITLE: PETER REYNOLDS ISA CERTIFIED ARBORIST
 ADDRESS: 3810 WANDA COURT, WOODBRIDGE, VA 22193
 PHONE NUMBER: (703) 675-5830
 DATE: 10/11/2019

CERTIFIED LANDSCAPE EXPERT SIGNATURE: *[Signature]*
 INTERNATIONAL SOCIETY OF ARBORICULTURE
 CERTIFICATE NUMBER: MA-4732A

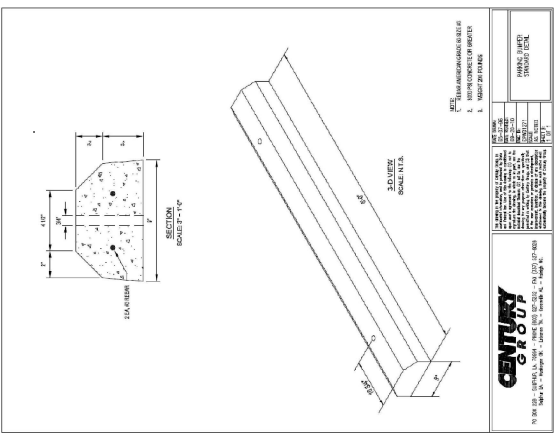
| NO. | DATE | DESCRIPTION | BY |
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REVISIONS

SITE PLAN / PLANTING PLAN & PLANT SCHEDULE
 210 VARNUM ST NW
 WASHINGTON, DC 20011

PROFESSIONAL SEAL

MIA GREEN SOLUTIONS LLC
 929 West Broad Street #249
 Falls Church, VA 22046
 PHONE NO: 202 709 9882
 EMAIL: INFO@MIAQS.COM



Tab D



Effective Date: January 1, 2019

Government of the District of Columbia
Department of Consumer and Regulatory Affairs

Interpretation of Zoning Regulations Guidance Document “All New Residential Developments” in RA-1 & RA-6 Zones

2019-001

References:

- Subtitle U, § 421

Description

Zoning Regulations U-421 provides the following:

- 421.1 In the RA-1 and RA-6 zones, all new residential developments, except those comprising all one-family detached and semi-detached dwellings shall be reviewed by the Board of Zoning Adjustment as special exceptions under Subtitle X, in accordance with the standards and requirements in this section. [emphasis added]

In plain terms, applications to construct new attached and multiple dwelling buildings in the RA-1 and RA-6 zones must seek special exception relief pursuant to U-421 from the Board of Zoning Adjustment (BZA) prior to the issuance of a building permit (in addition to satisfying all other applicable development standards). However, several recent permit reviews involving the expansion of existing residential buildings into larger multiple dwelling buildings have presented the following question – at what point would an expansion of an existing building effectively constitute “new residential development” and therefore prompt special exception relief pursuant to U-421? The zoning rules are silent on the treatment of building expansions, as is the original source legislative record for Zoning Commission Order No. 19 (November 17, 1970). Nonetheless, Order No. 19 intended that “Proposed text changes to provide for improved site planning and mix of housing types commensurate with adequate community facilities and encourage homeownership in the R-5-A Districts.” In order to implement those policy goals, the ZA has determined that there is a threshold at which a development’s increased intensity prompts the need for further BZA evaluation.

Consequently, the ZA now clarifies that, for expansions of an existing building, U-421 special exception relief will be triggered in the following circumstances:

Where a building permit application proposes either a 100% or greater increase in both the number of dwelling units and the new gross floor area (GFA) compared to the existing building, or increases the number of dwelling units by 10 or more units.

The ZA will further apply this standard collectively to all building permit applications for a development for a single building on a single record lot occurring within a three (3) year period, starting with the first building permit application. Additionally, this Guidance does not address multi-building developments on a single lot of record or expansions of existing developments previously authorized by Zoning Commission or Board of Zoning Adjustment (BZA) Orders.

Board of Zoning Adjustment
District of Columbia
CASE NO. 20226
EXHIBIT NO. 26A



| Example of a building addition <u>triggering</u> U-421 Special Exception | Example of a building addition <u>not</u> triggering U-421 Special Exception |
|---|--|
| <ul style="list-style-type: none">-Existing 4 dwelling unit and 3,000 square foot GFA multiple dwelling building.-Proposed expansion adding 4 dwelling units (or more) <u>and</u> 3,000 square foot GFA (or more). | <ul style="list-style-type: none">-Existing 4 dwelling unit and 3,000 square foot GFA multiple dwelling building.-Proposed expansion of 3 dwelling units or less <u>and/or</u> 2,999 square feet GFA (or less). |
| Implementation | |
| <p>This Zoning Administrator guidance will apply to all building permit applications legally filed with, and officially accepted as complete and under review by DCRA, on or after January 1, 2019.</p> | |

**This Guidance reflects the ZA's current interpretation of the Zoning Regulations in effect at the date of the posting of this document on the DCRA website and is subject to change due to revisions of the Zoning Regulations, decisions of the Board of Zoning Adjustment or Zoning Commission, or experience in reviewing and enforcing the Zoning Regulations. This Guidance only applies to zoning.*