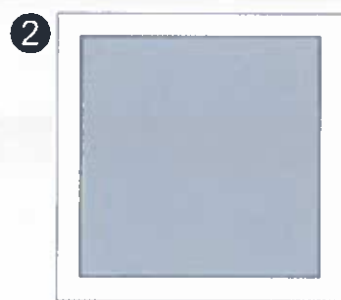


1
 Sherwin Williams
 SW 7006
 Extra White



2
 Sherwin Williams
 SW 7073
 Network Gray



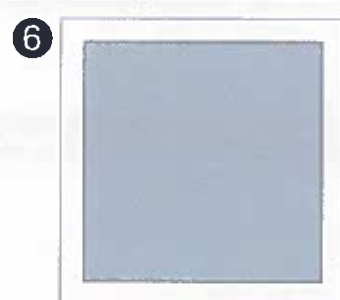
3
 Sherwin Williams
 SW 7075
 Web Gray



4
 Clear Anodized
 MULLIONS



5
 Blue Reflective
 GLAZING



6
 Sherwin-Williams Metallics
 Sw7073 Network Gray (Clearcoat)
 @ Metal CANOPY



REDLANDS AVIATION BUSINESS PARK

REDLANDS, CALIFORNIA

ROSSMORE
 ENTERPRISES

Owner:

ROSSMORE ENTERPRISES

805 E MAIN ST. STE 07
ASPEN, CO 81611
TEL: 970-429-8253

Project:

REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92374

Consultants:

Civil: **HICKS & HARTWICK INC.**
Structural: _____
Mechanical: _____
Plumbing: _____
Electrical: _____
Landscape: **SPAIN INC.**
Fire Protection: _____
Soils/Foundation: _____

Title: **MASTER PLAN**

Project Number: 14282

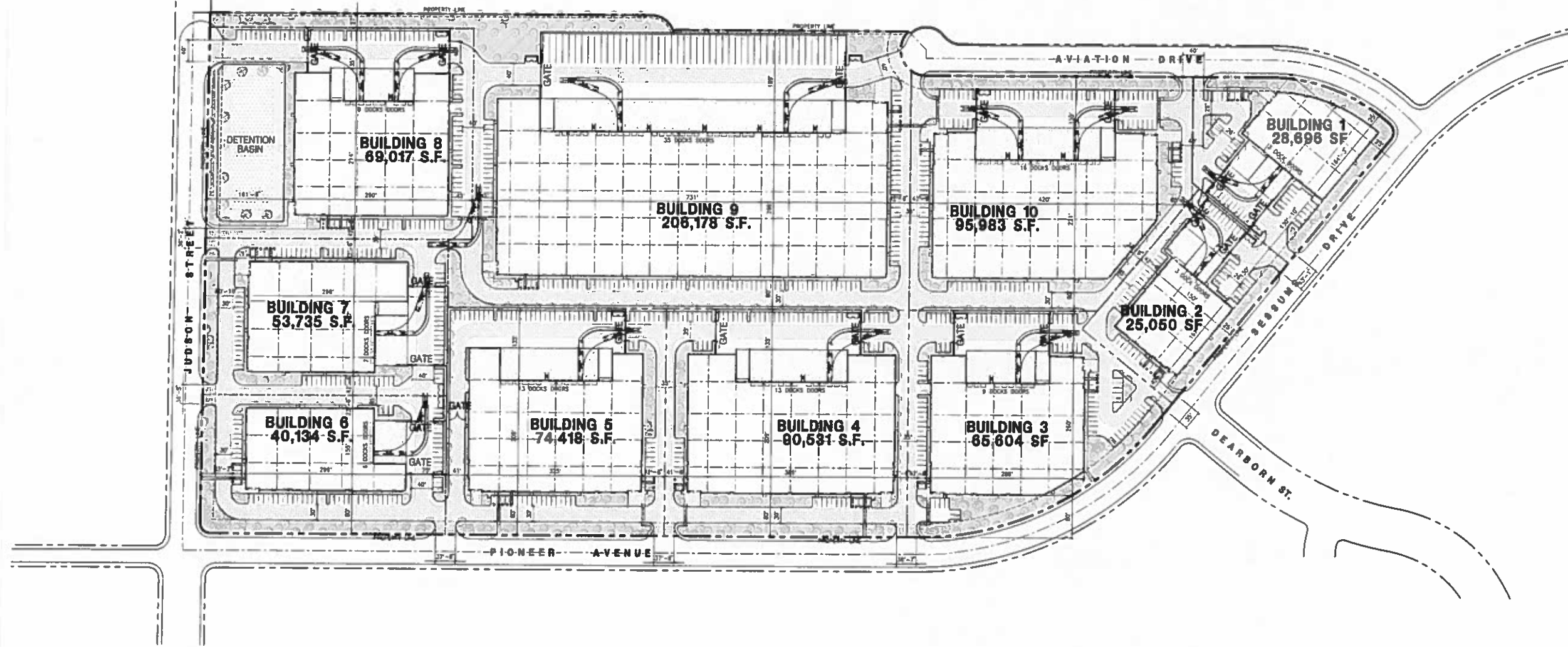
Drawn by: **ML**

Date: 08/05/15

Revision: _____

Sheet

A1.0



TABULATION

	BLK 1	BLK 2	BLK 3	BLK 4	BLK 5	BLK 6	BLK 7	BLK 8	BLK 9	BLK 10	TOTAL
REVENUE											
3-1-1	68,962	75,644	182,361	192,502	173,258	111,854	132,896	189,629	481,489	211,730	1,708,958 e.f.
Police	1.89	1.70	3.88	4.42	3.99	2.71	3.24	4.48	10.36	4.65	41.28 e.f.
PAVING ELEMENT	30'	30'	30'	30'	30'	30'	30'	30'	30'	30'	30'
PAVING AREA											
Office	9,000	9,000	9,000	9,000	9,000	9,000	9,000	9,000	9,000	9,000	90,000 s.f.
Warehouse	23,000	24,000	95,000	93,801	89,518	22,124	28,726	84,812	109,128	85,952	798,201 e.f.
TOTAL	32,000	33,000	104,000	102,801	98,518	31,124	37,726	93,812	128,128	95,952	988,201 e.f.
EDUCATION	55.1%	33.8%	42.0%	47.8%	43.0%	34.1%	43.9%	35.9%	45.7%	45.2%	41.9%
LAND USE PERCENTAGE											
Office (1290 s.f.)	12	12	30	30	30	13	18	30	40	30	182 stads
Warehouse (1st 20K @ 1500 s.f.)	40	40	40	40	40	40	40	40	40	40	400 stads
above 30K @ 175,000 s.f.	5	3	21	25	25	8	22	28	172	21	822 stads
TOTAL	64	65	191	135	119	79	88	106	267	131	1,394 stads
LAND USE PERCENTAGE											
Office (1290 s.f.)	40	40	32	30	27	12	22	27	122	104	779 stads
Warehouse (1st 20K @ 1500 s.f.)	0	0	0	0	0	0	0	0	47	0	47 stads
Warehouse (12.7 30K @ 175,000 s.f.)	40	40	32	30	27	12	22	27	122	104	779 stads
TOTAL	40	40	32	30	27	12	22	27	122	104	779 stads
CONSTRUCTION PERCENTAGE											
Office (1290 s.f.)	12.867	11.077	23.463	26.879	25.861	17.878	19.888	28.074	67.718	31.760	268.488 e.f.
Warehouse (1st 20K @ 1500 s.f.)	23.898	15.871	86.734	84.380	80.663	28.145	36.736	87.234	111.816	85.952	826.397 e.f.
Percentage	27%	18%	20%	19%	18%	22%	18%	21%	19%	19%	18%

PROJECT INFORMATION

Owner/Applicant:
ROSSMORE ENTERPRISES
805 EAST MAIN STREET, STE 07
ASPEN, CO 81611
TEL: (970) 429-8253
FAX: (970) 429-8258
CONTACT: PHIL SPRANDE, JR.

Applicant's Representative:
HPA, INC.
18831 BARDEN AVE. - SUITE 100
IRVINE, CA 92612
PHONE: (949) 853-1770
FAX: (949) 853-0851
CONTACT: MATTHEW LEE

Project Address:
NE OF PIONEER AVE. & JUDSON ST.
REDLANDS, CA 92374

Zoning:
S-32 SPECIFIC PLAN
REDLANDS AVIATION PARK

Assessor's Parcel Number:
188-03-13, 188-03-14, 188-03-15,
188-03-16, 188-03-17, 188-03-18,
188-03-19, 188-03-20, 188-03-22

Legal Description:
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SAN BERNARDINO, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
LOTS 2 THROUGH 9 TOGETHER WITH LOT A OF TRACT NO. 12983-1, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 178 OF MAPS, PAGES 63 AND 64, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

Construction Type:
CONCRETE TILT-UP BUILDING
BUILDING OCCUPANCY: 3-1/8 OFFICE & WAREHOUSE
CONSTRUCTION TYPE: B-8

Code Analysis:
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE

VICINITY MAP



CONSULTANT

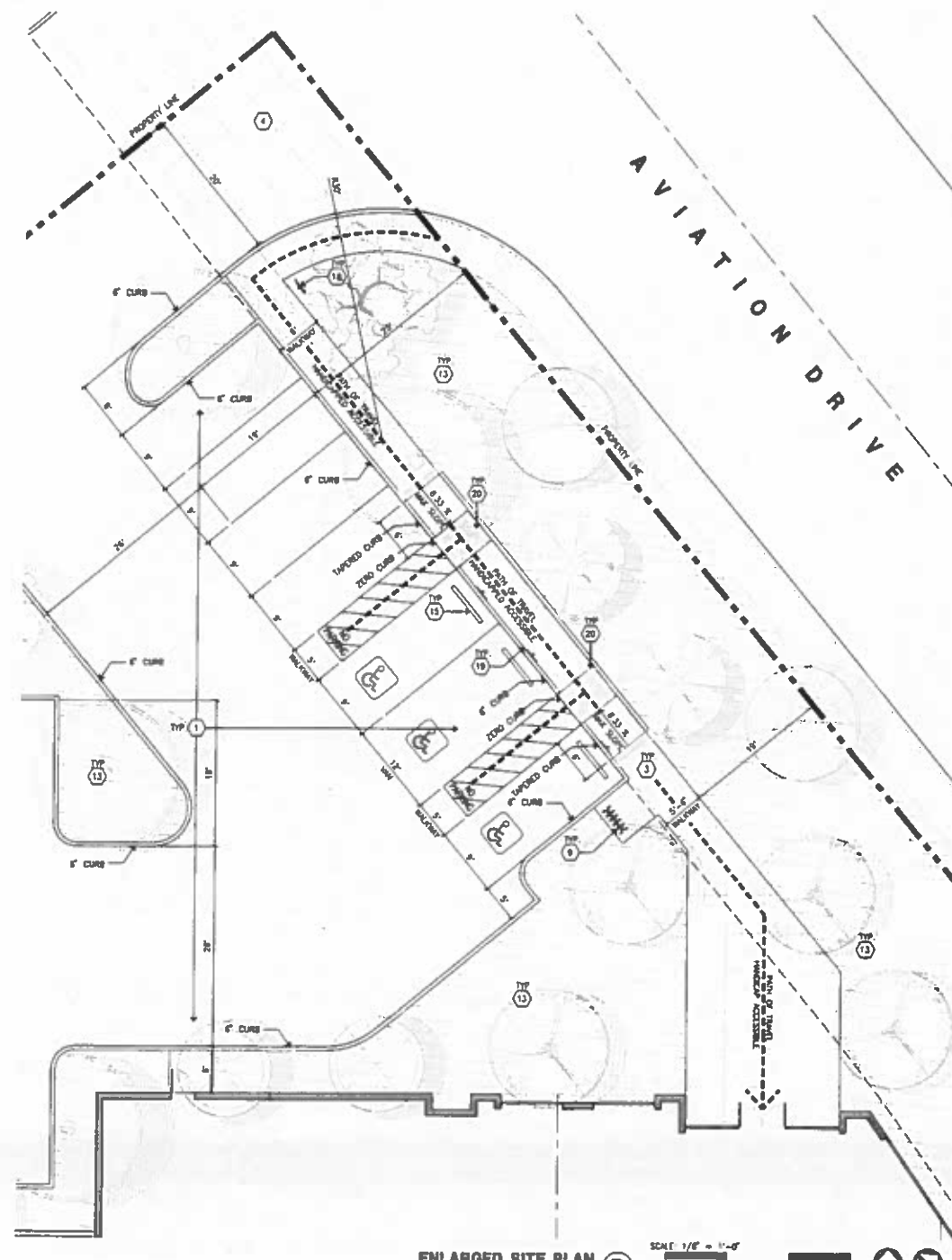
CIVIL:
HICKS & HARTWICK, INC.
37 EAST OLIVE AVE., STE C
REDLANDS, CA 92373
PHONE: (909) 337-8895
TEL: (909) 793-2257
CONTACT: MATTHEW HICKS

LANDSCAPE:
SPLA INC.
P.O. BOX 2157
LAKE JARVIS, CA 92352
PHONE: (909) 337-8895
FAX: (909) 337-8894
CONTACT: SCOTT PETERSON

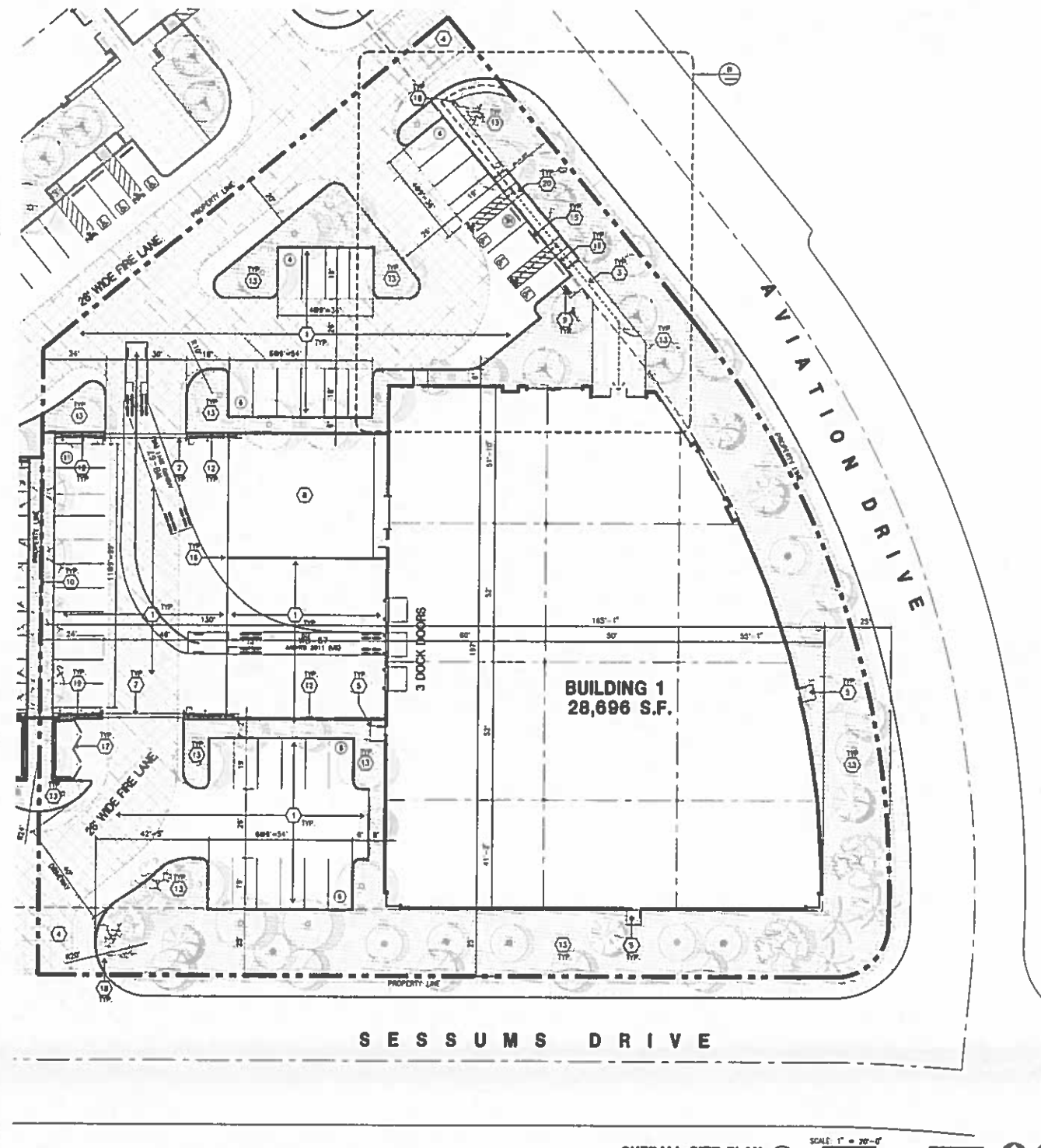
INDEX

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A-1.2 BLDG 1 FLOOR PLAN	9-A2.10 BLDG 8 ROOF PLAN
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A-9.1 BLDG 8 ELEVATION	

CAUTION: IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT



ENLARGED SITE PLAN (B)
 SCALE: 1/8" = 1'-0"
 NORTH



OVERALL SITE PLAN (A)
 SCALE: 1" = 20'-0"
 NORTH

SITE PLAN KEYNOTES

- | | |
|---|---|
| 1) HEAVY BROOM FINISH CONCRETE PAVEMENT | 21) APPROXIMATE LOCATION OF FIRE HYDRANT. |
| 2) NOT USED | 22) WALL MOUNTED LIGHTING FEATURE. |
| 3) CONCRETE WALKWAY, MEDIUM BROOM FINISH | 23) SITE LIGHT POLE W/ CONCRETE BASE. |
| 4) DRIVEWAY APRONS TO BE CONSTRUCTED | 24) 8" HIGH METAL SWING GATE W/ KNOCK-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY. |
| 5) 2'-4" x 3'-0" x 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC BAY OR DRIVE BAY AS REQ. BY CITY INSPECTOR. | 25) NOT USED |
| 6) APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E. | |
| 7) PROVIDE 8" HIGH METAL GATES W/ KNOCK-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY. | |
| 8) CONCRETE RAMP W/ 42" HIGH CONCRETE WALL. | |
| 9) EXTERIOR SINK RACK TYPICAL. | |
| 10) 8" HIGH METAL FENCE. SEE A-1.1 FOR DETAILS. | |
| 11) EXTERIOR CONCRETE STAIR. | |
| 12) 8" HIGH CONCRETE TRL-UP SCREEN WALL. | |
| 13) LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING. | |
| 14) EMPLOYEE BREAK/SMOKING AREA. | |
| 15) PRE-CAST CONCRETE WHEEL STOP. | |
| 16) CONCRETE FILLED GLAND POST 6" DIA. U.S.D. 42" H. | |
| 17) TRASH ENCLOSURE PER CITY STANDARD. | |
| 18) ACCESSIBLE ENTRY SIGN. | |
| 19) ACCESSIBLE PARKING STALL SIGN. | |
| 20) TRUNCATED DOME. | |

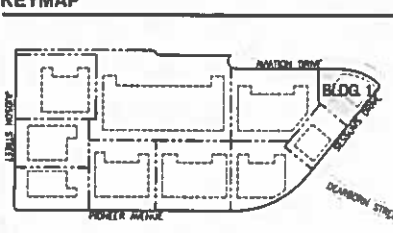
SITE PLAN GENERAL NOTES

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBO
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR CURB LINE UNLESS NOTED.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, CUTTERS AND SHOALS.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 8' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. W/ 1" EXPANSION JOINTS TO HAVE COMPRESSIVE FIBERGLASS FILLER MATRIX OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.S.D.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.

SITE PLAN GENERAL NOTES

- | | |
|---|---|
| CONCRETE PAVING
SEE "C" DRVS FOR THICKNESS | HANDICAP PARKING STALL
(8' x 16') W/ 5' ACCESSIBLE WALK |
| STANDARD PARKING STALL
(8' x 16') | HANDICAP PARKING STALL (VAN)
(12' x 18') W/ 5' ACCESSIBLE WALK |
| LANDSCAPED AREA | |
| 28" WIDE FIRELANE | PATH OF TRAVEL |

KEYMAP



CAUTION : IF THIS SHEET IS NOT A 36" X 42" IT IS A REDUCED PRINT



HPA, Inc.
 18831 Bardonia Avenue - Ste.
 #100 Irvine, CA
 92612
 Tel: 949-863-1770
 Fax: 949-863-0881
 Email: hpa@hpaarch.com

Owner:
 ROSSMORE
 ENTERPRISES

805 E MAIN ST. STE #7
 ASPEN, CO 81811
 TEL: 878-428-6253

Project:
 REDLANDS
 AVIATION
 BUSINESS
 PARK

REDLANDS, CA 92374

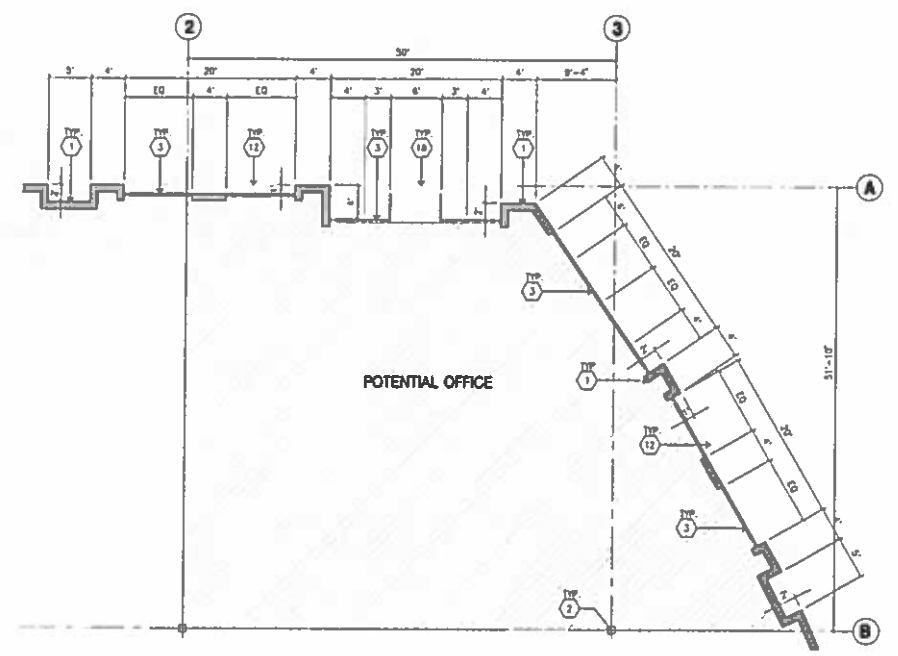
Consultants:
 CA: HICKS & HARTWICK INC.
 Structural
 Mechanical
 Plumbing
 Electrical
 Landscape
 Fire Protection
 Soil Engineer
 SPLAN INC.

Title: overall site plan @ bldg. 1

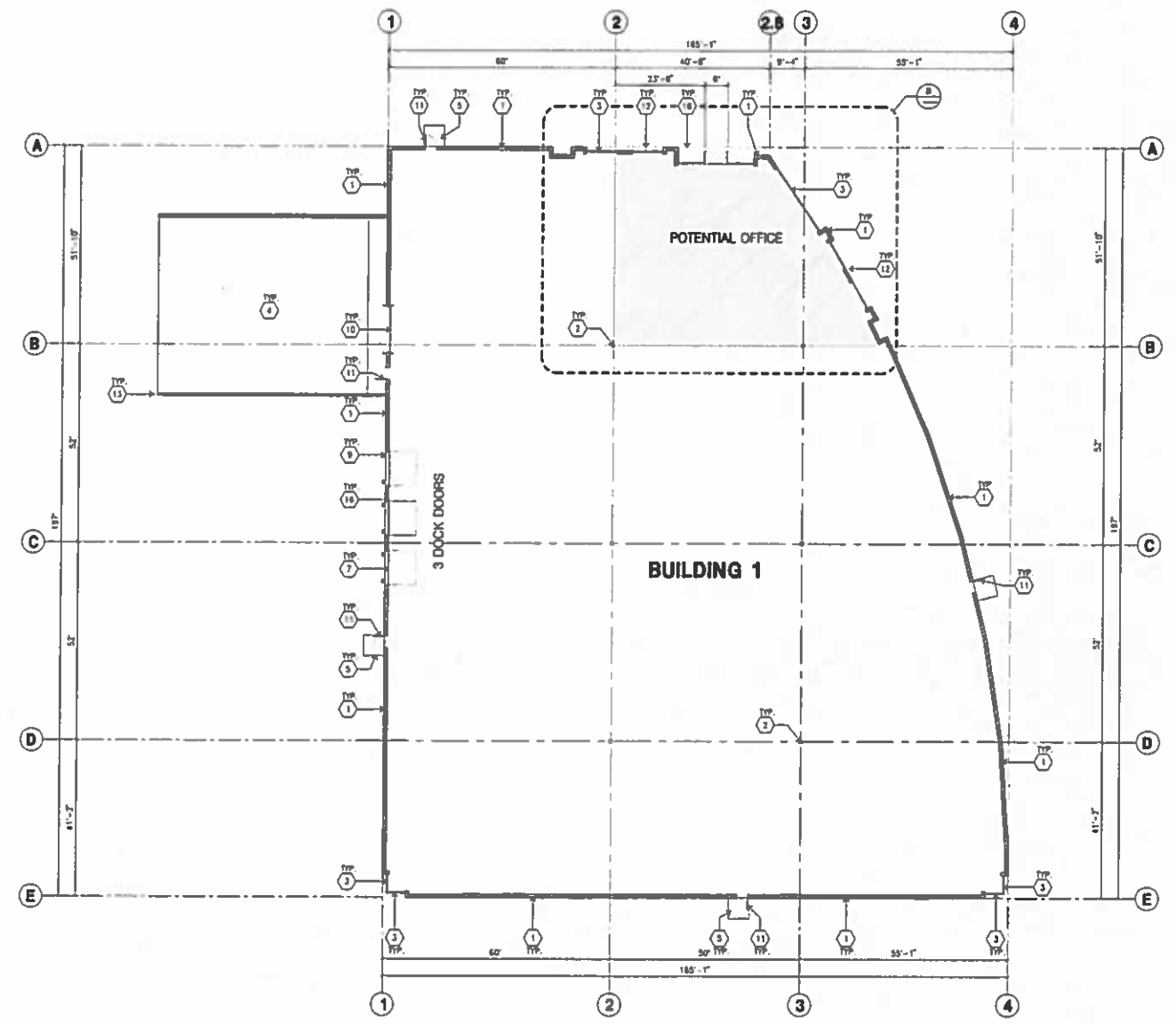
Project Number: 14282
 Drawn by: ML
 Date: 08/05/15
 Revision:

Sheet:

1-A1.1



ENLARGED FLOOR PLAN
SCALE: 1/8" = 1'-0"
DATE: 1/7/15



OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"
DATE: 1/7/15

FLOOR PLAN KEYNOTES

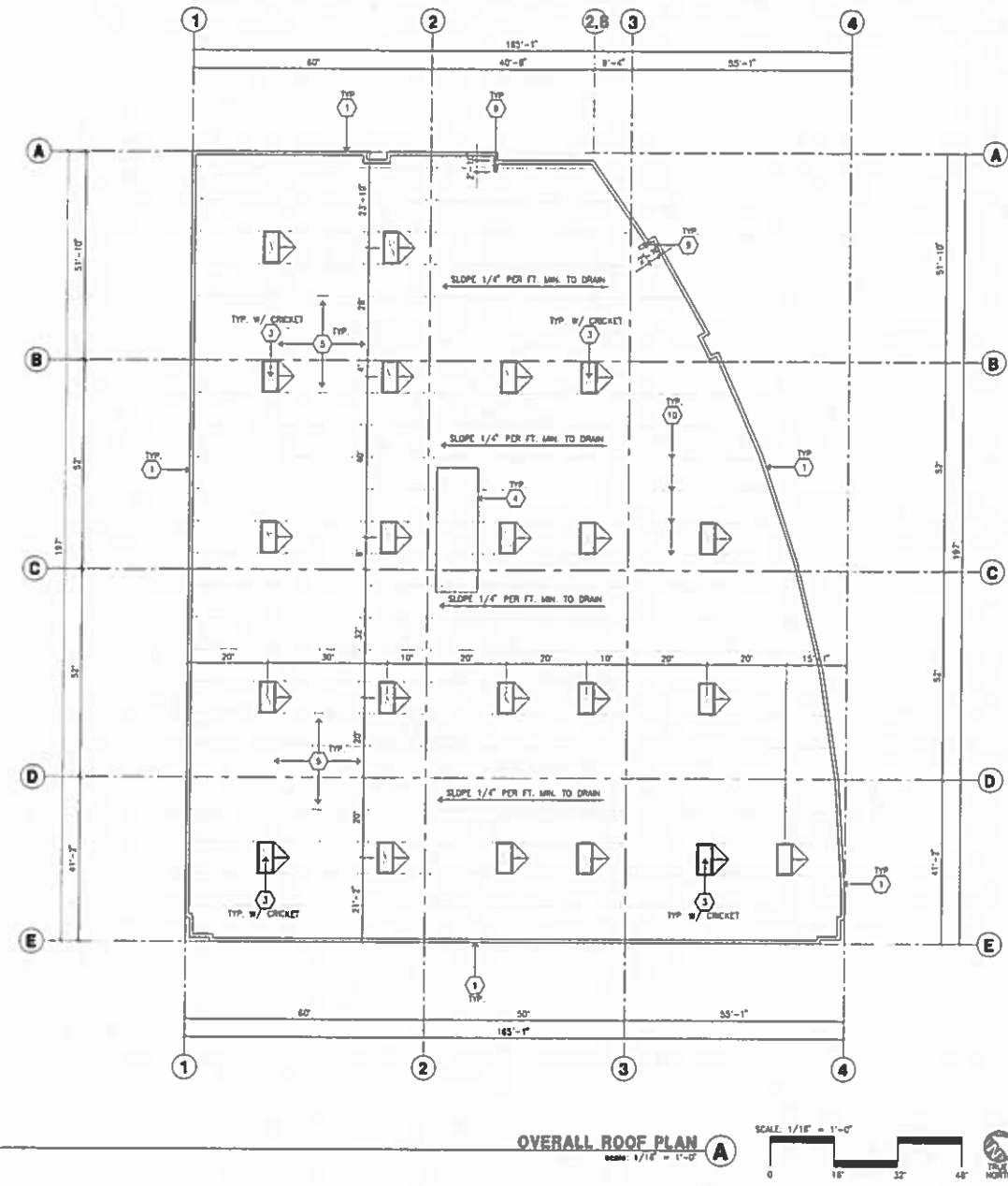
1. CONCRETE TILT-UP PANEL.
2. STRUCTURAL STEEL COLUMN.
3. TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
4. CONCRETE RAMP W/ 4" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
5. 2"-8" x 3"-8" x 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
6. EXTERIOR CONCRETE STAIR W/ 4" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
7. 8' x 10' TRUCK DOOR, SECTIONAL O.N., STANDARD GRADE.
8. 4' x 8' LOWEDED OPENING FOR VENTILATION.
9. DOCK DOOR BUMPER TYPICAL.
10. 12' x 14' DRIVE THRU. SECTIONAL O.N., STANDARD GRADE.
11. 3' x 7' HOLLOW METAL EXTERIOR MAIN DOOR.
12. SLOTTED LINE ABOVE.
13. CONIC FILLED GUARD POST. 6" DIA. U.N.O., 42"H.
14. EMPLOYEE BREAK/SMOKING AREA.
15. PRE-CAST CONCRETE WHEEL STOP.
16. 2' GUARD.
17. APPROXIMATE LOCATION OF ELECTRICAL ROOM.
18. METAL CANOPY ABOVE.
19. WIRELESS BIKE RACK TYPICAL.
20. NOT USED.
21. NOT USED.

FLOOR PLAN GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAIN DOORS AT 100' WALKWAY O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RIGGING/CRANE SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL CYP. BR. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE FLOOR 1/8" TO EXTERIOR AT ALL WAREHOUSE EXITS. SEE "S" DRAWINGS FOR POUR STOP LOCATION.
6. ALL DIVISIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GROUNDLINE, OR FACE OF STUD U.N.O.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATOR.
8. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET -. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMPED INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAIN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 80" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11A.03.1.1.
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/4.1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

1. FLOOR COMPACTION - BSS.
2. TRENCH COMPACTION - BSS.
3. BUILDING FLOOR SLAB:
 - A. 8" THICK MIN. UN-REINFORCED CONCRETE OVER COMPACTED SOILS.
 - B. 3/4" - 18" LONG @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS.
 - C. 4,500 P.S.I. REQUIREMENT.
 - D. SLAB TO BE 4" +/- 1".
 - E. JOINT SPACING PER A.C.I. 302-8R-96.
 - F. SAW-CUT DEPTH 1/4"; SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING.
4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-8R-96.
5. CONCRETE SLAB TO HAVE STEEL FLAT HARD TROWEL BURNISHED FINISH.
6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLAP FOR 7 DAYS MIN.
7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAMPED.
8. NO CRACKS. CONCRETE TRUCKS OR ANYTHING HEAVY WILL BE PLACED ON THE SLAB.
9. SLAB TO BE FTSD FLS MEASURED WITHIN 24 HOURS.
10. NO FLY ASH IN THE CONCRETE.
11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15 MIL STEAD OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
- CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER WOODEN ARE REQUIRED, SHALL BE NATURALLY PROTECTED WITHIN USE OF BURLAP, CURING COMPOUND, OR RELEASE AGENTS.
- CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH M-M-BU JOINT FILLER IN FUTURE OFFICE AREAS.
12. SEAL CONCRETE SLAB W/ "UPDROUM" SEALER.



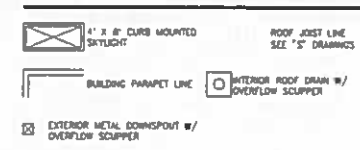
ROOF PLAN KEYNOTES

1. CONCRETE PARAPET. SEE "S" DRAWINGS FOR THICKNESS.
2. A/C LIMIT. SEE "A" DRAWINGS PROVIDE SUPPORT @ ROOF AS REQUIRED.
3. 4" X 8" CURB MOUNTED SKYLIGHT/SMOKE HATCH.
4. ROOF ADDRESS PAINTED BLACK 4" HIGH W/ 1" WIDE STROKE PER LETTER.
5. PROVIDE 4-PLY BUILT-UP ROOFING OVER ROOF SHEATHING OVER ROOF FRAMING. U.N.O. ROOFING TO BE NO-24 GAP ROOFING BY JOHNS-MANVILLE OR EQUAL (CLASS A BATED). 10 YEAR NO DOLLAR LIMIT WARRANTY AND 2 YEAR LABOR GUARANTEE.
6. APPROXIMATE LOCATION OF EXHAUST FAN.
7. APPROXIMATE LOCATION OF ROOF HATCH.
8. INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
9. PARAPET RETURN.
10. STRUCTURAL JOIST. SEE "S" DRAWINGS.
11. EXTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
12. NOT USED.
13. NOT USED.

ROOF PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, CURBING, OR FACE OF STUD. (U.N.O.)
2. VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" PER FOOT) PRIOR TO ROOF INSULATION INSTALLATION.
3. REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
4. CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS. ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
5. FOR TYP ROOF PENETRATIONS, SEE DETAIL 8, 9, 10/AD. CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
6. CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
7. CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS LOCATIONS ON DRAWINGS ARE APPROXIMATE.
8. ALL SKYLIGHTS TO BE DESIGNED FOR WIND SPEED DESIGN CRITERIA W/ STRONGER FRAMES, SUPPORTS AND BOMBS MANUFACTURER TO CONFIRM ON NOTING.
9. ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN 6" DIA. SEE "S" DRAWINGS FOR EXACT SIZE.
10. PROVIDE SHAPED CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN.)
11. BUILT UP ROOFING TO BE DESIGNED FOR I 90 AND TO BE A U.L. CLASS A ROOF FLASHING GAP TYPE SMB HOPPED AP SHEET, U.L. TYPE 63 BUR.
12. ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS. PROPER REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY INSTANT (TM) WIND UPLIFT PRESSURE REQUIREMENTS.
13. ALL SKYLIGHTS TO BE PLACED A MIN. OF 18"-0" FROM INSIDE FACE OF PARAPET.
14. USE WHITE SCRIM FOR INSULATION IN THE WAREHOUSE AREA.
15. CAPTIVE VENTS SHALL BE REQUIRED IF AREAS FOR "POTENTIAL OFFICE" WILL BE USED FOR HIGH PILE COMBUSTIBLE STORAGE.
16. ROOF DRAINS, OVERFLOW DRAINS AND RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTING DRAIN, WASTE AND VENT SYSTEMS.
17. ROOF DRAINS, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
18. MANUFACTURED ROOF DRAINS AND OVERFLOWS (FITTINGS) SHALL BE MP40 LISTED.

ROOF LEGEND



SKYLIGHT CALCULATION

BUILDING FOOTPRINT	= 28,686 S.F.
SKYLIGHTS PROVIDED	= 2.5% = 704 S.F. (22 EA)



tpa, inc.
18831 barton avenue - ste.
#100 Irvine, ca
92612
tel: 949-863-1770
fax: 949-863-0851
email: tpa@hpaarch.com

Owner:

ROSSMORE ENTERPRISES

605 E MAIN ST. STE #7
ASPEN, CO 81611
TEL: 970-429-6250

Project:

REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92574

Consultants:

HICKS & HARTWICK INC.
Civil
Structural
Mechanical
Plumbing
Electrical
Landscape
Fire Protection
Soils Engineer

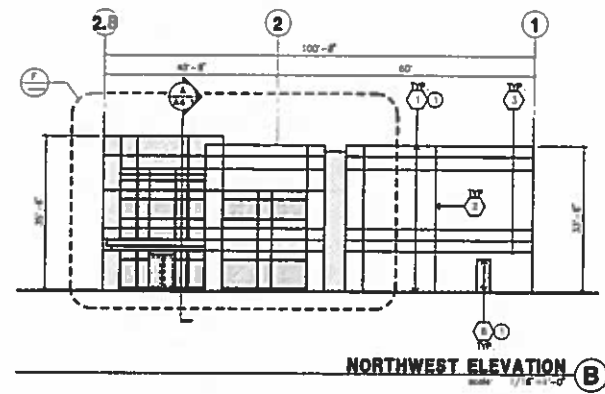
Title: overall roof plan @ bldg. 1

Project Number: 14282
Drawn by: ML
Date: 08/05/15

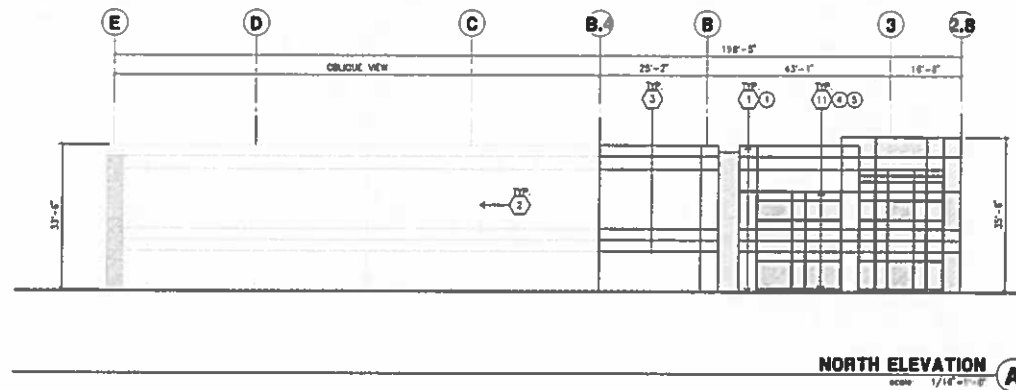
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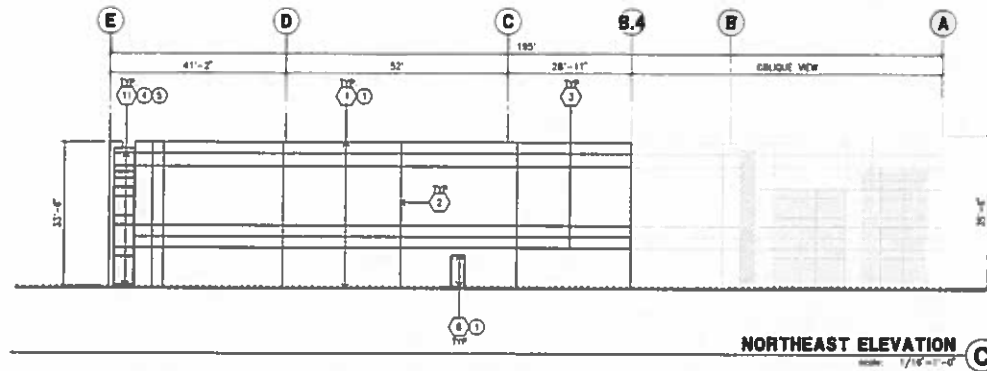
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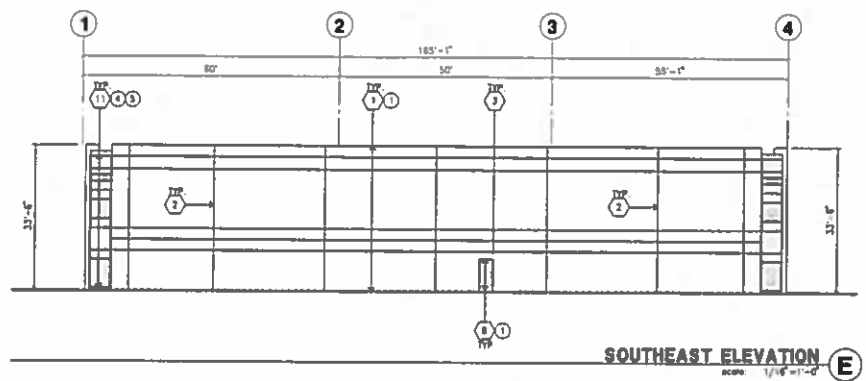
NORTHWEST ELEVATION
scale 1/16"=1'-0"



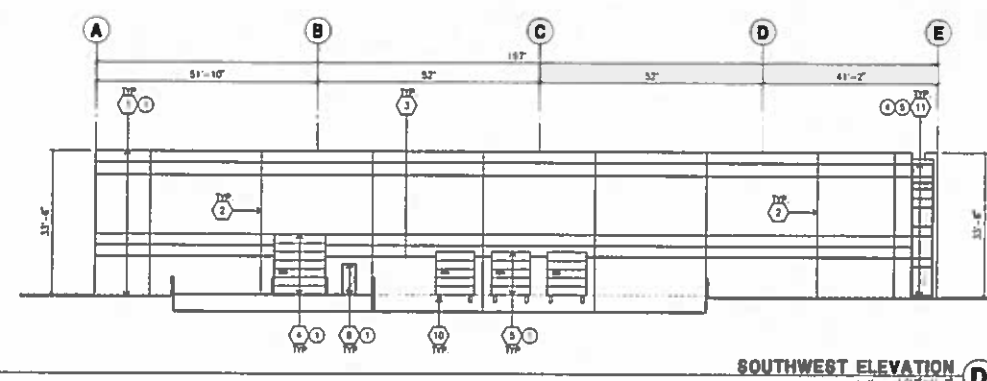
NORTH ELEVATION
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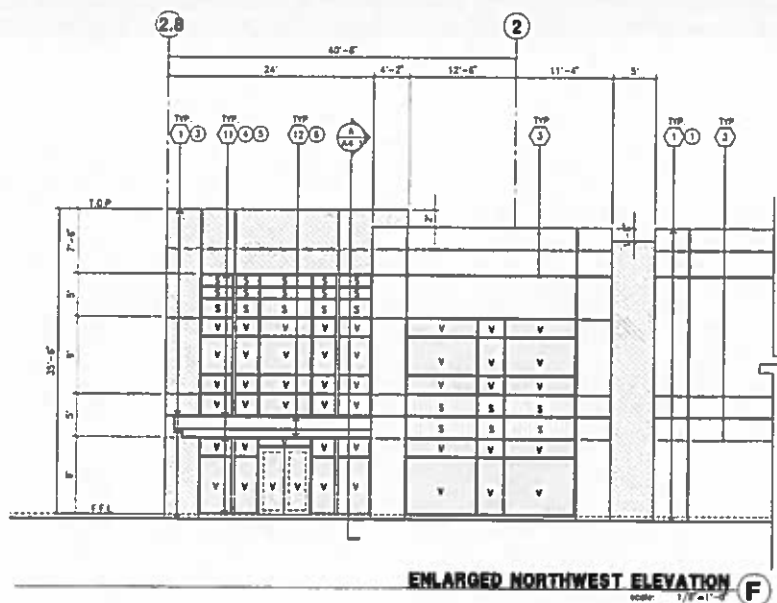
NORTHEAST ELEVATION
scale 1/16"=1'-0"



SOUTHEAST ELEVATION
scale 1/16"=1'-0"



SOUTHWEST ELEVATION
scale 1/16"=1'-0"



ENLARGED NORTHWEST ELEVATION
scale 1/8"=1'-0"

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER.
- 4 REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR 1/4" x 12" x 14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 8" x 10" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 CONCRETE STAIR, LANDING AND GUARDRAIL. W/ METAL PIPE HANDRAIL. PROVIDE HIGH SIDING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD FOR ADA REQUIREMENTS.
- 7 4" x 8" METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 8 YELLOW METAL DOORS PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR.
- 9 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 10 DOOR DOOR BUMPER TYPICAL.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SCHEDULES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 12 METAL CANOPY.
- 13 KNOCK OUT PANEL.
- 14 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
- 15 CONC. FILLED CHAIR POST. 6" DIA. U.N.D. 42"H.
- 16 NOT USED.
- 17 NOT USED.

ELEVATION GENERAL NOTES

- 1 ALL PAINT COLOR CHANGES TO OCCUR AT CORNERS UNLESS NOTED OTHERWISE.
- 2 ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- 3 T.O.P. EL. = TOP OF PARAPET ELEVATION.
- 4 FF = FINISH FLOOR ELEVATION.
- 5 STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LITELS SHALL BE DESIGNED TO RESIST 10 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- 6 CONTRACTOR SHALL FULLY PAINT THE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- 7 BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- 8 FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- 9 USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- 10 THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL. COLOR: SW 7006 EXTRA WHITE.
 - 2 CONCRETE TILT-UP PANEL. COLOR: SW 7073 NETWORK GRAY.
 - 3 CONCRETE TILT-UP PANEL. COLOR: SW 7075 WEB GRAY.
 - 4 GLAZING COLOR: BLUE REFLECTIVE GLAZING.
 - 5 WALLIONS COLOR: CLEAR ANODIZED.
 - 6 CANOPY MATERIAL: ALUMINUM COMPOSITE PANEL.
 - 7 DOOR COLORS: MATCH BUILDING COLOR.
- * PAINT TO BE SHERWIN WILLIAMS UNLESS NOTED OTHERWISE.

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- SPANDREL GLASS VISION GLASS
- ALL GLAZING TO BE TEMPERED.
- GLAZING: PPG SOLARCOOL (2) PACIFICA + SOLARBAN 60 (3) CLEAR
 U: 0.29, SHGC: 0.15, VLT: 102
 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES
- SPANDREL: 1/4" SOLARCOOL PACIFICA SPANDREL W/ HARMONY GRAY OPACOCOAT PAINTED ON REFLECTIVE.
- WALLIONS: ANODIZED CLEAR.



