

Design Guidelines

City of Highland Park, Illinois



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INTRODUCTION



LEGAL AUTHORITY

The City of Highland Park reserves the right to perform Design Review. Chapter 176 of the City of Highland Park’s Code recognizes the Plan and Design Commission’s authority to administer Design Review. Chapter 176 is available for public view at https://library.municode.com/il/highland_park/codes/code_of_ordinances

RELATIONSHIP TO ZONING REGULATIONS

In the event of a conflict between the recommendations of the Design Guidelines and those of any Chapter of the Municipal Code, the latter shall prevail and control.

STANDARDS & GUIDELINES

The Design Guidelines illustrates development Standards found in the Municipal Code as well as Guideline recommendations. Standards and Guidelines are defined as:

- **Standard** – a requirement that all projects must meet as set forth in the City of Highland Park’s Code
- **Guideline** – a strongly recommended voluntary measure

Projects are not limited to the Standards found in this document. Additional provisions in Highland Park’s Code may be applicable to your project. Please consult Community Development staff regarding the submission of a complete application.

Standards can often be modified through the Planned Development process. City Council may grant relief or request additional guidelines. Applicability of the standards and guidelines are at the discretion of City Council.

APPLICABILITY

Chapter 176 standards are applicable to the entire City of Highland Park. The guidelines within this document are applicable to development and redevelopment throughout the City as determined by Chapter 176, with a focus on properties within the area indicated on the Downtown map (page 6).

USE OF THE GUIDELINES

The Guidelines will be used by the participants of a development process for non-single-family structures throughout Highland Park and within its downtown. Participants can include the architect, developer, property owner of the development, as well as the Plan and Design Commission. The Guidelines are used to provide design direction throughout the Design Development and Review process. The Guidelines found in the Design Guidelines are recommendations and not meant to be prescriptive. Each development will be evaluated by the Plan and Design Commission on a case-by-case basis.

Residents of Highland Park are also encouraged to use the Design Guidelines. The Guidelines can inform residents of the development Standards and Guidelines for their property, surrounding properties, and other areas of Downtown Highland Park.

Definitions of terms that are *italicized* can be found in the Appendix of this document.

“Design Review involves the use of discretionary power so it must be conducted through the application of standards that are explicit, understandable, adopted by the legislative body, and made available to all parties involved in the process.”

— Mark L. Hinshaw, Architect and Planner
Planning Advisory Service Report Number 454