HPA, Inc.
 18831 Bardman Avenue - Ste. 101
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Owner:

ROSSMORE ENTERPRISES

885 E MAIN ST. STE #7
 ASPEN, CO 81611
 TEL: 970-429-6233

Project:

REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92374

Consultants:

HOKS & HARTWICK INC.
 Structural
 Mechanical
 Plumbing
 Electrical
 Landscape: SPLAH INC.
 Fire Protection
 Sign Engineering

Title: elevation bldg 1

Project Number: 14282
 Drawn by: ML
 Date: 08/05/15
 Revision:

Sheet:

1-A3.1

Owner:
ROSSMORE ENTERPRISES

805 E MAIN ST. STE #7
ASPEN, CO 81611
TEL. 970-429-6230

Project:
REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92274

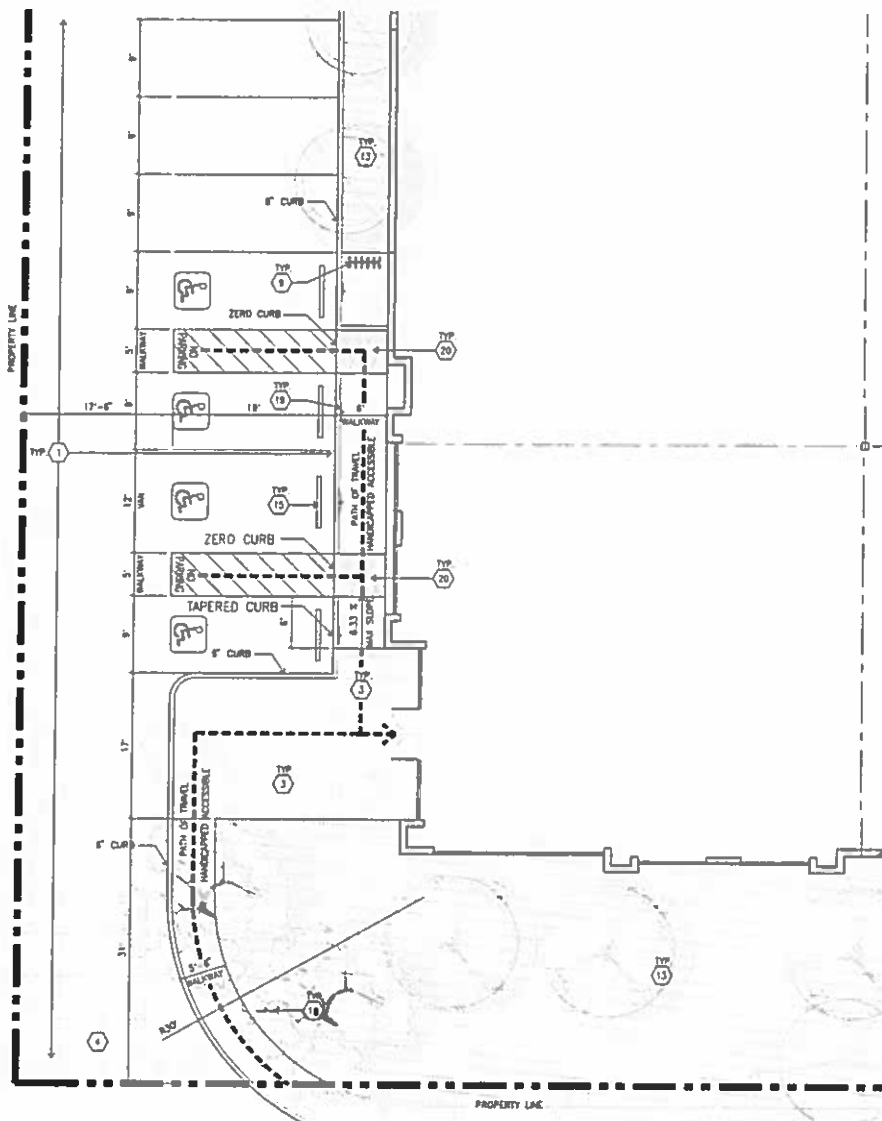
Consultants:
HICKS & HARTWICK INC.
Civil
Mechanical
Electrical
Plumbing
Structural
Site Work
SPLAN INC.
Site Preparation
Civil Engineer

Title: overall site plan @ bldg. 2

Project Number: 14282
Drawn by: ML
Date: 08/05/15
Revision:

Sheet:

2-A1.1

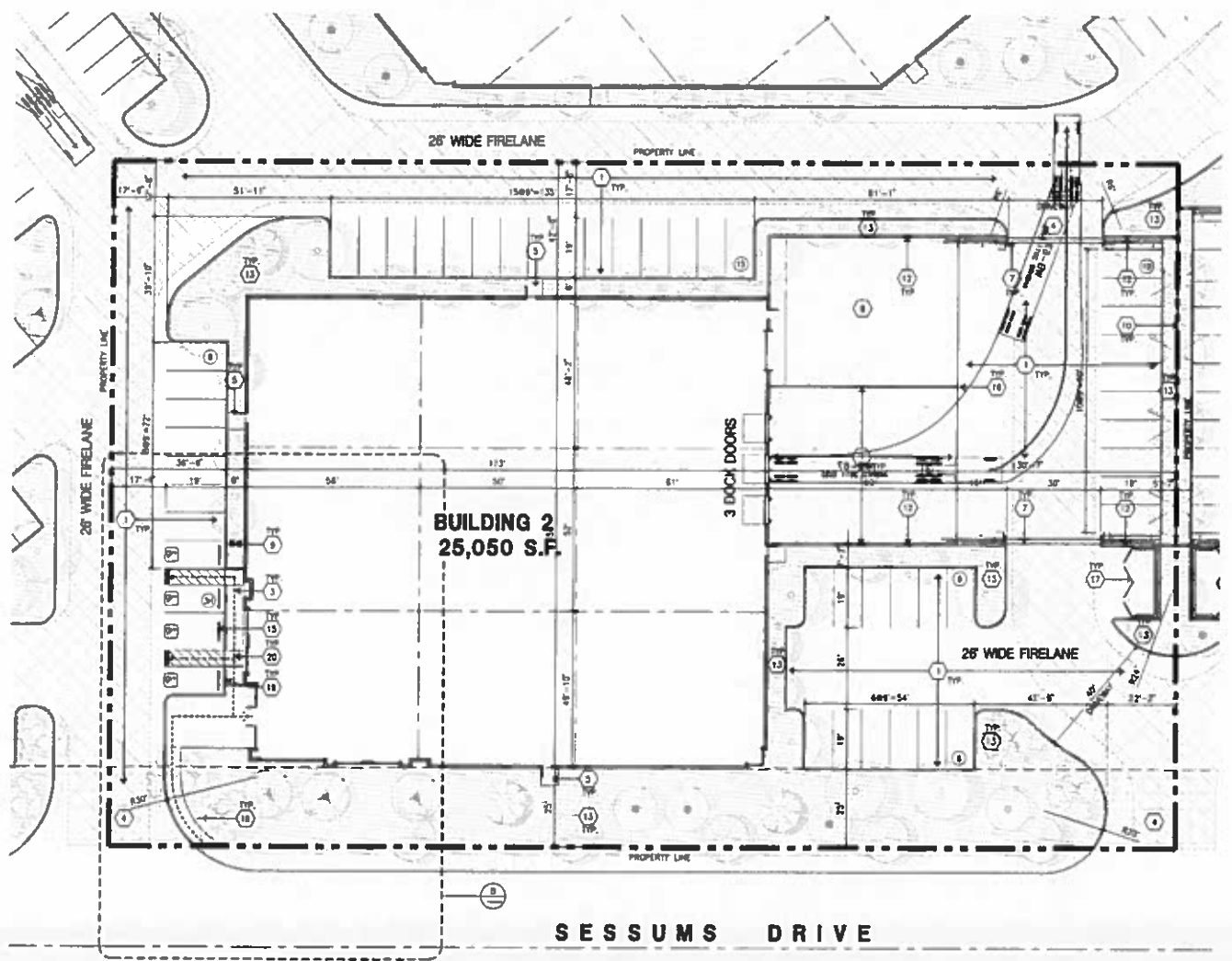


SESSUMS DRIVE

ENLARGED SITE PLAN B
SCALE: 1/8" = 1'-0"
SCALE: 1/8" = 1'-0"

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 NOT USED
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APPROX TO BE CONSTRUCTED
- 5 3"-6" 15'-6" 24" THICK CONCRETE EXTERIOR LANDING PAD TYP AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
- 7 PROVIDE 8" HIGH METAL GATES W/ RATCH-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY
- 8 CONCRETE RAMP W/ 42" HIGH CONCRETE WALL
- 9 EXTERIOR BIKE RACK TYPICAL
- 10 8" HIGH METAL FENCE. SEE A4.1 FOR DETAILS
- 11 EXTERIOR CONCRETE STAIR
- 12 8" HIGH CONCRETE TILT-UP SCREEN WALL
- 13 LANDSCAPE. ALL LANDSCAPE AREAS REGATED BY SHADING
- 14 EMPLOYEE BREAK/SMOKING AREA
- 15 PRE-CAST CONCRETE WHEEL STOP
- 16 CONCRETE FILLED CHAIR POST 1/4 DIA. W/ 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD
- 18 ACCESSIBLE ENTRY SIGN
- 19 ACCESSIBLE PARKING STALL SIGN
- 20 TRUNCATED DOME
- 21 APPROXIMATE LOCATION OF FIRE HYDRANT.
- 22 WALL MOUNTED LIGHTING FEATURE
- 23 SITE LIGHT POLE W/ CONCRETE BASE
- 24 8" HIGH METAL SWING GATE W/ RATCH-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY
- 25 NOT USED



SESSUMS DRIVE

OVERALL SITE PLAN A
SCALE: 1" = 20'-0"
SCALE: 1" = 20'-0"

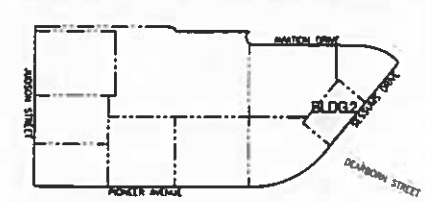
SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY TRO
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.D.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, OUTLETS AND SWALES
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 8' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSION EXPANSION FILLER MATERIAL OF 1/4" FINISH TO BE A MEDIUM BROOM FINISH U.N.D.
11. PAINT CURBS AND PROVIDE SIGNS TO NOTIFY OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT
15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED
16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB

SITE PLAN GENERAL NOTES

- CONCRETE PAVING
SEE "C" DRGWS FOR THICKNESS
- STANDARD PARKING STALL
(9' x 19')
- LANDSCAPED AREA
- 26' WIDE FIRELANE
- HANDICAP PARKING STALL
(9' x 19') W/ 5' ACCESSIBLE WHEEL
- HANDICAP PARKING STALL (WAV)
(12' x 18') W/ 5' ACCESSIBLE WHEEL
- PATH OF TRAVEL

KEYMAP



Owner:

**ROSSMORE
ENTERPRISES**

805 E MAIN ST. STE #7
ASPEN, CO 81611
TEL: 970-429-6253

Project:

**REDLANDS
AVIATION
BUSINESS
PARK**

REDLANDS, CA 92374

Consultants:

Arch: **HICKS & HARTWICK INC.**
Structural
Mechanical
Plumbing
Electrical
Landscape
Fire Protection
Civil Engineer

SPLAN INC.

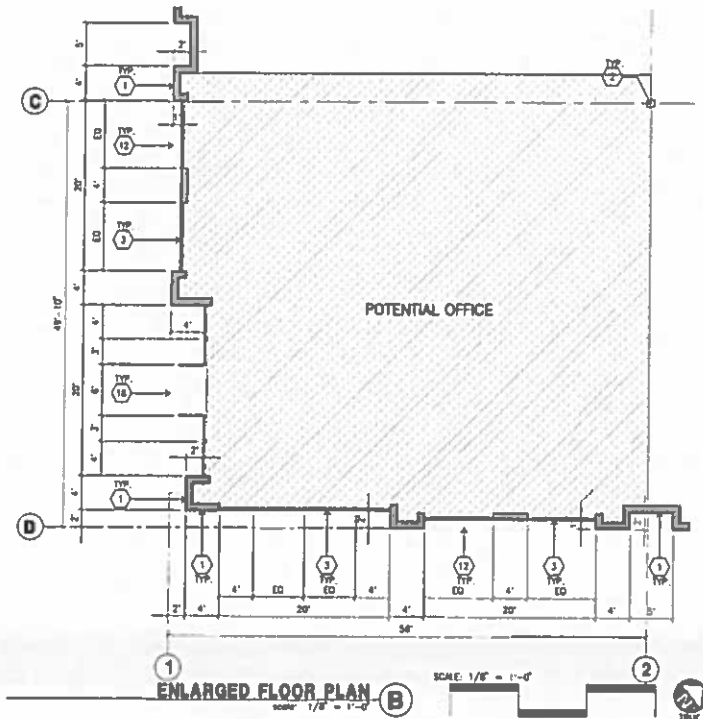
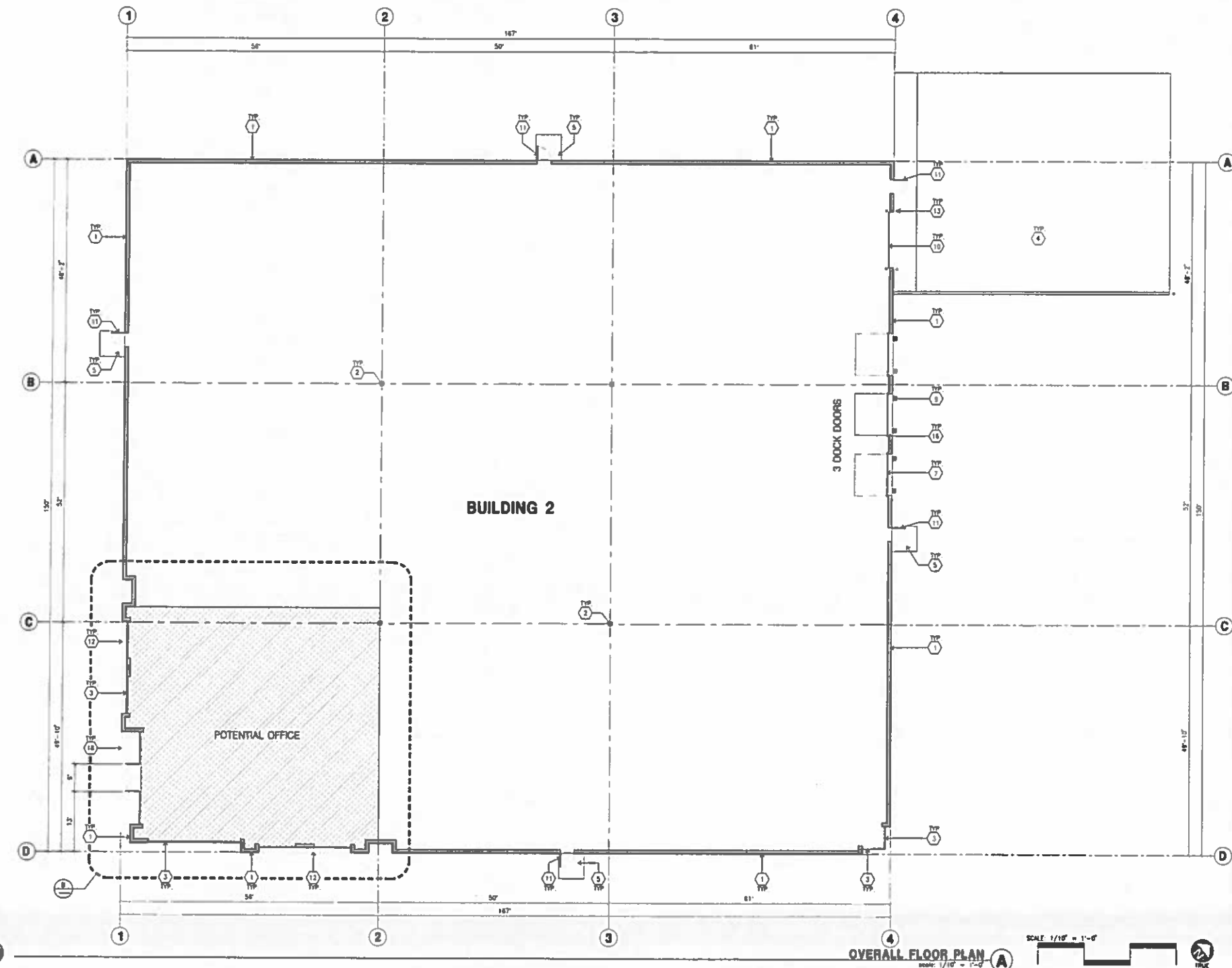
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Project Number: 14282
Drawn by: ML
Date: 08/06/15

Revision:

Sheet:

2-A2.1



FLOOR PLAN KEYNOTES

1. CONCRETE TILT-UP PANEL.
2. STRUCTURAL STEEL COLUMN.
3. TYPICAL STORAGEFRONT SYSTEM WITH CLADDING SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
4. CONCRETE RAMP 8" / 4" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
5. 3"-6" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
6. EXTERIOR CONCRETE STAIR W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
7. 8' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
8. 4' X 8' LOUVERED OPENING FOR VENTILATION.
9. DOCK DOOR BUMPER TYPICAL.
10. 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE.
11. 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR.
12. SOFFIT LINE ABOVE.
13. CONC. FILLED GUARD POST 6" DIA. U.N.L.D. 42"H.
14. EMPLOYEE BREAK/SHADING AREA.
15. PRE-CAST CONCRETE WHEEL STOP.
16. 2' CLAUD.
17. APPROXIMATE LOCATION OF ELECTRICAL ROOM.
18. METAL CANOPY ABOVE.
19. INTERIOR BRICK BACK TYPICAL.
20. NOT USED.
21. NOT USED.

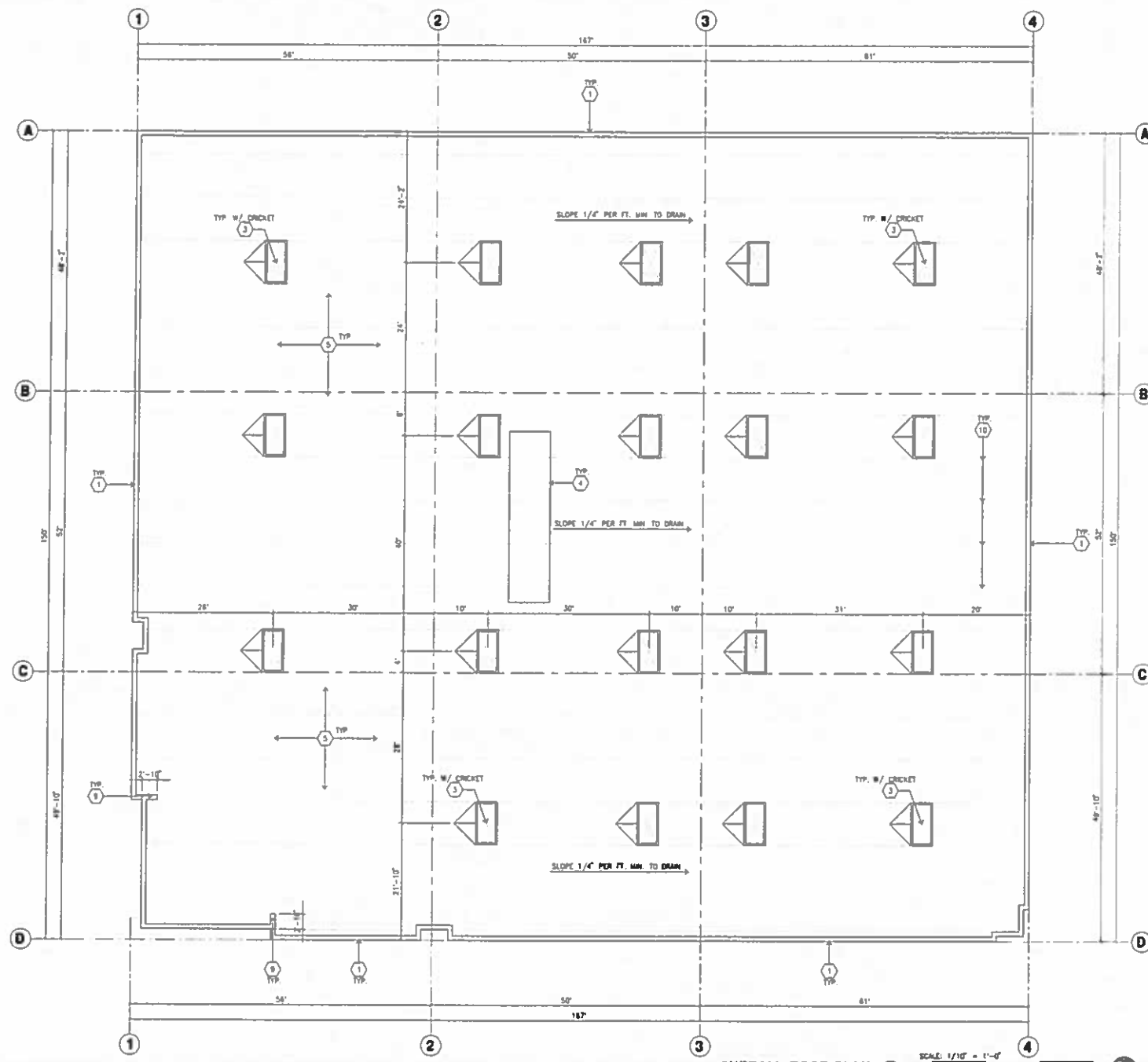
FLOOR PLAN GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 10' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLLARS ARE TO RECEIVE PRIMER ONLY. ALL CYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL WAREHOUSE EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, CORNER, OR FACE OF STEEL U.S.G.
7. SEE O.H. DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATOR.
8. FOR DOOR TYPES AND SIZES. SEE DETAIL SHEET - NOTE. ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMPED INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HORIZONTAL.
11. HEAVY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. HIGH-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/M-1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY IMPORTANT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS.
1. FLOOR COMPACTION - 95%
 2. TRENCH COMPACTION - 90%
 3. BUILDING FLOOR SLAB
 - A. 6" THICK MIN. UN-REINFORCED CONCRETE OVER COMPACTED SOILS
 - B. 3/4" - 18" LONG @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS
 - C. 3/4" - 18" LONG @ 7" O.C. DOWELS IN DOWEL BASKET AT ALL CONTROL JOINTS
 - D. 4,000 P.S.I. REQUIREMENT.
 - E. SLAB TO BE 4" +/- 1"
 - F. JOINT SPACING PER A.C.I. 302-88-90
 - G. SAW-CUT DEPTH 1/4 T; SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.E.I. 302-88-90
 5. CONCRETE SLAB TO HAVE STEEL FLOOR HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET DURING USING BURLAP FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAMPED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE F730 FL33 MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15 MIL STEEL OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 12. CONCRETE SLAB IN FUTURE OFFICE AREAS WHERE SAND OVER WOODEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLAP, CURING COMPOUND, OR RELEASE AGENTS.
 13. CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.
 14. SEAL CONCRETE SLAB W/ "LIPODOLY" SEALER.

CAUTION : IF THIS SHEET IS NOT A 36" X 48" IT IS A REDUCED PRINT



OVERALL ROOF PLAN
 SCALE: 1/16" = 1'-0"
 NORTH

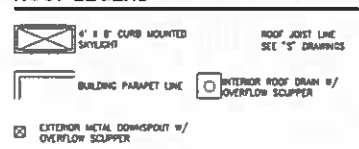
ROOF PLAN KEYNOTES

- 1 CONCRETE PARAPET, SEE "S" DRAWINGS FOR THICKNESS
- 2 A/C UNIT, SEE "M" DRAWINGS. PROVIDE SUPPORT @ ROOF AS REQUIRED.
- 3 4" x 8" CURB MOUNTED SKYLIGHT/SMOKE HATCH.
- 4 ROOF ADDRESS PAINTED BLACK 4" HIGH W/ 1" WIDE STROKE PER LETTER.
- 5 PROVIDE 4-PLY BUILT-UP ROOFING OVER ROOF SHEATHING OVER ROOF FRAMING. MIN. G. ROOFING TO BE 180-24 GSP ROOFING BY JOHNS-MANVILLE OR EQUAL, (CLASS A RATED), 10 YEAR NO DOLLAR LIMIT WARRANTY AND 2 YEAR LABOR GUARANTEE.
- 6 APPROXIMATE LOCATION OF EXHAUST FAN.
- 7 APPROXIMATE LOCATION OF ROOF HATCH.
- 8 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 9 PARAPET RETURN.
- 10 STRUCTURAL JOIST SEE "S" DRAWINGS.
- 11 EXTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 12 NOT USED.
- 13 NOT USED.

ROOF PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, GRIDLINE, OR FACE OF STUD (U.I.D.)
2. VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT) PRIOR TO ROOF INSULATION INSTALLATION.
3. REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
4. CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
5. FOR TYP. ROOF PENETRATIONS, SEE DETAIL 8, 9, 10/AD.3 CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
6. CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
7. CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS. LOCATIONS ON DRAWINGS ARE APPROXIMATE.
8. ALL SKYLIGHTS TO BE DESIGNED PER WIND SPEED DESIGN CRITERIA W/ STRONGER FRAMES, SUPPORTS AND DOMES. MANUFACTURER TO CONFIRM IN WRITING.
9. ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN. 8" DIA., SEE "P" DRAWINGS FOR EXACT SIZE.
10. PROVIDE SHAPED CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN).
11. BUILT UP ROOFING TO BE DESIGNED FOR 1.50 AND TO BE A U.L. CLASS A ROOF. FLASHING: 84" TYPE (SAB MOPPED UP SHEET), U.L. TYPE 83 DUNE.
12. ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS. PROPER REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY MUTUAL (FM) WIND UPLIFT PRESSURE REQUIREMENTS.
13. ALL SKYLIGHTS TO BE PLACED A MIN. OF 18"-0" FROM INSIDE FACE OF PARAPET.
14. USE WHITE SCUM FOR INSULATION IN THE WAREHOUSE AREA.
15. SMOKE VENTS SHALL BE REQUIRED IF AREAS FOR "POTENTIAL OFFICES" WILL BE USED FOR HIGH PILE COMBUSTIBLE STORAGE.
16. ROOF DRAINS, OVERFLOW DRAINS AND RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTING DRAIN, WASTE AND VENT SYSTEMS.
17. ROOF DRAINS, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
18. MANUFACTURED ROOF DRAINS AND OVERFLOWS (FITURES) SHALL BE IAPMO LISTED.

ROOF LEGEND



SKYLIGHT CALCULATION

BUILDING FOOTPRINT	= 25,050 S.F.
SKYLIGHTS PROVIDED	= 2.5% = 608 S.F. (19 EA.)



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Owner:
 ROSSMORE
 ENTERPRISES

605 E MAIN ST. STE #7
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Project:
 REDLANDS
 AVIATION
 BUSINESS
 PARK

REDLANDS, CA 92374

Consultants:

- OWNER: HICKS & HARTWICK INC.
- Structural: _____
- Mechanical: _____
- Plumbing: _____
- Electrical: _____
- Landscaping: SPLAN INC.
- Fire Protection: _____
- Soils Engineer: _____

Title: overall roof plan @ bldg. 2

Project Number: 14262
 Drawn by: ML
 Date: 08/06/13

Revision:

Sheet:
 2-A2.10

Owner:
ROSSMORE ENTERPRISES

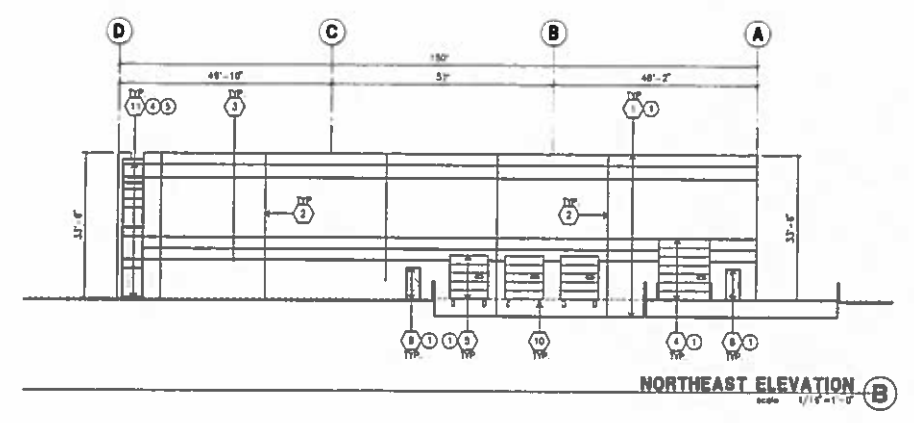
805 E MAIN ST. STE #7
ASPEN, CO 81611
TEL: 878-429-8253

Project:
REDLANDS AVIATION BUSINESS PARK

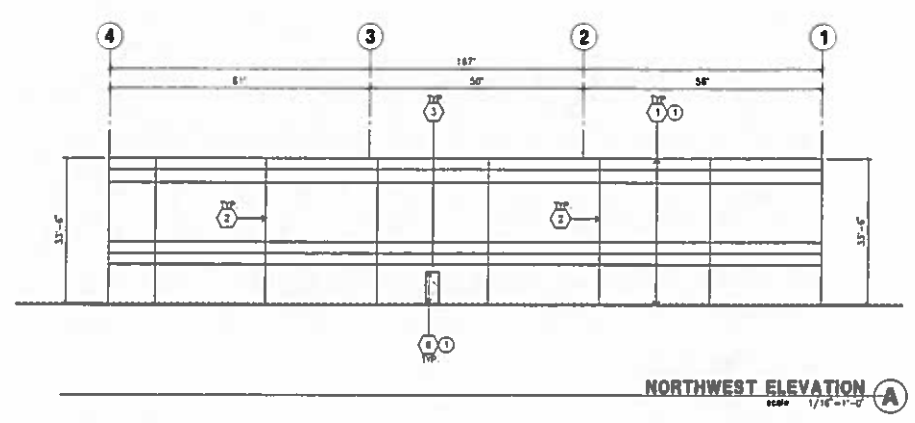
REDLANDS, CA 92374

Consultants:
Civil: **HOKS & HARTWICK INC.**
Structural: _____
Mechanical: _____
Plumbing: _____
Electrical: _____
Landscape: **SPLAN INC.**
Fire Protection: _____
Sales/Signage: _____

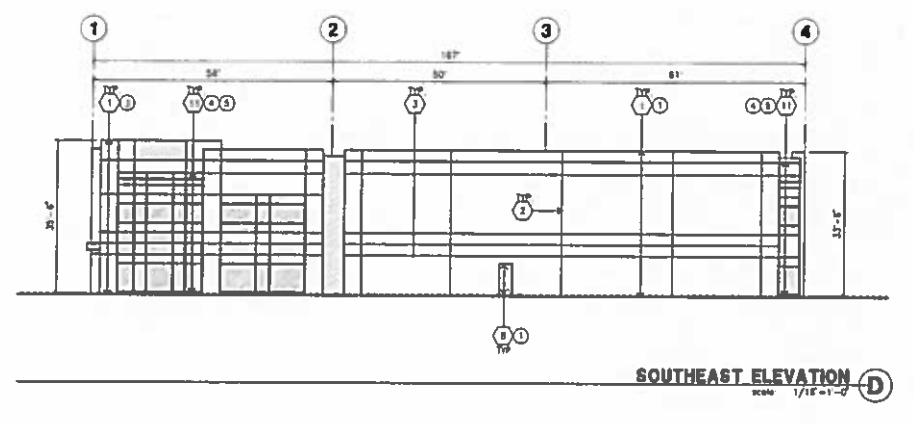
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Project Number: **14282**
Drawn by: **ML**
Date: **08/05/15**
Revision: _____
Sheet: _____



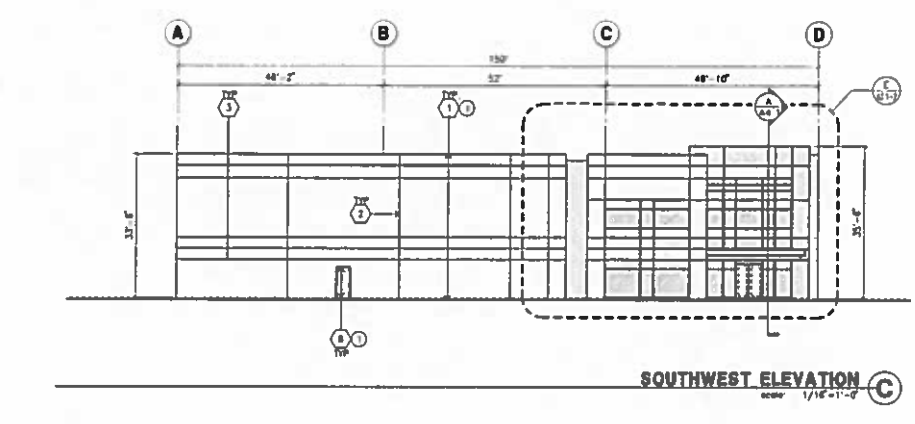
NORTHEAST ELEVATION B
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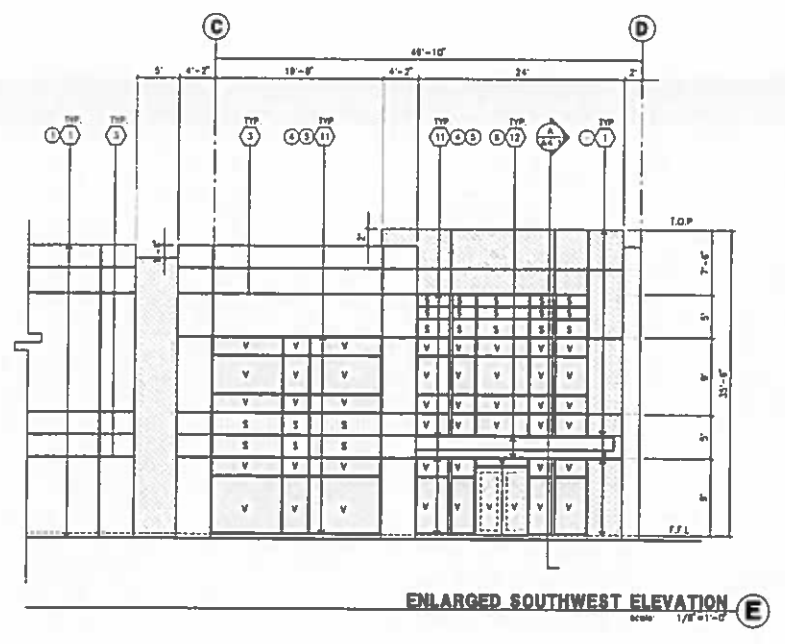
NORTHWEST ELEVATION A
scale 1/16"=1'-0"



SOUTHEAST ELEVATION D
scale 1/16"=1'-0"



SOUTHWEST ELEVATION C
scale 1/16"=1'-0"



ENLARGED SOUTHWEST ELEVATION E
scale 1/8"=1'-0"

- ELEVATION KEYNOTES**
- 1 CONCRETE TILT-UP PANEL.
 - 2 PANEL JOINT.
 - 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.D. 12" X 14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
 - 4 8" X 10" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
 - 5 CONCRETE STAIR, LANDING AND RAMPING. W/ METAL PIPE HANDRAIL. PROVIDE NON-SLIP TREAD TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 5" WIDE WARNING STRIPE SWITCH TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
 - 6 4" X 8" METAL LAMER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
 - 7 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
 - 8 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
 - 9 DOCK DOOR BUMPER TYPICAL.
 - 10 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SPACERS ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
 - 11 METAL CANOPY.
 - 12 KNOCK OUT PANEL.
 - 13 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
 - 14 CONC. FILLED GUARD POST 6" DIA. U.N.D. 42".
 - 15 NOT USED.
 - 16 NOT USED.
 - 17 NOT USED.

- ELEVATION GENERAL NOTES**
1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
 2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
 3. T.O.P. EL. = TOP OF PARAPET ELEVATION.
 4. F.F. = FINISH FLOOR ELEVATION.
 5. STOREFRONT CONSTRUCTION GLASS, METAL ATTACHMENTS AND UNITS SHALL BE DESIGNED TO RESIST - WIND EXPOSURE 10' HRS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
 6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REWARDER OF BUILDING.
 7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
 8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
 9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
 10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

- ELEVATION COLOR LEGEND/SCHED.**
- 1 CONCRETE TILT-UP PANEL COLOR : SW 7008 EXTRA WHITE
 - 2 CONCRETE TILT-UP PANEL COLOR : SW 7073 NETWORK GRAY
 - 3 CONCRETE TILT-UP PANEL COLOR : SW 7075 WEB GRAY
 - 4 GLAZING COLOR : BLUE REFLECTIVE GLAZING
 - 5 MULLIONS COLOR : CLEAR ANODIZED
 - 6 CANOPY MATERIAL : ALUMINUM COMPOSITE PANEL
 - 7 DOOR COLORS : MATCH BUILDING COLOR
- * PAINT TO BE SHERWIN WILLIAMS UNLESS NOTED OTHERWISE.

- GLAZING LEGEND**
- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- SPANDREL GLASS
 - VISION GLASS
- ALL GLAZING TO BE TEMPERED
- GLAZING : PPC SOLARCOOL (2) PACIFICA + SOLARBAN 80 (3) CLEAR
U: 0.29, SHGC: 0.15, VLT: 1.05
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES
- SPANDREL : 1/4" SOLARCOOL PACIFICA SPANDREL W/ HARMONY GRAY OPACIGLASS PAINTED ON REFLECTIVE.
- MULLIONS: ANODIZED CLEAR

Owner:
ROSSMORE ENTERPRISES

805 E MAIN ST. STE 87
ASPEN, CO 81611
TEL: 970-429-8253

Project:
REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92374

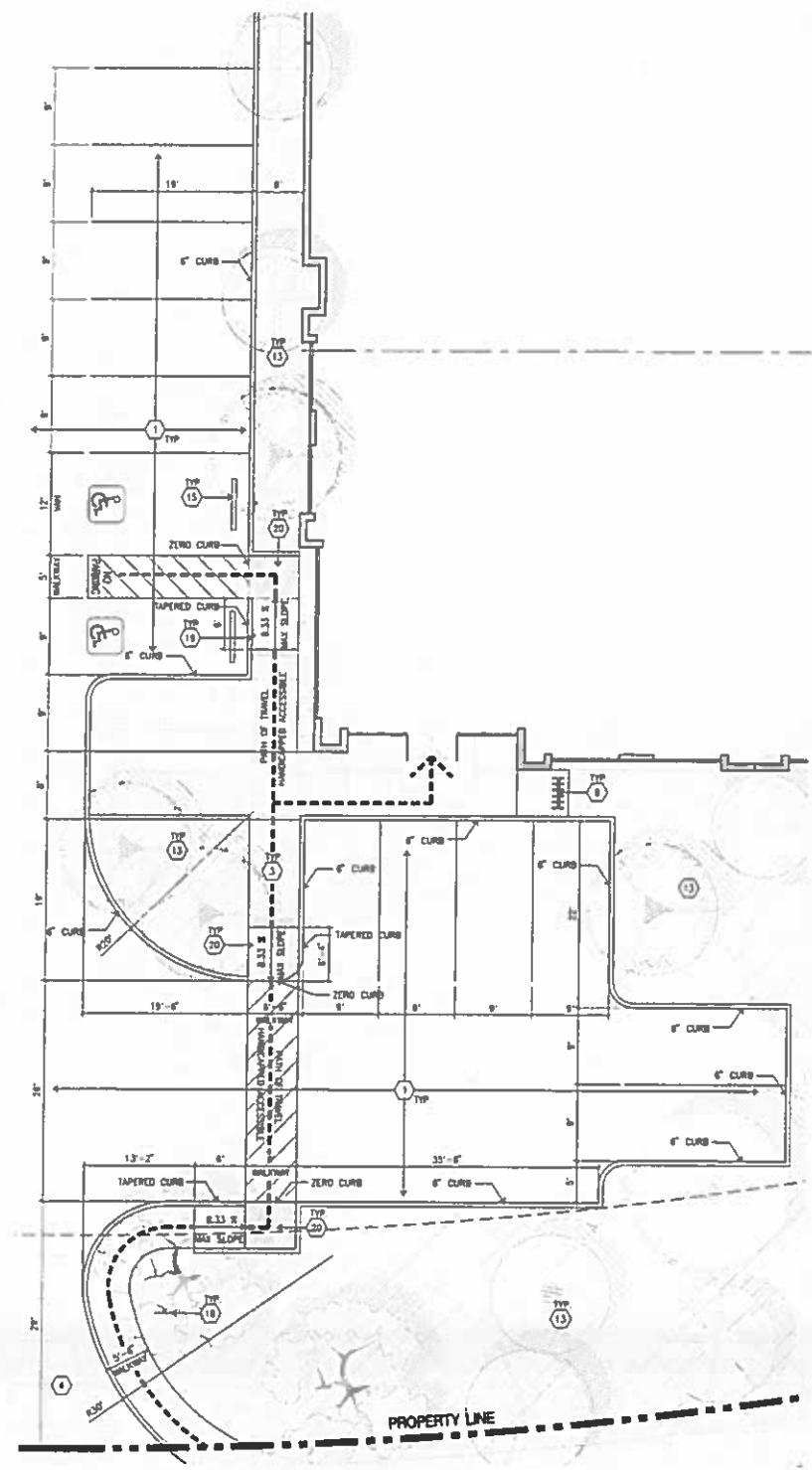
Consultants:
HICKS & HARTWICK INC.
Civil
Structural
Mechanical
Plumbing
Electrical
Landscape
Landscape
Fire Protection
Site E. Plans
SPLAN INC.

Title: overall site plan @ Bldg. 3

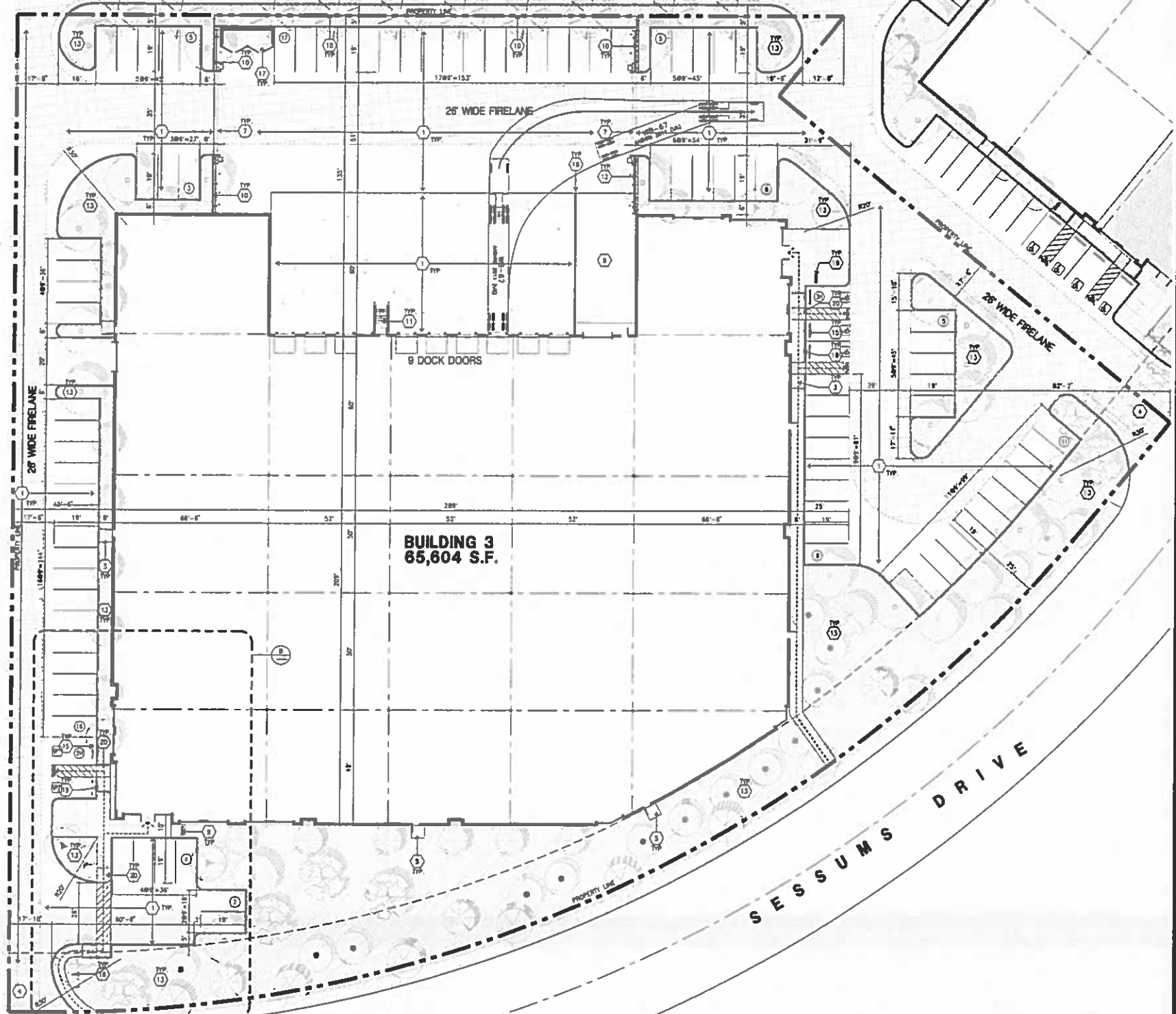
Project Number: 14282
Drawn by: ML
Date: 08/05/15
Revision:

Sheet:

3-A1.1



ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"
TRUE NORTH



OVERALL FLOOR PLAN
SCALE: 1" = 30'-0"
TRUE NORTH

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 NOT USED
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED
- 5 3'-4" x 8'-4" x 4" THICK CONCRETE EXTERIOR LAUNCH PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH I.C.C.
- 7 PROVIDE 8" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 CONCRETE RAMP W/ 4" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 8" HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- 11 EXTERIOR CONCRETE STAIR.
- 12 8" HIGH CONCRETE TILT-UP SCREEN WALL.
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 EMPLOYEE BREAK/SHADING AREA.
- 15 PRE-CAST CONCRETE WHEED STOP.
- 16 CONCRETE FILLED GUARD POST 6 DIA. U.N.D. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.
- 21 APPROXIMATE LOCATION OF FIRE HYDRANT.
- 22 WALL MOUNTED LIGHTING FIXTURE.
- 23 SITE LIGHT POLE W/ CONCRETE BASE.
- 24 8" HIGH METAL SPRING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 25 NOT USED

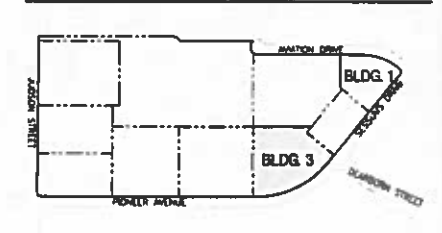
SITE PLAN GENERAL NOTES

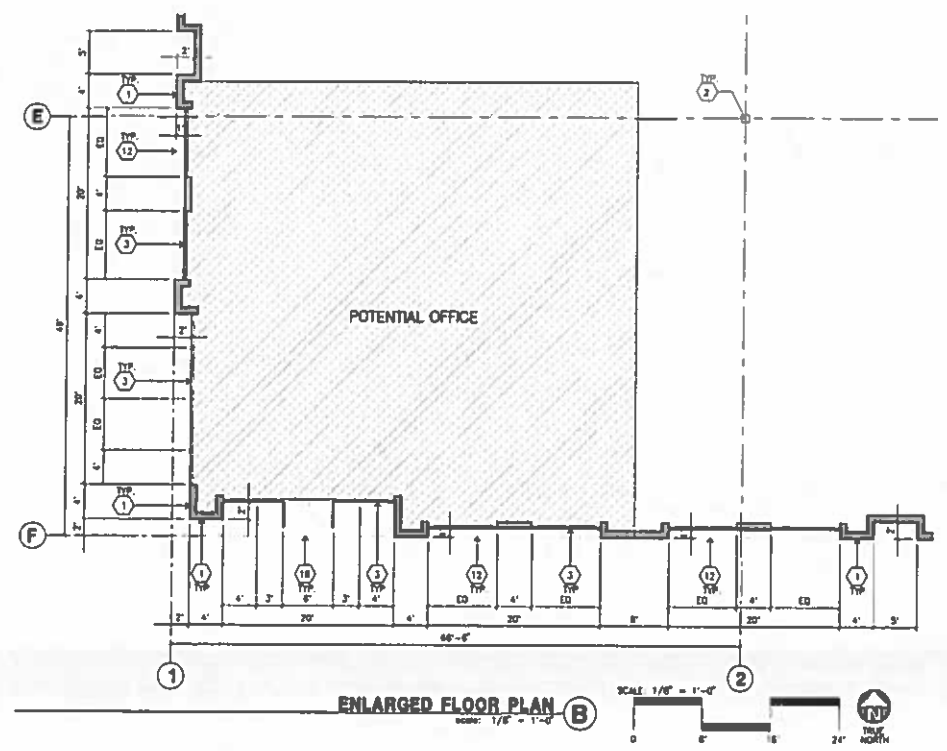
1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBO
2. IF SOILS ARE EXPENSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.D.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SPALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDING SHALL BE A MINIMUM OF 4" THICK W/ TYPICAL JOINTS AT 8' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" O.C. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4" FINISH TO BE A MEDIUM BROOM FINISH U.N.D.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.

SITE PLAN GENERAL NOTES

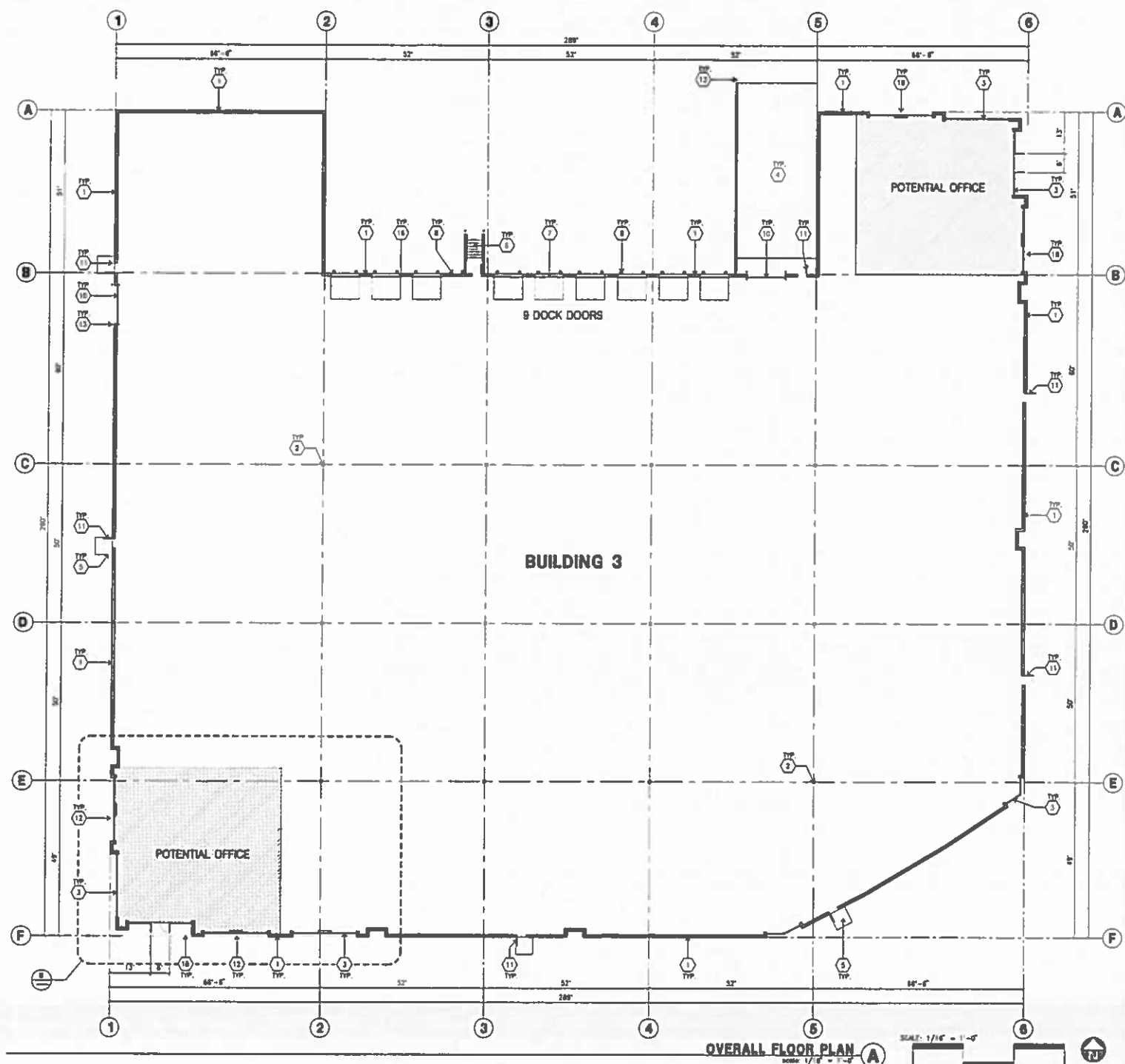
- CONCRETE FINISH
- SEE "C" DRVS. FOR THICKNESS
- STANDARD PARKING STALL (8' x 18')
- LANDSCAPED AREA
- 26' WIDE FIRELANE
- HANDICAP PARKING STALL (8' x 18') W/ 5' ACCESSIBLE AISLE
- HANDICAP PARKING STALL (12' x 18') W/ 5' ACCESSIBLE AISLE
- PATH OF TRAVEL

KEYMAP





ENLARGED FLOOR PLAN (B)
SCALE: 1/8" = 1'-0"
DATE: 1/8" = 1'-0"



OVERALL FLOOR PLAN (A)
SCALE: 1/8" = 1'-0"
DATE: 1/8" = 1'-0"

FLOOR PLAN KEYNOTES

1. CONCRETE TILT-UP PANEL.
2. STRUCTURAL STEEL COLLAR.
3. TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLDG-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATION.
4. CONCRETE RAMP W/ 4" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
5. 2'-0" TO 4'-0" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BRUSH FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
6. EXTERIOR CONCRETE STAIR W/ 4" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
7. 8' X 10' TRUCK DOOR, SECTIONAL OTH., STANDARD GRADE.
8. 4' X 8' LOANED OPENING FOR VENTILATION.
9. DOCK DOOR BUMPER TYPICAL.
10. 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
11. 3' X 7' HOLLOW METAL EXTERIOR MAIN DOOR.
12. SOFFIT LINE ABOVE.
13. CONIC. FILLED GUARD POST. 6" DIA. U.H.D. 42TH.
14. EMPLOYEE BREAK/SHOAKING AREA.
15. PRE-CAST CONCRETE WHEEL STOP.
16. 2 GUARD.
17. APPROXIMATE LOCATION OF ELECTRICAL ROOM.
18. METAL CANOPY ABOVE.
19. INTERIOR BIKE RACK TYPICAL.
20. NOT USED.
21. NOT USED.

FLOOR PLAN GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAIN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLLARS ARE TO BE WHITE. PRIMER ONLY. ALL EXP. BOL WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MAIN DOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, CORNER, OR FACE OF STUD U.H.D.
7. SEE CHAL. DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
8. FOR DOOR TYPES AND SIZES, SEE METAL SHEET -- NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMPED INCLUDING GENS AND TRUCKS.
10. ALL EXIT MAIN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HANGING 6"
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT" THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW, SEE A/A-1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DRGS FOR ADDITIONAL REQUIREMENTS
1. FLOOR COMPACTION - 95%
 2. TRENCH COMPACTION - 95%
 3. BUILDING FLOOR SLAB:
 - A. 8" THICK MIN. UN-REINFORCED CONCRETE OVER COMPACTED SOILS
 - B. 3/4" - 18" LONG @ 12" O.C. BOWLS AT ALL CONSTRUCTION JOINTS
 - C. 3/4" - 18" LONG @ 24" O.C. BOWLS IN DOWN BASKET AT ALL CONTROL JOINTS
 - D. 4200 P.S.I. REQUIREMENT.
 - E. JOINT SPACING PER A.S.I. 302-RR-98
 - F. SAMP-OUT DEPTH 1/4 T; SOFT SAMP-CUTTING WITHIN 2 HRS OF FINISHING
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.S.I. 302-RR-98
 5. CONCRETE SLAB TO HAVE STEEL FLOOR HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET DURING USING BURLAP FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAMPED.
 8. NO CRACKS. CONCRETE TRUCKS OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE FT30 FL35 MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (1) SHAL STEED (ON CEILING) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
- CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER WOODEN ARE REQUIRED, SHALL BE NATURALLY MOISTURED WITHOUT USE OF BURLAP, CURING COMPOUND, OR RELEASE AGENTS.
- CONCRETE/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH W-80 JOINT FILLER IN FUTURE OFFICE AREAS.
17. SEAL CONCRETE SLAB W/ 'LIPOLIGHT' SEALER

Owner:
ROSSMORE ENTERPRISES

805 E MAIN ST. STE #7
ASPEN, CO 81611
TEL: 970-429-8253

Project:
REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92374

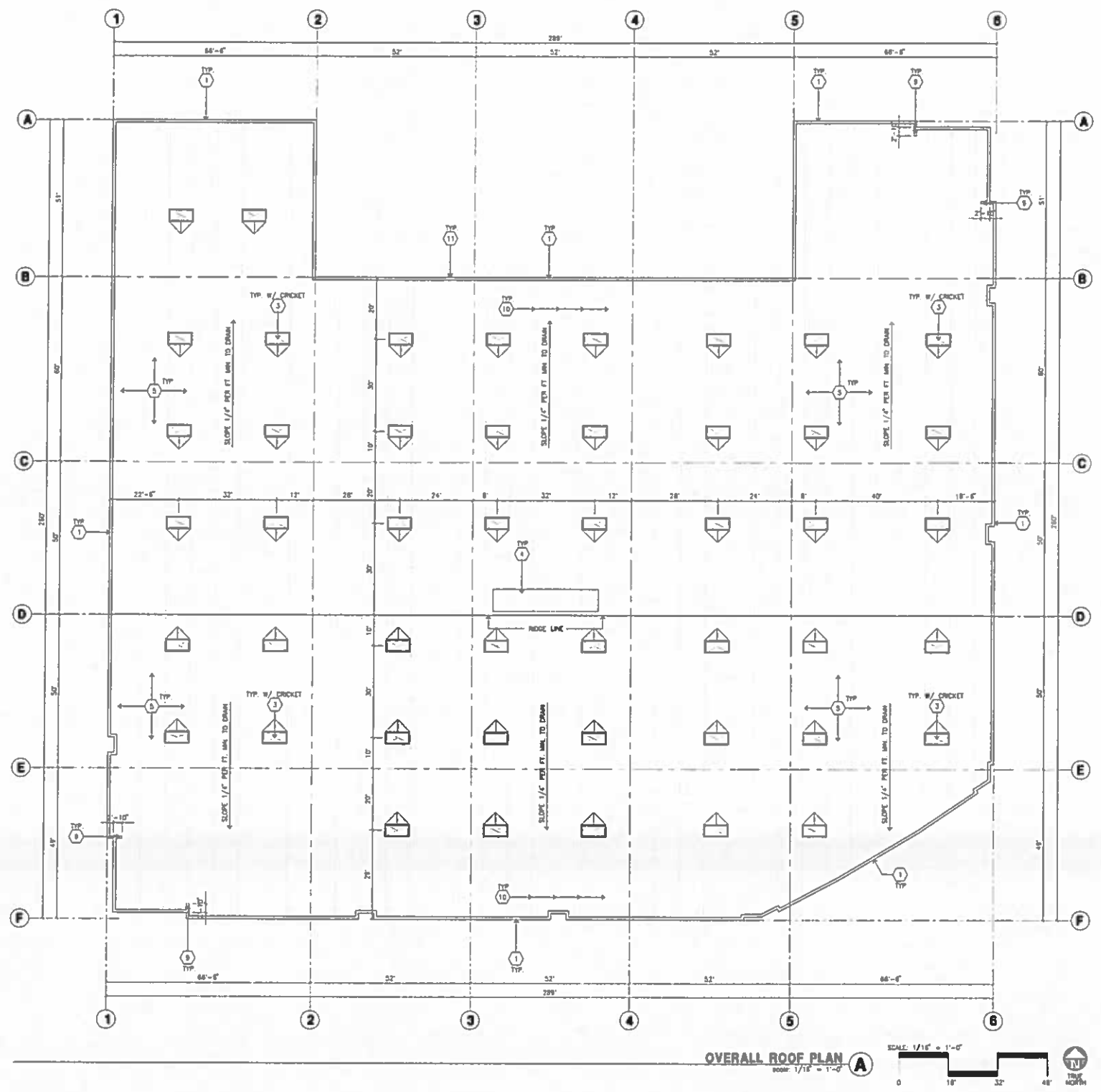
Consultants:

Civil: **HICKS & HARTWICK INC.**
Structural: _____
Mechanical: _____
Plumbing: _____
Electrical: _____
Landscape: **SPLAN INC.**
Fire Protection: _____
Soil Engineer: _____

Title: overall roof plan @ bldg. 3

Project Number: 14282
Drawn by: ML
Date: 08/05/15
Revision: _____

Sheet:
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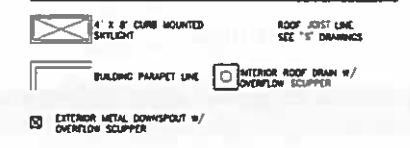
ROOF PLAN KEYNOTES

- 1 CONCRETE PARAPET, SEE "S" DRAWINGS FOR THICKNESS.
- 2 A/C UNIT, SEE "M" DRAWINGS. PROVIDE SUPPORT @ ROOF AS REQUIRED.
- 3 4" x 8" CURB MOUNTED SKYLIGHT/SMOKE HATCH.
- 4 ROOF ADDRESS PAINTED BLACK 4" HIGH W/ 1/2" WIDE STROKE PER LETTER.
- 5 PROVIDE 4-PLY BUILT-UP ROOFING OVER ROOF SHEATHING OVER ROOF FRAMING. U.N.C. ROOFING TO BE NO. 24 CAP ROOFING BY JOHNS-MANVILLE OR EQUAL (CLAS A BATED) 10 YEAR NO DOLLAR LAMT WARRANTY AND 3 YEAR LABON GUARANTEE.
- 6 APPROXIMATE LOCATION OF EXHAUST FAN.
- 7 APPROXIMATE LOCATION OF ROOF HATCH.
- 8 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 9 PARAPET RETURN.
- 10 STRUCTURAL JOIST SEE "S" DRAWINGS.
- 11 EXTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 12 NOT USED.
- 13 NOT USED.

ROOF PLAN GENERAL NOTES

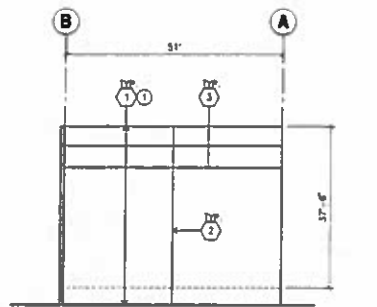
- 1 ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, GRIDLINE, OR FACE OF STUD (U.N.C.)
- 2 VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT) PRIOR TO ROOF INSULATION INSTALLATION.
- 3 REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
- 4 CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
- 5 FOR TYP. ROOF PENETRATIONS, SEE DETAIL & 9.16/AD.3 CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
- 6 CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
- 7 CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ THE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS. SKYLIGHT ON DRAWINGS ARE APPROXIMATE.
- 8 ALL SKYLIGHTS TO BE DESIGNED PER WIND SPEED DESIGN CRITERIA W/ STRONGER FRAMES, SUPPORTS AND DOMES. MANUFACTURER TO CONFIRM W/ WINDING.
- 9 ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN 8" DIA., SEE "P" DRAWINGS FOR EXACT SIZE.
- 10 PROVIDE SHAPED CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN).
- 11 BUILT UP ROOFING TO BE DESIGNED FOR 1.90 AND TO BE A U.L. CLASS A ROOF. FLASHING 6AT TYPE S&B MOPPED AP SHEET, U.L. TYPE 63 BUR.
- 12 ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS. PROPER REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY INSTANT (FNI) WIND UPLIFT PRESSURE REQUIREMENTS.
- 13 ALL SKYLIGHTS TO BE PLACED A MIN OF 18"-0" FROM INSIDE FACE OF PARAPET.
- 14 USE WHITE SCUM FOL INSULATION IN THE WAREHOUSE AREA.
- 15 SMOKE VENTS SHALL BE REQUIRED IF AREAS FOR "POTENTIAL OFFICES" WILL BE USED FOR HIGH-PRI. COMBUSTIBLE STORAGE.
- 16 ROOF DRAIN, OVERFLOW DRAINS AND RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTING DRAIN, WASTE AND VENT SYSTEMS.
- 17 ROOF DRAIN, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
- 18 MANUFACTURED ROOF DRAINS AND OVERFLOWS(FITURES) SHALL BE WAND LISTED.

ROOF LEGEND

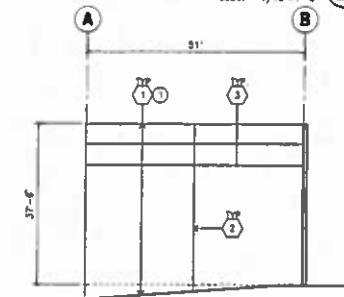


SKYLIGHT CALCULATION

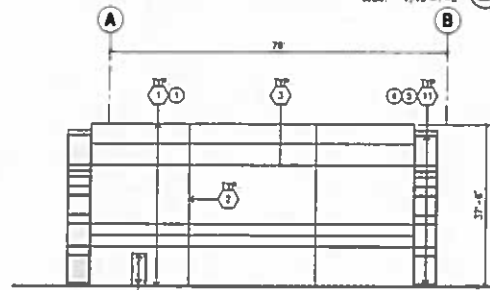
BUILDING FOOTPRINT	= 63,804 S.F.
SKYLIGHTS PROVIDED	= 2.5% = 1,594 S.F. (47 EA.)



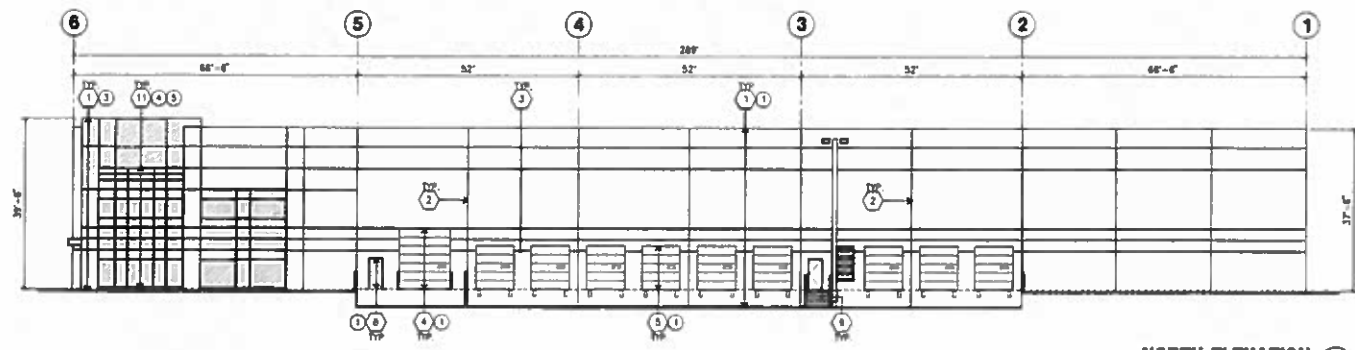
NORTHWEST ELEVATION
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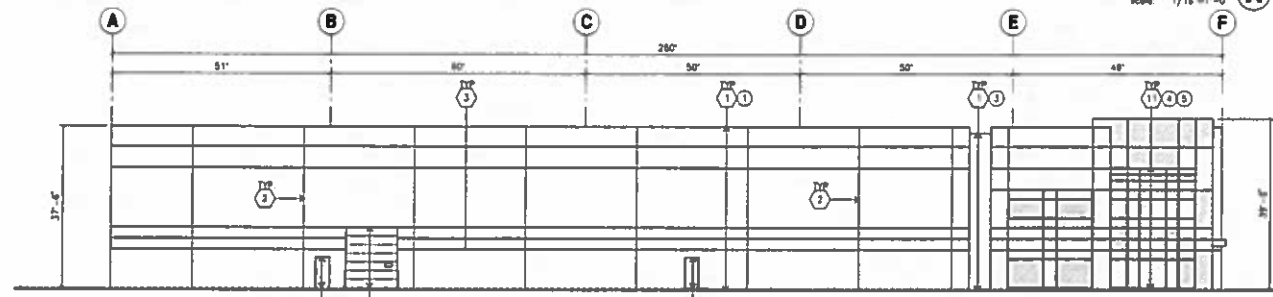
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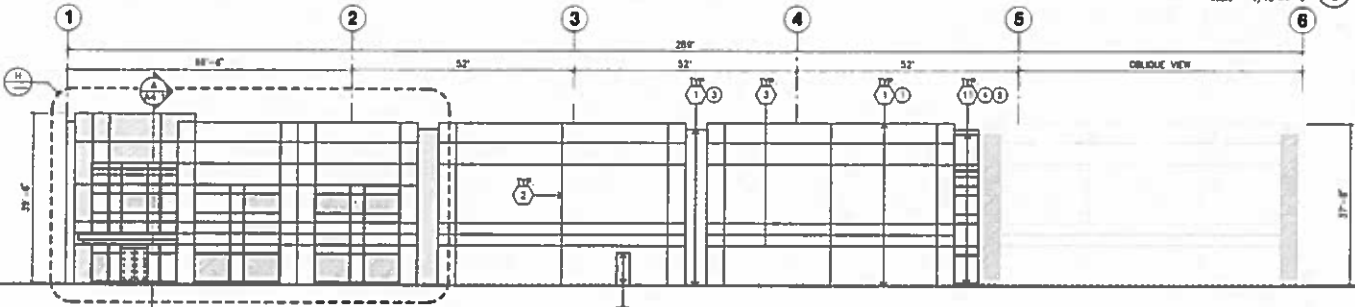
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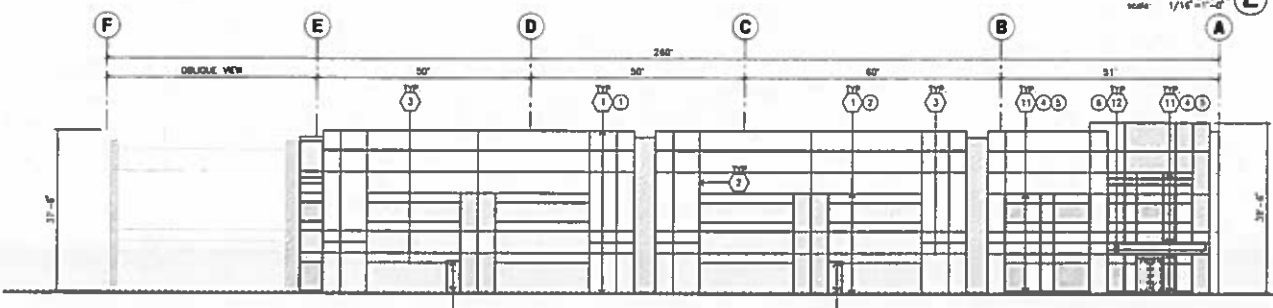
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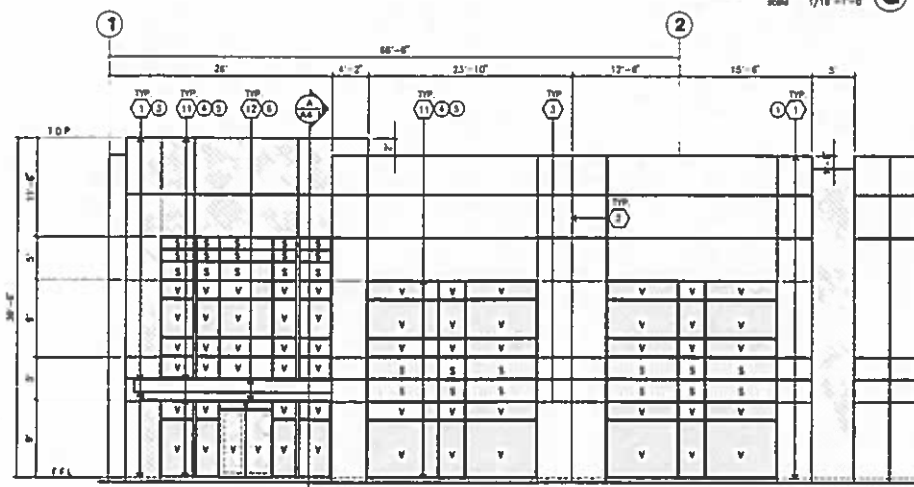
NORTH ELEVATION
scale: 1/16"=1'-0"



NORTH ELEVATION
scale: 1/16"=1'-0"



NORTH ELEVATION
scale: 1/16"=1'-0"



ENLARGED SOUTH ELEVATION
scale: 1/8"=1'-0"

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL
- 2 PANEL JOINT
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O. 12" x 12" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 4 8" x 10" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 CONCRETE STAIR LANDING AND CORNER. W/ METAL PIPE MANGRAL. PROVIDE NON-SLIP TREAD TO MEET ADA REQUIREMENTS. PROVIDE CONTRACTIVE COLORED 3" WIDE WARNING STRIPE INTERNAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 6 4" x 8" METAL LAMER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 7 HOLLOW METAL DOORS PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR.
- 8 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 9 DOOR BUMPER TYPICAL.
- 10 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SPOUTS ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 11 METAL CANOPY
- 12 KNOCK OUT PANEL
- 13 EXTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS
- 14 CONC. FILLED GUARD POST 6" DIA. U.N.O. 42"H.
- 15 NOT USED
- 16 NOT USED
- 17 NOT USED

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL. = TOP OF PARAPET ELEVATION
4. FF = FINISH FLOOR ELEVATION
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND UNITS SHALL BE DESIGNED TO RESIST A MIN. EXPOSURE 1" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BOUND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEALS FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL COLOR : SW 7006 EXTRA WHITE
 - 2 CONCRETE TILT-UP PANEL COLOR : SW 7073 NETWORK GRAY
 - 3 CONCRETE TILT-UP PANEL COLOR : SW 7075 WEB GRAY
 - 4 GLAZING COLOR : BLUE REFLECTIVE GLAZING
 - 5 MULLIONS COLOR : CLEAR ANODIZED
 - 6 CANOPY MATERIAL : ALUMINUM COMPOSITE PANEL
 - 7 DOOR COLORS : MATCH BUILDING COLOR
- * PAINT TO BE SHERWIN WILLIAMS UNLESS NOTED OTHERWISE

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED
- SPANDREL GLASS VISION GLASS
- ALL GLAZING TO BE TEMPERED
- GLAZING: PPG SOLARCOD (2) PACIFICA + SOLARBAN 80 (1) CLEAR U. 0.29. SHGC. 0.15. VLT. 10%
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES
- SPANDREL : 1/4" SOLARCOD PACIFICA SPANDREL W/ HARBOR GRAY SPACEDAT PAINTED ON REFLECTIVE.
- MULLIONS: ANODIZED CLEAR



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Project:
REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92374

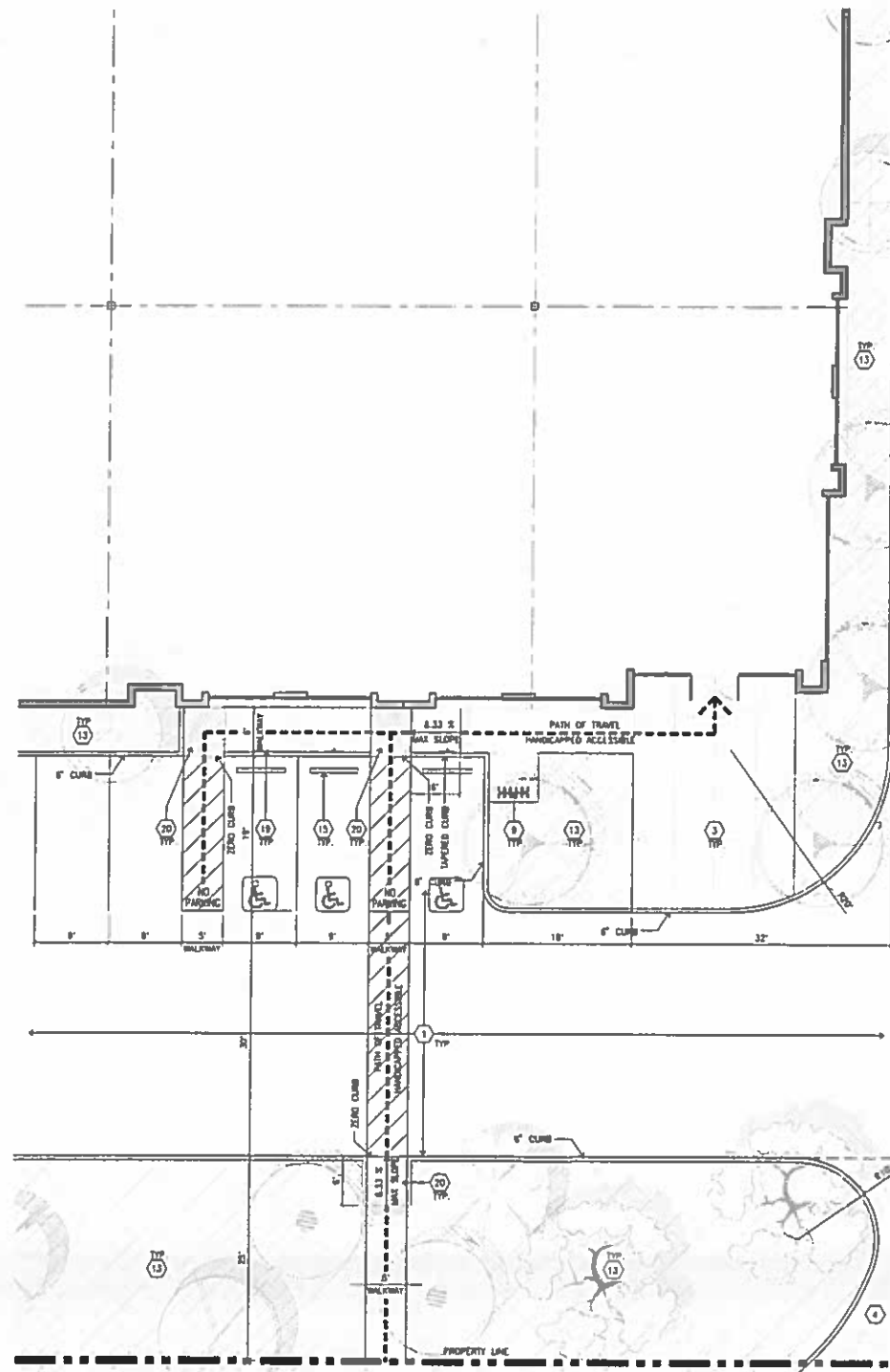
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Structural: _____
Mechanical: _____
Plumbing: _____
Electrical: _____
Landscape: SPLAN INC.
Fire Protection: _____
Soil & Engine: _____

Title: Aviation Bldg 3

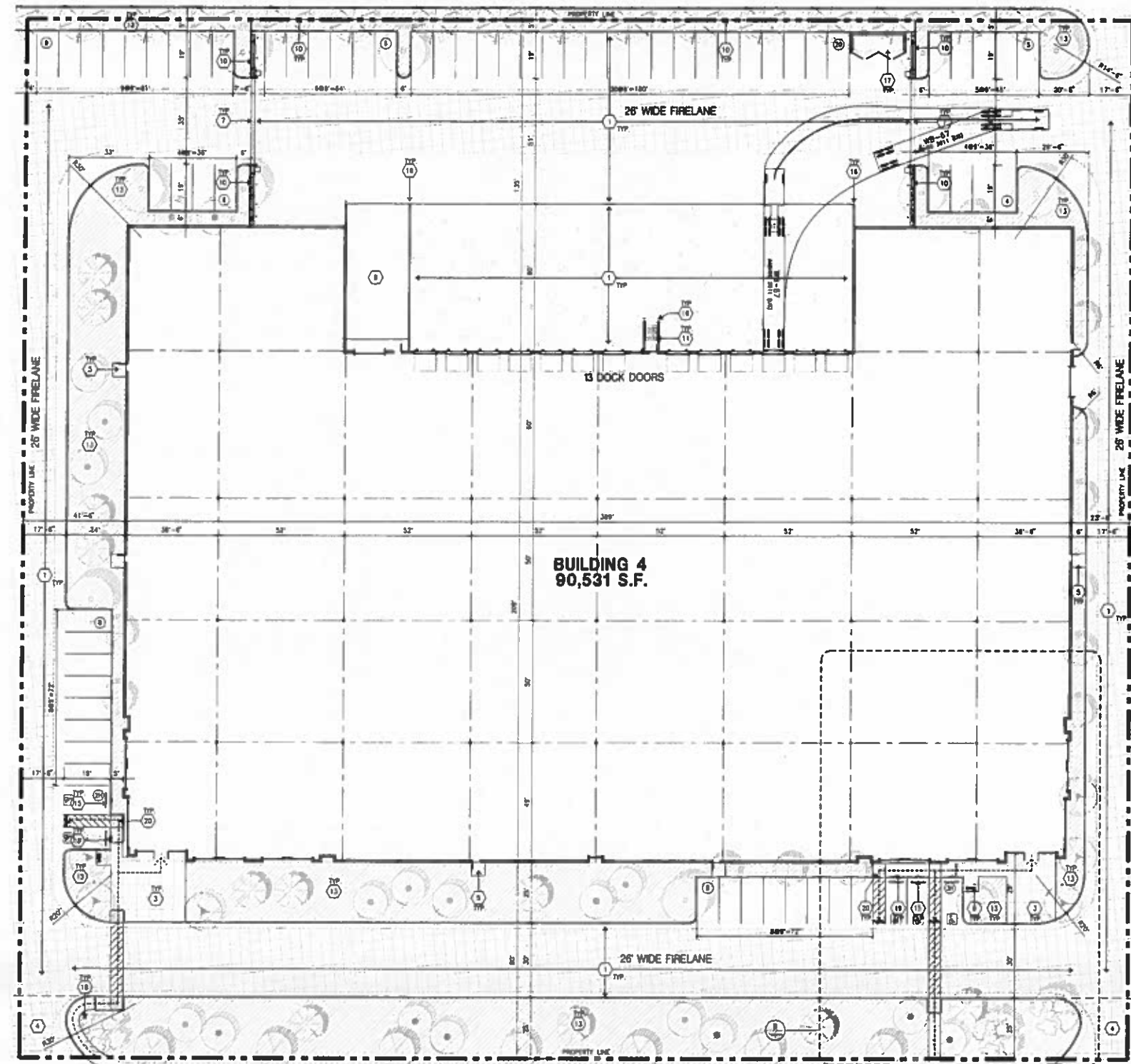
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Drawn by: ML
Date: 08/06/15
Revision: _____

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ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"



OVERALL FLOOR PLAN
SCALE: 1/8" = 1'-0"

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 NOT USED
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED
- 5 3"-8" x 3"-8" x 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR WALK DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
- 7 PROVIDE 8" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 CONCRETE RAMP W/ 4" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 8" HIGH METAL FENCE. SEE A4.7 FOR DETAILS.
- 11 EXTERIOR CONCRETE STAIR.
- 12 8" HIGH CONCRETE TILT-UP SCREEN WALL.
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 EMPLOYEE BREAK/SMOKING AREA.
- 15 PRE-CAST CONCRETE WHEL STOP.
- 16 CONCRETE FILLED OUMD POST 7.6 DIA. U.I.D. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.
- 21 APPROXIMATE LOCATION OF FIRE HYDRANT.
- 22 WALL MOUNTED LIGHTING FIXTURE.
- 23 SITE LIGHT POLE W/ CONCRETE BASE.
- 24 8" HIGH METAL SPRING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 25 NOT USED

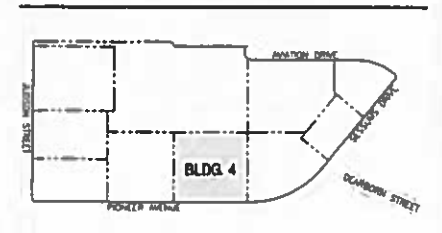
SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TSD
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR CURB LINE U.I.D.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SHOALS.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 8' O.C. EXPANSION/CONTRACTION JOINTS SHALL BE A MAXIMUM 1/2" DIA. W/ EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4" FINISH TO BE A MEDIUM BROOM FINISH U.I.D.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.

SITE PLAN GENERAL NOTES

- CONCRETE PAVING
SEE "C" DRINGS FOR THICKNESS
- STANDARD PARKING STALL (8' x 18')
- LANDSCAPED AREA
- 26' WIDE FIRELANE
- HANDICAP PARKING STALL (8' x 18') W/ 5' ACCESSIBLE AISLE
- HANDICAP PARKING STALL (WAV) (11' x 18') W/ 5' ACCESSIBLE AISLE
- PATH OF TRAVEL

KEYMAP



CAUTION : IF THIS SHEET IS NOT A 36" X 42" IT IS A REDUCED PRINT



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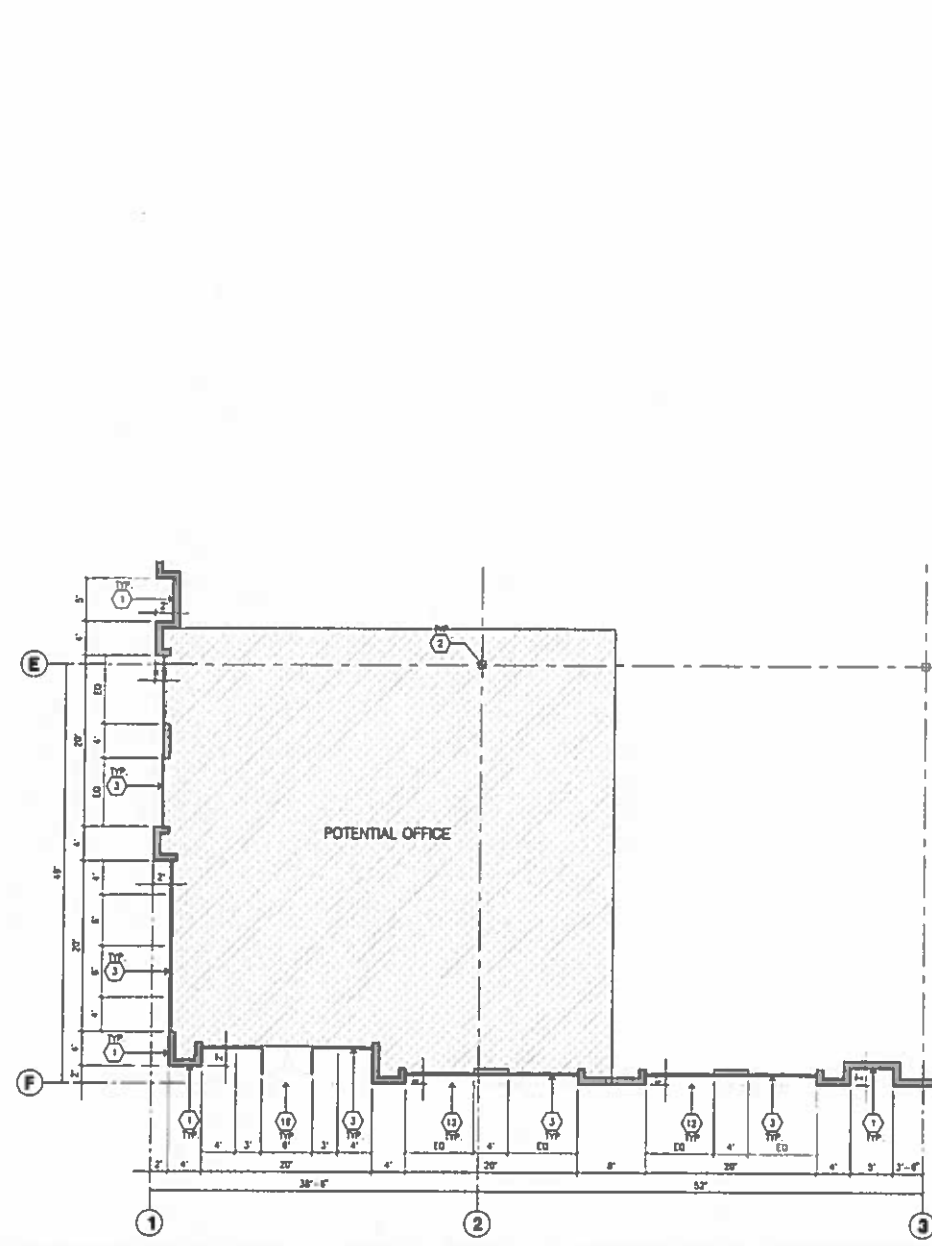
Consultants:
Civil: HICKS & HARTWICK INC.
Structural: _____
Mechanical: _____
Plumbing: _____
Electrical: _____
Landscape: SPLAN INC.
Fire Protection: _____
Soil's Engineer: _____

Title: overall site plan @ bldg. 4

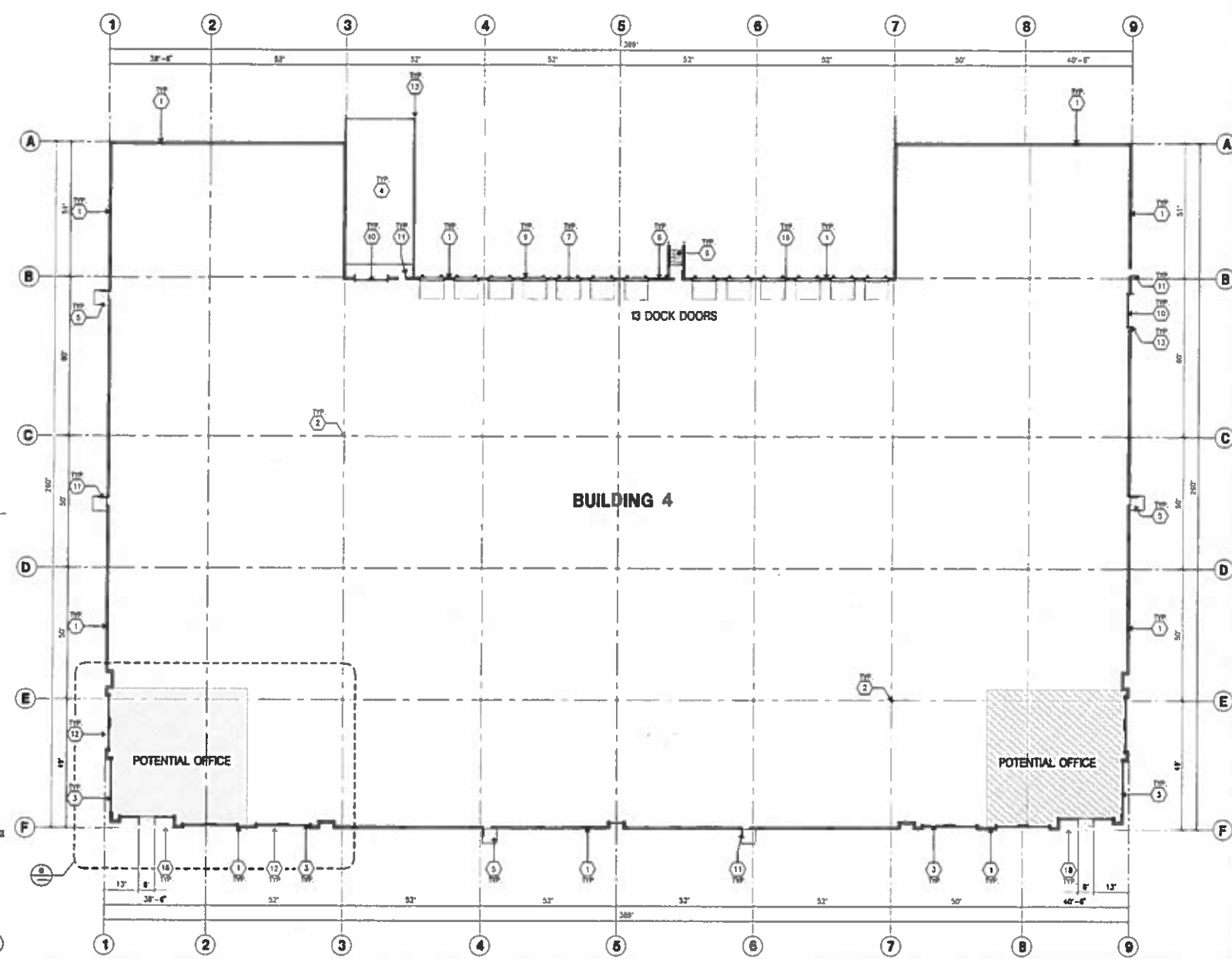
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Drawn by: ML
Date: 08/05/18
Revision: _____

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ENLARGED FLOOR PLAN
SCALE: 1/8" = 1'-0"



OVERALL FLOOR PLAN
SCALE: 1" = 30'-0"



FLOOR PLAN KEYNOTES

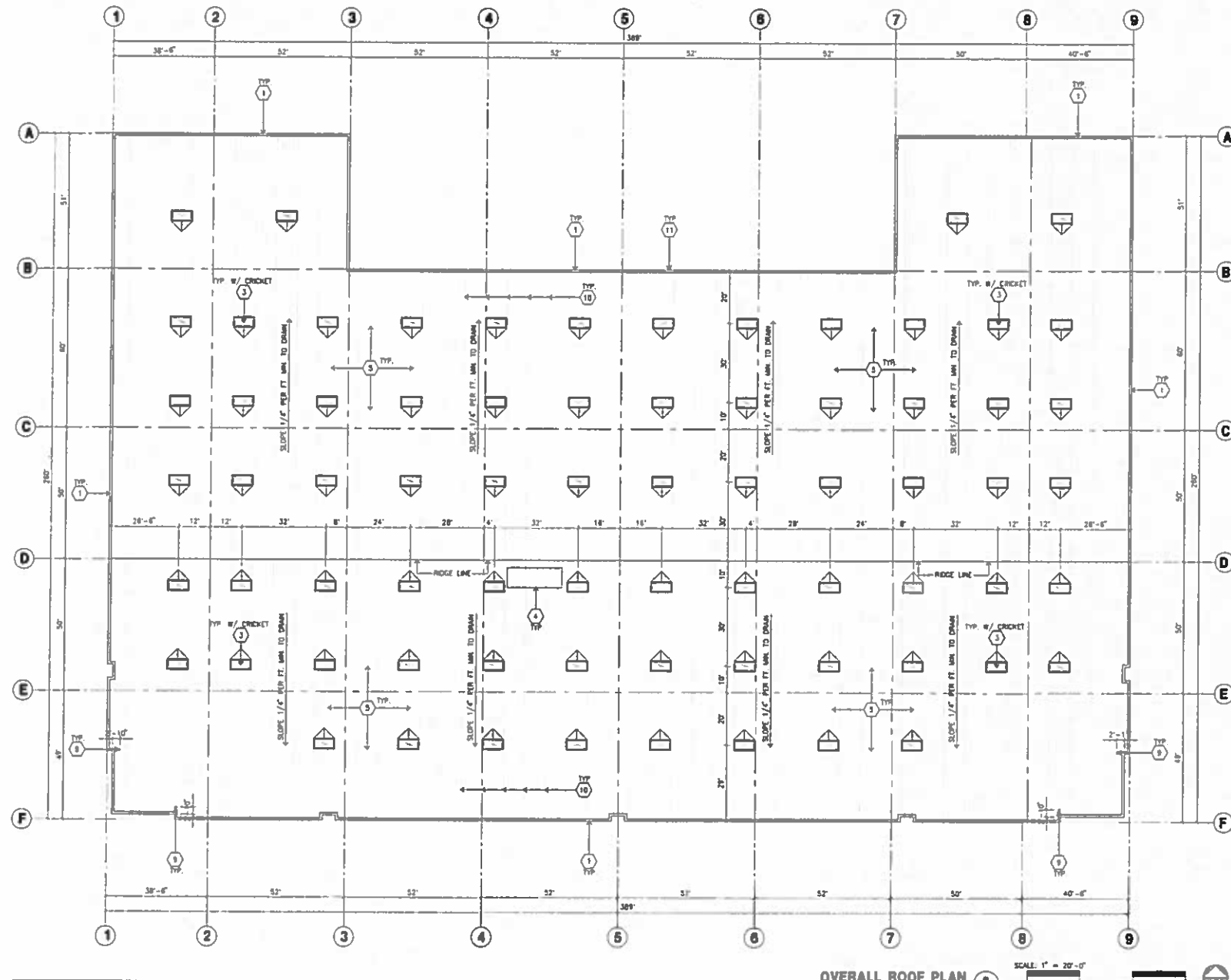
1. CONCRETE TILT-UP PANEL.
2. STRUCTURAL STEEL COLUMN.
3. TYPICAL STOREFRONT SYSTEM WITH CLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
4. CONCRETE RAMP W/ 4" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
5. 3'-0" x 3'-0" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROWN FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
6. EXTERIOR CONCRETE STAIR W/ 4" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
7. 3' x 7' HOLLOW METAL EXTERIOR MAIN DOOR.
8. 4' x 3' 8" LOUVERED OPENING FOR VENTILATION.
9. DOCK DOOR BUMPER TYPICAL.
10. 12' x 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
11. 3' x 7' HOLLOW METAL EXTERIOR MAIN DOOR.
12. SOFTEN LINE ABOVE.
13. CONIC FILLED GUARD POST. 6" DIA. U.M.D. 42"H.
14. EMPLOYEE BREAK/SMOKING AREA.
15. PRE-CAST CONCRETE WHEEL STOP.
16. 2 GUARD.
17. APPROXIMATE LOCATION OF ELECTRICAL ROOM.
18. METAL CANOPY ABOVE.
19. INTERIOR BRKZ RACK TYPICAL.
20. NOT USED.
21. NOT USED.