PURPOSE

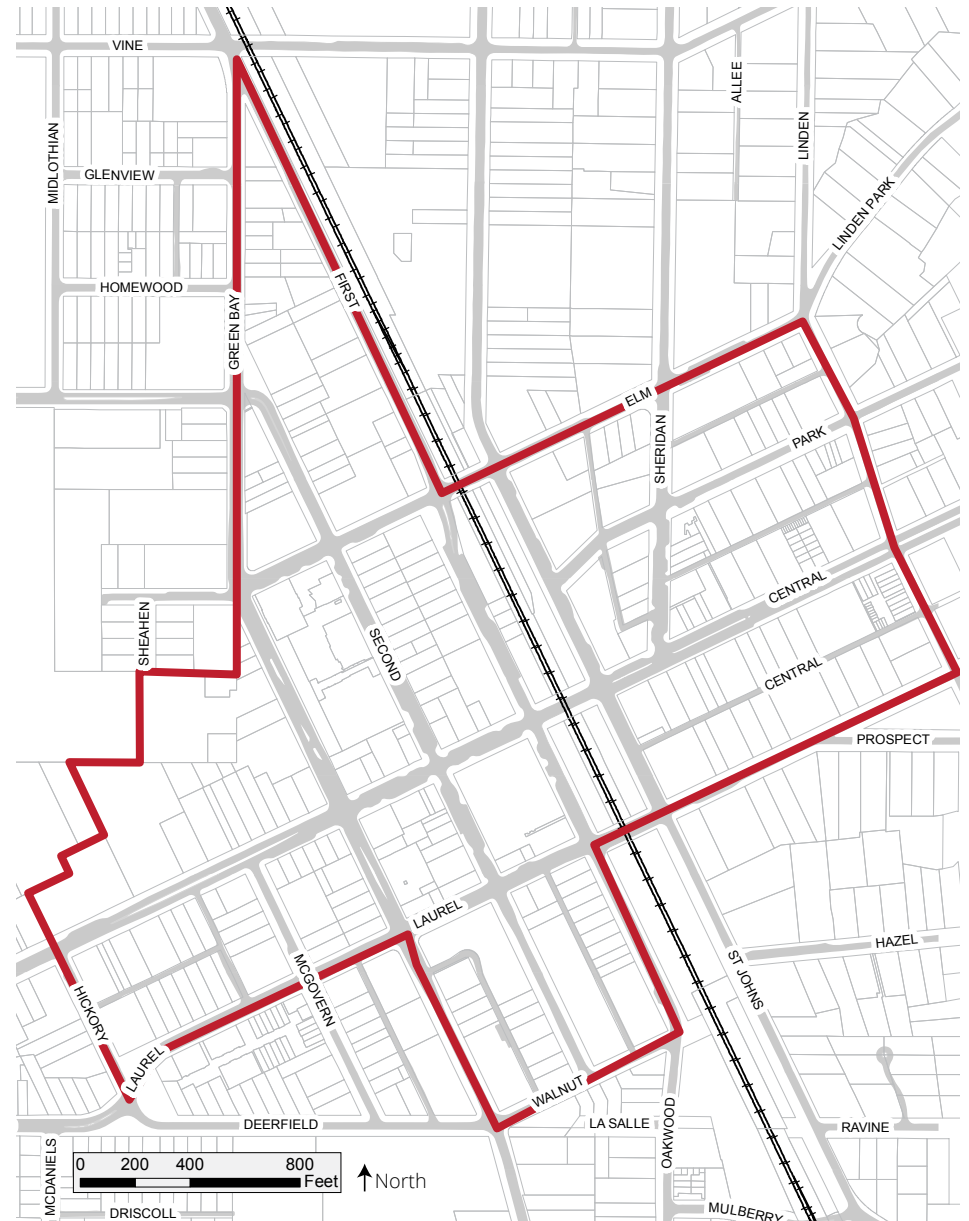
The purpose of these Standards and Guidelines is to establish criteria by which the Plan and Design Commission will evaluate new developments, additions, or renovations to the exterior of a buildings throughout the City and within Downtown Highland Park.

The standards are not intended to restrict imagination, innovation, or variety, but rather to assist in focusing on design that develops a satisfactory visual appearance that is context-sensitive, to preserve taxable values, and to promote the public health, safety and welfare.