FLOOR PLAN GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAIN DOORS AT 100' MAXIMUM O.C. A SEPARATE PLAN WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE FINISH ONLY. ALL CYP. BR. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE PEAR STRIP 1/2" TO EXTERIOR AT ALL WINDOW EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, CRUISE, OR FACE OF STUD U.L.D.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
8. FOR DOOR TYPES AND SIZES. SEE DETAIL SHEET. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMPED INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAIN DOORS IN WAREHOUSE TO HAVE ELIMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SEE PER DDC 11336.1.1.1
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREWED FROM PUBLIC VIEW. SEE A/4.1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS.
1. FLOOR COMPACTION - B32.
 2. TRENCH COMPACTION - B32.
 3. BUILDING FLOOR SLAB:
 - A. 8" THICK MIN. LHM-REINFORCED CONCRETE OVER COMPACTED SOILS
 - B. 3/4" - 1" LONG @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS
 - C. 3/4" - 1" LONG @ 24" O.C. DOWELS IN DOWEL BASKET AT ALL CONTROL JOINTS.
 - D. 4,000 P.S.I. REQUIREMENT.
 - E. SLAB TO BE 4'-0" x 4'-0"
 - F. JOINT SPACING PER A.C.I. 302-R-96
 - G. SAW-CUT DEPTH 1/4" 1; SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-R-96
 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH
 6. CONTRACTOR TO CURE SLAB TO BE W/C CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAMPED.
 8. NO CONCRETE TRUCKS, OR ANYTHING HEAVY WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE 7750 P.S.I. MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15#M. STEED OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 12. CONCRETE SLAB IN FUTURE OFFICE AREAS WHERE SAND OVER WOODEN ARE REQUIRED, SHALL BE NATURALLY MOISTENED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
 13. CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.
 14. SEAL CONCRETE SLAB W/ "LIPDOLITY" SEALER



OVERALL ROOF PLAN



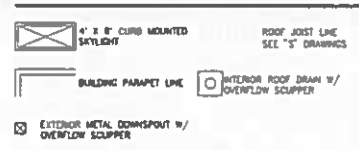
ROOF PLAN KEYNOTES

- 1 CONCRETE PARAPET, SEE "S" DRAWINGS FOR THICKNESS
- 2 A/C LINE, SEE "L" DRAWINGS, PROVIDE SUPPORT @ ROOF AS REQUIRED.
- 3 4" X 8" CURB MOUNTED SKYLIGHT/SMOKE HATCH.
- 4 ROOF ADDRESS PAINTED BLACK 4" HIGH W/ 1" WIDE STROKE PER LETTER.
- 5 PROVIDE 4-PLY BUILT-UP ROOFING OVER ROOF SHEATHING OVER ROOF FRAMING, U.L.D., ROOFING TO BE NO-24 CAP ROOFING BY JOHNS-MANVILLE OR EQUAL (CLASS A RATED) 10 YEAR NO DOLLAR LIMIT WARRANTY AND 3 YEAR LABOR GUARANTEE
- 6 APPROXIMATE LOCATION OF EXHAUST FAN.
- 7 APPROXIMATE LOCATION OF ROOF HATCH
- 8 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS
- 9 PARAPET RETURN
- 10 STRUCTURAL JOIST, SEE "S" DRAWINGS
- 11 EXTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS
- 12 NOT USED
- 13 NOT USED

ROOF PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, GROUND, OR FACE OF STUD (U.L.D.)
2. VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT) PRIOR TO ROOF INSULATION INSTALLATION.
3. REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
4. CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
5. FOR TYP ROOF PENETRATIONS, SEE DETAIL B, 8, 10/AD3 CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
6. CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
7. CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS, LOCATIONS ON DRAWINGS ARE APPROXIMATE.
8. ALL SKYLIGHTS TO BE DESIGNED PER WIND SPEED DESIGN CRITERIA W/ STRONGER FRAMES, SUPPORTS AND DOMES, MANUFACTURER TO CONFIRM IN WRITING.
9. ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN 6" DIA., SEE "P" DRAWINGS FOR EXACT SIZE.
10. PROVIDE SHAPED CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN)
11. BUILT UP ROOFING TO BE DESIGNED FOR 4 90 AND TO BE A U.L. CLASS A ROOF, FLASHING 6M TYPE SMB MOPPED AP SHEET, U.L. TYPE 63 BUR
12. ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS, PROPER REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO FACTORY INSTANT (TYP) WIND UPLIFT PRESSURE REQUIREMENTS
13. ALL SKYLIGHTS TO BE PLACED A MIN. OF 18"-0" FROM INSIDE FACE OF PARAPET.
14. USE WHITE SCREW FOR INSULATION IN THE WAREHOUSE AREA.
15. SMOKE VENTS SHALL BE REQUIRED IF AREAS FOR "POTENTIAL OFFICES" WILL BE USED FOR HIGH PILE COMBUSTIBLE STORAGE.
16. ROOF DRAIN, OVERFLOW DRAINS AND RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTING DRAIN, WASTE AND VENT SYSTEMS.
17. ROOF DRAIN, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
18. MANUFACTURED ROOF DRAINS AND OVERFLOWS(FITURES) SHALL BE MPNO LISTED

ROOF LEGEND



SKYLIGHT CALCULATION

BUILDING FOOTPRINT	= 90,531 SF
SKYLIGHTS PROVIDED	= 25X = 2,304 SF (72 EA)



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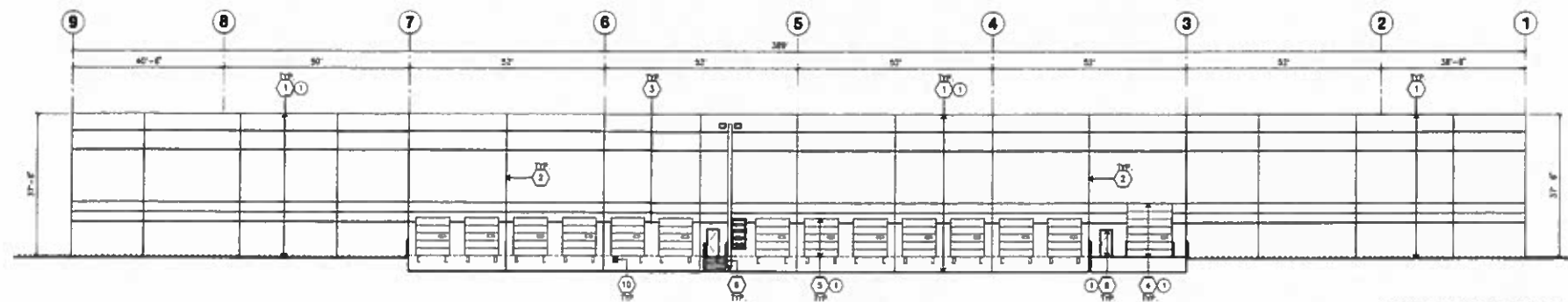
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- Structural: _____
- Mechanics: _____
- Plumbing: _____
- Electrical: _____
- Landscaping: _____
- Fire Protection: SPLAN INC.
- Soil Engineer: _____

Title: overall roof plan @ bldg. 4

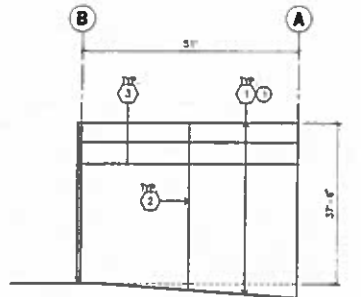
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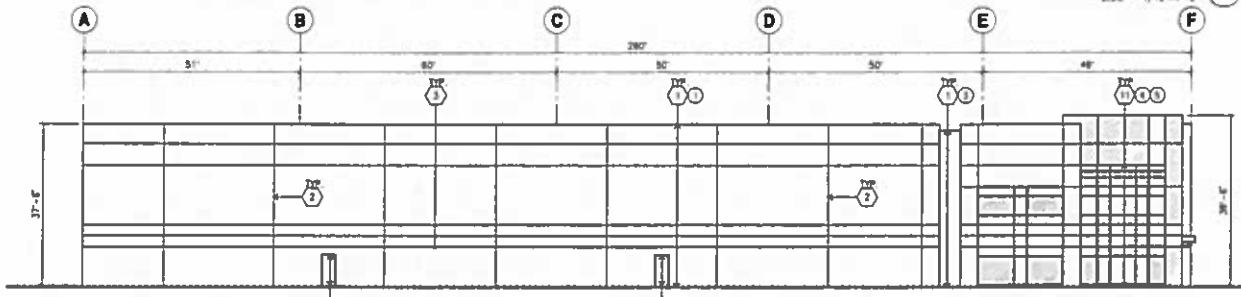
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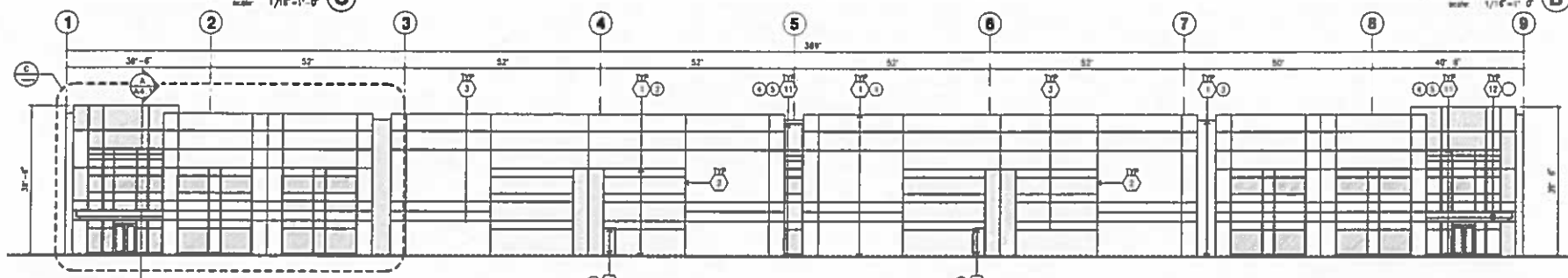
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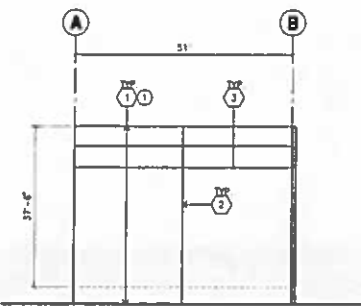
NORTHWEST ELEVATION
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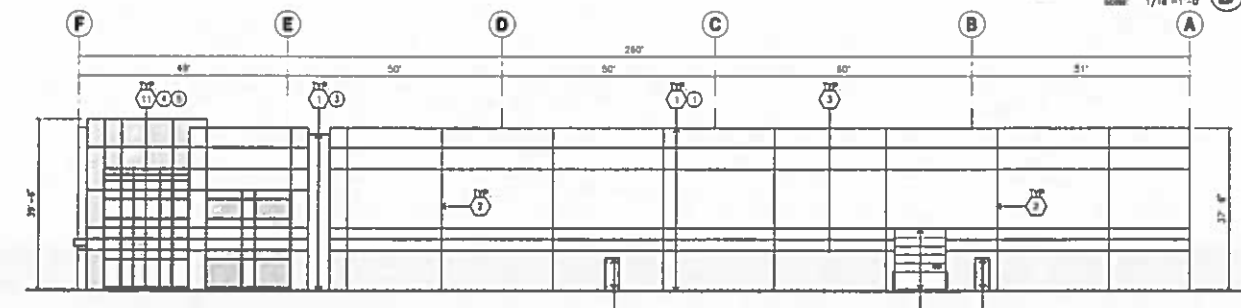
WEST ELEVATION
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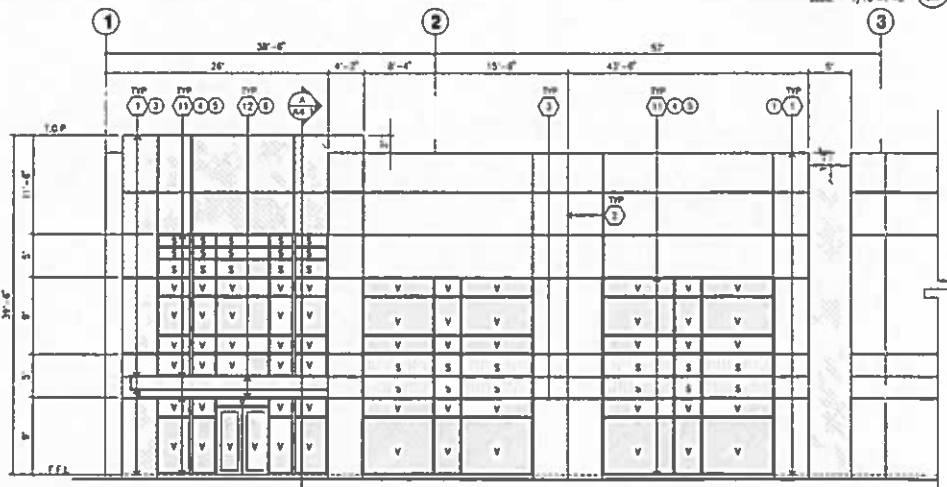
SOUTH ELEVATION
scale 1/16"=1'-0"



NORTHEAST ELEVATION
scale 1/16"=1'-0"



EAST ELEVATION
scale 1/16"=1'-0"



ENLARGED SOUTH ELEVATION
scale 1/8"=1'-0"

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL
- 2 PANEL JOINT
- 3 REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER
- 4 REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 5 12" x 14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 8" x 10" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 7 CONCRETE STAIR, LANDING AND GUARDRAIL. W/ METAL PIPE HANDRAIL. PROVIDE NON SKID HOISING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 2" WIDE WARNING STRIPS INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 8 BUILDING COLOR
- 9 4" x 8" METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 10 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR.
- 11 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 12 DOOR DOOR BUMPER TYPICAL.
- 13 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. PROTECTS ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 14 METAL CANOPY
- 15 KNOCK OUT PANEL
- 16 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS
- 17 CONC. FILLED GUARD POST 6" DIA. @ H.D. 42"
- 18 NOT USED
- 19 NOT USED

ELEVATION GENERAL NOTES

- 1 ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- 2 ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- 3 T.O.P. EL. = TOP OF PARAPET ELEVATION
- 4 FF = FINISH FLOOR ELEVATION
- 5 STOREFRONT CONSTRUCTION. GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 40PSF EXPOSURE 'C' WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- 6 CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL, W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- 7 BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- 8 FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- 9 USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- 10 THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL COLOR : SW 7008 EXTRA WHITE
 - 2 CONCRETE TILT-UP PANEL COLOR : SW 7073 NETWORK GRAY
 - 3 CONCRETE TILT-UP PANEL COLOR : SW 7075 WEB GRAY
 - 4 GLAZING COLOR : BLUE REFLECTIVE GLAZING
 - 5 MALLIONS COLOR : CLEAR ANODIZED
 - 6 CANOPY MATERIAL : ALUMINUM COMPOSITE PANEL
 - 7 DOOR COLORS : MATCH BUILDING COLOR
- * PAINT TO BE SHERWIN WILLIAMS UNLESS NOTED OTHERWISE.

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED
- SPANDREL GLASS VISION GLASS
- ALL GLAZING TO BE TEMPERED
- GLAZING : PPG SOLARCOOL (2) PACIFICA + SOLARBAN 60 (3) CLEAR
 U: 0.29, SHGC: 0.13, VLT: 10%
 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES
- SPANDREL : 1/4" SOLARCOOL PACIFICA SPANDREL W/ HARMONY GRAY SPANDREL PAINTED ON REFLECTIVE.
- MALLIONS ANODIZED CLEAR



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Owner:
ROSSMORE ENTERPRISES

005 E MAIN ST. STE #7
ASPEN, CO 81611
TEL : 878-429-8253

Project:
REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92374

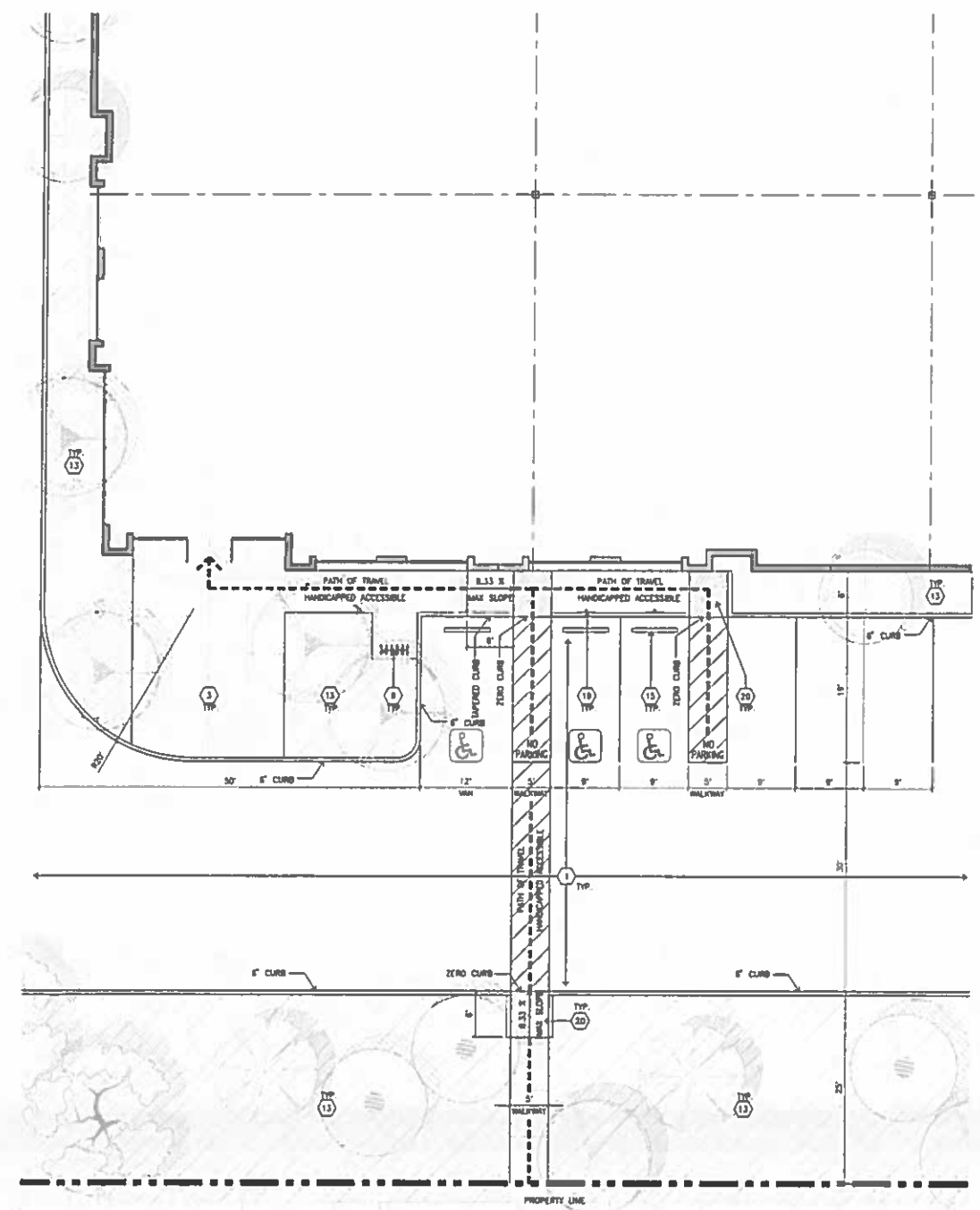
Consultants:
Civil: **HICKS & HARTWICK INC.**
Structure: _____
Mechanics: _____
Plumbing: _____
Electric: _____
Landscape: **SPLAN INC.**
Fire Protection: _____
Soils Engineer: _____

Title: elevation bldg 4

Project Number: 14288
Drawn by: ML
Date: 08/05/15
Revision: _____

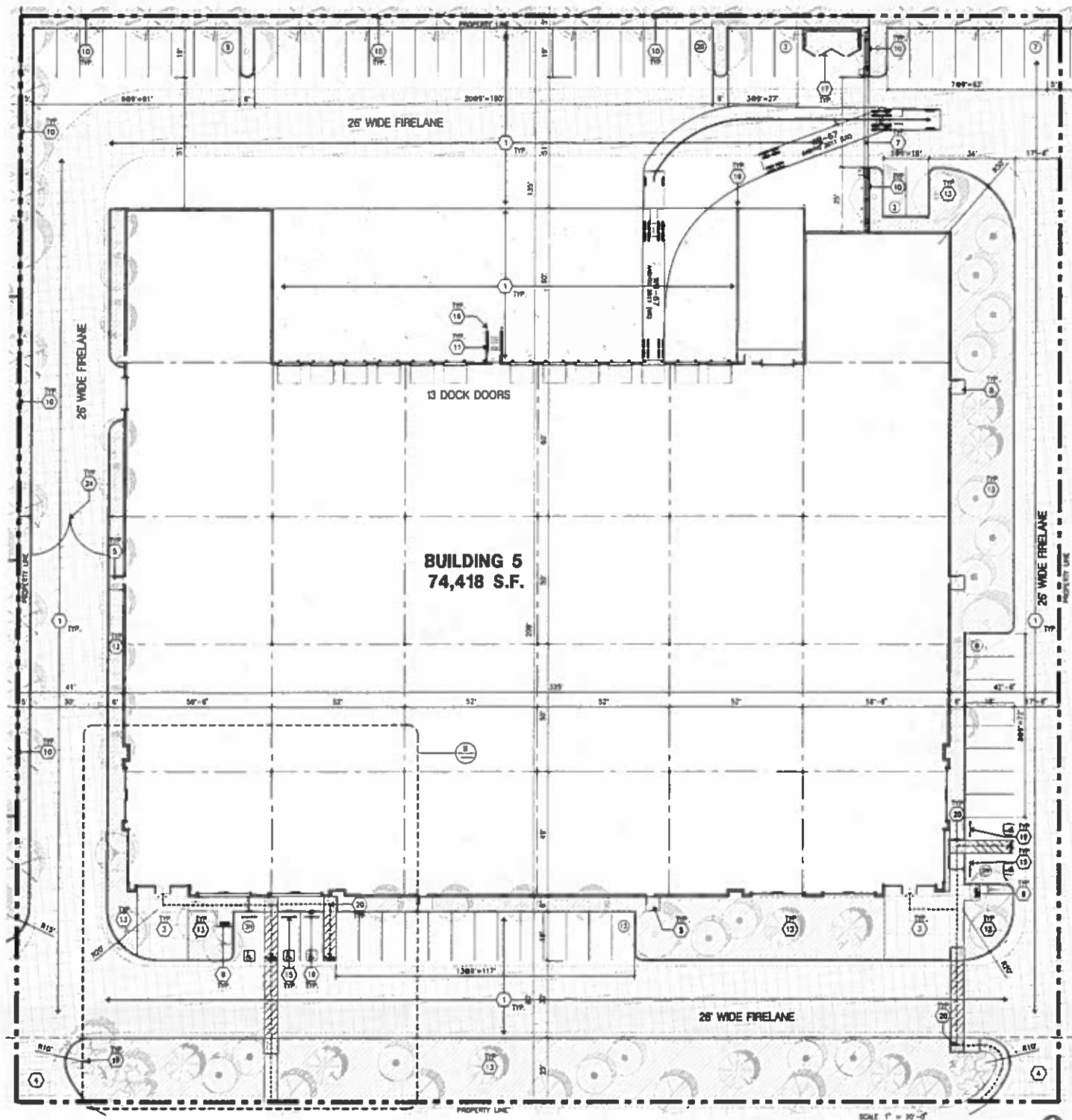
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ENLARGED SITE PLAN
SCALE 1/8" = 1'-0"
NORTH

- SITE PLAN KEYNOTES**
- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
 - 2 NOT USED
 - 3 CONCRETE DRIVEWAY, MEDIUM BROOM FINISH
 - 4 DRIVEWAY APRONS TO BE CONSTRUCTED
 - 5 2"-F133-4"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR WALK DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WALK OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
 - 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
 - 7 PROVIDE 8" HIGH METAL GATES W/ KNOX-BOX FOR FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
 - 8 CONCRETE RAMP W/ 4" HIGH CONCRETE WALL.
 - 9 EXTERIOR BIKE RACK TYPICAL.
 - 10 8" HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
 - 11 EXTERIOR CONCRETE STAIR.
 - 12 8" HIGH CONCRETE TILT-UP SCREEN WALL.
 - 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
 - 14 EMPLOYEE BREAK/DRINKING AREA.
 - 15 PRE-CAST CONCRETE WHEEL STOP.
 - 16 CONCRETE FILLED CHAIR POST 8 DIA. U.L.D. 42" H.
 - 17 TRASH ENCLOSURE PER CITY STANDARD.
 - 18 ACCESSIBLE ENTRY SIGN.
 - 19 ACCESSIBLE PARKING STALL SIGN.
 - 20 TRUNCATED DOME.
 - 21 APPROXIMATE LOCATION OF FIRE HYDRANT.
 - 22 WALL MOUNTED LIGHTING FIXTURE.
 - 23 SITE LIGHT POLE W/ CONCRETE BASE.
 - 24 8" HIGH METAL SIGN GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
 - 25 NOT USED.

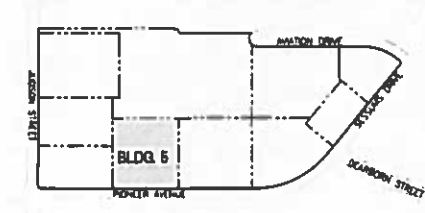


OVERALL FLOOR PLAN
SCALE 1" = 30'-0"
NORTH

- SITE PLAN GENERAL NOTES**
- 1 THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TSO
 - 2 IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
 - 3 ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GROUND LINE UNLESS NOTED.
 - 4 SEE "C" PLANS FOR ALL CONCRETE CURBS, CUTTERS AND SHOULDS.
 - 5 THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
 - 6 SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
 - 7 PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
 - 8 CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
 - 9 SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
 - 10 CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 8' O.C. EXPANSION/CONTRACTION JOINTS SHALL BE A MAXIMUM 17' O.A. W/ EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/2" FINISH TO BE A MEDIUM BROOM FINISH U.L.D.
 - 11 PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
 - 12 CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
 - 13 PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
 - 14 ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
 - 15 ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
 - 16 LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

- SITE PLAN GENERAL NOTES**
- CONCRETE PAVING. SEE "C" DRINGS FOR THICKNESS
 - STANDARD PARKING STALL (8' X 18')
 - LANDSCAPED AREA
 - 26' WIDE FIRELANE
 - HANDICAP PARKING STALL (8' X 18') W/ 5' ACCESSIBLE WALK
 - HANDICAP PARKING STALL (VAN) (12' X 18') W/ 5' ACCESSIBLE WALK
 - PATH OF TRAVEL

KEYMAP





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18631 Gardner Avenue - Ste.
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Tel: 949-853-1770
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Email: hpa@hparch.com

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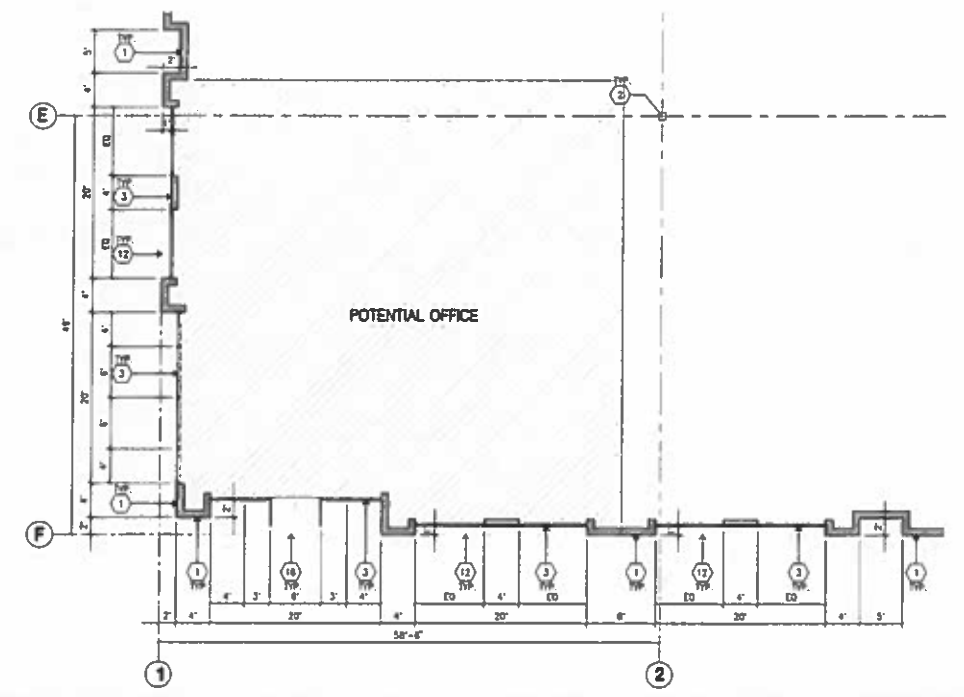
Consultants:
HICKS & HARTWICK INC.
Structural
Mechanical
Plumbing
Electrical
Landscape
Fire Protection
Soils Engineer
SPLAN INC.

Title: overall floor plan @ bldg. 5

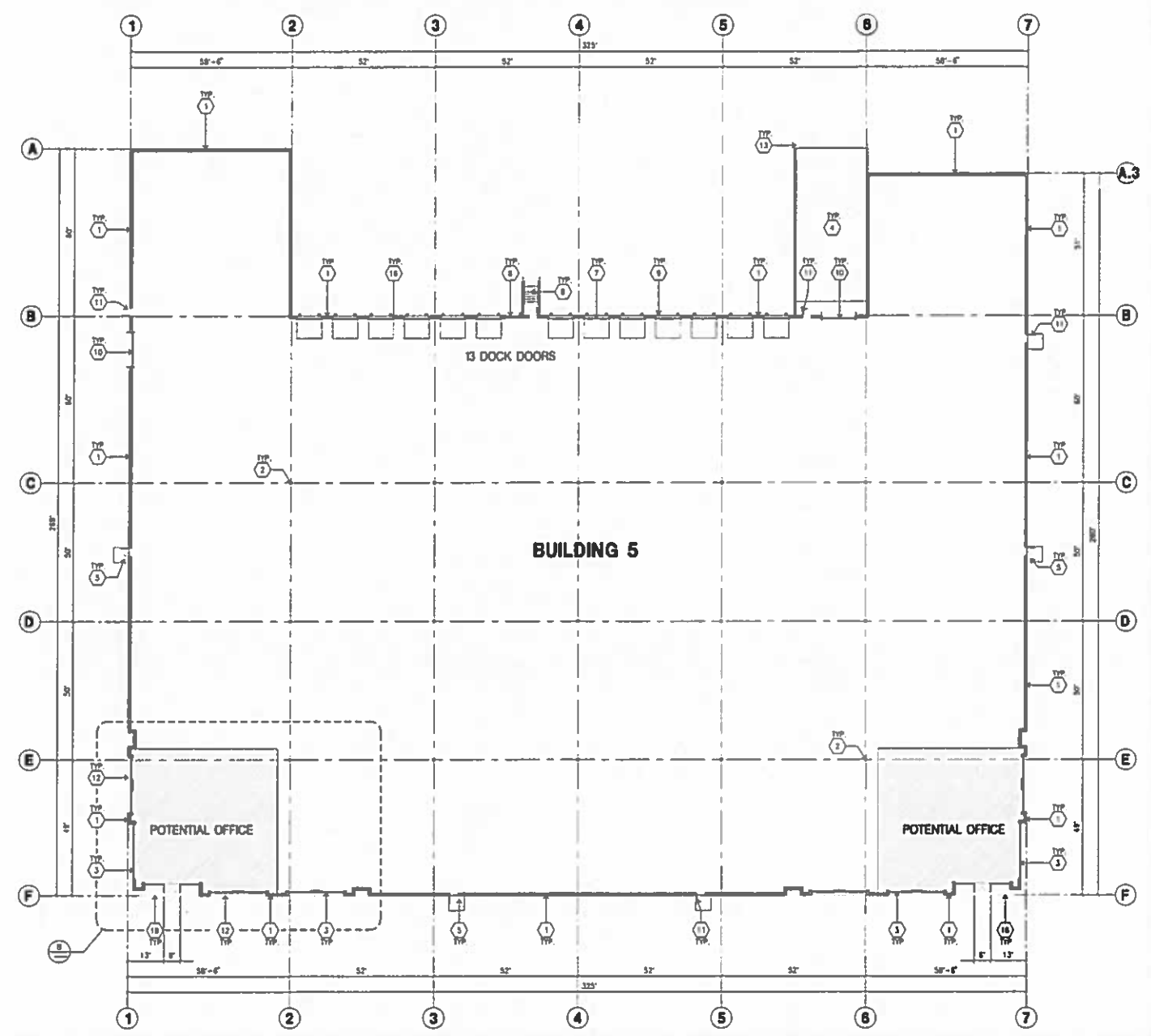
Project Number: 14282
Drawn by: ML
Date: 08/08/15
Revision:

Sheet:

5-A2.1



ENLARGED FLOOR PLAN B
SCALE: 1/8" = 1'-0"
0 6' 12' 24'



OVERALL FLOOR PLAN A
SCALE: 1" = 20'-0"
0 20' 40' 60'

FLOOR PLAN KEYNOTES

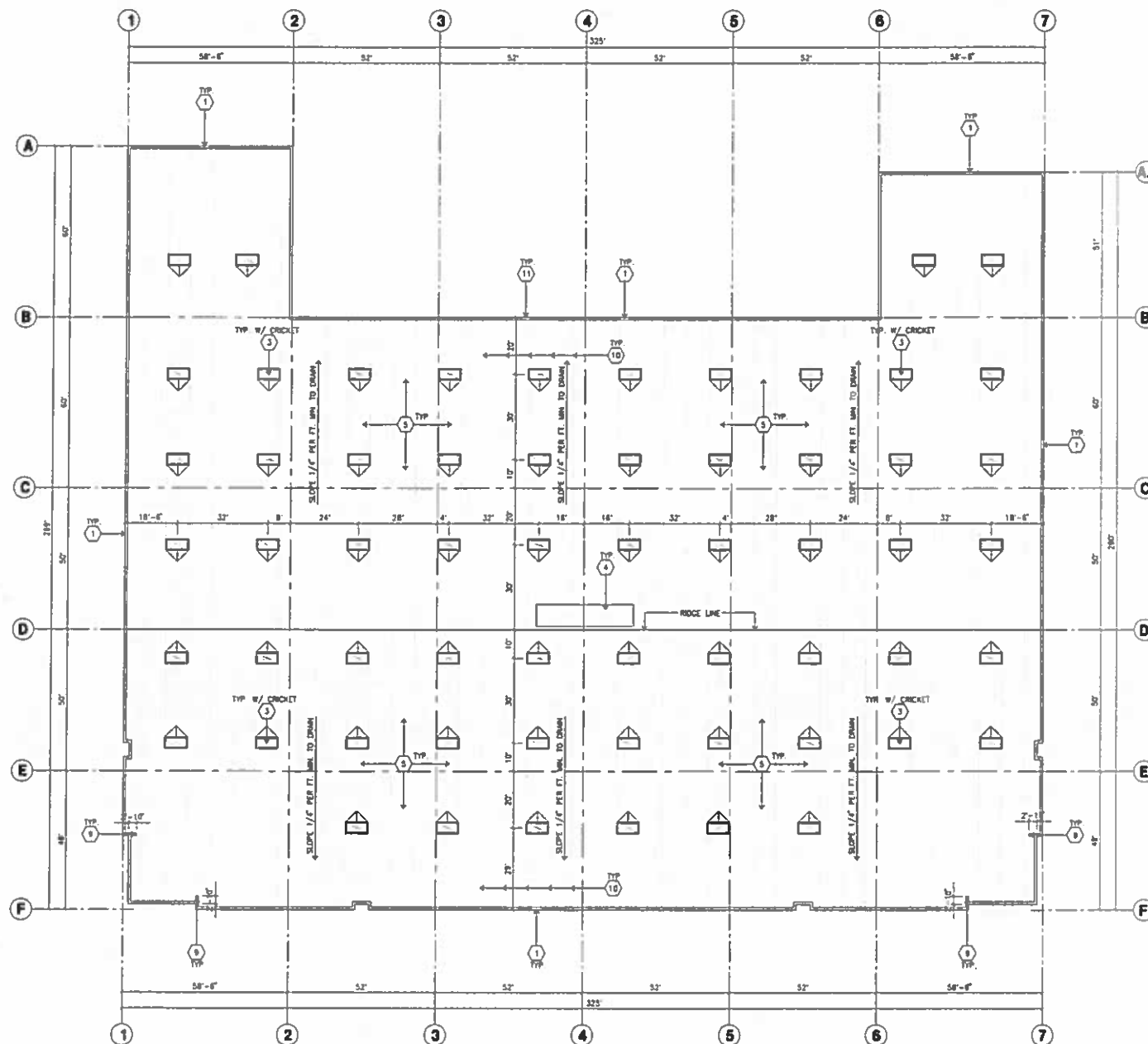
1. CONCRETE TILT-UP PANEL.
2. STRUCTURAL STEEL COLUMN.
3. TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
4. CONCRETE RAMP W/ 42" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
5. 5'-0" x 8'-0" THICK CONCRETE EXTERIOR LANDING PAD TYP AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
6. EXTERIOR CONCRETE STAIR W/ 42" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
7. 8' x 10' TRUCK DOOR, SECTIONAL O/H, STANDARD GRADE.
8. 4' x 8' LOAMERD OPENING FOR VENTILATION.
9. DOCK DOOR BUMPER TYPICAL.
10. 12' x 14' DRIVE THRU SECTIONAL O/H, STANDARD GRADE.
11. 3' x 7' HOLLOW METAL EXTERIOR MAN DOOR.
12. SOTTIE LINE ABOVE.
13. CONIC FILLED GUARD POST 6" DIA. U.H.D. 42"H.
14. EMPLOYEE BREAK/SMOKING AREA.
15. PRE-CAST CONCRETE WHEEL STOP.
16. 2 GUARD.
17. APPROXIMATE LOCATION OF ELECTRICAL ROOM.
18. METAL CANOPY ABOVE.
19. INTERIOR BIKE RACK TYPICAL.
20. NOT USED.
21. NOT USED.

FLOOR PLAN GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL O/P. BG. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TS COVER.
5. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL WAREHOUSE EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, CRADLINE, OR FACE OF STUD U.S.D.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
8. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET -- NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE WASHED INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FRESH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. HIGH-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/AA.1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS.
1. FLOOR COMPACTION - BSS.
 2. TRENCH COMPACTION - BSS.
 3. BUILDING FLOOR SLAB.
 - A. 8" THICK MIN. UN-REINFORCED CONCRETE OVER COMPACTED SOILS.
 - B. 3/4" - 1" LONG @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS.
 - C. 1/2" - 1" LONG @ 24" O.C. DOWELS IN DOWEL BASKET AT ALL CONTROL JOINTS.
 - D. 4200 P.S.I. REQUIREMENT.
 - E. SLUMP TO BE 4" +/- 1"
 - F. JOINT SPACING PER A.C.I. 302-R-98
 - G. SAW-CUT DEPTH 1/4" 1; SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-R-98.
 5. CONCRETE SLAB TO HAVE STEEL FLOOR HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET DURING USHC BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE EMPERED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE FFSO FLS MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15MIL STEEL OR EQUIV.) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 12. CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER WELDEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.
 13. SEAL CONCRETE SLAB W/ "LIPODOLITY" SEALER.



OVERALL ROOF PLAN
Scale: 1" = 20'-0"

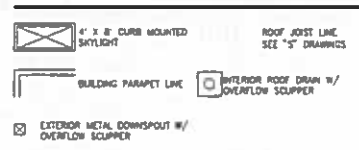
ROOF PLAN KEYNOTES

- 1 CONCRETE PARAPET, SEE "S" DRAWINGS FOR THICKNESS.
- 2 A/C UNIT, SEE "M" DRAWINGS, PROVIDE SUPPORT @ ROOF AS REQUIRED.
- 3 4" x 8" CURB MOUNTED SKYLIGHT/SKYLIGHT HATCH.
- 4 ROOF ADDRESS PAINTED BLACK 4" HIGH W/ 1" WIDE STROKE PER LETTER.
- 5 PROVIDE 4-PLY BUILT-UP ROOFING OVER ROOF SHEATHING OVER ROOF FRAMING U.A.D., ROOFING TO BE NO-24 CAP ROOFING BY JOHNS-MANVILLE OR EQUAL (CLASS A RATED), 10 YEAR NO DOLLAR LIMIT WARRANTY AND 3 YEAR LABOR GUARANTEE.
- 6 APPROXIMATE LOCATION OF EXHAUST FAN.
- 7 APPROXIMATE LOCATION OF ROOF HATCH.
- 8 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 9 PARAPET RETURN.
- 10 STRUCTURAL JOIST, SEE "S" DRAWINGS.
- 11 EXTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 12 NOT USED.
- 13 NOT USED.

ROOF PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, CHASELINE, OR FACE OF STEEL (U.A.D.).
2. VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT) PRIOR TO ROOF INSULATION INSTALLATION.
3. REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
4. CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
5. FOR TYP ROOF PENETRATIONS, SEE DETAIL B, E, 10/ADJ CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
6. CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
7. CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPROUHLER AND ROOF FRAMING SUBCONTRACTORS, LOCATIONS ON DRAWINGS ARE APPROXIMATE.
8. ALL SKYLIGHTS TO BE DESIGNED PER WIND SPEED DESIGN CRITERIA W/ STRINGER FRAMES, SUPPORTS AND DOMES, MANUFACTURER TO CONFIRM IN WRITING.
9. ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN 8" DIA., SEE "P" DRAWINGS FOR EXACT SIZE.
10. PROVIDE SHAPED CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN).
11. BUILT UP ROOFING TO BE DESIGNED FOR 1 1/2" AND TO BE A U.L. CLASS A ROOF FLASHING, 6" TYPE S&B MOPPED AP SHEET, U.L. TYPE 63 BUR.
12. ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS, PROPER REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY SUPPLY (FV) WIND UPLIFT PRESSURE REQUIREMENTS.
13. ALL SKYLIGHTS TO BE PLACED A MIN. OF 18"-0" FROM INSIDE FACE OF PARAPET.
14. USE WHITE SCRIM FOR INSULATION IN THE WAREHOUSE AREA.
15. SHEDIC VENTS SHALL BE REQUIRED IF AREAS FOR "POTENTIAL OFFICES" WILL BE USED FOR HIGH PILE COMBUSTIBLE STORAGE.
16. ROOF DRAIN, OVERFLOW DRAINS AND RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTING DRAIN, WASTE AND VENT SYSTEMS.
17. ROOF DRAIN, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
18. MANUFACTURED ROOF DRAINS AND OVERFLOWS(FITURES) SHALL BE IMHO LISTED.

ROOF LEGEND



SKYLIGHT CALCULATION

BUILDING FOOTPRINT	= 74,418 S.F.
SKYLIGHTS PROVIDED	= 25% = 1,820 S.F. (60 EA.)



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92612
tel: 949-863-1770
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email: hpa@hparch.com

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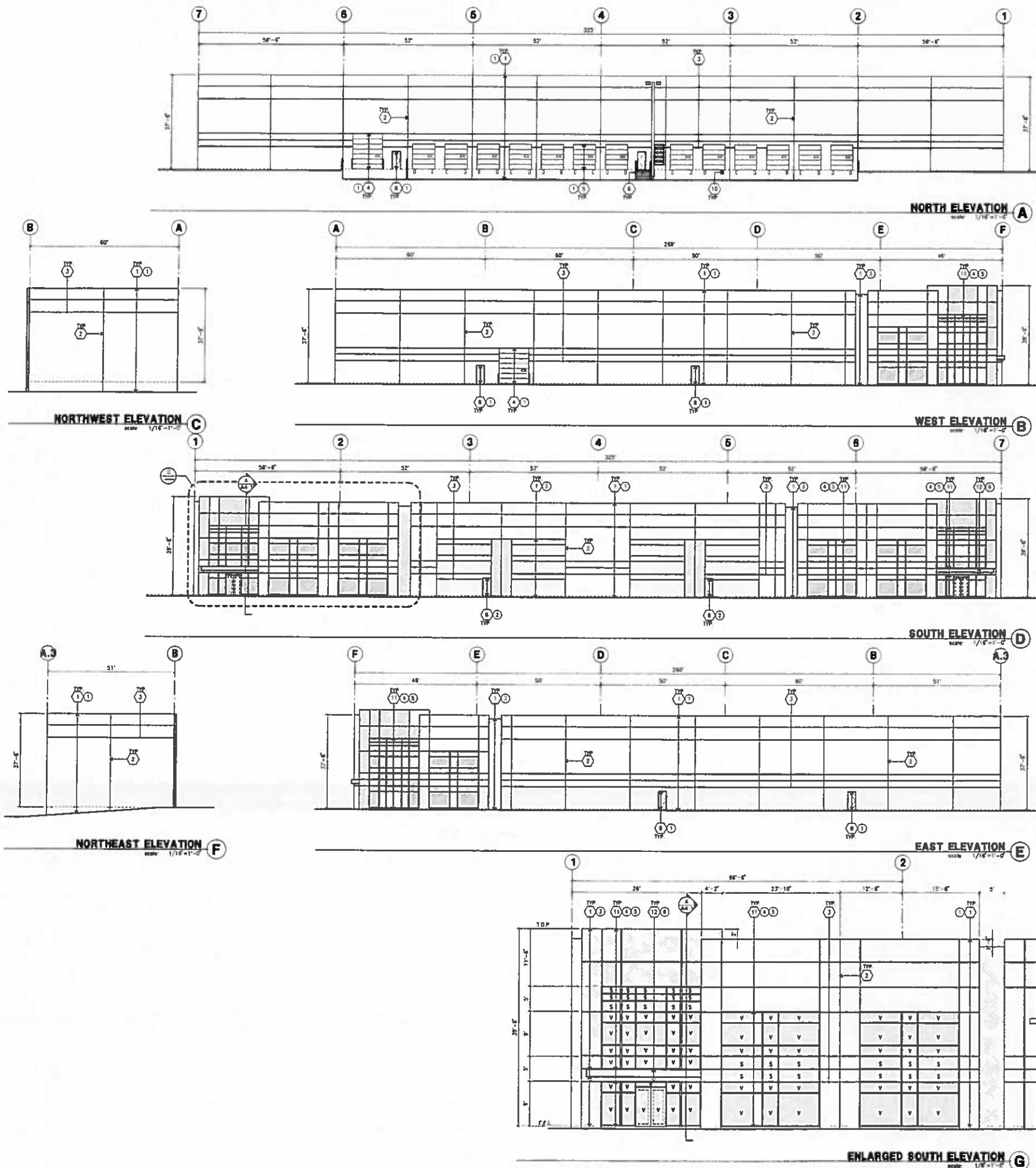
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Title: overall roof plan @ bldg. 5

Project Number: 14282
Drawn by: ML
Date: 08/05/15
Revision: _____

Sheet:

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ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.D. 12" x 14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 4 IF A 10" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 CONCRETE STAIR, LANDING AND QUADRANT. W/ METAL PIPE HANDRAIL. PROVIDE NON SKID TREADING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 2" WIDE WARNING STRIPS INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 6 4" x 8" METAL LOUVER OPENING FOR VENTILATION PAINT TO MATCH BUILDING COLOR.
- 7 HOLLOW METAL DOORS PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
- 8 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 9 DOCK DOOR BUMPER TYPICAL.
- 10 ALUMINUM STOREFRONT FRAMING WITH TЕМPERED GLAZING AT ALL DOORS. SEALS/STOPS ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 11 METAL CANOPY.
- 12 HOOK OUT PANEL.
- 13 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
- 14 CONC. FILLED GUARD POST. 6" DIA. U.N.D. 42"H.
- 15 NOT USED.
- 16 NOT USED.
- 17 NOT USED.

ELEVATION GENERAL NOTES

- 1. ALL PAINT COLOR CHANGES TO OCCUR AT 90° CORNERS UNLESS NOTED OTHERWISE.
- 2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- 3. T.O.P. CL. = TOP OF PARAPET ELEVATION.
- 4. F.F. = FINISH FLOOR ELEVATION.
- 5. STOREFRONT CONSTRUCTION. GLASS, METAL ATTACHMENTS AND ENTIRE SHALL BE DESIGNED TO RESIST - WIND EXPOSURE 1" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- 6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- 7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- 8. FOR SPANREL GLAZING, ALLOW SPACE BEHIND SPANREL TO BREATHE.
- 9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- 10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL. COLOR: SW 7008 EXTRA WHITE
 - 2 CONCRETE TILT-UP PANEL. COLOR: SW 7073 NETWORK GRAY
 - 3 CONCRETE TILT-UP PANEL. COLOR: SW 7075 WEB GRAY
 - 4 GLAZING COLOR: BLUE REFLECTIVE GLAZING
 - 5 MALLONS COLOR: CLEAR ANODIZED
 - 6 CANOPY MATERIAL: ALUMINUM COMPOSITE PANEL
 - 7 DOOR COLORS: MATCH BUILDING COLOR
- * PAINT TO BE SHERWIN WILLIAMS UNLESS NOTED OTHERWISE.

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- SPANDREL GLASS
 - VISION GLASS
- ALL GLAZING TO BE TEMPERED
- GLAZING: PPG SOLARCOOL (2) PACIFICA + SOLARBAN 80 (3) CLEAR U. 0.29, SHGC. 0.15, VLT. 102 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES
- SPANREL: 1/4" SOLARCOOL PACIFICA SPANDREL W/ HARMONY GRAY SPACER/PAINTED ON REFLECTIVE.
- MALLONS ANODIZED CLEAR



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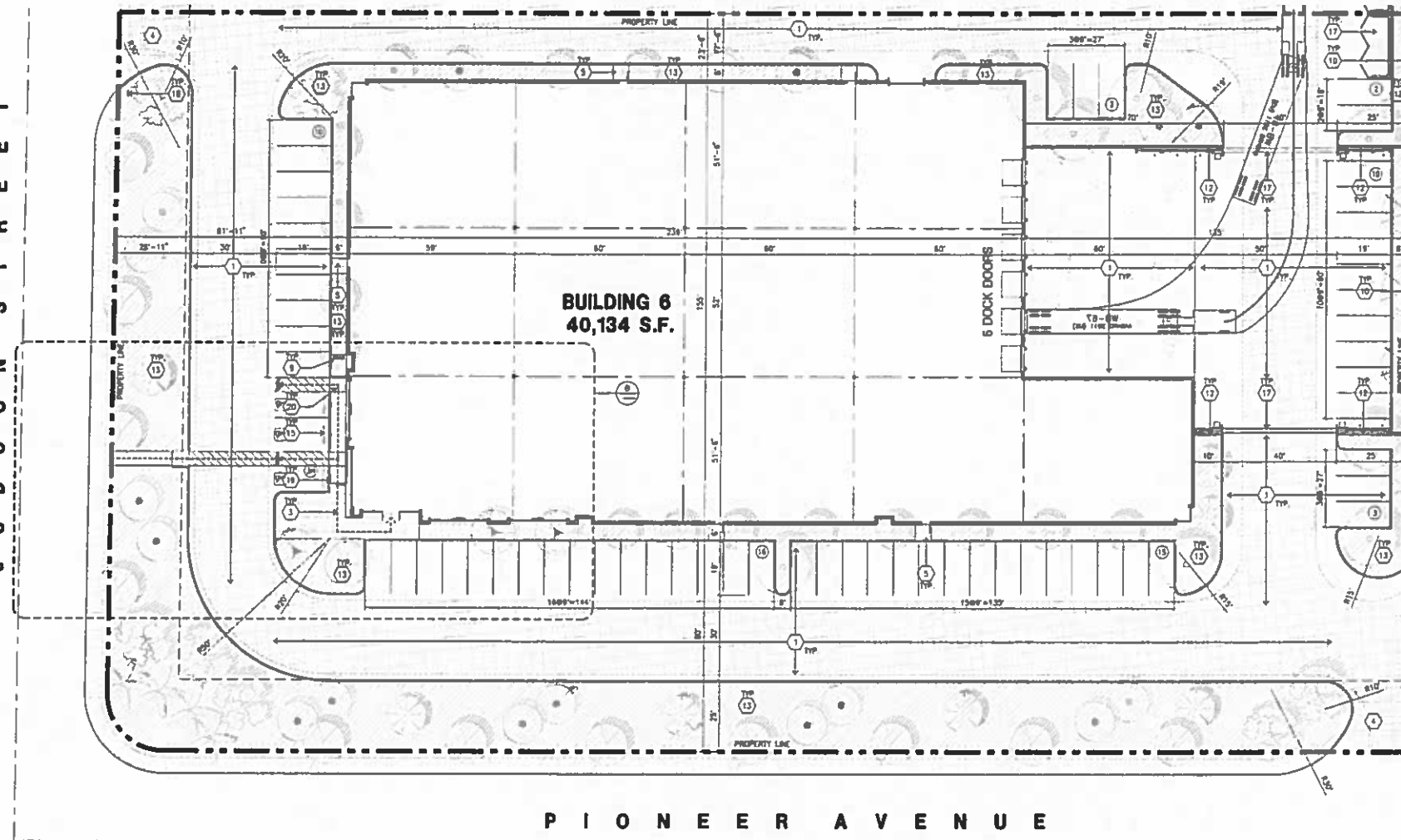
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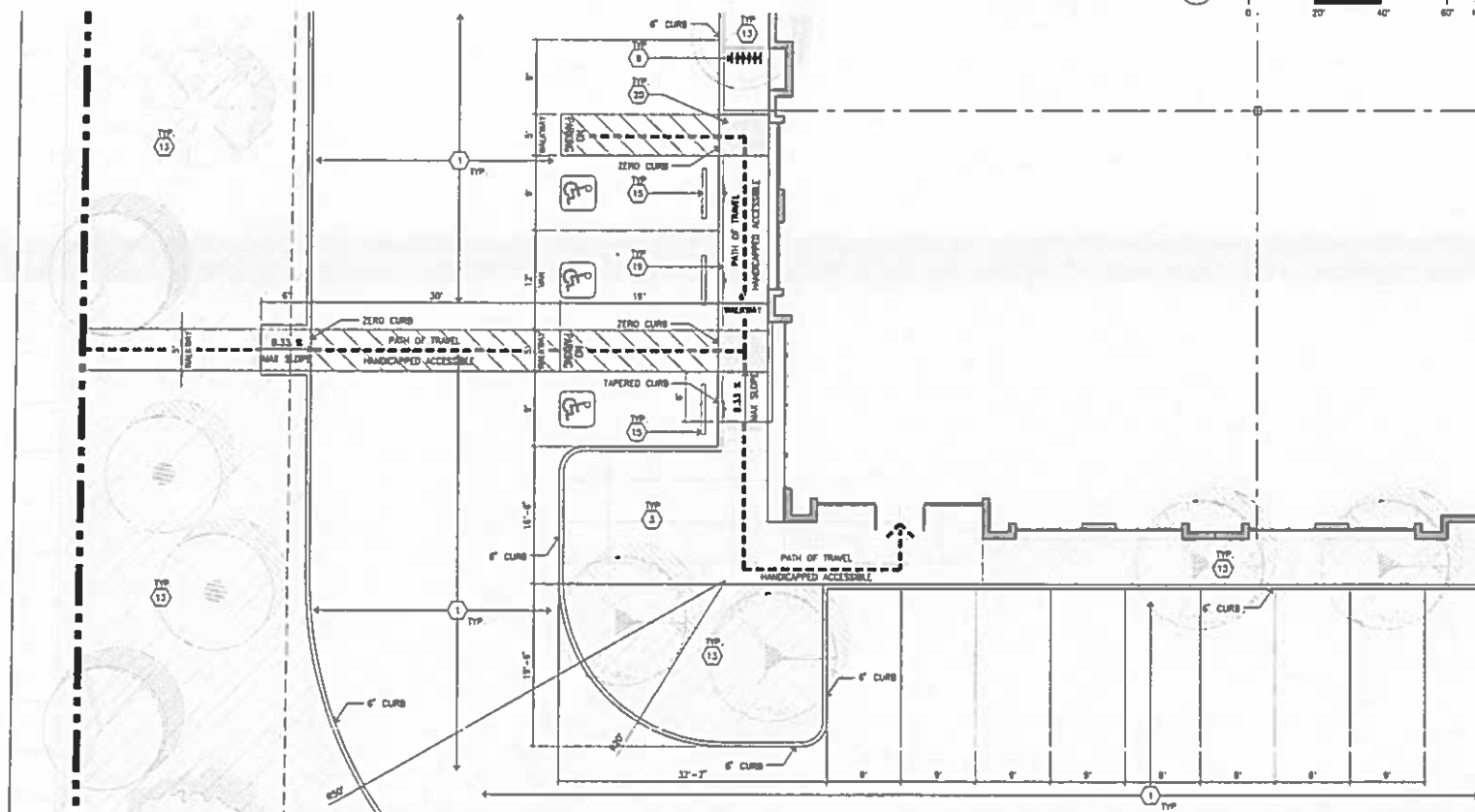
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JUDSON STREET



PIONEER AVENUE

OVERALL FLOOR PLAN A



ENLARGED SITE PLAN B



SITE PLAN KEYNOTES

- 1 HEAVY BROOD FINISH CONCRETE PAVEMENT
- 2 NOT USED
- 3 CONCRETE WALKWAY, MEDIUM BROOD FINISH
- 4 DRIVEWAY APPROXS TO BE CONSTRUCTED
- 5 5'-4" x 3'-4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOD FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ BY CITY INSPECTOR
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- 7 PROVIDE 8' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
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- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 8' HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- 11 EXTERIOR CONCRETE STAIR.
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- 24 8' HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 25 NOT USED.

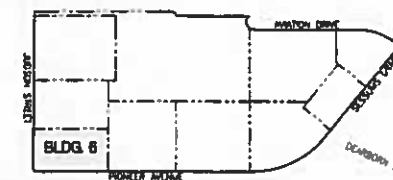
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- 2 IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- 3 ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.S.O.
- 4 SEE "C" PLANS FOR ALL CONCRETE CURBS, CUTTERS AND SHOULDS.
- 5 THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- 6 SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- 7 PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- 8 CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- 9 SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- 10 CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOKED JOINTS AT 8' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4" FINISH TO BE A MEDIUM BROOD FINISH U.S.O.
- 11 PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LINES AS REQUIRED BY FIRE DEPARTMENT.
- 12 CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- 13 PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- 14 ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN CURELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- 15 ALL VERTICAL MOUNTING POLES OF DOWN LINK FENCING SHALL BE CAPPED.
- 16 LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

SITE PLAN GENERAL NOTES

- | | |
|---|--|
| CONCRETE PAVING. SEE "C" DRAWING FOR THICKNESS. | HANDICAP PARKING STALL (9' X 18') W/ 5' ACCESSIBLE AISLE. |
| STANDARD PARKING STALL (9' X 18'). | HANDICAP PARKING STALL (12' X 18') W/ 5' ACCESSIBLE AISLE. |
| LANDSCAPED AREA. | PATH OF TRAVEL. |
| 20' WIDE FIRELANE. | |

KEYMAP



CAUTION : IF THIS SHEET IS NOT A 36" X 42" IT IS A REDUCED PRINT



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REDLANDS, CA 92374

Consultants:
Call: **HICKS & HARTWICK INC.**
Structure
Mechanical
Plumbing
Electrical
Landscape: **SPLAN INC.**
Fire Protection
Soils Engineer

Title: overall site plan @ bldg. 6

Project Number: 14282
Drawn by: ML
Date: 08/05/15
Revision:

Sheet:

6-A1.1



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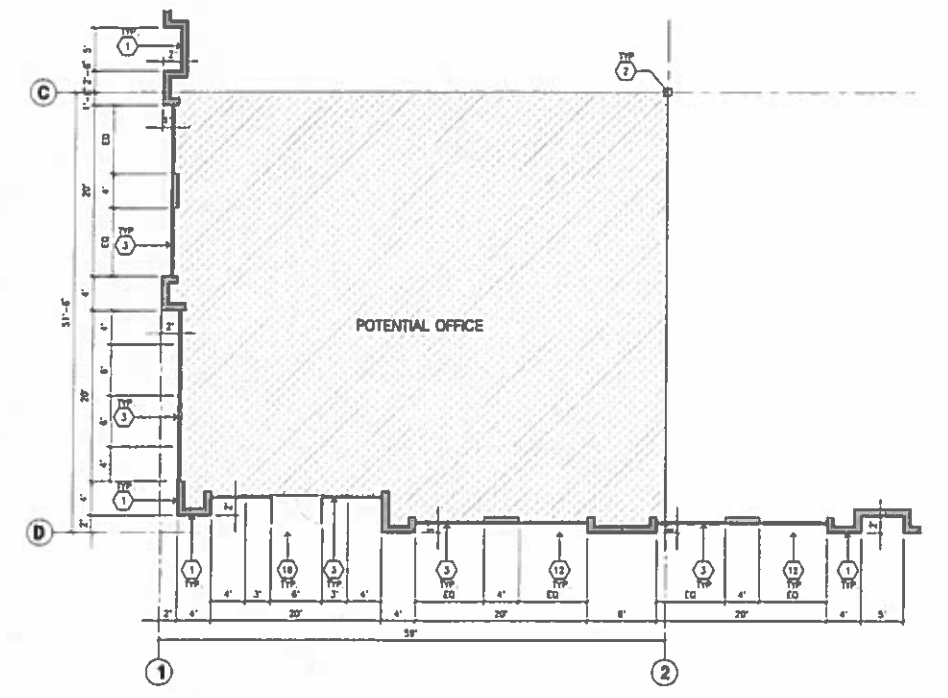
Consultants:
HICKS & HARTWICK INC.
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Structural
Mechanical
Plumbing
Electrical
Landscaping
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SPLAN INC.

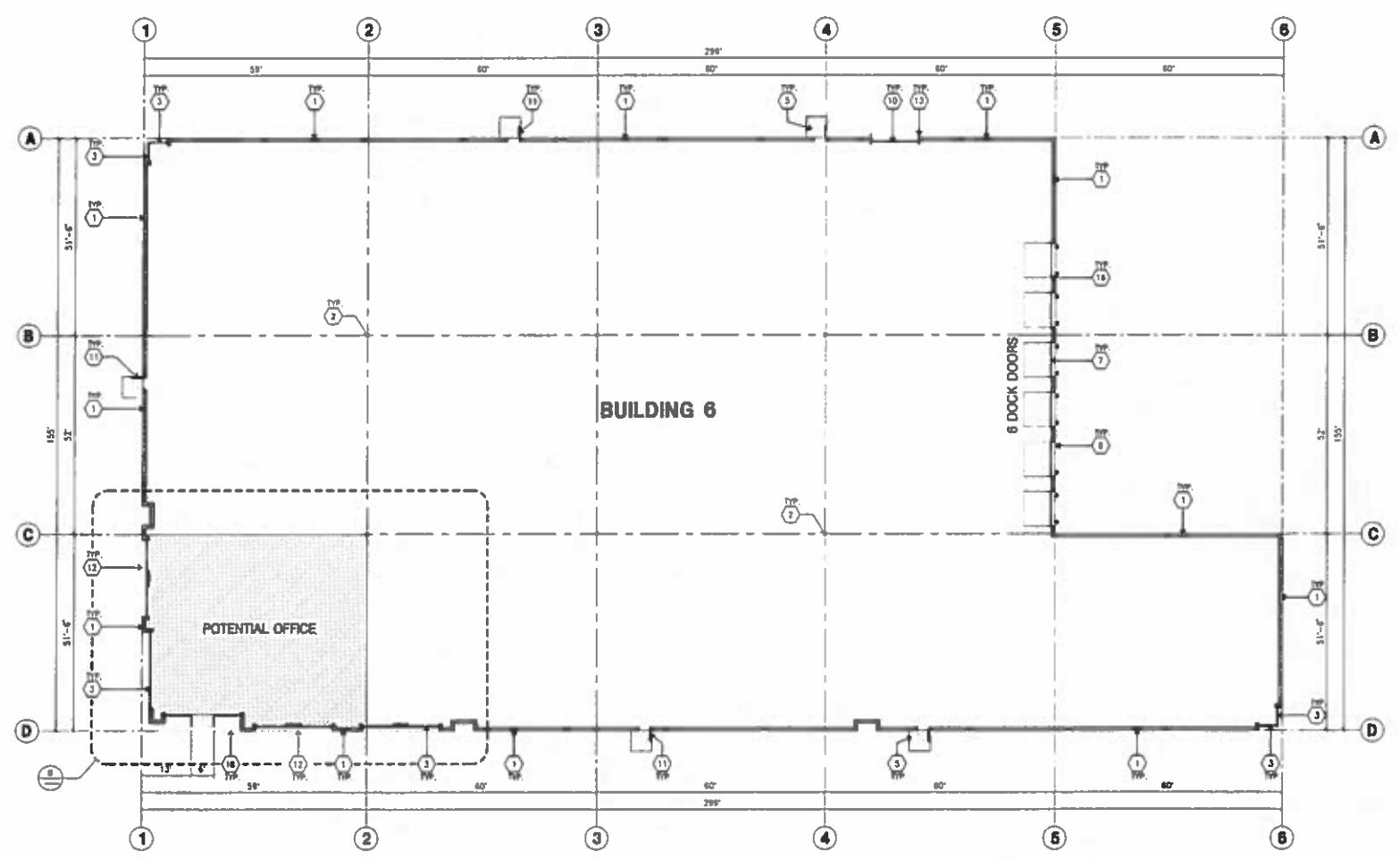
Title: **Overall floor plan @ bldg 8**

Project Number: **14282**
Drawn by: **ML**
Date: **08/05/15**
Revision:

Sheet:
6-A2.1



ENLARGED FLOOR PLAN (B)
Scale: 1/8" = 1'-0"
North Arrow



OVERALL FLOOR PLAN (A)
Scale: 1/16" = 1'-0"
North Arrow

FLOOR PLAN KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP 8" / 4" HIGH CONIC TILT-UP CURB WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 3'-0" x 15'-0" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 EXTERIOR CONCRETE STAIR 8" / 4" HIGH CONIC TILT-UP CURB WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 7 8' x 10' TRUCK DOOR. SECTIONAL OTH. STANDARD GRADE.
- 8 4' x 8' LOWAERD OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER TYPICAL.
- 10 12' x 14' DRIVE THRU SECTIONAL O.H. STANDARD GRADE.
- 11 7' x 7' HOLLOW METAL EXTERIOR MAIN DOOR.
- 12 SOFFIT LINE ABOVE.
- 13 CONIC. FILLED BRAND POST. 6" DIA. U.D.O. 42"H.
- 14 EMPLOYEE BREAK/SHOING AREA.
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 2 GRAND.
- 17 APPROXIMATE LOCATION OF ELECTRICAL ROOM.
- 18 METAL CANOPY ABOVE.
- 19 INTERIOR BIKE RACK TYPICAL.
- 20 NOT USED.
- 21 NOT USED.

FLOOR PLAN GENERAL NOTES

- 1 THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAIN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- 2 FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- 3 SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- 4 WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLLARNS ARE TO RECEIVE FINISH ONLY. ALL STY. BR. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- 5 SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL WAREHOUSE EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
- 6 ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, CRADLINE OR FACE OF STAG U.D.O.
- 7 SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- 8 FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET -- NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- 9 CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMPERED INCLUDING CARS AND TRUCKS.
- 10 ALL EXIT MAIN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
- 11 HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- 12 EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS 'EXIT'. THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 80" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- 13 NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE FOR OBC 111.330 1.1.1.
- 14 ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/A1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENTS. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS.
- 1 FLOOR COMPACTION - 832.
 - 2 TRENCH COMPACTION - 802.
 - 3 BUILDING FLOOR SLAB
 - A. 4" THICK WITH 18#-REINFORCED CONCRETE OVER COMPACTED SOILS.
 - B. 3/4" - 16" LONG @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS.
 - C. 3/4" - 16" LONG @ 24" O.C. DOWELS IN BOWEL BASKET AT ALL CONTROL JOINTS.
 - D. SLUMP TO BE 6" +/- 1"
 - E. JOINT SPACING PER A.E.A. 302-B-90
 - F. SAW-CUT DEPTH 1/4" T. SOFTI SAW-CUTTING WITHIN 2 HRS OF FINISHING.
 - 4 CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-B-94.
 - 5 CONCRETE SLAB TO HAVE STEEL FLOOR HARD THRUOUT BUSHKED FINISH.
 - 6 CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 - 7 ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAMPERED.
 - 8 NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 - 9 SLAB TO BE 7750 PLS MEASURED WITHIN 24 HOURS.
 - 10 NO FLY ASH IN THE CONCRETE.
 - 11 WHERE [REDACTED] INDICATED, PROVIDE VAPOR BARRIER (15ML STEED OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOULS (ENGINEER OR MANUFACTURER'S RECOMMENDATION). CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER WOODEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS. CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH M-M-80 JOINT FILLER IN FUTURE OFFICE AREAS.
 - 12 SEAL CONCRETE SLAB W/ "LIQUIDITY" SEALER.

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Project:
REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92374

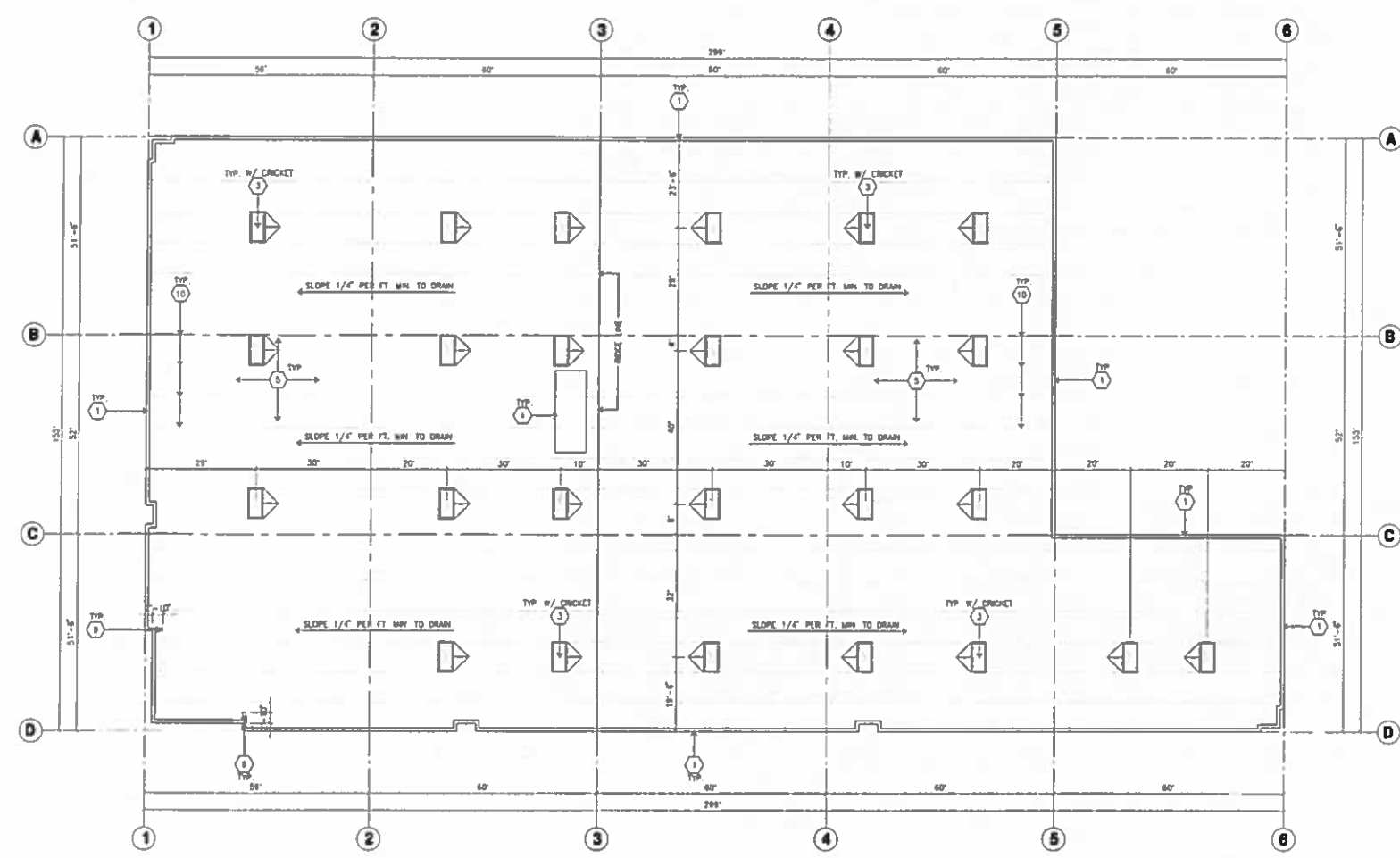
Consultants:
Civil: **HICKS & HARTWICK INC.**
Structural
Mechanical
Plumbing
Electrical
Landscape: **SPLAH INC.**
Fire Protection
Soils Engineer

Title: **overall roof plan @ bldg. 6**

Project Number: **14282**
Drawn by: **ML**
Date: **08/05/16**
Revision:

Sheet:

6-A2.10



OVERALL ROOF PLAN
Scale: 1/16" = 1'-0"
0 16' 32' 48'
TRUE NORTH

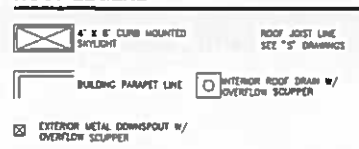
ROOF PLAN KEYNOTES

- 1 CONCRETE PARAPET. SEE "S" DRAWINGS FOR THICKNESS
- 2 A/C LINT. SEE "M" DRAWINGS. PROVIDE SUPPORT @ ROOF AS REQUIRED.
- 3 4" X 8" CURB MOUNTED SKYLIGHT/SMOKE HATCH.
- 4 ROOF ADDRESS PAINTED BLACK 4" HIGH W/ 1" WIDE STROKE PER LETTER.
- 5 PROVIDE 4-PLY BUILT-UP ROOFING OVER ROOF SHEATHING OVER ROOF FRAMING. U.N.O. ROOFING TO BE NO-24 GAP ROOFING BY JOHNS-MANVILLE OR EQUAL (CLASS A RATED). 10 YEAR NO DOLLAR LIMIT WARRANTY AND 2 YEAR LABOR GUARANTEE.
- 6 APPROXIMATE LOCATION OF EXHAUST FAN.
- 7 APPROXIMATE LOCATION OF ROOF HATCH.
- 8 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 9 PARAPET RETURN.
- 10 STRUCTURAL JOIST SEE "S" DRAWINGS.
- 11 EXTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 12 NOT USED.
- 13 NOT USED.

ROOF PLAN GENERAL NOTES

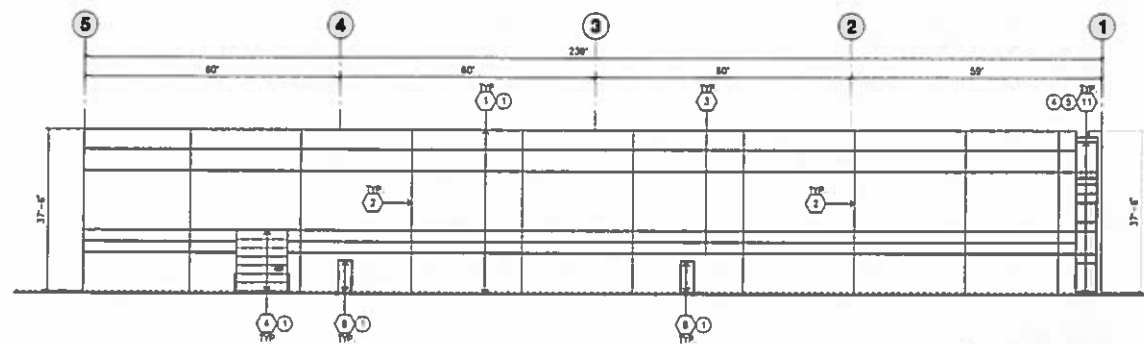
1. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, CURBLINE, OR FACE OF STUD. (U.N.O.)
2. VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT.) PRIOR TO ROOF INSULATION INSTALLATION.
3. REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
4. CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS. ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
5. FOR TYP. ROOF PENETRATIONS, SEE DETAIL 6, 9, 10/AD.3 CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
6. CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
7. CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS LOCATIONS ON DRAWINGS ARE APPROXIMATE.
8. ALL SKYLIGHTS TO BE DESIGNED PER WIND SPEED DESIGN CRITERIA W/ STRONGER FRAMES, SUPPORTS AND DOMES. MANUFACTURER TO CONFIRM IN WRITING.
9. ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN. 8" DIA. SEE "P" DRAWINGS FOR EXACT SIZE.
10. PROVIDE SHAPED CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN).
11. BUILT UP ROOFING TO BE DESIGNED FOR 180 AND TO BE A U.L. CLASS A ROOF FLASHING. 60" TYPE SMB MOPPED HP SHEET, U.L. TYPE 63 BUR.
12. ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS. PROPER REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY MANUAL (FM) WIND UPLIFT PRESSURE REQUIREMENTS.
13. ALL SKYLIGHTS TO BE PLACED A MIN. OF 16"-0" FROM INSIDE FACE OF PARAPET.
14. USE WHITE SCRIM FOR INSULATION IN THE WAREHOUSE AREA.
15. SMOKE VENTS SHALL BE REQUIRED IF AREAS FOR "POTENTIAL OFFICES" WILL BE USED FOR HIGH PILE COMBUSTIBLE STORAGE.
16. ROOF DRAINS, OVERFLOW DRAINS AND RAINWATER PIPING WITHIN THE EXTERIOR OF THE BUILDING SHALL BE TESTED BY ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTING DRAIN, WASTE AND VENT SYSTEMS.
17. ROOF DRAINS, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
18. MANUFACTURED ROOF DRAINS AND OVERFLOWS(FITURES) SHALL BE APMO LISTED.

ROOF LEGEND

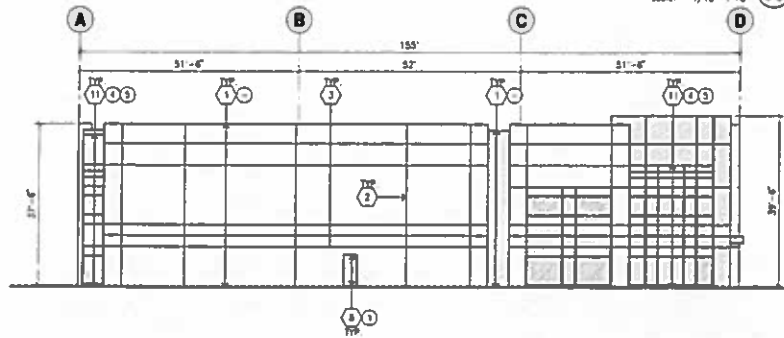


SKYLIGHT CALCULATION

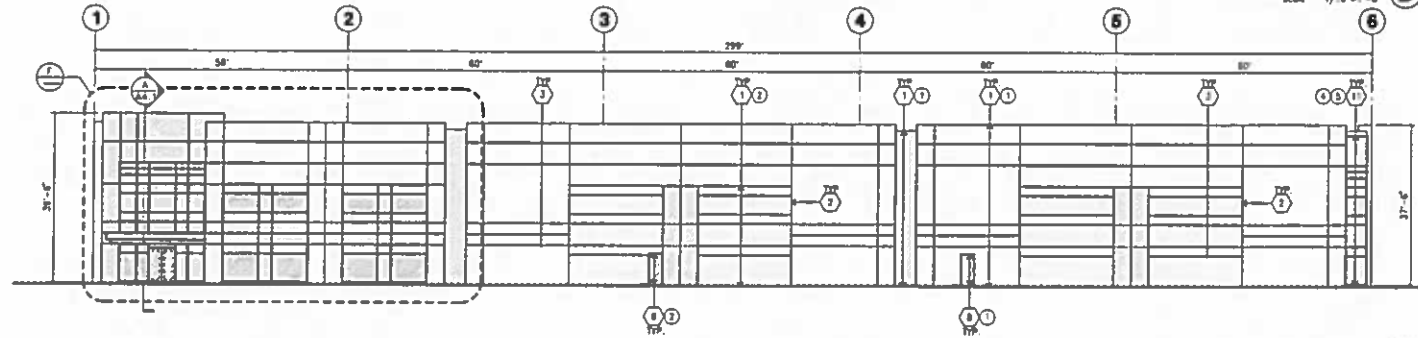
BUILDING FOOTPRINT	= 40,134 S.F.
SKYLIGHTS PROVIDED	= 25% = 800 S.F. (25 EA.)



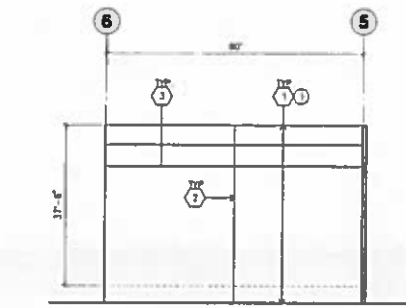
NORTH ELEVATION
scale: 1/16" = 1'-0"



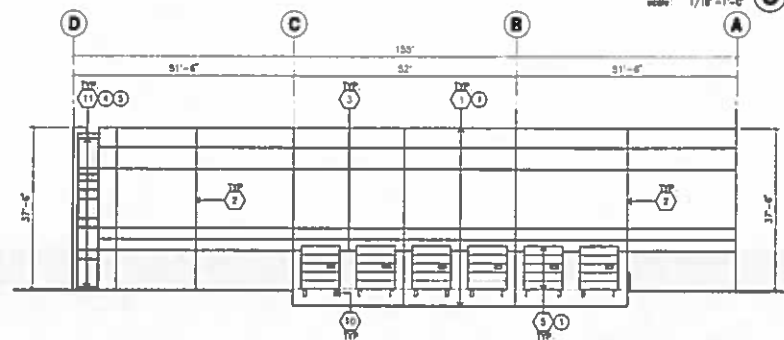
WEST ELEVATION
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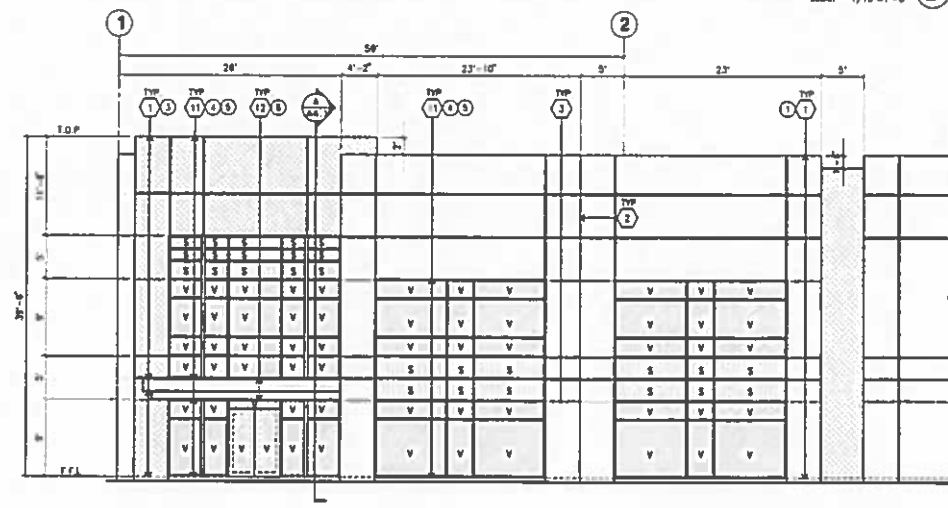
SOUTH ELEVATION
scale: 1/16" = 1'-0"



NORTHEAST ELEVATION
scale: 1/16" = 1'-0"



EAST ELEVATION
scale: 1/16" = 1'-0"



ENLARGED SOUTH ELEVATION
scale: 1/16" = 1'-0"

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL
- 2 PANEL JOINT
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 12" X 14" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 8' X 10' OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 CONCRETE STAIR LANDING AND GUARDRAIL. W/ METAL PIPE HANDRAIL. PROVIDE NON-SLIP TREADING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPS INTERNAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 7 4' X 8' METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR.
- 9 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 10 DOCK DOOR BUMPER TYPICAL.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. LOCATES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 12 METAL CANOPY
- 13 KNOCK OUT PANEL
- 14 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
- 15 CONC. FILLED DUMD POST. 6" DIA. U.N.O. 42"H
- 16 NOT USED
- 17 NOT USED

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL. = TOP OF PARAPET ELEVATION
4. F.F. = FINISH FLOOR ELEVATION
5. STOREFRONT CONSTRUCTION. GLASS, METAL ATTACHMENTS AND LIMITS SHALL BE DESIGNED TO RESIST 10 MPH EXPOSURE 12" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL COLOR: SW 7006 EXTRA WHITE
 - 2 CONCRETE TILT-UP PANEL COLOR: SW 7073 NETWORK GRAY
 - 3 CONCRETE TILT-UP PANEL COLOR: SW 7075 WEB GRAY
 - 4 GLAZING COLOR: BLUE REFLECTIVE GLAZING
 - 5 MULLIONS COLOR: CLEAR ANODIZED
 - 6 CANOPY MATERIAL: ALUMINUM COMPOSITE PANEL
 - 7 DOOR COLORS: MATCH BUILDING COLOR
- * PAINT TO BE SHERWIN WILLIAMS UNLESS NOTED OTHERWISE.

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED
- SPANDREL GLASS
 - VISION GLASS
- ALL GLAZING TO BE TEMPERED
- GLAZING: PPC SOLARCool (2) PACIFICA + SOLARBAN 60 (3) CLEAR
U. 0.28, SHGC 0.15, VLT 10%
- 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES
- SPANDREL: 1/4" SOLARCool PACIFICA SPANDREL W/ HARMONY GRAY SPACEDAT PAINTED ON REFLECTIVE.
- MULLIONS: ANODIZED CLEAR



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REDLANDS AVIATION BUSINESS PARK

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Consultants:

- Client: HICKS & HARTWICK INC.
- Structural: _____
- Mechanical: _____
- Plumbing: _____
- Electrical: _____
- Landscape: _____
- Fire Protection: _____
- Soils Engineer: _____

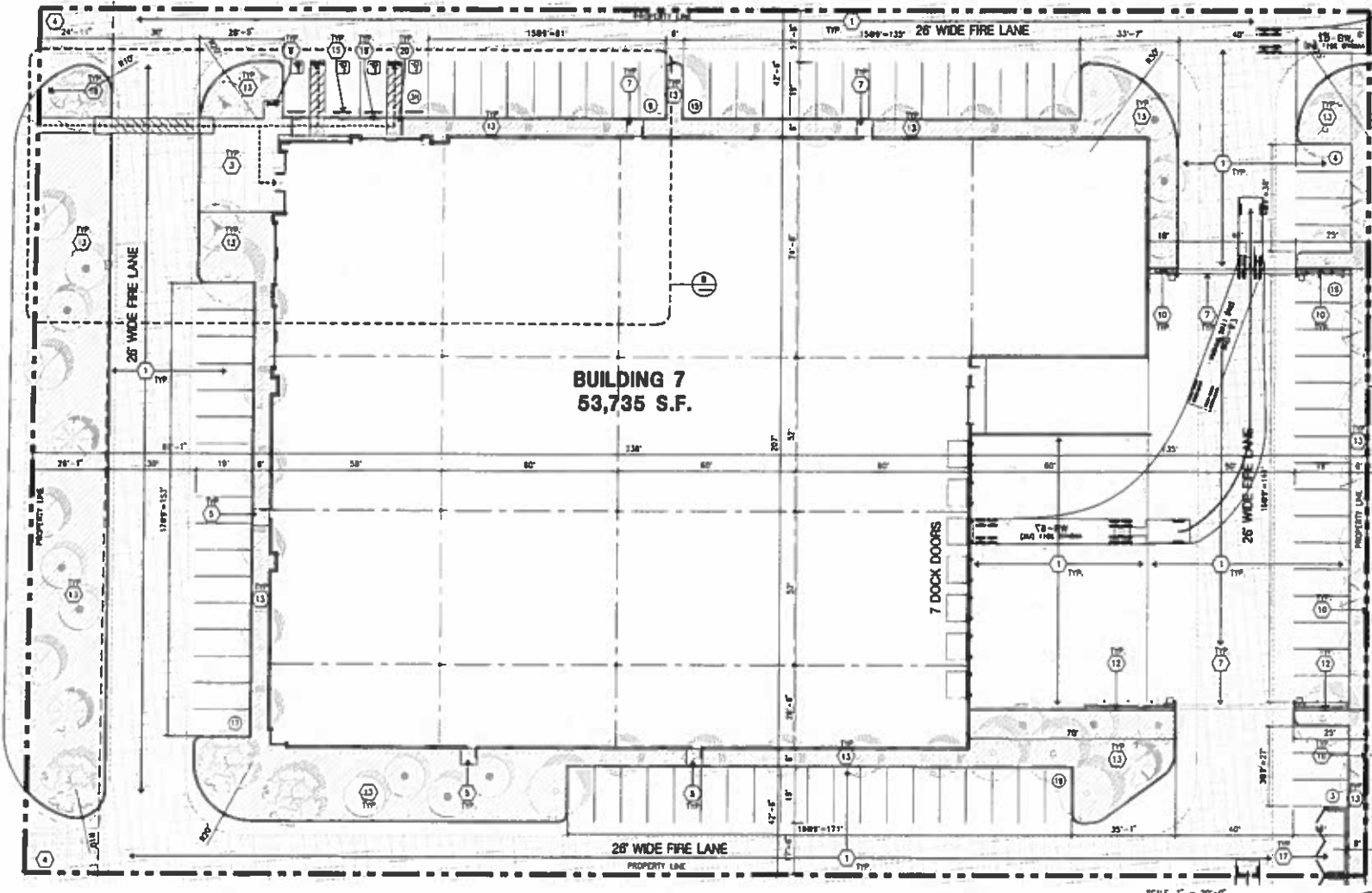
Title: aviation bldg 6

Project Number: 14282
Drawn by: ML
Date: 08/05/15
Revision: _____

Sheet:

6-A3.1

JUDSON STREET



OVERALL FLOOR PLAN A
SCALE: 1" = 30'-0"

SITE PLAN KEYNOTES

- 1 HEAVY BROOD FINISH CONCRETE PAVEMENT.
- 2 NOT USED
- 3 CONCRETE WALKWAY, MEDIUM BROOD FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED
- 5 5'-4" x 5'-4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOD FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
- 7 PROVIDE 8' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 CONCRETE RAMP W/ 4" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 8' HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- 11 EXTERIOR CONCRETE STAIR.
- 12 8' HIGH CONCRETE TILT-UP SCREEN WALL.
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 EMPLOYEE BREAK/SMOKING AREA.
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 CONCRETE FILLED GUARD POST 18" DIA. U.N.O. 4" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.
- 21 APPROXIMATE LOCATION OF FIRE HYDRANT.
- 22 WALL MOUNTED LIGHTING FEATURE.
- 23 SITE LIGHT POLE W/ CONCRETE BASE.
- 24 8' HIGH METAL SPRING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 25 NOT USED

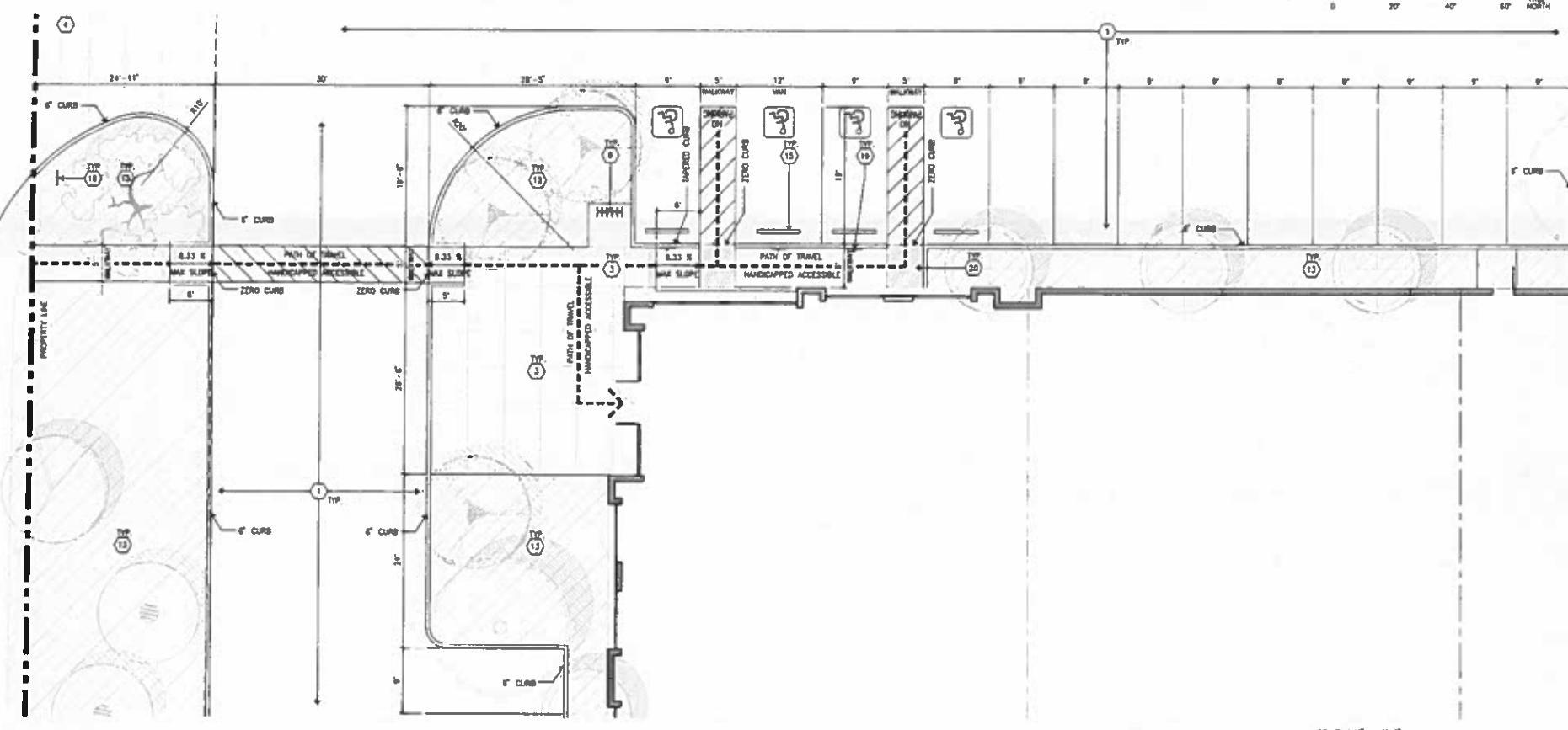
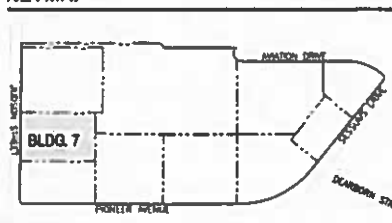
SITE PLAN GENERAL NOTES

- 1 THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
- 2 IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- 3 ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR END LINE U.N.O.
- 4 SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SHALES.
- 5 THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- 6 SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- 7 PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- 8 CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- 9 SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- 10 CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 8' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. INT. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4" FINISH TO BE A MEDIUM BROOD FINISH U.N.O.
- 11 PAINT CURBS AND PROVIDE SIGNS TO RETURN OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- 12 CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- 13 PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- 14 ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN CULDELAGES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- 15 ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- 16 LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

SITE PLAN GENERAL NOTES

- CONCRETE FINISH: SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (8' X 18')
- LANDSCAPED AREA
- 28' WIDE FIRELANE
- HANDICAP PARKING STALL (8' X 18') W/ 5' ACCESSIBLE AISLE
- HANDICAP PARKING STALL (12' X 18') W/ 5' ACCESSIBLE AISLE
- PATH OF TRAVEL

KEYMAP



ENLARGED SITE PLAN B
SCALE: 1/8" = 1'-0"

CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT



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Project:
REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92374

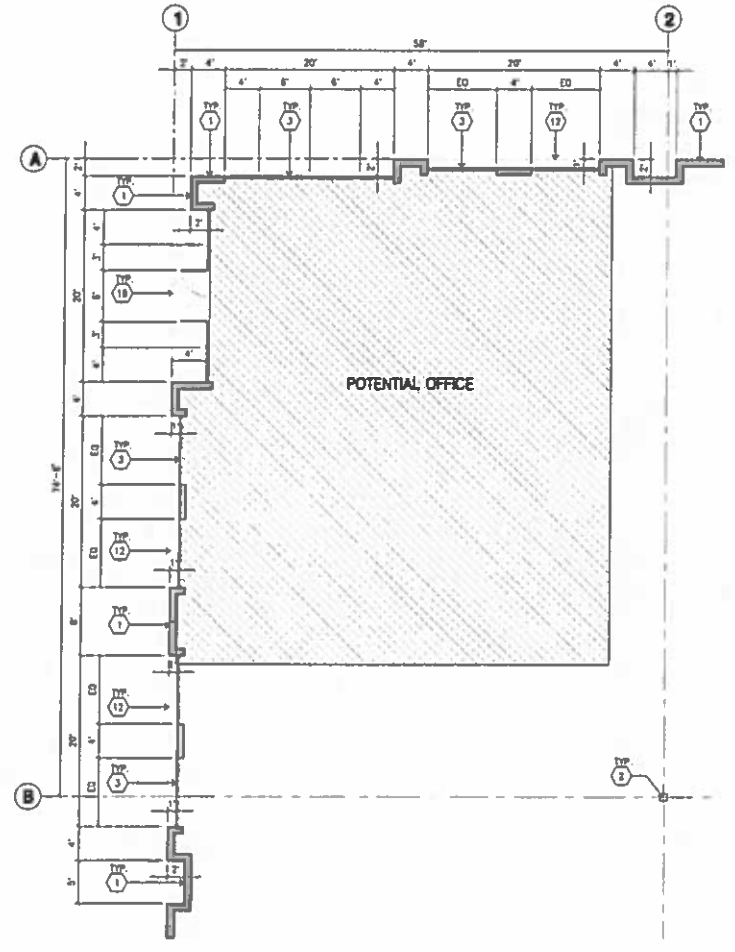
Consultants:
Civil: **HICKS & HARTWICK INC.**
Structural
Mechanical
Plumbing
Electrical
Landscape: **SPLAN INC.**
Fire Protection
Soils Engineer

Title: overall site plan @ bldg 7

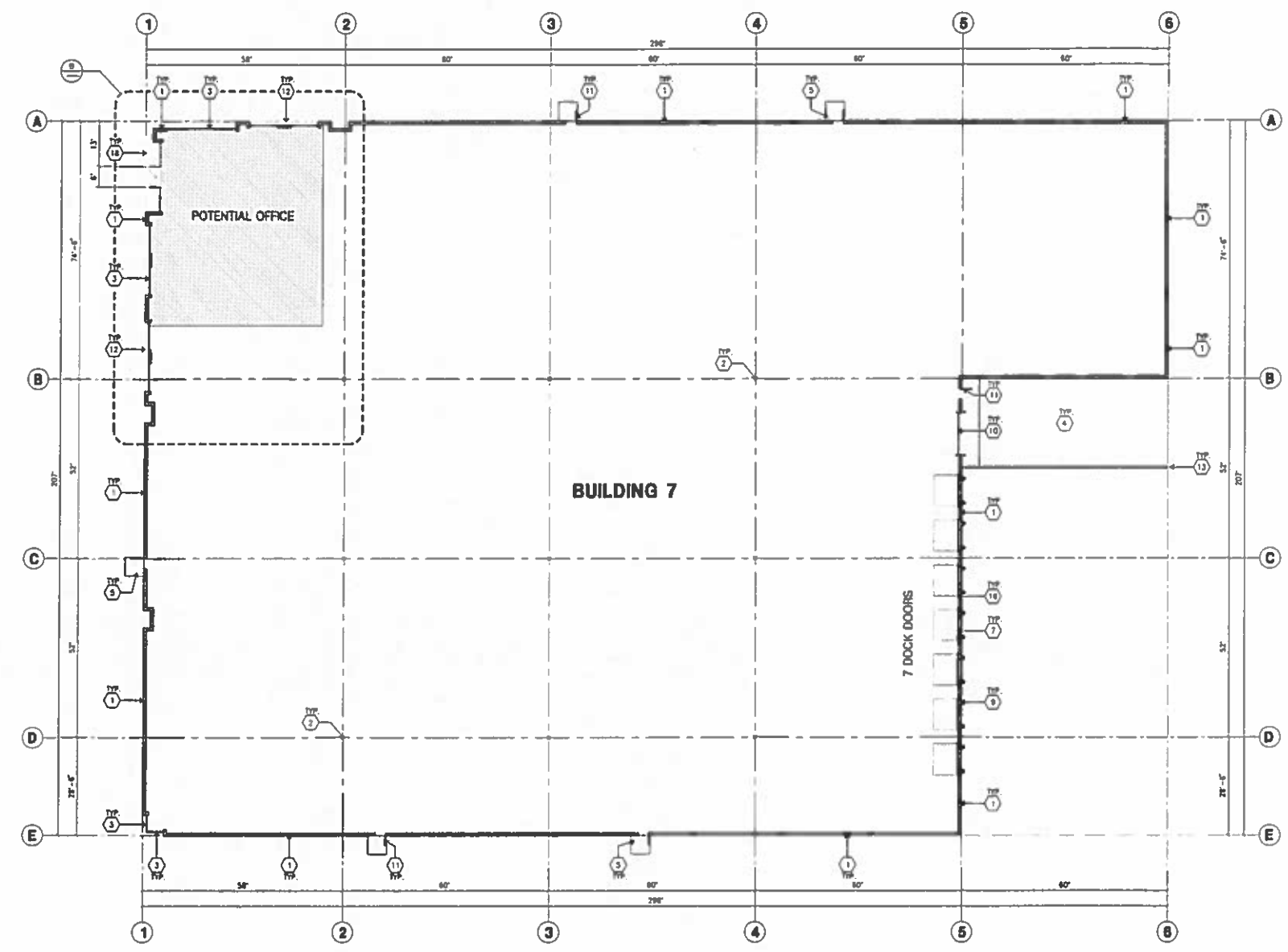
Project Number: 14282
Drawn by: MR.
Date: 08/05/15
Revision:

Sheet:

7-A1.1



ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"
DATE: 1/18



OVERALL FLOOR PLAN
SCALE: 1/4" = 1'-0"
DATE: 1/18

FLOOR PLAN KEYNOTES

1. CONCRETE TILT-UP PANEL.
2. STRUCTURAL STEEL COLLAR.
3. TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
4. CONCRETE RAMP W/ 4" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
5. 2'-0" x 8'-0" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
6. EXTERIOR CONCRETE STAIR W/ 4" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
7. 8' x 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
8. 4' x 8' LOUVERED OPENING FOR VENTILATION.
9. DOCK DOOR BRAMPER TYPICAL.
10. 12' x 14' DRIVE THRU SECTIONAL O.H., STANDARD GRADE.
11. 3' x 7' HOLLOW METAL EXTERIOR MAN DOOR.
12. SLOTTED LINE ABOVE.
13. CONIC FILLED GUARD POST. 6" DIA. U.N.D. 42"H.
14. EMPLOYEE BREAK/SMOKING AREA.
15. PRE-CAST CONCRETE WHEEL STOP.
16. 2' GUARD.
17. APPROXIMATE LOCATION OF ELECTRICAL ROOM.
18. METAL CANOPY ABOVE.
19. INTERIOR BIKE RACK TYPICAL.
20. NOT USED.
21. NOT USED.

FLOOR PLAN GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLLARS ARE TO RECEIVE FINISH ONLY. ALL D.P., B.U. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE POLAR STRIP 1/2" TO EXTERIOR AT ALL WAREHOUSE EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, CURBLINE, OR FACE OF STUD WALL.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS, PLUMBING/ELECTRICAL COORDINATION.
8. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET -- NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH DIMENSIONS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE BARRIERS INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER IBC 11336.1.1.1.
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCRUBBED FROM PUBLIC VIEW. SEE A/A4.1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS.
1. FLOOR COMPACTION = 85%
 2. TRENCH COMPACTION = 85%
 3. BUILDING FLOOR SLAB:
 - A. 8" THICK MIN. UN-REINFORCED CONCRETE OVER COMPACTED SOILS
 - B. 3/4" - 1" LONG @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS
 - C. 1/4" - 1/2" LONG @ 24" O.C. DOWELS IN DOWEL BASKET AT ALL CONTROL JOINTS.
 - D. 4,000 P.S.I. REQUIREMENT.
 - E. SLAB TO BE 4" +/- 1"
 - F. JOINT SPACING PER A.C.I. 302-R-96
 - G. SAW-CUT DEPTH 1/4"; SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-R-96
 5. CONCRETE SLAB TO HAVE STEEL FLOOR HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAMPED.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE FFSD FL33 MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15#L STEED OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 - CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VOUCHER ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS. CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH M-M-80 JOINT FILLER IN FUTURE OFFICE AREAS.
 12. SEAL CONCRETE SLAB W/ "LIPODOLVITY" SEALER

Owner:

**ROSSMORE
ENTERPRISES**

605 E MAIN ST. STE #7
ASPEN, CO 81611
TEL: 970-429-4223

Project:

**REDLANDS
AVIATION
BUSINESS
PARK**

REDLANDS, CA 92374

Consultants:

Old: **HICKS & HARTWICK INC.**
Mechanical
Plumbing
Electrical
Landscape
File Projection
Soils Engineer

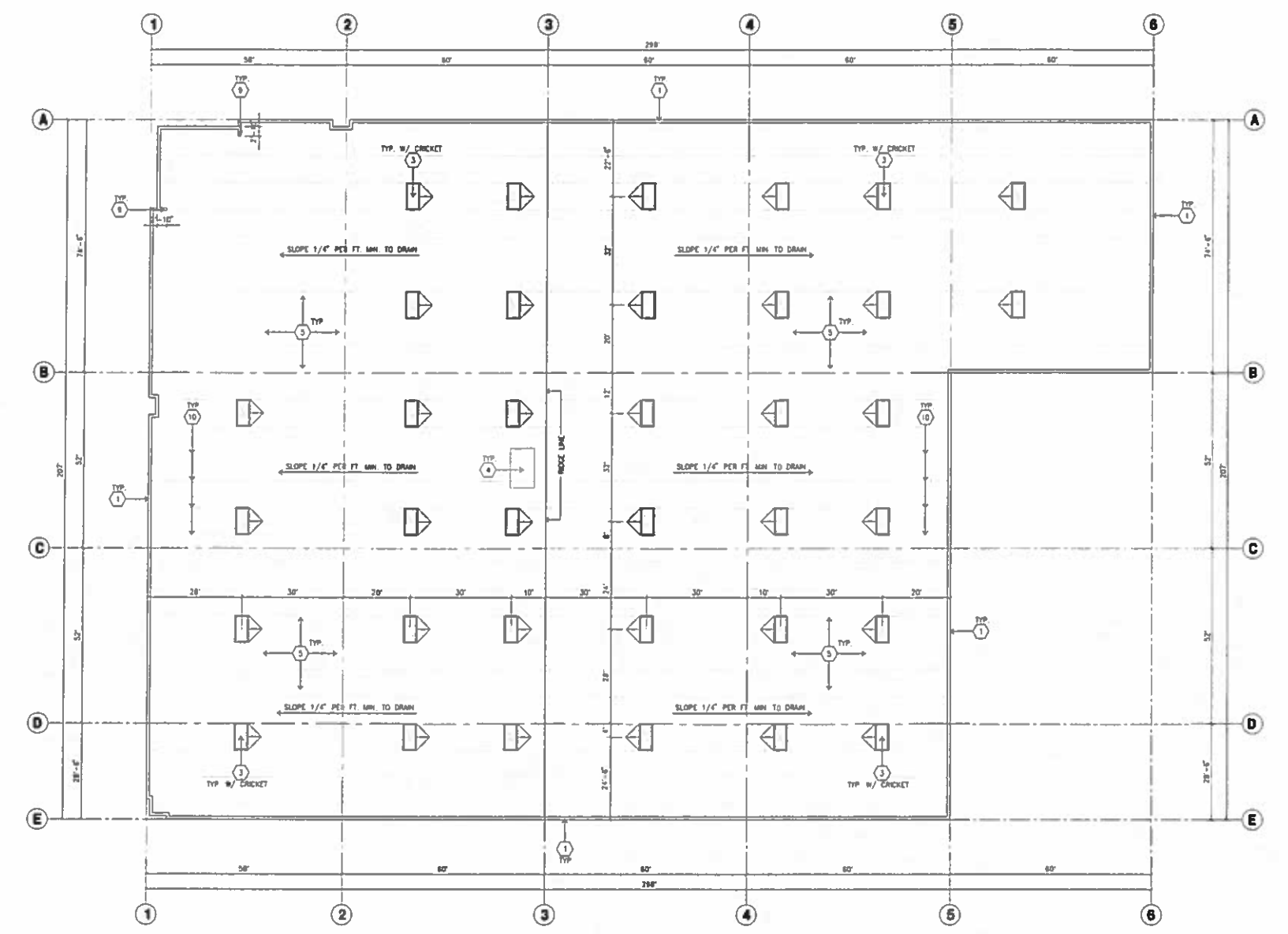
SPLAN INC.

Title: **overall roof plan @ bldg. 7**

Project Number: **14282**
Drawn by: **ML**
Date: **08/05/15**
Revision:

Sheet:

7-A2.10



OVERALL ROOF PLAN
SCALE: 1/16" = 1'-0"
TRUE NORTH

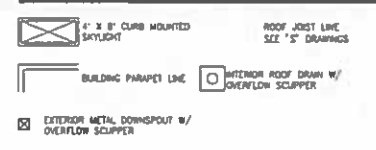
ROOF PLAN KEYNOTES

- 1 CONCRETE PARAPET, SEE "S" DRAWINGS FOR THICKNESS.
- 2 A/C LINT, SEE "M" DRAWINGS PROVIDE SUPPORT @ ROOF AS REQUIRED.
- 3 4" x 8" CURB MOUNTED SKYLIGHT/SMOKE HATCH.
- 4 ROOF ADDRESS PAINTED BLACK 4" HIGH W/ 1" WIDE STRIKE PER LETTER
- 5 PROVIDE 4-PLY BUILT-UP ROOFING OVER ROOF SHEATHING OVER ROOF FRAMING, U.N.G. ROOFING TO BE 90-24 CAP ROOFING BY JONES-BARNVILLE OR EQUAL (CLOSE & TIGHT) 10 YEAR 90 DOLLAR LMT WARRANTY AND 3 YEAR LABOR GUARANTEE.
- 6 APPROXIMATE LOCATION OF EXHAUST FAN.
- 7 APPROXIMATE LOCATION OF ROOF HATCH.
- 8 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 9 PARAPET RETURN.
- 10 STRUCTURAL JOIST, SEE "S" DRAWINGS.
- 11 EXTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 12 NOT USED.
- 13 NOT USED.
- 14 NOT USED.

ROOF PLAN GENERAL NOTES

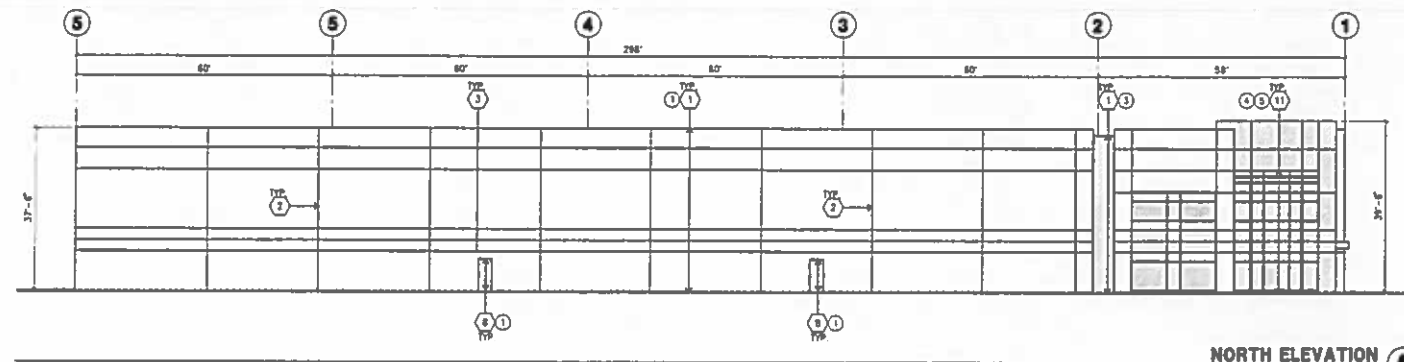
- 1 ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, GRIDLINE, OR FACE OF STUD. (U.N.G.)
- 2 VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT) PRIOR TO ROOF INSULATION INSTALLATION.
- 3 REFER TO "S" DRAWINGS FOR ROOF HEIGHT (ELEVATIONS IN REGARDS TO ROOF DRAINAGE).
- 4 CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
- 5 FOR TYP. ROOF PENETRATIONS, SEE DETAIL 8, 9, 10/ADJ CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
- 6 CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
- 7 CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS LOCATIONS ON DRAWINGS ARE APPROXIMATE.
- 8 ALL SKYLIGHTS TO BE DESIGNED PER WIND SPEED DESIGN CRITERIA W/ STRONGER FRAMES, SUPPORTS AND BONDS. MANUFACTURER TO CONFIRM IN WRITING.
- 9 ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN. 8" DIA., SEE "P" DRAWINGS FOR EXACT SIZE.
- 10 PROVIDE SHAPED CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN).
- 11 BUILT UP ROOFING TO BE DESIGNED FOR 1 SD AND TO BE A U.L. CLASS A ROOF FLASHING 6AT TYPE 504 HOPPED AP SHEET, U.L. TYPE 63 BUR.
- 12 ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS. PROPER REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY MANUAL (FM) WIND UPLIFT PRESSURE REQUIREMENTS.
- 13 ALL SKYLIGHTS TO BE PLACED A MIN. OF 18"-0" FROM INSIDE FACE OF PARAPET.
- 14 USE WHITE SCRM FOL INSULATION IN THE WAREHOUSE AREA.
- 15 SMOKE VENTS SHALL BE REQUIRED IF AREAS FOR "POTENTIAL OFFICES" WILL BE USED FOR HIGH PILE COMBUSTIBLE STORAGE.
- 16 ROOF DRAINS, OVERFLOW DRAINS AND DRAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTING DRAIN, WASTE AND VENT SYSTEMS.
- 17 ROOF DRAINS, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
- 18 MANUFACTURED ROOF DRAINS AND OVERFLOWS/FITURES SHALL BE W/PHD LISTED.

ROOF LEGEND

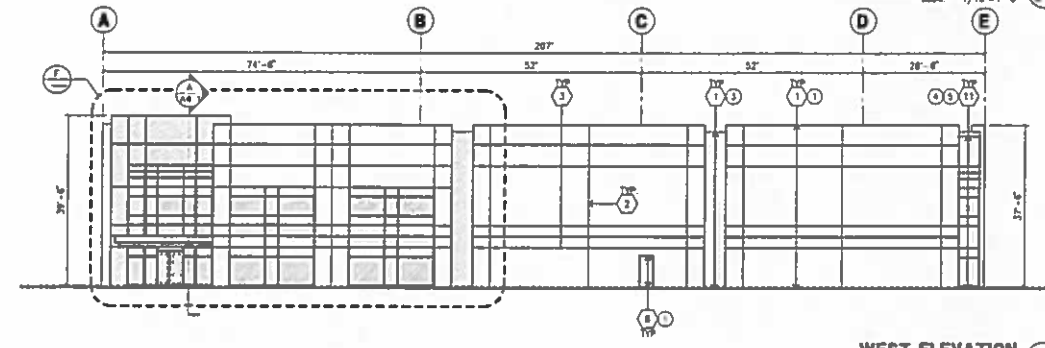


SKYLIGHT CALCULATION

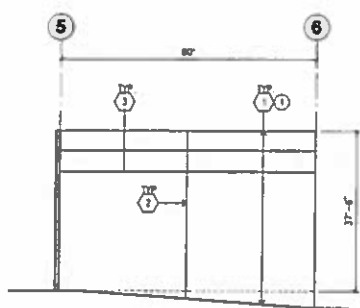
BUILDING FOOTPRINT	= 53,735 S.F.
SKYLIGHTS PROVIDED	= 25X = 1,152 S.F. (26 EA.)



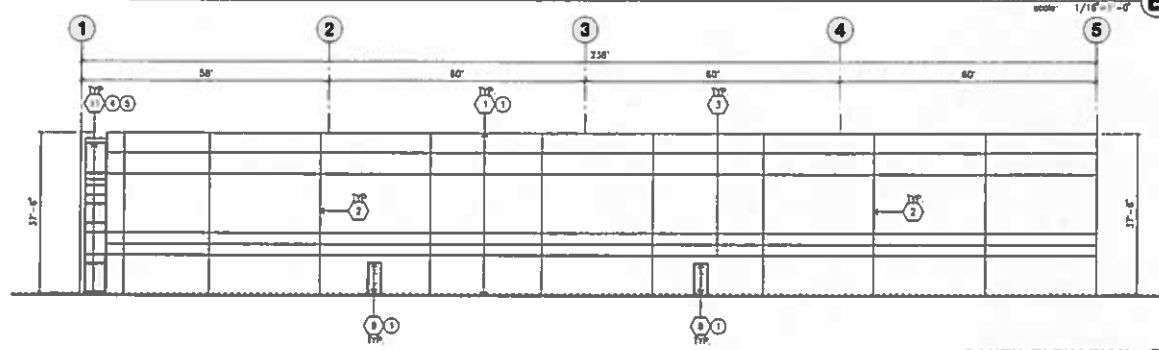
NORTH ELEVATION
SCALE: 1/16"=1'-0"



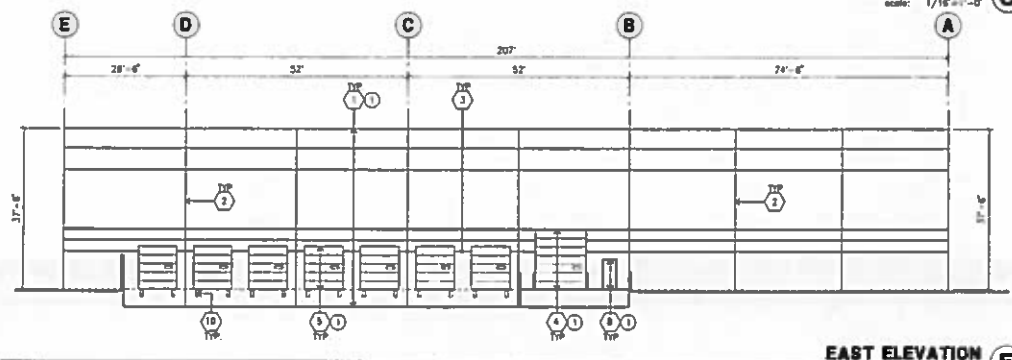
WEST ELEVATION
SCALE: 1/16"=1'-0"



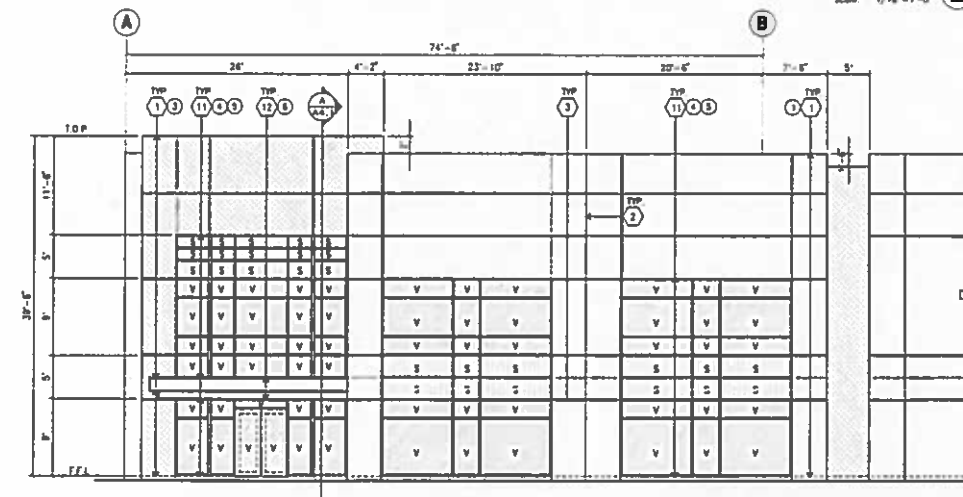
SOUTHEAST ELEVATION
SCALE: 1/16"=1'-0"



SOUTH ELEVATION
SCALE: 1/16"=1'-0"



EAST ELEVATION
SCALE: 1/16"=1'-0"



ENLARGED WEST ELEVATION
SCALE: 1/8"=1'-0"

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER.
- 4 REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.D.
- 5 12" X 14" OVERHEAD DOOR & DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 8" X 10" OVERHEAD DOOR & DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 7 CONCRETE STAIR LANDING AND QUARNAL W/ METAL PIPE HANDRAIL. PROVIDE NON-SKID FINISH TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 1" WIDE WARNING STRIPE. INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 8 4" X 8" METAL LAMER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 9 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR.
- 10 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 11 DOCK DOOR BUMPER TYPICAL.
- 12 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FRESH FLOOR ELEVATION.
- 13 METAL CANOPY.
- 14 KNOCK OUT PANEL.
- 15 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
- 16 CONIC. FILLED GUARD POST 6" DIA. U.N.D. 42"H
- 17 NOT USED
- 18 NOT USED

ELEVATION GENERAL NOTES

- 1 ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- 2 ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- 3 F.O.P. CL. = TOP OF PARAPET ELEVATION
- 4 F.F. = FRESH FLOOR ELEVATION
- 5 STOREFRONT CONSTRUCTION. GLASS, METAL ATTACHMENTS AND LITELS SHALL BE DESIGNED TO RESIST - 10MP EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- 6 CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- 7 BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- 8 FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- 9 USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- 10 THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL. COLOR: SW 7008 EXTRA WHITE
 - 2 CONCRETE TILT-UP PANEL. COLOR: SW 7073 NETWORK GRAY
 - 3 CONCRETE TILT-UP PANEL. COLOR: SW 7075 WEB GRAY
 - 4 GLAZING COLOR: BLUE REFLECTIVE GLAZING
 - 5 WALLS COLOR: CLEAR ANODIZED
 - 6 CANOPY MATERIAL: ALUMINUM COMPOSITE PANEL
 - 7 DOOR COLORS: MATCH BUILDING COLOR
- * PAINT TO BE SHERWIN WILLIAMS UNLESS NOTED OTHERWISE.

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- SPANDREL GLASS
 - VISION GLASS
- ALL GLAZING TO BE TEMPERED
- GLAZING: PPG SOLARCOLD (2) PACIFICA + SOLARBAN 80 (3) CLEAR
 1/2" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES
 SPANDREL: 1/4" SOLARCOLD PACIFICA SPANDREL W/ HARMONY GRAY
 OPACIDAT PAINTED ON REFLECTIVE.
 WALLS: ANODIZED CLEAR



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Project:
 REDLANDS
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REDLANDS, CA 92374

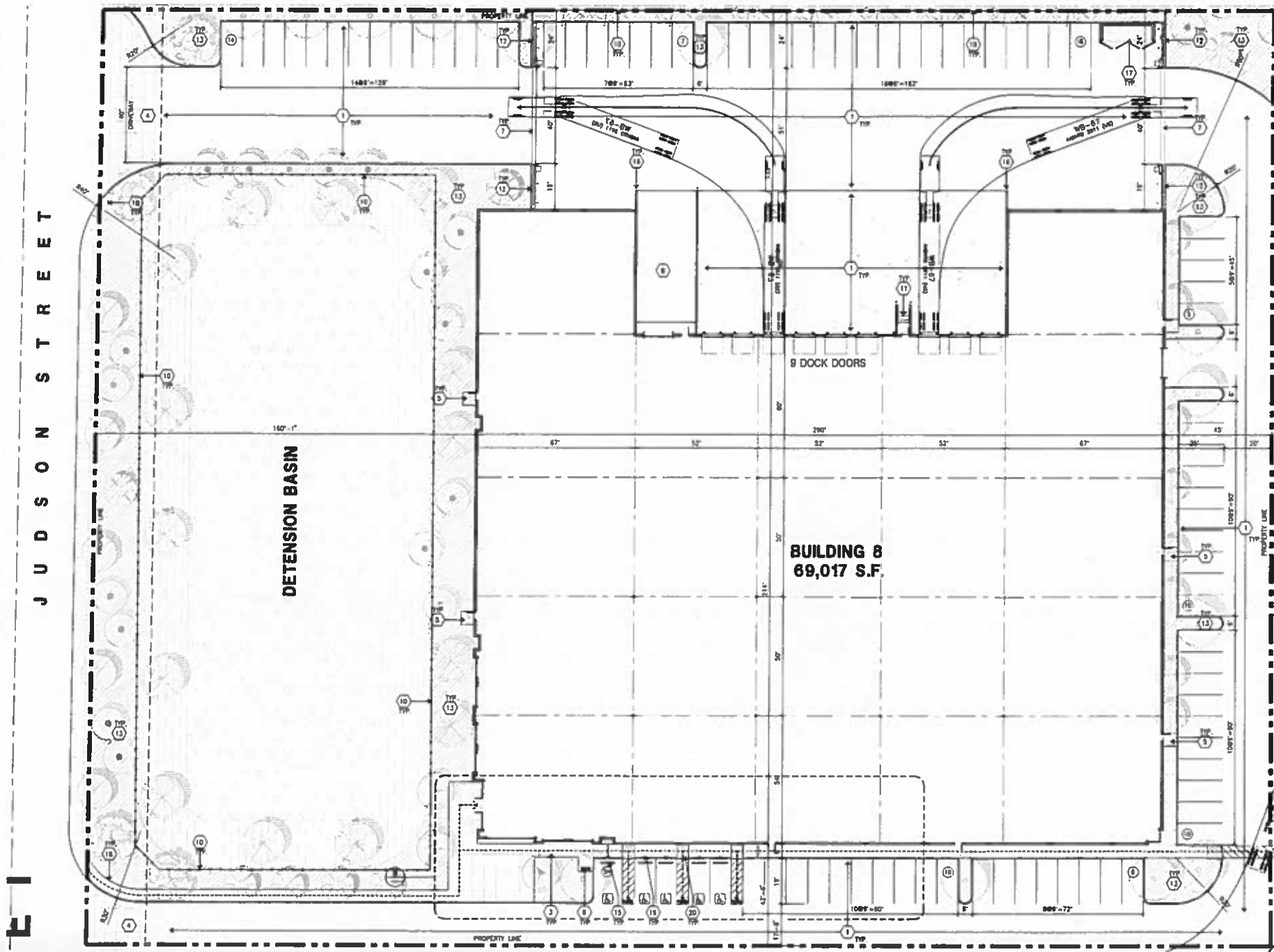
Consultants:
 HICKS & HARTWICK INC.
 Structural
 Mechanical
 Plumbing
 Electrical
 Landscape
 Fire Protection
 Sole Engineer
 SPLAN INC.

Title: elevation blg 7

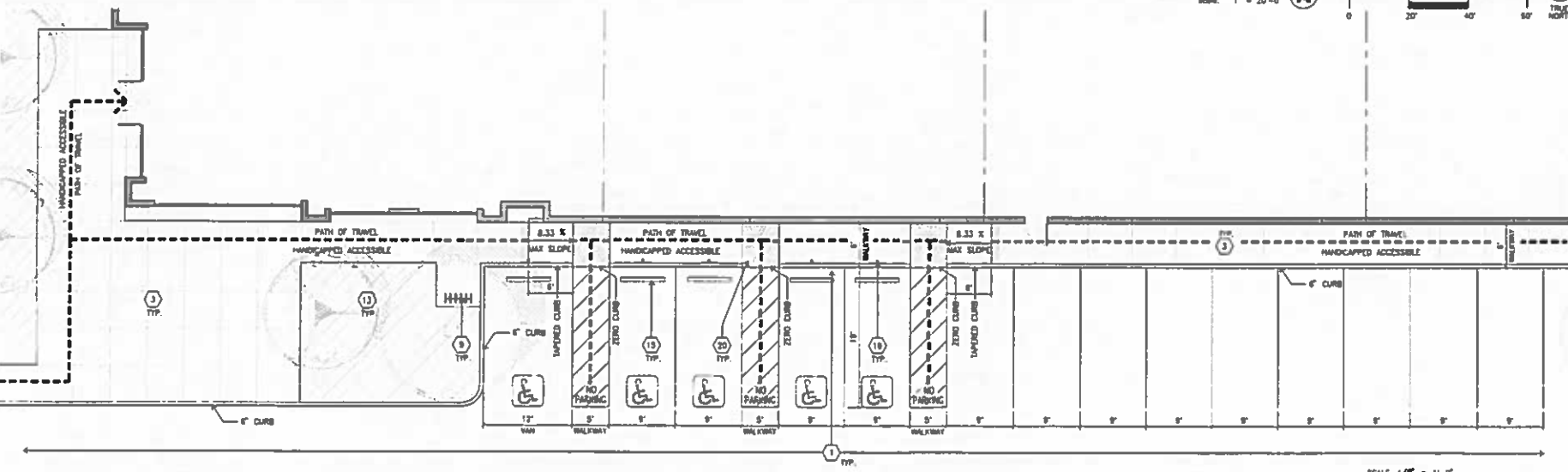
Project Number: 14282
 Drawn by: ML
 Date: 08/05/15
 Revision:

Sheet:

7-A3.1



OVERALL FLOOR PLAN (A) SCALE: 1" = 20'-0" NORTH



ENLARGED SITE PLAN (B) SCALE: 1/8" = 1'-0" NORTH

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 NOT USED
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APPROXS TO BE CONSTRUCTED
- 5 5'-6" x 3'-6" x 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REG. BY CITY INSPECTOR.
- 6 APPROPRIATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
- 7 PROVIDE 8" HIGH METAL GATES W/ 4" X 10" X 8" PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 CONCRETE RAMP W/ 4" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 8" HIGH METAL FENCE. SEE A1 FOR DETAILS.
- 11 EXTERIOR CONCRETE STAIR.
- 12 8" HIGH CONCRETE TILT-UP SCREEN WALL.
- 13 LANDSCAPE. ALL LANDSCAPED AREAS INDICATED BY SHADING.
- 14 EMPLOYEE BREAK/SHOeking AREA
- 15 PRE-CAST CONCRETE WHEEL STOP
- 16 CONCRETE FILLED GUARD POST "8" DIA. U.N.D. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.
- 21 APPROPRIATE LOCATION OF FIRE HYDRANT.
- 22 WALL MOUNTED LIGHTING FIXTURE.
- 23 SITE LIGHT POLE W/ CONCRETE BASE.
- 24 8" HIGH METAL SPRING GATE W/ 4" X 10" X 8" PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 25 NOT USED

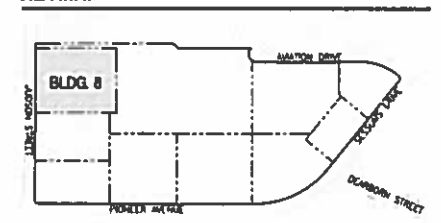
SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TSD
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.D.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, CUTTERS AND SHOULDS.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 8' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" O.A. W/ EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4" FINISH TO BE A MEDIUM BROOM FINISH U.N.D.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LINES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

SITE PLAN GENERAL NOTES

- | | |
|--|---|
| CONCRETE PAVING. SEE "C" DRAWINGS FOR FINISHES | HANDICAP PARKING STALL (8' X 18') W/ 3' ACCESSIBLE AISLE |
| STANDARD PARKING STALL (8' X 18') | HANDICAP PARKING STALL (NMA) (12' X 18') W/ 3' ACCESSIBLE AISLE |
| LANDSCAPED AREA | PATH OF TRAVEL |
| 24" PRECAST CURB | |

KEYMAP



CAUTION: IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT



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Project:

REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92374

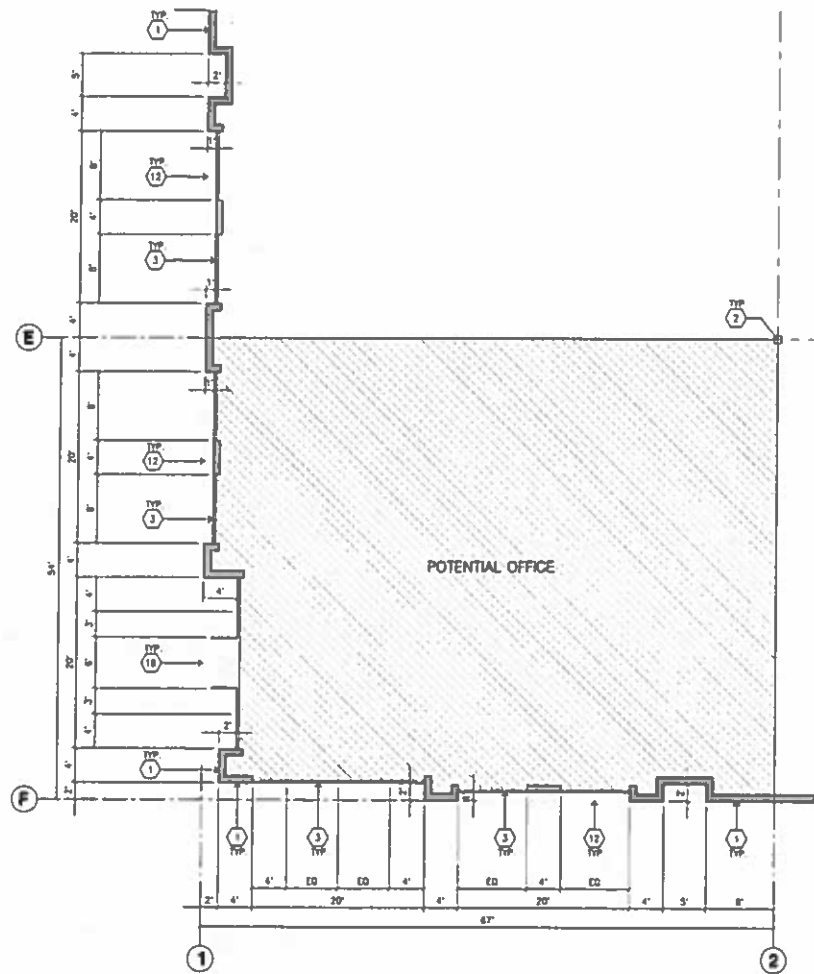
Consultants:

Civil: HICKS & HARTWICK INC.
Structural: _____
Mechanical: _____
Plumbing: _____
Electrical: _____
Landscape: SPLAN INC.
Fire Protection: _____
Soils Engineer: _____

Title: overall site plan @ bldg. 8

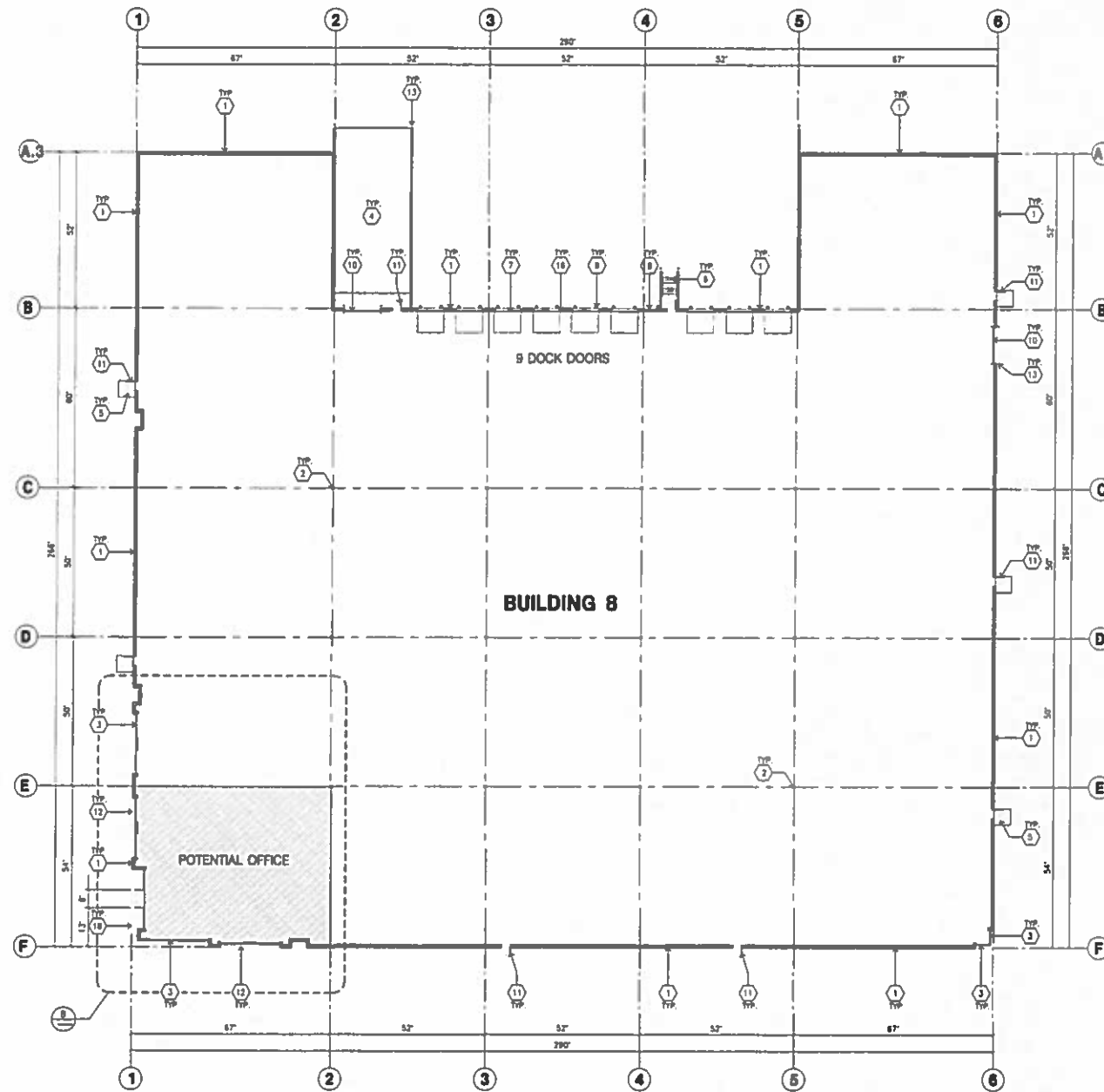
Project Number: 14282
Drawn by: ML
Date: 08/05/15
Revision: _____

Sheet: 8-A1.1



ENLARGED FLOOR PLAN (B)

SCALE: 1/8" = 1'-0"



OVERALL FLOOR PLAN (A)

SCALE: 1" = 30'-0"



FLOOR PLAN KEYNOTES

1. CONCRETE TILT-UP PANEL.
2. STRUCTURAL STEEL COLUMN.
3. TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
4. CONCRETE RAMP W/ 42" HIGH CONIC TILT-UP GUARD WALL ON BUILDING WALL ON BOTH SIDE OF RAMP.
5. 3'-0" x 11'-0" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROWN FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REG. BY CITY INSPECTION.
6. EXTERIOR CONCRETE STAIR W/ 42" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
7. 8' x 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
8. 4' x 8' LOWERED OPENING FOR VENTILATION.
9. DOOR DOOR BUMPER TYPICAL.
10. 12' x 14' DRIVE THRU SECTIONAL O.H., STANDARD GRADE.
11. 3' x 7' HOLLOW METAL EXTERIOR MAIN DOOR.
12. SOFFIT LINE ABOVE.
13. CONIC. FILLED GUARD POST, 6" DIA. U.N.E.L. 42"H.
14. EMPLOYEE BREAK/SMOKING AREA.
15. PRE-CAST CONCRETE WHEEL STOP.
16. 2 GUARD.
17. APPROXIMATE LOCATION OF ELECTRICAL ROOM.
18. METAL CANOPY ABOVE.
19. INTERIOR BIKE RACK TYPICAL.
20. NOT USED.
21. NOT USED.

FLOOR PLAN GENERAL NOTES

1. THIS BUILDING IS DESIGNED FOR HIGH FILE STORAGE WITH FIRE ACCESS MAIN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL OVP. SO WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL HANDDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL, WALL, CURBLINE, OR FACE OF STUD U.N.E.L.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
8. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET -- NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMPER INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAIN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIALS SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 80" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR PROVIDE WARNING SIGN LOCATED IN THE INTERIOR 200" FOR CBC 11.2.30 1.1.1.
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW, SEE A/A-1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS.
1. FLOOR COMPACTION - BSS.
 2. TRENCH COMPACTION - BSS.
 3. BUILDING FLOOR SLAB:
 - A. 6" THICK MIN. L&B-REINFORCED CONCRETE OVER COMPACTED SUBS.
 - B. 3/4" - 1" LONG @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS.
 - C. 3/4" - 1" LONG @ 24" O.C. DOWELS IN DOWNWEL BASKET AT ALL CONTROL JOINTS.
 - D. 4,000 P.S.I. REQUIREMENT.
 - E. SLUMP TO BE 4" +/- 1".
 - F. JOINT SPACING PER A.C.I. 302-40-08.
 - G. 3/4" x 1/4" DEPTH 1/4" T, SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-40-08.
 5. CONCRETE SLAB TO HAVE STEEL FLOOR HARD TRUCKS BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET DURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAMPERD.
 8. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE FT30 PLUS MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE INDICATED, PROVIDE VAPOR BARRIER (15#L STEED OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOLS ENGINEER OR MANUFACTURER'S RECOMMENDATION. CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER WOODEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS. CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-BG JOINT FILLER IN FUTURE OFFICE AREAS.
 12. SEAL CONCRETE SLAB W/ "LIPODOL" SEALER.



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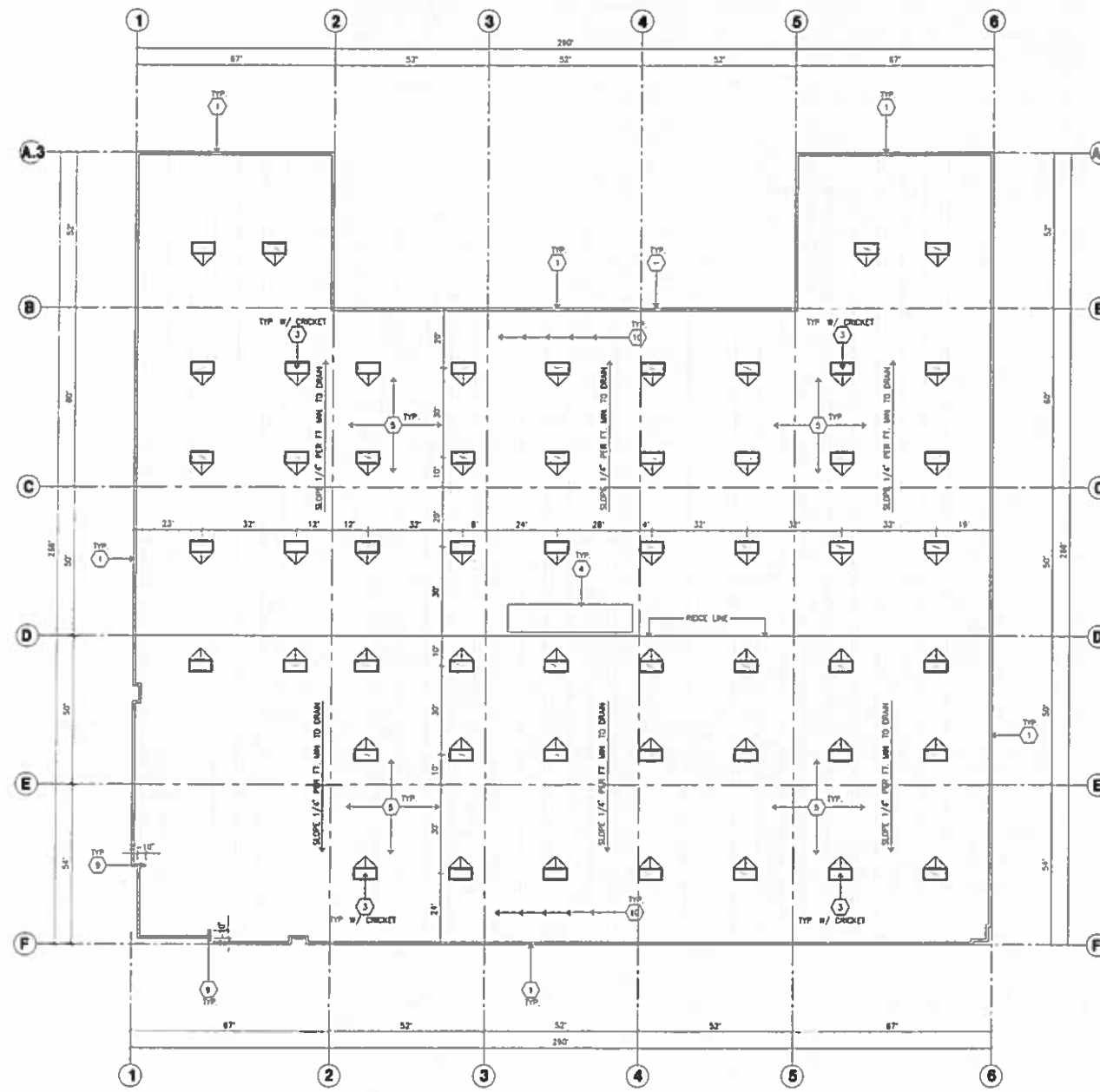
Title: overall floor plan @ bldg. 8

Project Number: 14282
Drawn by: ML
Date: 08/05/15

Revision:

Sheet:

8-A2.1



OVERALL ROOF PLAN
 scale 1" = 20'-0"

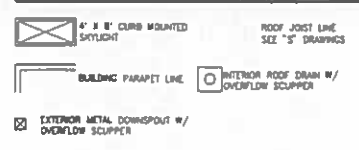
ROOF PLAN KEYNOTES

- 1 CONCRETE PARAPET, SEE "S" DRAWINGS FOR THICKNESS.
- 2 A/C UNIT, SEE "S" DRAWINGS PROVIDE SUPPORT & ROOF AS REQUIRED.
- 3 4" x 8" CURB MOUNTED SKYLIGHT/SMOKE HATCH.
- 4 ROOF ADDRESS PAINTED BLACK 4" HIGH W/ 1" WIDE STROKE PER LETTER.
- 5 PROVIDE 4-PLY BUILT-UP ROOFING OVER ROOF SHEATHING OVER ROOF FRAMING, U.N.G. ROOFING TO BE HD-24 CAP ROOFING BY JONES-HAWVILLE OR EQUAL (CLASS A RATED) 10 YEAR NO DOLLAR LIMIT WARRANTY AND 2 YEAR LABOR GUARANTEE.
- 6 APPROXIMATE LOCATION OF EXHAUST FAN.
- 7 APPROXIMATE LOCATION OF ROOF HATCH.
- 8 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 9 PARAPET RETURN.
- 10 STRUCTURAL JOIST SEE "S" DRAWINGS.
- 11 EXTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 12 NOT USED.
- 13 NOT USED.

ROOF PLAN GENERAL NOTES

- 1 ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, CURBLINE, OR FACE OF STUD (U.N.G.).
- 2 VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT) PRIOR TO ROOF INSULATION INSTALLATION.
- 3 REFER TO "S" DRAWINGS FOR ROOF HEIGHT (ELEVATIONS IN REGARDS TO ROOF OPENINGS).
- 4 CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
- 5 FOR TYP. ROOF PENETRATIONS, SEE DETAIL 8, 9, 10/AD.3 CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
- 6 CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
- 7 CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS LOCATIONS ON DRAWINGS ARE APPROXIMATE.
- 8 ALL SKYLIGHTS TO BE DESIGNED PER WIND SPEED DESIGN CRITERIA W/ STRONGER FRAMES, SUPPORTS AND DOWNES MANUFACTURER TO CONFIRM IN WRITING.
- 9 ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN. 8" DIA., SEE "P" DRAWINGS FOR EXACT SIZE.
- 10 PROVIDE SHAPED CRACKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN).
- 11 BUILT UP ROOFING TO BE DESIGNED FOR 1 SO AND TO BE A U.L. CLASS A ROOF FLASHING, 6A7 TYPE SAE W/ CORP AP SHEET, U.L. TYPE 63 BUR.
- 12 ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS, PROPER REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY MUTUAL (FM) WIND UPLIFT PRESSURE REQUIREMENTS.
- 13 ALL SKYLIGHTS TO BE PLACED A MIN. OF 18"-0" FROM INSIDE FACE OF PARAPET.
- 14 USE WHITE SCUM FOR INSULATION IN THE WARDHOUSE AREA.
- 15 SMOKE VENTS SHALL BE REINFORCED IF AREA FOR "POTENTIAL OFFICES" WILL BE USED FOR HIGH PILE COMBUSTIBLE STORAGE.
- 16 ROOF DRAINS, OVERFLOW DRAINS AND RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTING DRAIN, WASTE AND VENT SYSTEMS.
- 17 ROOF DRAINS, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
- 18 MANUFACTURED ROOF DRAINS AND OVERFLOWS(FITTINGS) SHALL BE W/NO LISTED.

ROOF LEGEND



SKYLIGHT CALCULATION

BUILDING FOOTPRINT	= 69,017 S.F.
SKYLIGHTS PROVIDED	= 2.5% = 1,728 S.F. (24 EA)



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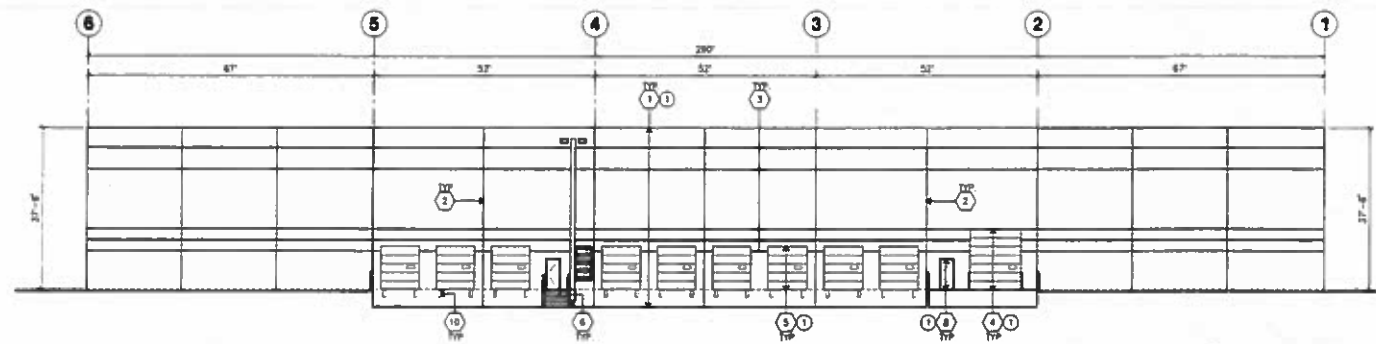
Consultants:
 Civil: HICKS & HARTWICK INC.
 Structure: -
 Mechanical: -
 Plumbing: -
 Electrical: -
 Landscape: SPLAN INC.
 Fire Protection: -
 Base Elevation: -

Title: overall roof plan @ bldg. 6

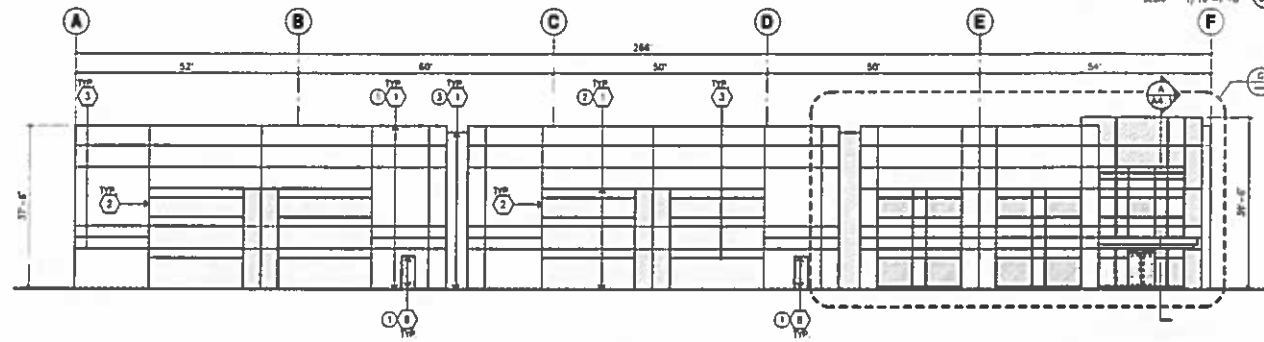
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Revision:

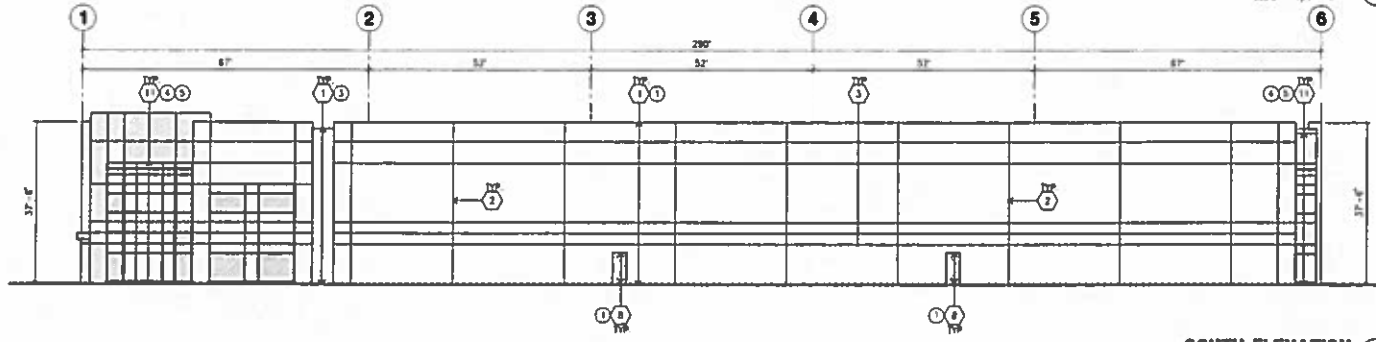
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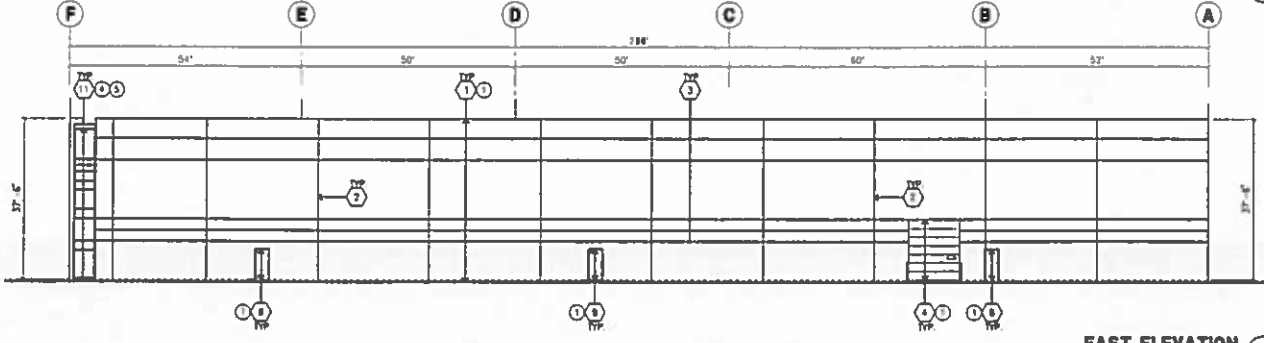
NORTH ELEVATION
scale: 1/16" = 1'-0"



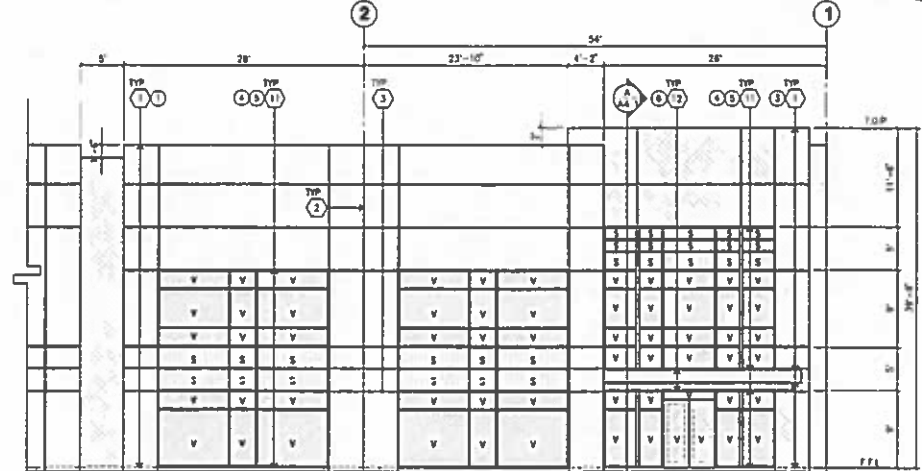
WEST ELEVATION
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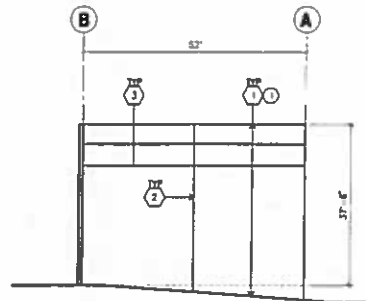
SOUTH ELEVATION
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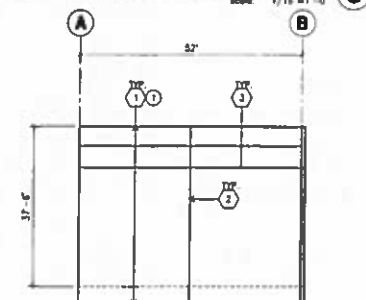
EAST ELEVATION
scale: 1/16" = 1'-0"



ENLARGED SOUTH ELEVATION
scale: 1/8" = 1'-0"



NORTHWEST ELEVATION
scale: 1/16" = 1'-0"



SOUTHEAST ELEVATION
scale: 1/16" = 1'-0"

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL
- 2 PANEL JOINT
- 3 REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR U.N.D.
- 4 12" x 14" OVERHEAD DOOR @ DRIVE THRU PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 8" x 10" OVERHEAD DOOR @ DRIVE THRU PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 CONCRETE STAIR LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL PROVIDE NON SKID TREADING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 1" WIDE HORIZONTAL STRIPES VERTICAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 7 4" x 8" METAL LAMBER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
- 9 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS.
- 10 DOOR DOOR BUMPER TYPICAL.
- 11 ALUMINUM STONEFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SCHEDULES ADJUSTED TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 12 METAL CANOPY.
- 13 KNOCK OUT PANEL.
- 14 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS.
- 15 CONC. FILLED GUARD POST 6" DIA. U.N.D. 4' H.
- 16 NOT USED
- 17 NOT USED

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. EL. = TOP OF PARAPET ELEVATION
4. F.F. = FINISH FLOOR ELEVATION
5. STONEFRONT CONSTRUCTION CLASS. METAL ATTACHMENTS AND PANELS SHALL BE DESIGNED TO RESIST - WIND EXPOSURE 1" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BOWND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

ELEVATION COLOR LEGEND/SCHED.

- | | |
|---|---|
| 1 | CONCRETE TILT-UP PANEL COLOR : SW 7008 EXTRA WHITE |
| 2 | CONCRETE TILT-UP PANEL COLOR : SW 7073 NETWORK GRAY |
| 3 | CONCRETE TILT-UP PANEL COLOR : SW 7075 WEB GRAY |
| 4 | GLAZING COLOR : BLUE REFLECTIVE GLAZING |
| 5 | MALLIONS COLOR : CLEAR ANODIZED |
| 6 | CANOPY MATERIAL : ALUMINUM COMPOSITE PANEL |
| 7 | DOOR COLORS : MATCH BUILDING COLOR |
- * PAINT TO BE SHERWIN WILLIAMS UNLESS NOTED OTHERWISE.

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- | | | | |
|--|----------------|--|--------------|
| | SPANDREL GLASS | | VISION GLASS |
|--|----------------|--|--------------|
- ALL GLAZING TO BE TEMPERED
- GLAZING: PPC SOLARCool (2) PACIFICA + SOLARBAN 60 (3) CLEAR
U. 0.29, SHGC: 0.13, VLT: 10%
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES
- SPANDREL: 1/4" SOLARCool PACIFICA SPANDREL W/ HARMONY GRAY SPANDREL PAINTED OR REFLECTIVE.
- MALLIONS: ANODIZED CLEAR



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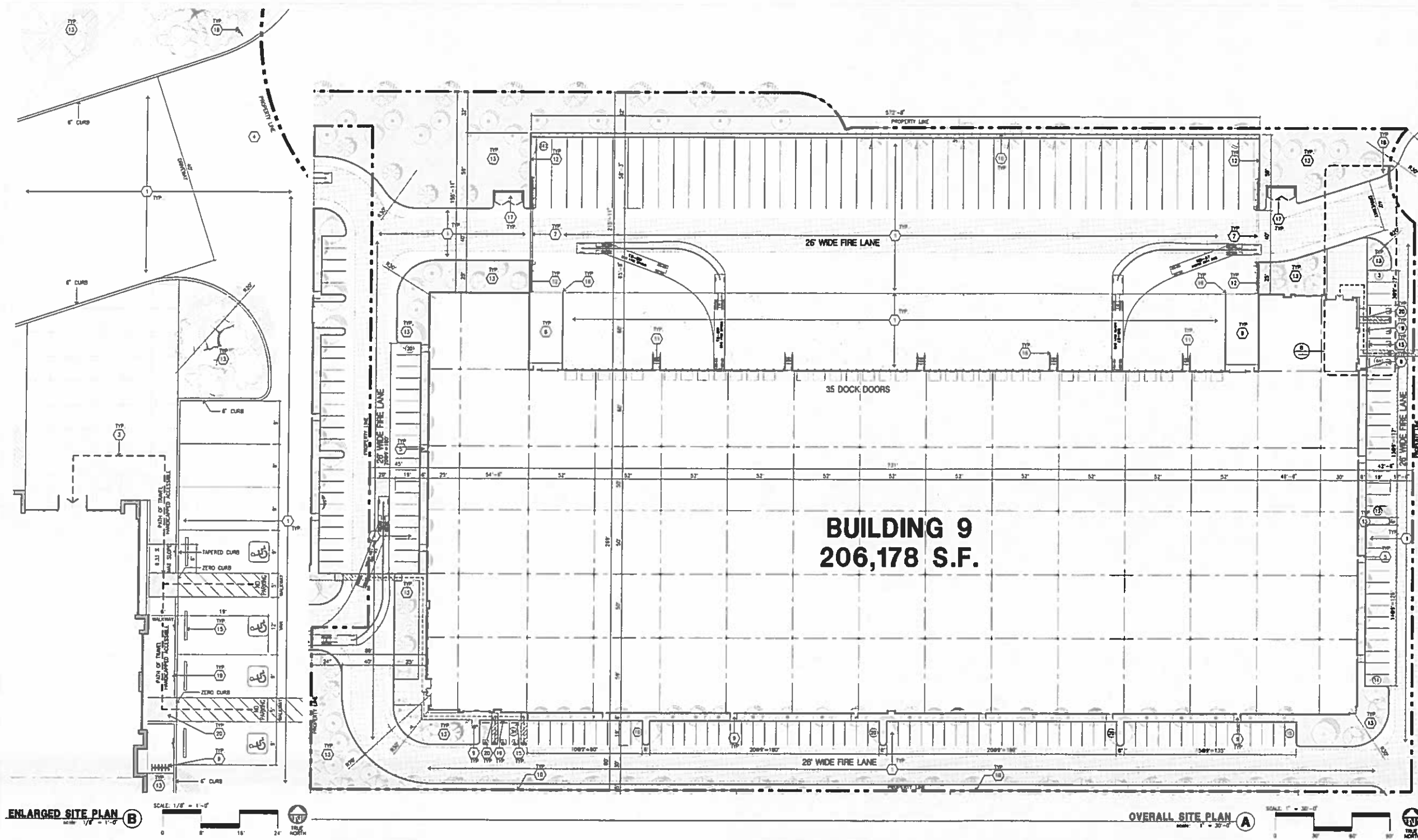
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Site Engineer:

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ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"
1/4" = 1'-0"

OVERALL SITE PLAN
SCALE: 1" = 30'-0"
1/4" = 1'-0"

SITE PLAN KEYNOTES

- | | |
|---|--|
| 1 HEAVY BROOM FINISH CONCRETE PAVEMENT | 21 APPROXIMATE LOCATION OF FIRE HYDRANT |
| 2 NOT USED | 22 WALL MOUNTED LIGHTING FIXTURE |
| 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH | 23 SITE LIGHT POLE W/ CONCRETE BASE |
| 4 DRIVEWAY APPROXS TO BE CONSTRUCTED | 24 8" HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY |
| 5 5'-6" x 15'-6" x 14" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OF DRIVE WAY AS REQ BY CITY INSPECTOR. | 25 NOT USED |
| 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E. | |
| 7 PROVIDE 8" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY | |
| 8 CONCRETE RAMP W/ 42" HIGH CONCRETE WALL | |
| 9 EXTERIOR BIKE RACK TYPICAL | |
| 10 8" HIGH METAL FENCE. SEE A4.1 FOR DETAILS. | |
| 11 EXTERIOR CONCRETE STAIR | |
| 12 8" HIGH CONCRETE TILT-UP SCREEN WALL | |
| 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING. | |
| 14 EMPLOYEE BREAK/SMOKING AREA | |
| 15 PRE-CAST CONCRETE WHEEL STOP | |
| 16 CONCRETE FILLED GUARD POST "8 DIA. U.N.D. 42" H. | |
| 17 TRASH ENCLOSURE PER CITY STANDARD | |
| 18 ACCESSIBLE ENTRY SIGN | |
| 19 ACCESSIBLE PARKING STALL SIGN | |
| 20 TRUNCATED DOME | |

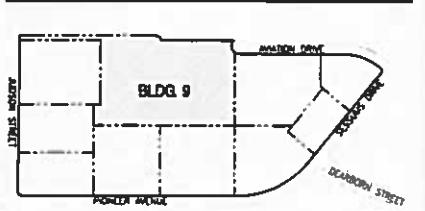
SITE PLAN GENERAL NOTES

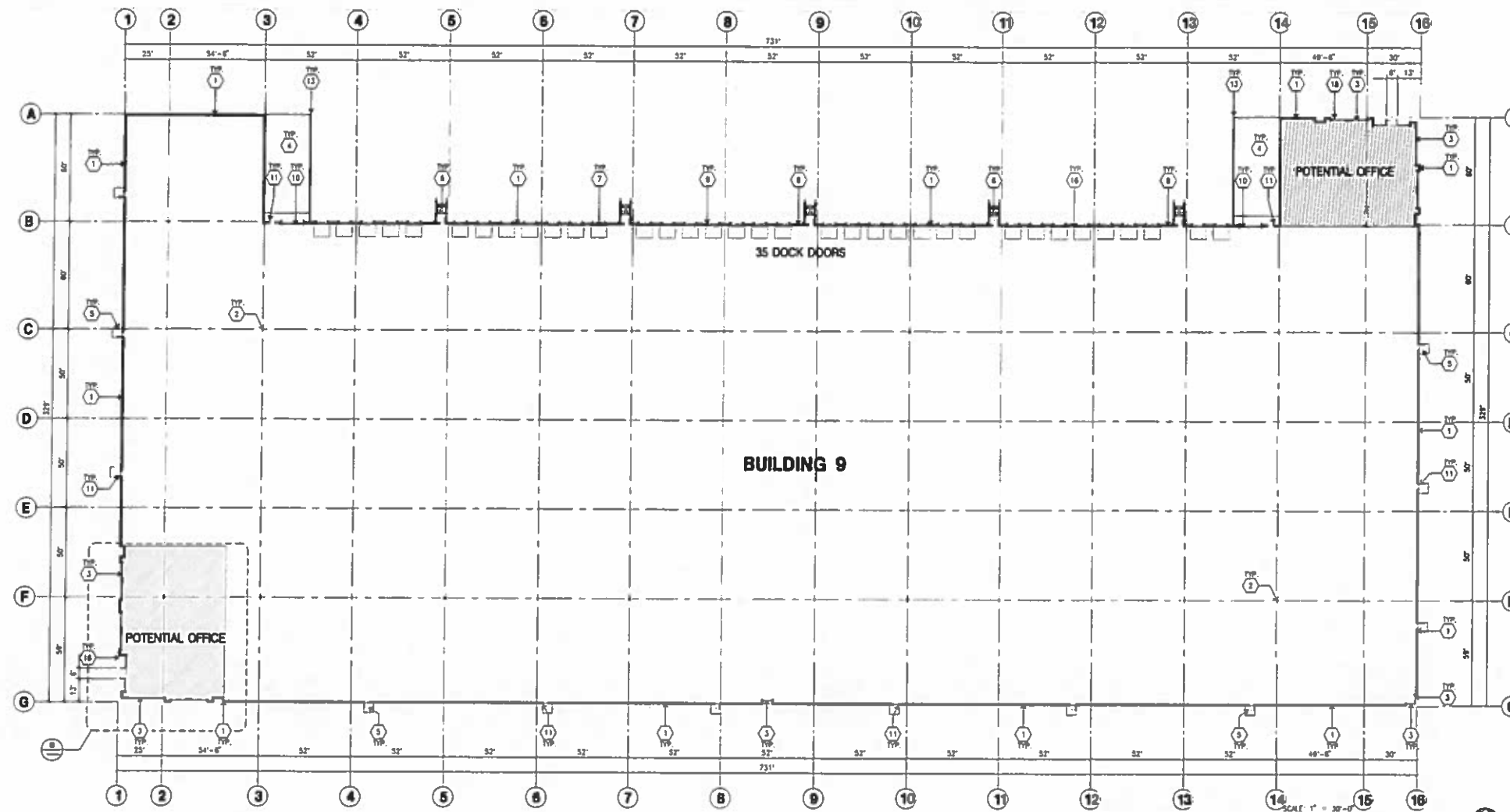
- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY TBO
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.D.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, CUTTERS AND SHOALS.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SEALS SHALL BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 4' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.D.
- PAINT CURBS AND PROVIDE SIGNS TO INDICATE FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.

SITE PLAN GENERAL NOTES

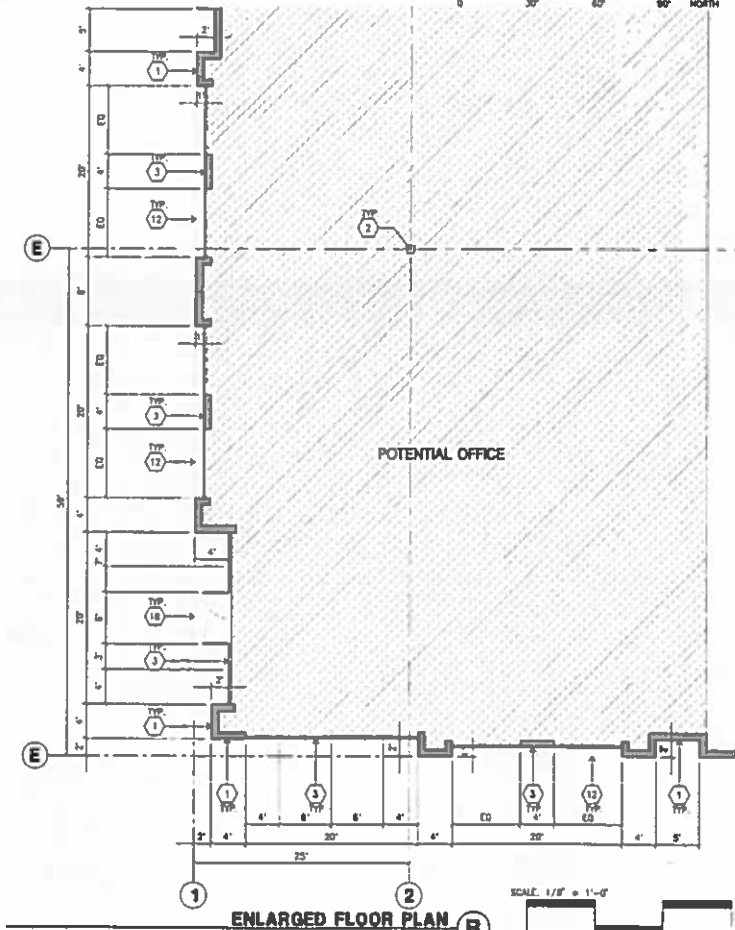
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
 - ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
 - ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
 - LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIZE INCHES (6") HIGH CURB
- | | |
|--|--|
| CONCRETE PAVING
SEE "C" DRWS. FOR THICKNESS | HANDICAP PARKING STALL
(8' x 12') W/ 5' ACCESSIBLE ISLE |
| STANDARD PARKING STALL
(9' x 18') | HANDICAP PARKING STALL (HW)
(12' x 18') W/ 5' ACCESSIBLE ISLE |
| LANDSCAPED AREA | |
| 26" WIDE FIRELANE | PATH OF TRAVEL |

KEYMAP





OVERALL FLOOR PLAN A
SCALE: 1" = 30'-0"



ENLARGED FLOOR PLAN B
SCALE: 1/8" = 1'-0"

FLOOR PLAN KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 4" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 3'-8" x 3'-8" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROWN FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 EXTERIOR CONCRETE STAIR W/ 4" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 7 9' x 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 8 4' x 8' LOUVERED OPENING FOR VENTILATION.
- 9 DOOR DOOR BUMPER TYPICAL.
- 10 12' x 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE.
- 11 3' x 7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE.
- 13 CONIC FILLED GUARD POST 8" DIA. U.N.O. 42" H.
- 14 EMPLOYEE BREAK/SMOKING AREA.
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 I GUARD.
- 17 APPROXIMATE LOCATION OF ELECTRICAL ROOM.
- 18 METAL CANOPY ABOVE.
- 19 INTERIOR BIKE RACK TYPICAL.
- 20 NOT USED.

FLOOR PLAN GENERAL NOTES

- 1 THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 10' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- 2 FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- 3 SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- 4 WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL CYP. SO. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- 5 SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
- 6 ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, ONLINE, OR FACE OF STUD U.N.O.
- 7 SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- 8 FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET - NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- 9 CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE ENCASED INCLUDING CARS AND TRUCKS.
- 10 ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
- 11 HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- 12 EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 66" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- 13 NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1.
- 14 ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/44.1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "C" DWGS FOR ADDITIONAL REQUIREMENTS.
- 1 FLOOR COMPACTION - 95%.
 - 2 TRENCH COMPACTION - 90%.
 - 3 BUILDING FLOOR SLAB:
 - A. 4" TWICE MIN. MIN-REINFORCED CONCRETE OVER COMPACTED SOILS.
 - B. 3/4" - 18" LONG @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS.
 - C. 3/4" - 18" LONG @ 24" O.C. DOWELS IN DOWEL BASKET AT ALL CONTROL JOINTS.
 - D. 4200 P.S.I. REQUIREMENT.
 - E. SLAB TO BE 4" +/- 1".
 - F. JOINT SPACING PER A.C.I. 302-88-88.
 - G. SAW-CUT DEPTH 1/4"; SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING.
 - 4 CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-88-88.
 - 5 CONCRETE SLAB TO HAVE STEEL FLAT BAR TRIMMED BURNISHED FINISH.
 - 6 CONTRACTOR TO CARE SLAB TO BE WET CURING USING BURLAP FOR 7 DAYS MIN.
 - 7 ALL EQUIPMENT & MOVING VEHICLES SHALL BE ENCASED.
 8. NO CHAINS, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 - 9 SLAB TO BE 95% PLUS MEASURED WITHIN 24 HOURS.
 10. NO FLY ASH IN THE CONCRETE.
 - 11 WHERE (---) INDICATES, PROVIDE VAPOR BARRIER (15#AL STEEL OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SAND PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
- CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VOUCHER ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLAP, CURING COMPOUND, OR RELEASE AGENTS.
- CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH 98-99 JOINT FILLER IN FUTURE OFFICE AREAS.
12. SEAL CONCRETE SLAB W/ "LIPODOLITE" SEALER.



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Project:
REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92374

Consultants:
Civil: **HICKS & HARTWICK INC.**
Structural: -
Mechanical: -
Plumbing: -
Electrical: -
Landscape: **SPLAN INC.**
Fire Protection: -
Soils Engineer: -

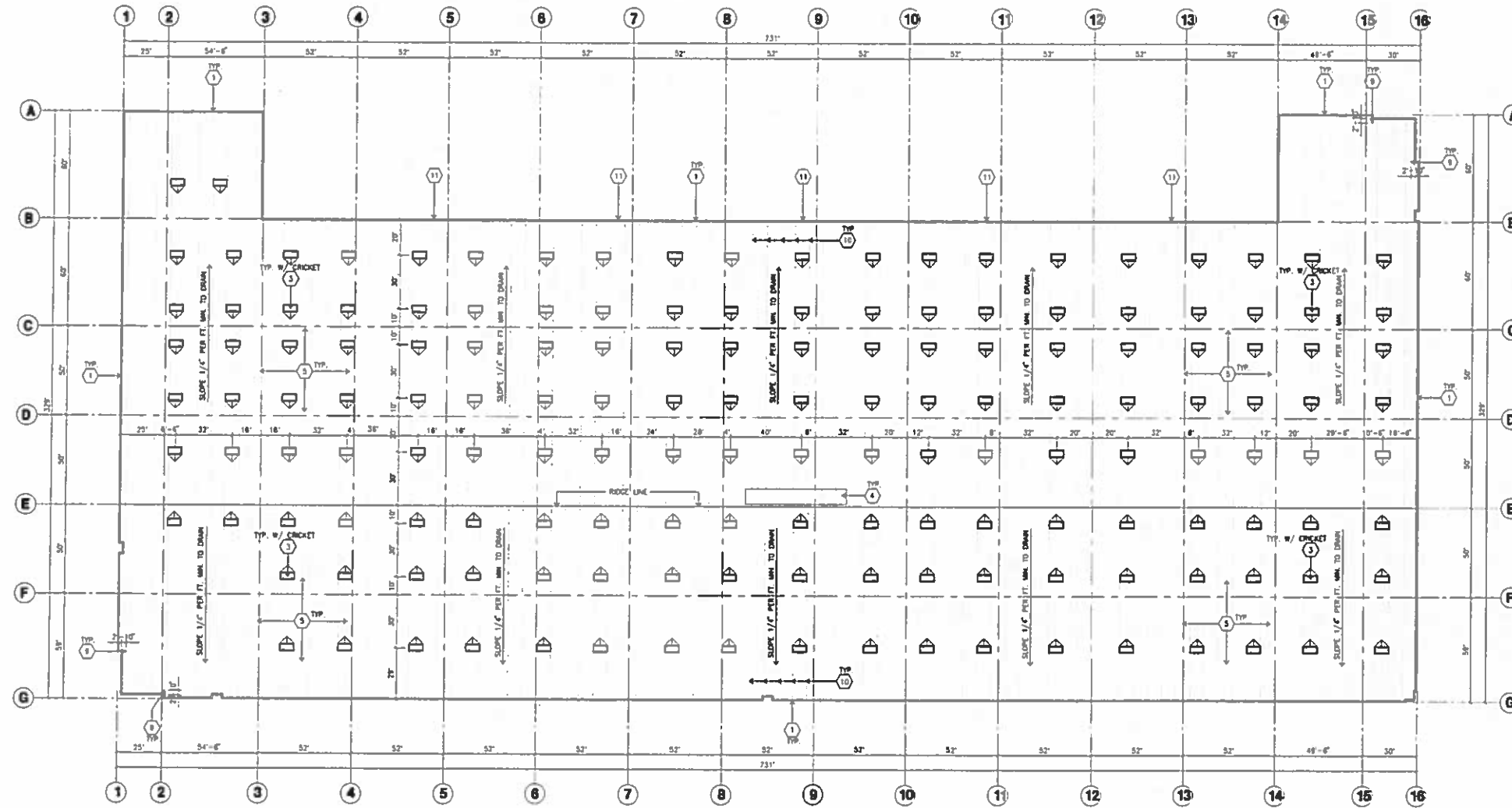
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OVERALL ROOF PLAN



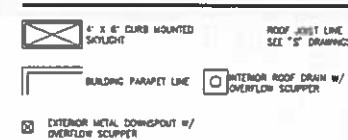
ROOF PLAN KEYNOTES

- 1 CONCRETE PARAPET, SEE "S" DRAWINGS FOR THICKNESS
- 2 A/C UNIT, SEE "M" DRAWINGS, PROVIDE SUPPORT @ ROOF AS REQUIRED.
- 3 4" x 8" CLMB MOUNTED SKYLIGHT/SMOKE MATCH.
- 4 ROOF ADDRESS PAINTED BLACK 4" HIGH W/ 1" WIDE STROKE PER LETTER.
- 5 PROVIDE 4-PLY BUILT-UP ROOFING OVER ROOF SHEATHING OVER ROOF FRAMING, U.N.D., ROOFING TO BE NO-24 GAP ROOFING BY JOHNS-MANVILLE OR EQUAL (CLASS A BATED) 10 YEAR NO DOLLAR LIMIT WARRANTY AND 2 YEAR LABOR GUARANTEE.
- 6 APPROXIMATE LOCATION OF EXHAUST FAN
- 7 APPROXIMATE LOCATION OF ROOF MATCH
- 8 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 9 PARAPET RETURN
- 10 STRUCTURAL JOIST SEE "S" DRAWINGS.
- 11 EXTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS
- 12 NOT USED
- 13 NOT USED

ROOF PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, CURBLINE, OR FACE OF STUD. (U.N.D.)
2. VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT.) PRIOR TO ROOF INSULATION INSTALLATION.
3. REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
4. CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
5. FOR TYP. ROOF PENETRATIONS, SEE DETAIL 8, 9, 10/AD.3 CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
6. CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
7. CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS ON DRAWINGS ARE APPROPRIATE.
8. ALL SKYLIGHTS TO BE DESIGNED PER WIND SPEED DESIGN CRITERIA W/ STRONGER FRAMES, SUPPORTS AND DOMES MANUFACTURED TO CONFORM IN WRITING.
9. ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN. 8" DIA., SEE "P" DRAWINGS FOR EXACT SIZE.
10. PROVIDE SHAPED CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN).
11. BUILT UP ROOFING TO BE DESIGNED FOR I 90 AND TO BE A U.L. CLASS A ROOF FLASHING 84" TYPE SH4 MOPPED AP SHEET, U.L. TYPE 83 BUR.
12. ALL ROOFING FASTENERS SHALL MEET ALL CODE AND INSULATION REQUIREMENTS. PROPER REQUIREMENTS ARE IN PROJECT'S JURISDICTION AND ALSO, FACTORY MUTUAL (FM) WIND UPLIFT PRESSURE REQUIREMENTS.
13. ALL SKYLIGHTS TO BE PLACED A MIN. OF 18"-0" FROM INSIDE FACE OF PARAPET.
14. USE WHITE SCRM FOAM INSULATION IN THE WAREHOUSE AREA.
15. CRACKS VENTS SHALL BE PROVIDED IF AZEAD FOR "POTENTIAL OFFICER" WILL BE USED FOR HIGH PILE COMBUSTIBLE STORAGE.
16. ROOF DRAINS, OVERFLOW DRAINS AND RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTING DRAIN WASTE AND VENT SYSTEMS.
17. ROOF DRAINS, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
18. MANUFACTURED ROOF DRAINS AND OVERFLOWS/VENTURES SHALL BE W/IND LISTED.

ROOF LEGEND



SKYLIGHT CALCULATION

BUILDING FOOTPRINT	= 206,178 S.F.
SKYLIGHTS PROVIDED	= 258 = 5,026 S.F. (158 EA)



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Project:
REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92374

Consultants:
HICKS & HARTWICK INC.
Civil
Structural
Mechanical
Plumbing
Electrical
Landscape
Fire Protection
Civil Engineer
SPLAN INC.

Title: overall roof plan @ bldg. 9

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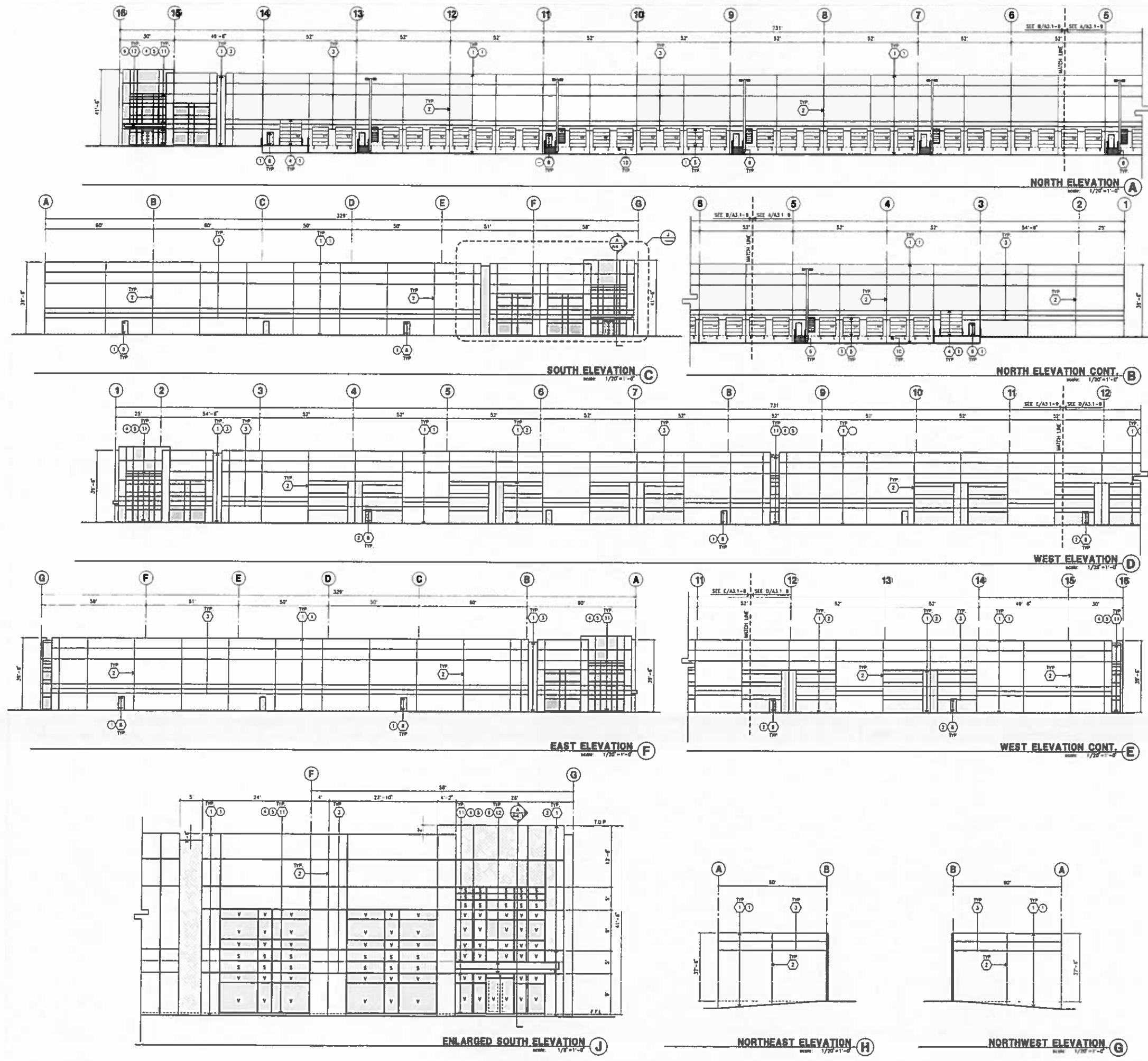
Consultants:
Civil: **HICKS & HARTWICK INC.**
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: **SPLAN INC.**
Fire Protection:
Soils Engineer:

Title: elevation bldg B

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ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL
- 2 PANEL JOINT
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.D. 1/2" x 1/4" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 4 3" x 10" OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 CONCRETE STAIR LANDING AND CORNERAL W/ METAL PIPE HANDRAIL. PROVIDE NON-SLIP HOESING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 6 4" x 8" METAL LOUVER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 7 HOLDUP METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUNDING DOOR.
- 8 EXTERIOR DOWN SPOUTS W/ 2 OVERFLOW SCUPPERS
- 9 DOOR DOOR BUMPER TYPICAL.
- 10 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION
- 11 METAL CANOPY.
- 12 KNOCK OUT PANEL.
- 13 INTERIOR ROOF DRAIN W/ 2 OVERFLOW SCUPPERS
- 14 CONC. FILLED GUARD POST 4" DIA. U.N.D. 42"H.
- 15 NOT USED
- 16 NOT USED
- 17 NOT USED

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. I.G.P. EL = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION
5. STOREFRONT CONSTRUCTION. GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST = MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLOR. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL COLOR : SW 7006 EXTRA WHITE
- 2 CONCRETE TILT-UP PANEL COLOR : SW 7073 NETWORK GRAY
- 3 CONCRETE TILT-UP PANEL COLOR : SW 7075 WEB GRAY
- 4 GLAZING COLOR : BLUE REFLECTIVE GLAZING
- 5 MULLIONS COLOR : CLEAR ANODIZED
- 6 CANOPY MATERIAL : ALUMINUM COMPOSITE PANEL
- 7 DOOR COLORS : MATCH BUILDING COLOR
- * PAINT TO BE SHERWIN WILLIAMS UNLESS NOTED OTHERWISE.

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED
- 1 SPANDREL GLASS
 - 2 VISION GLASS
- ALL GLAZING TO BE TEMPERED
- GLAZING: PPG SQUARECOOL (2) PACIFICA = SOLARBAN 40 (3) CLEAR 1/2" GLAZ. SPEC. 0.15, 14, 102 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4"
- SPANDREL: 1/4" SQUARECOOL PACIFICA SPANDREL @ HARMONY GRAY OPAQUE/PAINTED ON REFLECTIVE.
- MULLIONS: ANODIZED CLEAR

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Consultants:

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Structure
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Soils Engineer

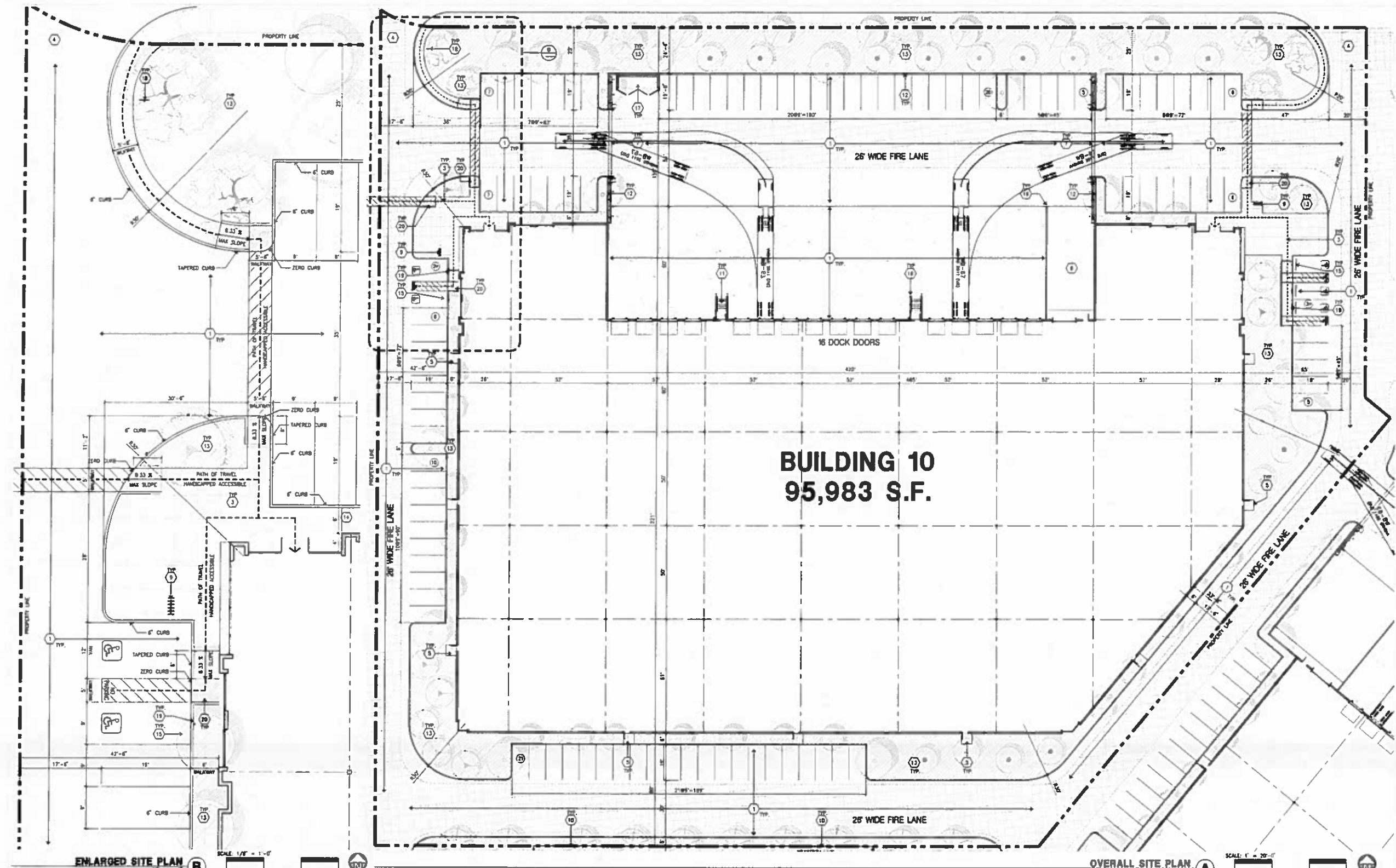
SPLAN INC.

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BUILDING 10
95,983 S.F.

ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"

OVERALL SITE PLAN
SCALE: 1" = 20'-0"

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 NOT USED
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APPROX TO BE CONSTRUCTED
- 5 3'-6" X 3'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH S.C.E.
- 7 PROVIDE 8" HIGH METAL GATES W/ 4" X 12" X 8" PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 CONCRETE RAMP W/ 4" HIGH CONCRETE WALL
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 8" HIGH METAL FENCE. SEE AA.1 FOR DETAILS.
- 11 EXTERIOR CONCRETE STAIR.
- 12 8" HIGH CONCRETE TILT-UP SCREEN WALL.
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 EMPLOYEE BREAK/SMOKING AREA.
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 CONCRETE FILLED CHARD POST "S" DIA. U.D. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD
- 18 ACCESSIBLE ENTRY SIDE.
- 19 ACCESSIBLE PARKING STALL SIDE
- 20 TRUNCATED DOME.
- 21 APPROXIMATE LOCATION OF FIRE HYDRANT.
- 22 WALL MOUNTED LIGHTING FIXTURE.
- 23 SITE LIGHT POLE W/ CONCRETE BASE
- 24 8" HIGH METAL DRIVE GATE W/ 4" X 12" X 8" PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY
- 25 NOT USED

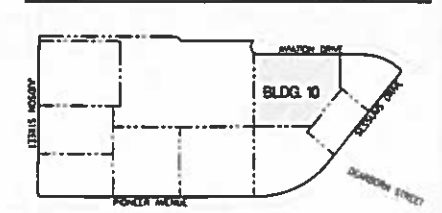
SITE PLAN GENERAL NOTES

- 1 THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY TSO.
- 2 IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- 3 ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR END LINE U.N.D.
- 4 SEE "C" PLANS FOR ALL CONCRETE CURBS, CUTTERS AND SHOULDS.
- 5 THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- 6 SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- 7 PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- 8 CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL SURFACE, SET PLANS AND FINISH ELEVATIONS AND STAIRWAY LAYOUT POINTS.
- 9 SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- 10 CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 8' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' O.C. ALL CONSTRUCTION JOINTS TO HAVE COMPRESSING EXPANSION FILLER MATERIAL OF 1/2" FINISH TO BE A MEDIUM BROOM FINISH U.N.D.
- 11 PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- 12 CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO RESUMPTION OF BUILDING PERMITS.

SITE PLAN GENERAL NOTES

- 13 PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- 14 ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN ORDINANCES OR AS DETERMINED FROM PUBLIC FACILITIES DEVELOPMENT.
- 15 ALL VERTICAL MOUNTING POLES OF DOWN LINE FENCING SHALL BE CAPPED.
- 16 LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
- CONCRETE FINISH: SEE "C" DRAWING FOR THICKNESS
- STANDARD PARKING STALL (8' X 18')
- LANDSCAPED AREA
- 26' WIDE FIRELANE
- HANDICAP PARKING STALL (8' X 18') W/ 5' ACCESSIBLE WALK
- HANDICAP PARKING STALL (9' X 18') W/ 5' ACCESSIBLE WALK
- 26' WIDE FIRELANE
- PATH OF TRAVEL

KEYMAP



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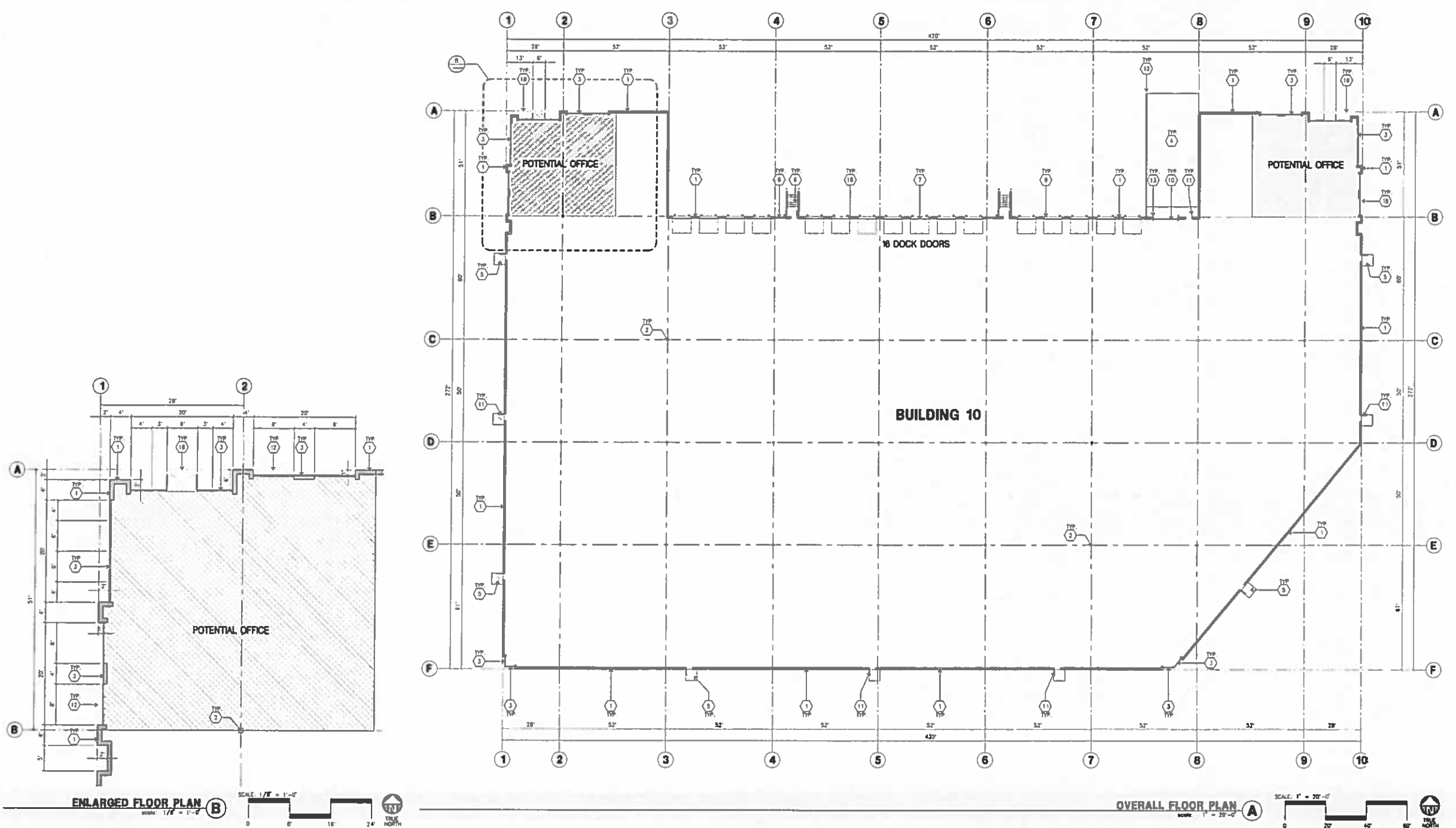
Consultants:
Civil: **HICKS & HARTWICK INC.**
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SPLAN INC.

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- 5 3'-0" x 8'-0" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE NORMAL BROWN FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 EXTERIOR CONCRETE STAIR W/ 4" HIGH CONIC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
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- 8 4' x 8' LOUVERED OPENING FOR VENTILATION.
- 9 DOOR DOOR BUMPER TYPICAL.
- 10 DOCK DOOR BUMPER TYPICAL.
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- 12 3' x 7' HOLLOW METAL EXTERIOR MAN DOOR.
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- 16 PRE-CAST CONCRETE WHEEL STOP.
- 17 2 GUARD.
- 18 APPROXIMATE LOCATION OF ELECTRICAL ROOM.
- 19 METAL CANOPY ABOVE.
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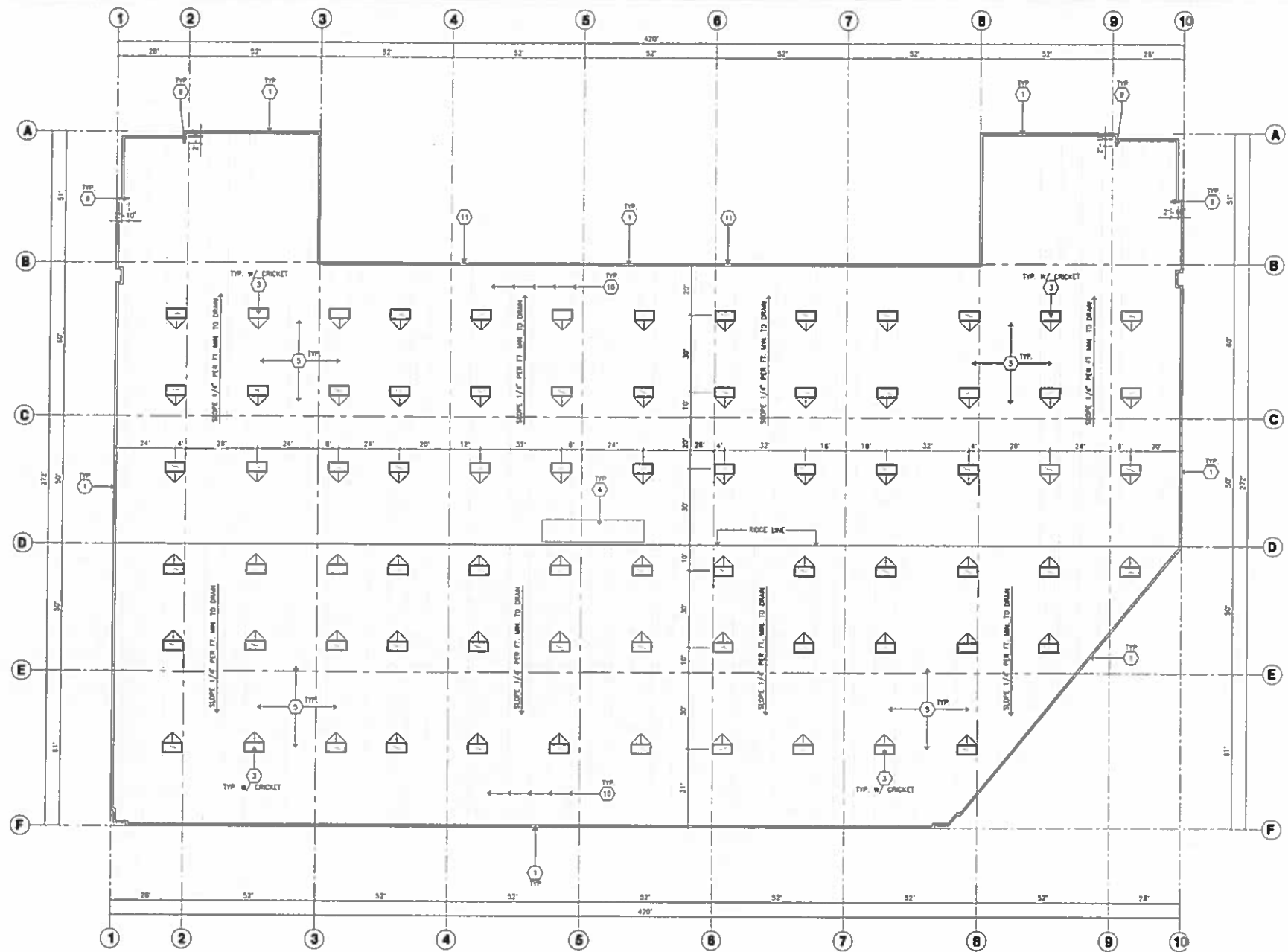
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- 2 FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL OVP. BR. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL WAREHOUSE EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
6. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL, WALL, OR CURB, OR FACE OF STUD U.N.O.
7. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS PLUMBING/ELECTRICAL COORDINATION.
8. FOR DOOR TYPES AND SIZES. SEE DETAIL SHEET. NOTE ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
9. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMPER INCLUDING CARS AND TRUCKS.
10. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
11. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
12. EACH EXTERIOR EXIT DOOR SHALL BE EQUIPPED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SIGN SPRINGS SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
13. NON-ACCESSIBLE DOOR PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1.
14. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/AA1 OFFICE SECTION.

FLOOR SLAB & POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN REQUIREMENT SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
- 1 FLOOR COMPACTION = 902
 - 2 TRENCH COMPACTION = 902
 - 3 BUILDING FLOOR SLAB.
 - A. 8" THICK MAX. UN-REINFORCED CONCRETE OVER COMPACTED SOILS
 - B. 3/4" - 1" FILING @ 12" O.C. DOWELS AT ALL CONSTRUCTION JOINTS
 - C. 3/4" - 1" FILING @ 24" O.C. DOWELS IN CONVEYOR BASSET AT ALL CONTROL JOINTS.
 - D. 4200 P.S.I. REQUIREMENT.
 - E. SLUMP TO BE 4" +/- 1"
 - F. JOINT SPACING PER A.C.I. 302-R-86
 - G. SAW-CUT DEPTH 3/4" 1, SOFT SAW-CUTTING WITHIN 2 HRS OF FINISHING.
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-R-86
 5. CONCRETE SLAB TO HAVE STEEL FLOOR HARD TROWEL BURNISHED FINISH.
 6. CONTRACTOR TO CURE SLAB TO BE WET CURING USING BURLINE FOR 7 DAYS MIN.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAMPER.
 8. NO CRACKS, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 9. SLAB TO BE 7750 P.L.S. MEASURED WITHIN 24 HOURS
 10. NO FLY ASH IN THE CONCRETE.
 11. WHERE [] INDICATED, PROVIDE WAPOR BARRIER (15#AL STEED OR EQUAL) UNDER THE CONCRETE SLAB. PROVIDE SHAD PER SOILS ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 - CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER WOLKEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENTS.
 - CONCRETE/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH UN-80 JOINT FILLER IN FUTURE OFFICE AREAS.
 12. SEAL CONCRETE SLAB W/ "LIPEDOLITY" SEALER

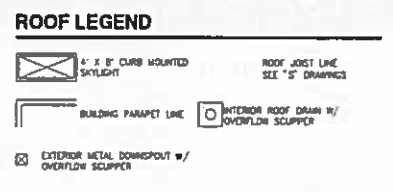
CAUTION : IF THIS SHEET IS NOT A 30" X 42" IT IS A REDUCED PRINT



OVERALL ROOF PLAN A
SCALE: 1" = 20'-0"

- ROOF PLAN KEYNOTES**
- 1 CONCRETE PARAPET, SEE "S" DRAWINGS FOR THICKNESS.
 - 2 A/C UNIT, SEE "M" DRAWINGS. PROVIDE SUPPORT @ ROOF AS REQUIRED.
 - 3 4" x 8" CURB MOUNTED SKYLIGHT/SMOKE MATCH.
 - 4 ROOF ADDRESS PAINTED BLACK 4" HIGH w/ 1" WIDE STROKE PER LETTER
 - 5 PROVIDE 4-PLY BUILT-UP ROOFING OVER ROOF SHEATHING OVER ROOF FRAMING. U.N.D., ROOFING TO BE NO. 24 GAP ROOFING BY JOHNS-MANVILLE OR EQUAL (CLASS A RATED) 10 YEAR NO DOLLAR LIMIT WARRANTY AND 2 YEAR LABOR GUARANTEE.
 - 6 APPROXIMATE LOCATION OF EXHAUST FAN
 - 7 APPROXIMATE LOCATION OF ROOF HATCH
 - 8 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER
 - 9 PARAPET RETURN
 - 10 STRUCTURAL JOIST SEE "S" DRAWINGS
 - 11 EXTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS
 - 12 NOT USED
 - 13 NOT USED

- ROOF PLAN GENERAL NOTES**
1. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, CURBLINE, OR FACE OF STUD. (U.N.D.)
 2. VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT) PRIOR TO ROOF INSULATION INSTALLATION.
 3. REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
 4. CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
 5. FOR TYP. ROOF PENETRATIONS, SEE DETAIL 8, 9, 10/NO.3 CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
 6. CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS w/ "S" DRAWINGS.
 7. CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION w/ FIRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS. LOCATIONS ON DRAWINGS ARE APPROXIMATE.
 8. ALL SKYLIGHTS TO BE DESIGNED PER WIND SPEED DESIGN CRITERIA w/ STRONGER FRAMES, SUPPORTS AND DOWNS MANUFACTURED TO CONFORM IN WRITING.
 8. ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN. 8" DIA., SEE "P" DRAWINGS FOR EXACT SIZE.
 10. PROVIDE SHAPED CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN).
 11. BUILT UP ROOFING TO BE DESIGNED FOR 190 AND TO BE A U.L. CLASS A ROOF FLASHING: SAF TYPE SH8 W/ROPPED HP SHEET, U.L. TYPE 43 BUR
 12. ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS. PROPER REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY MUTUAL (FM) WIND UPLIFT PRESSURE REQUIREMENTS.
 13. ALL SKYLIGHTS TO BE PLACED A MIN. OF 18"-0" FROM INSIDE FACE OF PARAPET
 14. USE WHITE SCRM FOR INSULATION IN THE BARNHOUSE AREA.
 15. SMOKE VENTS SHALL BE REQUIRED IF AREAS FOR "POTENTIAL OFFICES" WILL BE USED FOR HIGH PILE COMBUSTIBLE STORAGE.
 16. ROOF DRAINS, OVERFLOW DRAINS AND RAINWATER PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTING DRAIN, WASTE AND VENT SYSTEMS.
 17. ROOF DRAINS, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
 18. MANUFACTURED ROOF DRAINS AND OVERFLOWS(FITURES) SHALL BE APMO LISTED



SKYLIGHT CALCULATION

BUILDING FOOTPRINT	= 95,983 S.F.
SKYLIGHTS PROVIDED	= 2.5% x 2,400 S.F. (75 EA)



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18821 barclay avenue - ste.
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92612
tel: 949-453-1770
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email: hpa@hpaarch.com

Owner:
ROSSMORE ENTERPRISES

805 E MAIN ST. STE #7
ASPEN, CO 81611
TEL: 970-428-8253

Project:
REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92374

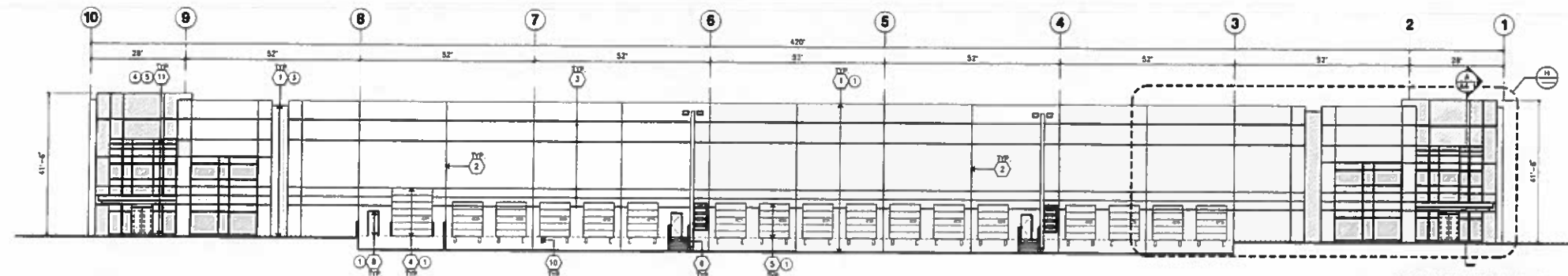
Consultants:
HICKS & HARTWICK INC.
Civil
Structural
Mechanical
Plumbing
Electrical
Landscape
Fire Protection
Site Engineer

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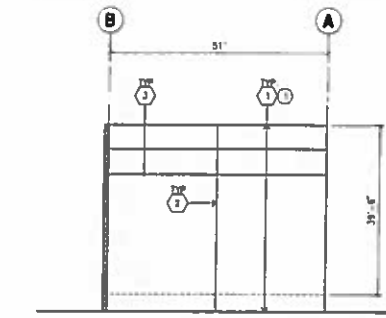
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Drawn by: ML
Date: 08/05/15
Revision:

Sheet:

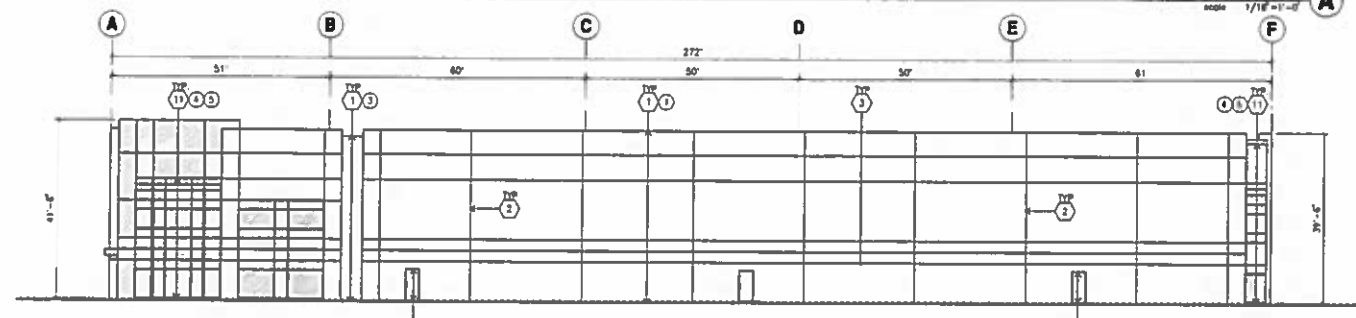
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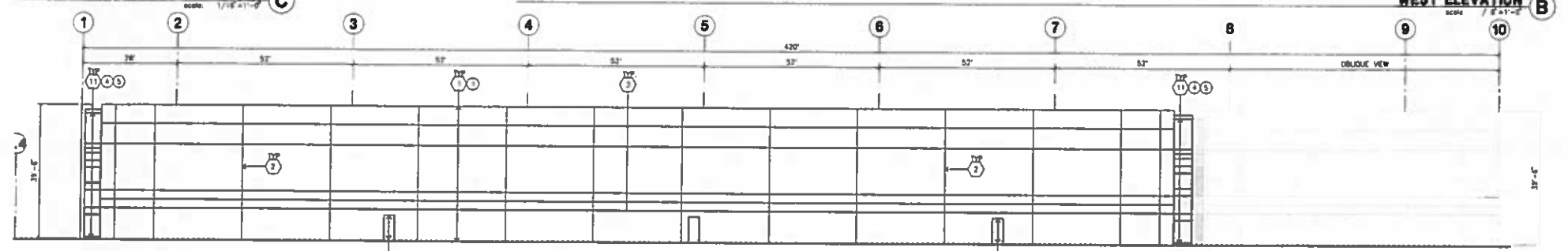
NORTH ELEVATION
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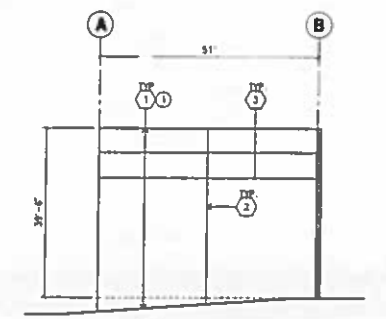
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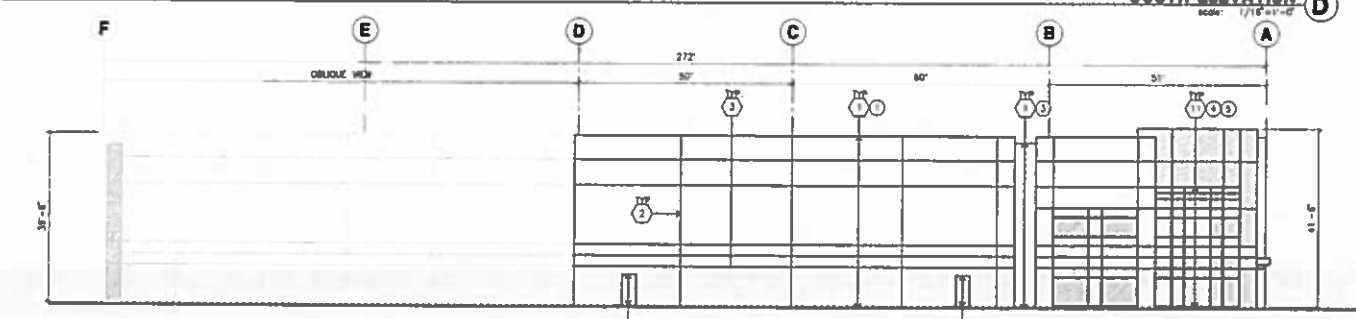
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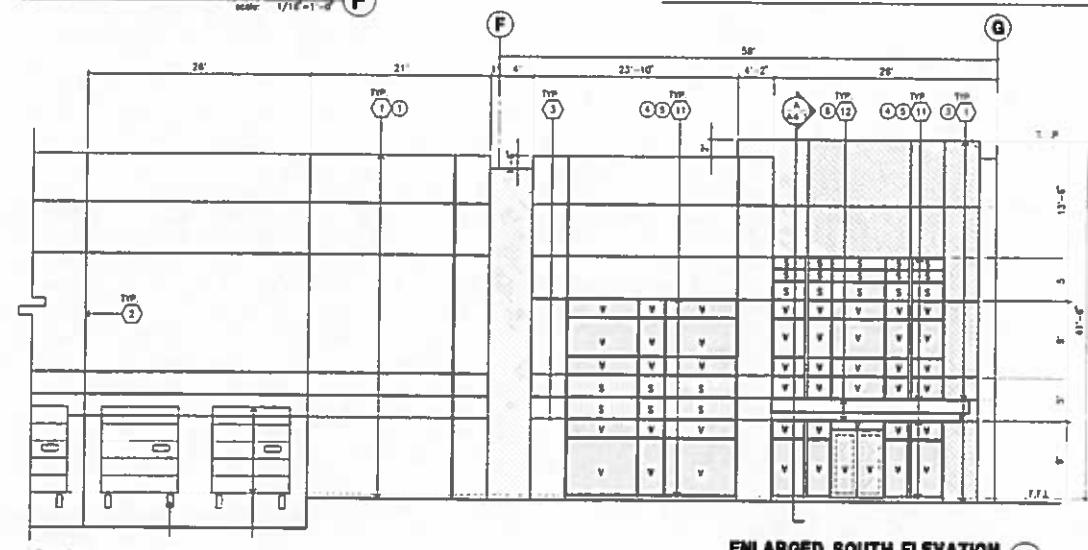
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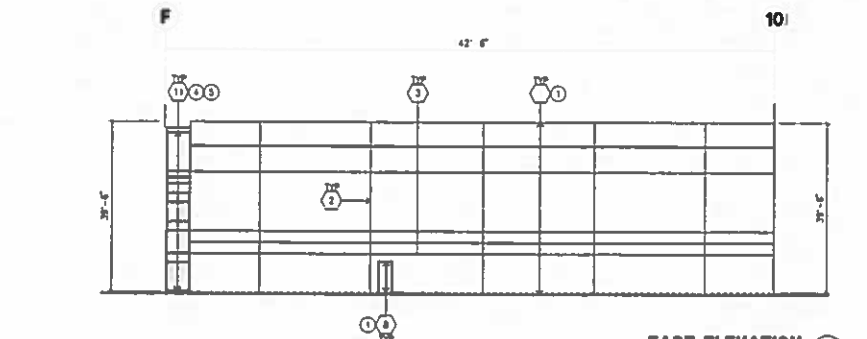
SOUTHEAST ELEVATION
scale: 1/16"=1'-0"



EAST ELEVATION
scale: 1/16"=1'-0"



ENLARGED SOUTH ELEVATION
scale: 1/8"=1'-0"



EAST ELEVATION
scale: 1/16"=1'-0"

ELEVATION KEYNOTES

- 1 CONCRETE TILT-UP PANEL.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER.
- 4 REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.D.
- 5 12" x 14" OVERHEAD DOOR @ DRIVE SHALE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 12" x 14" OVERHEAD DOOR @ DRIVE SHALE. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 7 CONCRETE STAIR, LANDING AND GUARDRAIL w/ METAL PIPE HANDRAIL. PROVIDE HIGH SIDE MOLDING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE MARKING STRIPS INTERNAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 8 4" x 8" METAL LOCKER OPENING FOR VENTILATION. PAINT TO MATCH BUILDING COLOR.
- 9 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR.
- 10 EXTERIOR DOWN SPOUTS w/ 2 OVERFLOW SCUPPERS.
- 11 DOOR DOOR BUMPER TYPICAL.
- 12 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 13 METAL CANOPY.
- 14 KNOCK OUT PANEL.
- 15 INTERIOR ROOF DRAIN w/ 2 OVERFLOW SCUPPERS.
- 16 CONC. FILLED GUARD POST 6" DIA. U.N.D. 42"H.
- 17 NOT USED.
- 18 NOT USED.

ELEVATION GENERAL NOTES

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
2. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
3. T.O.P. CL. = TOP OF PARAPET ELEVATION.
4. F.F. = FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION. GLASS, METAL ATTACHMENTS AND UNITS SHALL BE DESIGNED TO RESIST 10 MPH. EXPOSURE "E" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL w/ SELECTED COLOR. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL. COLOR: SW 7008 EXTRA WHITE
 - 2 CONCRETE TILT-UP PANEL. COLOR: SW 7073 NETWORK GRAY
 - 3 CONCRETE TILT-UP PANEL. COLOR: SW 7075 WEB GRAY
 - 4 GLAZING COLOR: BLUE REFLECTIVE GLAZING
 - 5 MULLIONS COLOR: CLEAR ANODIZED
 - 6 CANOPY MATERIAL: ALUMINUM COMPOSITE PANEL
 - 7 DOOR COLORS: MATCH BUILDING COLOR
- * PAINT TO BE SHERWIN WILLIAMS UNLESS NOTED OTHERWISE.

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- SPANDREL GLASS
 - WSDM GLASS
- ALL GLAZING TO BE TEMPERED.
- GLAZING: PPG SOLARCOLD (2) PACIFICA + SOLARBAN 80 (3) CLEAR
 (1) 6/28, SHGC 0.15, VLT 1.02
 7' INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES
- SPANDREL: 1/4" SOLARCOLD PACIFICA SPANDREL w/ HARMONY GRAY OPACICOAT PAINTED ON REFLECTIVE.
- MULLIONS: ANODIZED CLEAR



HPA, Inc.
18031 Redwood Avenue - Ste.
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tel: 949-853-1770
fax: 949-853-0651
email: hpa@hpaarch.com

Owner:
ROSSMORE ENTERPRISES

605 E MAIN ST. STE 47
ASPEN, CO 81811
TEL: 970-429-8253

Project:
REDLANDS AVIATION BUSINESS PARK

REDLANDS, CA 92374

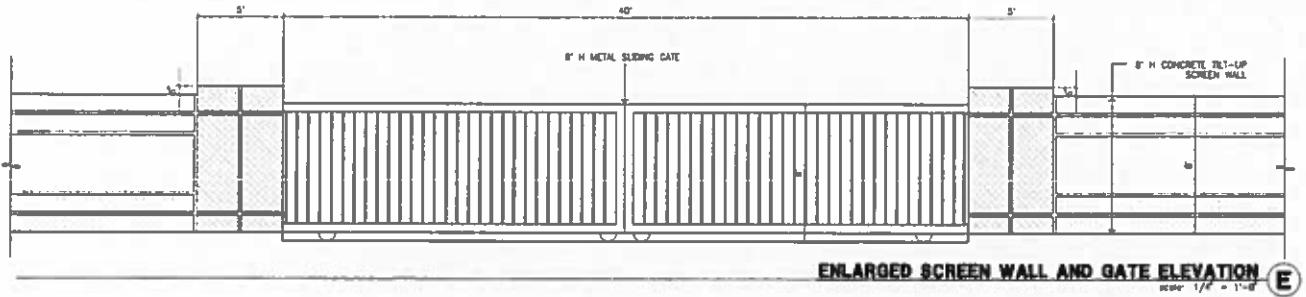
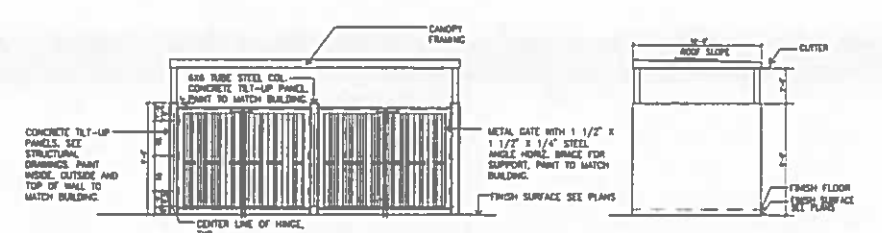
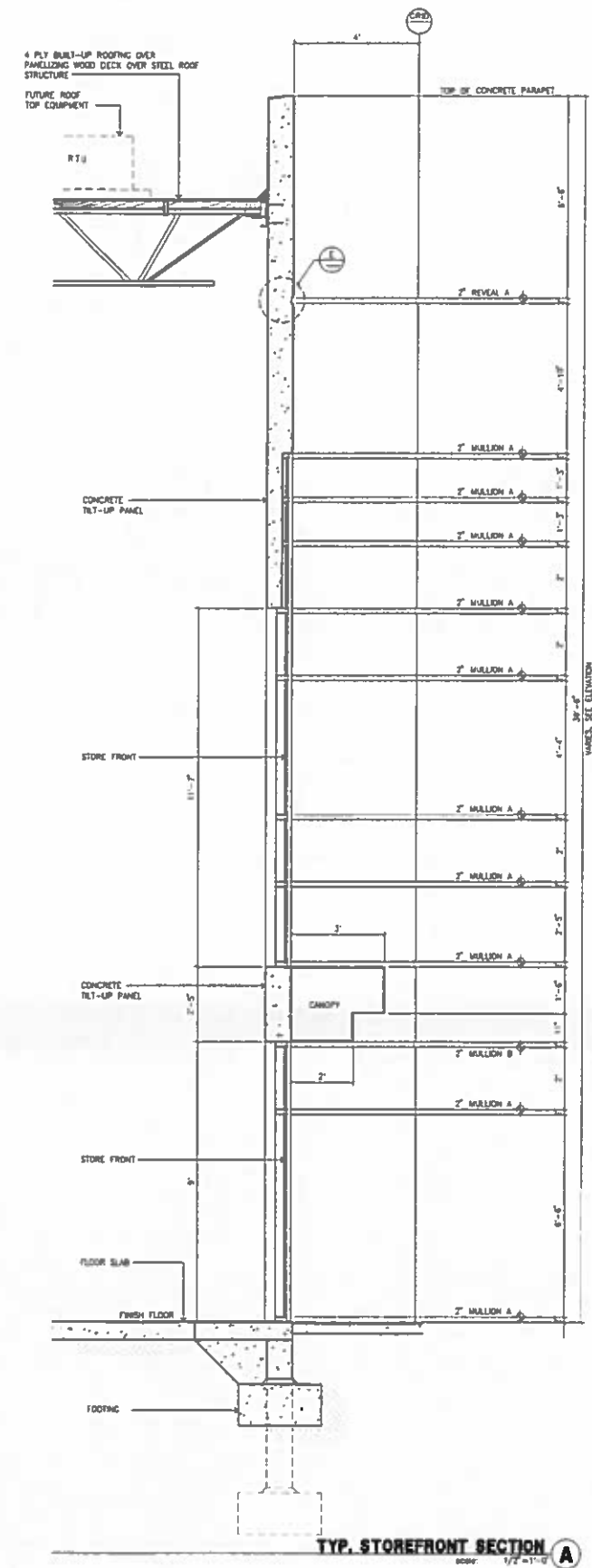
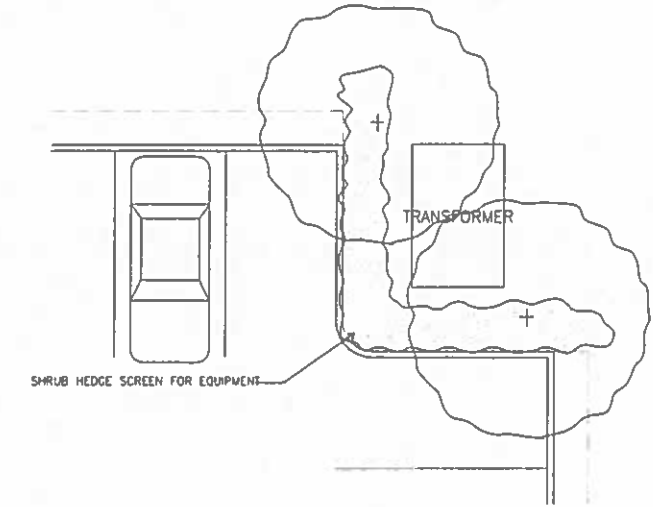
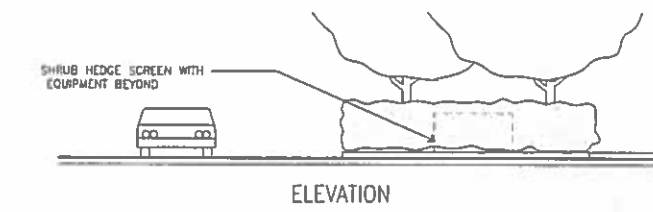
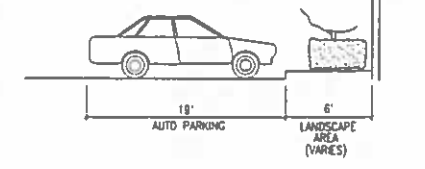
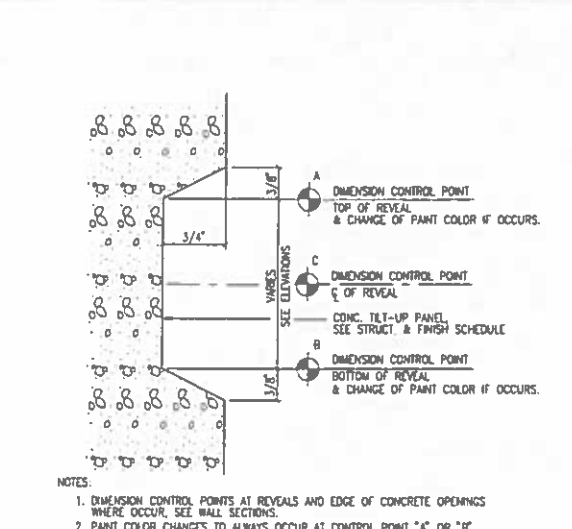
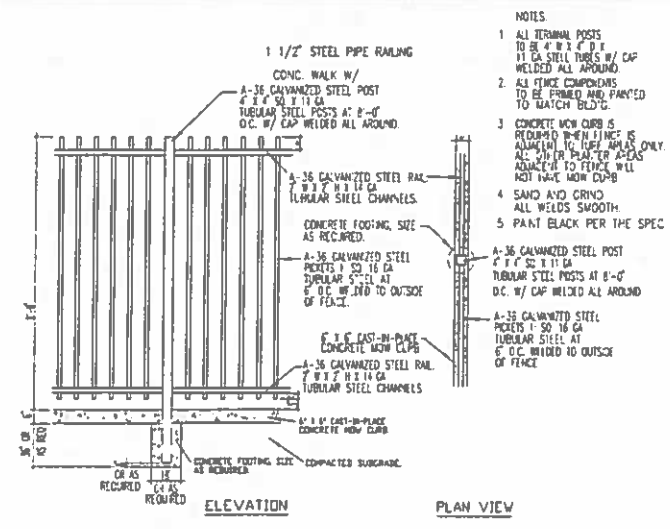
Consultants:
Civil: HICKS & HARTWICK INC.
Structural: _____
Mechanical: _____
Plumbing: _____
Electrical: _____
Landscape: SPLAN INC.
Fire Protection: _____
Soils Engineer: _____

Title: elevation bldg 10

Project Number: 14282
Drawn by: ML
Date: 08/05/15
Revision: _____

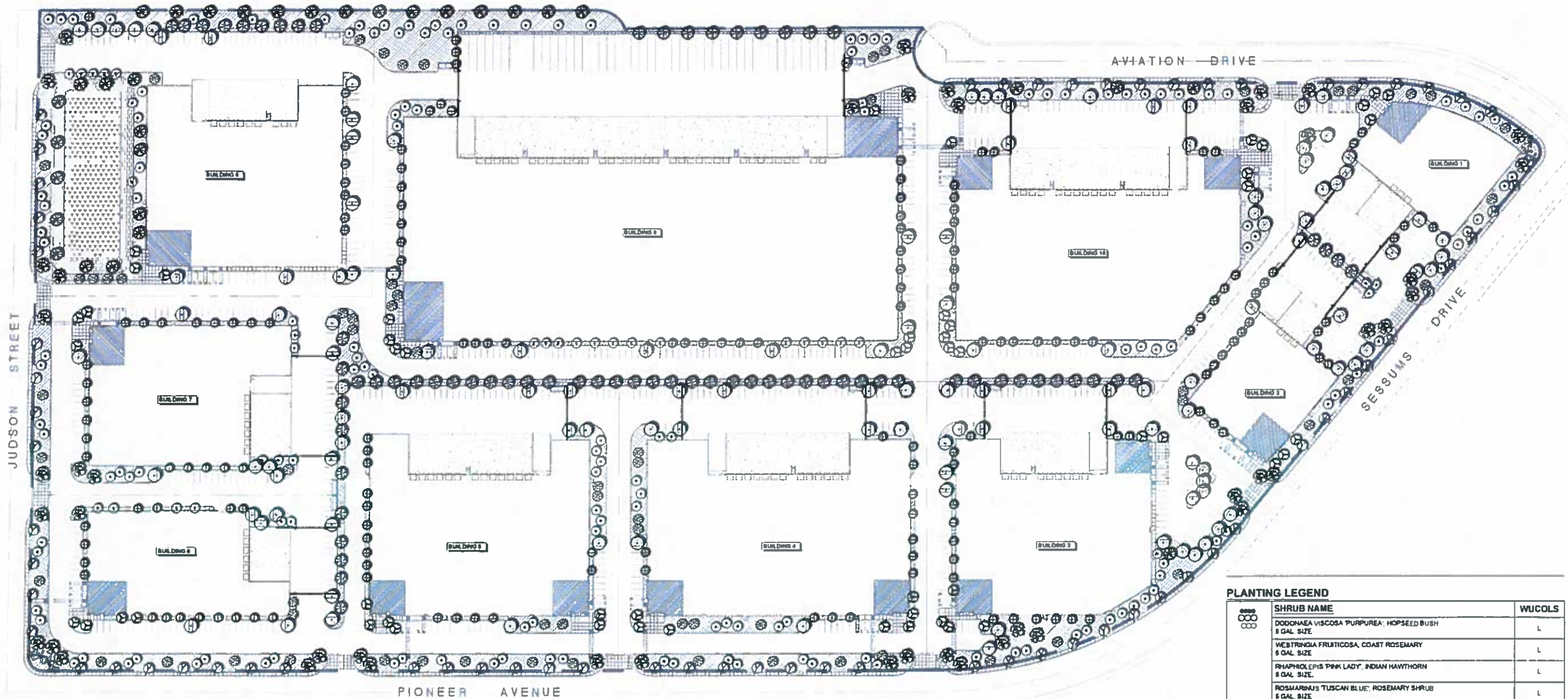
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ELEVATION COLOR LEGEND/SCHED.

①	CONCRETE TILT-UP PANEL COLOR	SH 7006 EXTRA WHITE
②	CONCRETE TILT-UP PANEL COLOR	SH 7073 NETWORK GRAY
③	CONCRETE TILT-UP PANEL COLOR	SH 7075 WEB GRAY



CONCEPTUAL PLAN NOTE:

THIS IS A CONCEPTUAL LANDSCAPE PLAN. IT IS BASED ON PRELIMINARY INFORMATION WHICH IS NOT FULLY VERIFIED AND MAY BE INCOMPLETE. IT IS MEANT AS A COMPARATIVE AID IN EXAMINING ALTERNATE DEVELOPMENT STRATEGIES AND ANY QUANTITIES INDICATED ARE SUBJECT TO REVISION AS MORE RELIABLE INFORMATION BECOMES AVAILABLE.

GENERAL NOTES:

ALL UTILITY EQUIPMENT SUCH AS BACKFLOW UNITS, FIRE DETECTOR CHECKS AND FIRE CHECK VALVES WILL BE SCREENED WITH EVERGREEN PLANT MATERIAL ONCE FINAL LOCATIONS HAVE BEEN DETERMINED.

ALL TREES AT BIOSWALE AREAS WILL BE PLANTED AWAY FROM FLOW LINE.

ALL SLOPES 3:1 OR GREATER SHALL BE STABILIZED WITH EROSION CONTROL GROUND COVER AND JUTE NETTING.

WUCOLS PLANT FACTOR

THIS PROJECT IS LOCATED IN WUCOLS REGION 4-SOUTH INLAND VALLEY.

H = HIGH WATER NEEDS
M = MODERATE WATER NEEDS
L = LOW WATER NEEDS
VL = VERY LOW WATER NEEDS

IRRIGATION NOTE:

THE PROJECT WILL BE EQUIPPED WITH A LOW FLOW IRRIGATION SYSTEM CONSISTING OF ET WEATHER BASED SMART CONTROLLER, LOW FLOW ROTORS, BUBBLER AND/OR DRIP SYSTEMS USED THROUGHOUT THE IRRIGATION WATER EFFICIENCY WILL MEET OR SURPASS THE CURRENT STATE MANDATED AS-1801 WATER ORDINANCE.

TREES			
SYMBOL	TREE NAME	QTY.	WUCOLS
	NEW STREET TREE @ 60" O.C. PLATANUS RACEMOSA, CALIFORNIA SYCAMORE 24" BOX SIZE	88	M
	LARGE CALIFORNIA NATIVE SPECIMEN TREE QUERCUS AGRIFOLIA, COAST LIVE OAK 48" BOX SIZE	45	L
	FLOWERING ACCENT TREE AT BLDG ENTRIES CHITALPA TASHKENTENSIS, CHITALPA 36" BOX SIZE	54	L
	BROAD CANOPY PARKING LOT SHADE TREE RHUS LANCEA, AFRICAN SUMAC 24" BOX SIZE	127	L
	EVERGREEN SCREEN TREE PINUS ELDARICA, AFGHAN PINE 24" BOX SIZE	187	L

	FLOWERING ACCENT TREE CERCIDIUM F. D. MUSEUM, D.M. PALO VERDE 24" BOX SIZE	66	L
	VERTICAL GROWING TREE TRISTANIA CONFERTA, BRISBANE BOX 18 GALLON SIZE	167	M
	PARKING LOT SCREEN TREE GEIJERA PARVIFOLIA, AUSTRALIAN WILLOW 18 GALLON SIZE	71	L
	EVERGREEN SCREEN TREE QUERCUS ILEX, HOLLY OAK 24" BOX SIZE	32	L
	WASHINGTONIA FILIFERA, CALIFORNIA FAN PALMS 20" BTH	7	L

PLANTING LEGEND

SYMBOL	SHRUB NAME	WUCOLS
	DODONAEA VISCOSEA PURPUREA, HOPSEED BUSH 5 GAL. SIZE	L
	WESTRINGIA FRUTICOSA, COAST ROSEMARY 5 GAL. SIZE	L
	RHAPHELEPIS PINK LADY, INDIAN HAWTHORN 5 GAL. SIZE	L
	ROSMARINUS 'TUSCAN BLUE', ROSEMARY SHRUB 5 GAL. SIZE	L
	PELCA SELLOWIANA, PINEAPPLE GUAVA 5 GAL. SIZE	M
	LEUCOPHYLLUM F. 'GREEN CLOUD' 5 GAL. SIZE	M
	HETEROMELES ARBUTIFOLIA, TOYON 5 GAL. SIZE	L
GROUND COVER/SHRUB MASS NAME		
SYMBOL	GROUND COVER/SHRUB MASS NAME	WUCOLS
	ALL PROPOSED GROUND COVER AND SHRUB MASSES WILL CONSIST OF THE FOLLOWING: SENECHO MANDRALISCAEA, BLUE CHALK STICKS 1 GAL. SIZE @ 24" O.C.	L
	ROSMARINUS D. 'PROSTRATUS', CREEPING ROSEMARY 1 GAL. SIZE @ 30" O.C.	L
	SALVIA GREGGII, AUTUMN SAGE 1 GAL. SIZE @ 30" O.C.	L
	MUHLENBERGIA RIGENS, DEER GRASS 1 GAL. SIZE @ 42" O.C.	L
	LONGERA J. 'HALLIANA', HALL'S HONEYSUCKLE 1 GAL. SIZE @ 24" O.C.	L
	SALVIA CLEVELANDII, CLEVELAND SAGE 5 GAL. SIZE @ 48" O.C.	L
	BACCHARIS PILULARIS, COYOTE BUSH 1 GAL. SIZE @ 42" O.C.	L
	BIO-FILTRATION BASIN SHALL BE RECEIVE HYDROSEED MIX CONSISTING OF GRASSES AND PLANTS TOLERANT OF SEASONAL WATER FLOODATION.	M
	EROSION CONTROL GROUND COVER AT BASIN SLOPES SUCH AS BACCHARIS PILULARIS 'TWIN PEAKS', TRAILING ACACIA 1 GAL. SIZE @ 30" O.C.	L



Conceptual Landscape Plan
Pioneer Ave. and Judson St.



ROSSMORE ENTERPRISES

TENTATIVE PARCEL MAP No. 19606

LOTS 2-9 & LOT A OF TRACT No. 12083-1, NB 176-63-64
COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA

OWNER / APPLICANT
Harwick, Inc.
10000 Harbor Blvd., Suite 200
Harwick, CA 92521
Tel: (951) 780-1234
Fax: (951) 780-5678

ENGINEER
J. R. Smith, Inc.
1234 Main St.
Redlands, CA 92373
Tel: (626) 345-6789



TENTATIVE MAP PREPARED BY:
Harwick, Inc.

REQUIREMENTS FOR TENTATIVE MAPS:
1. The map must be prepared by a registered professional engineer or a registered professional land surveyor.
2. The map must show the location of all lots, blocks, and tracts.
3. The map must show the location of all streets, highways, and public utility lines.
4. The map must show the location of all easements, encroachments, and other interests in land.
5. The map must show the location of all existing and proposed buildings, structures, and other improvements.
6. The map must show the location of all existing and proposed parking areas, streets, and other facilities.
7. The map must show the location of all existing and proposed water, sewer, and gas lines.
8. The map must show the location of all existing and proposed drainage systems.
9. The map must show the location of all existing and proposed utility poles and lines.
10. The map must show the location of all existing and proposed fences, walls, and other boundary markers.

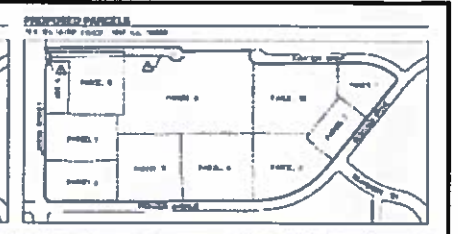
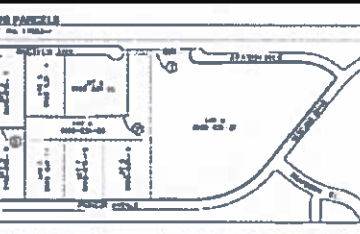
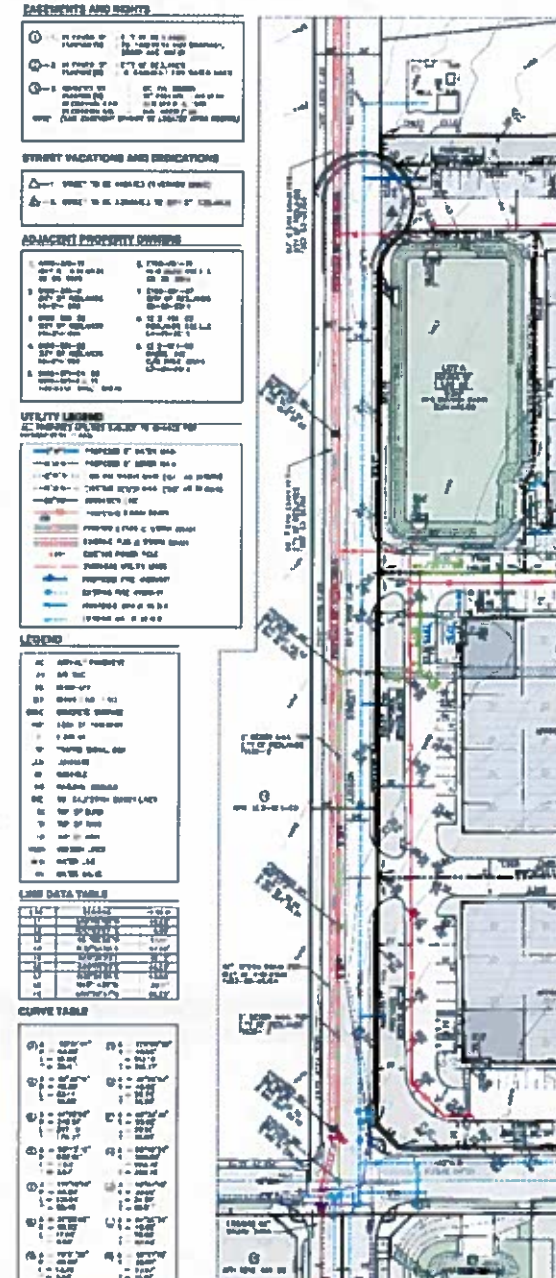
STREET VARIATIONS AND INDICATIONS:
1. Solid line: Proposed street.
2. Dashed line: Existing street.
3. Dotted line: Street to be widened.
4. Double line: Street to be narrowed.

ADJACENT PROPERTY OWNERS:
1. 1234 Main St. - ABC Corp.
2. 5678 Main St. - DEF Corp.
3. 9012 Main St. - GHI Corp.
4. 3456 Main St. - JKL Corp.
5. 7890 Main St. - MNO Corp.

UTILITY LINES:
1. Solid red line: Proposed water line.
2. Dashed red line: Existing water line.
3. Solid blue line: Proposed sewer line.
4. Dashed blue line: Existing sewer line.
5. Solid green line: Proposed gas line.
6. Dashed green line: Existing gas line.

LEGEND:
1. Proposed street (solid line)
2. Existing street (dashed line)
3. Proposed building (solid grey)
4. Existing building (dashed grey)
5. Proposed parking (solid blue)
6. Existing parking (dashed blue)
7. Proposed utility (solid color)
8. Existing utility (dashed color)

ADDITIONAL GENERAL NOTES:
1. All dimensions are in feet and inches.
2. All bearings are in degrees, minutes, and seconds.
3. All areas are in square feet.
4. All volumes are in cubic feet.
5. All elevations are in feet above sea level.



LOW DATA TABLE

ITEM	DESCRIPTION	QUANTITY
1	Proposed Street	1000
2	Existing Street	500
3	Proposed Building	10
4	Existing Building	5
5	Proposed Parking	200
6	Existing Parking	100
7	Proposed Utility	500
8	Existing Utility	200

CURVE TABLE

STATIONING	CURVE DATA
1+00	100' RADIUS
2+00	200' RADIUS
3+00	300' RADIUS
4+00	400' RADIUS
5+00	500' RADIUS