GOAL

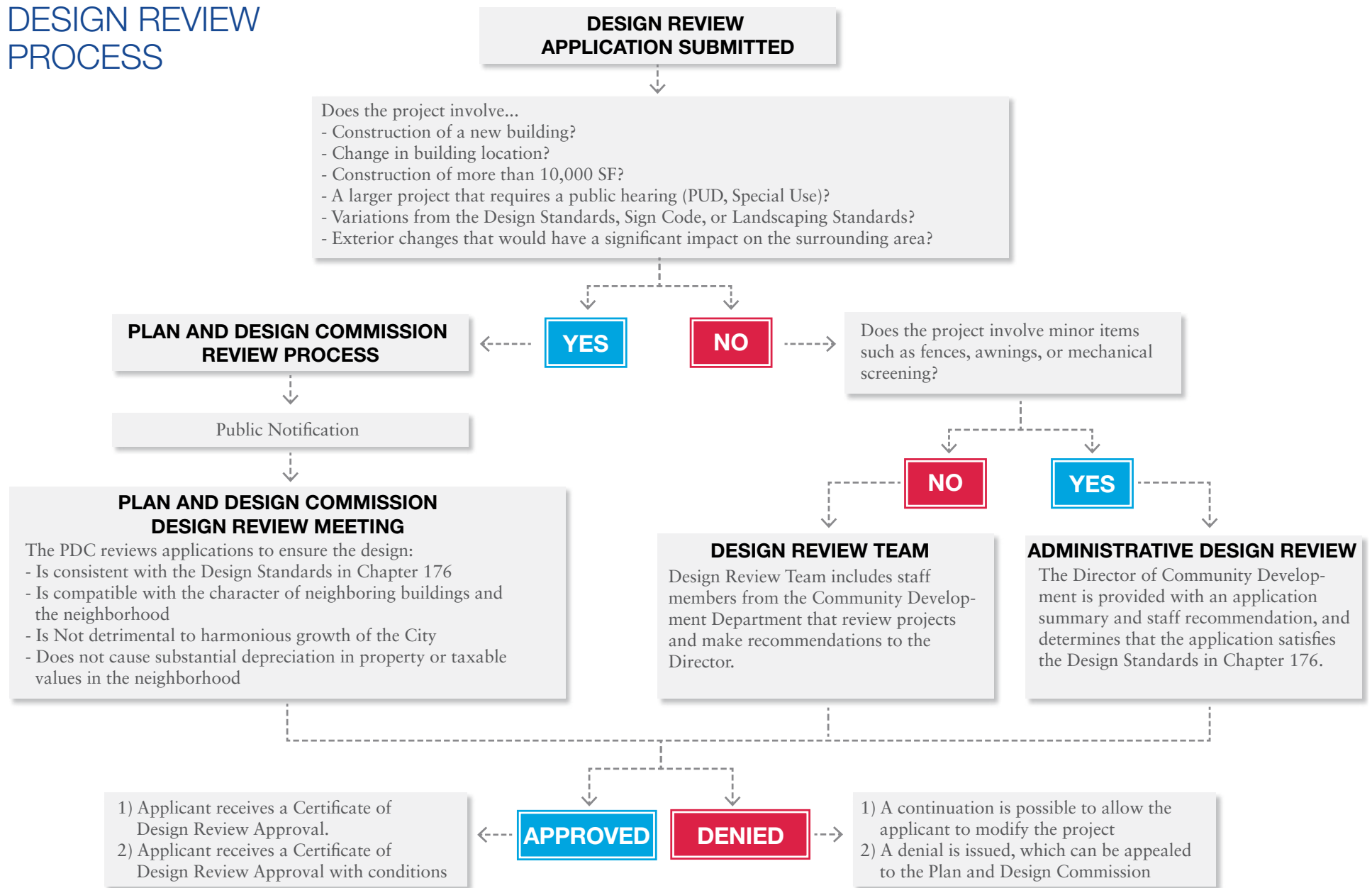
The overarching goal of the Design Guidelines is to enhance the quality of life of Highland Park’s residents, visitors, and business owners. Specifically, the Design Guidelines aim to:

- Avoid and prevent deterioration of the character and appearance of the community;
- Ensure that developments are cohesive within Downtown Highland Park and the City’s various neighborhoods;
- Enhance the visual appearance of the Downtown district, making it a more desirable place for residents, visitors, and businesses;
- Highlight aspects of design that are most important; and
- Serve as a tool for the development community in the design process.



— Downtown Highland Park Boundaries

DESIGN REVIEW PROCESS



DOWNTOWN HIGHLAND PARK



AREA DESCRIPTION

The Highland Park downtown shopping district is a vibrant, upscale, urban outdoor shopping center filled with one-of-a-kind boutiques, jewelry stores, national retailers, home furnishings specialty shops, unique restaurants, businesses catering to beauty and personal care, and home to a large concentration of professional offices. The Central Business District is also host to the Highland Park Hospital complex, City Hall and the Public Library, and the City's growing multifamily residential areas.

Downtown has always been and continues to be a very special place in Highland Park. For many, it defines the City in a physical sense and confers a shared sense of community for all Highland Park residents. The Central Business District is approximately 106 acres and home to about 450 businesses. The Design Guidelines will help to guide future developments in the Downtown towards the City's vision of vitality, sustainability, and economic success.



Bird's Eye View of Highland Park, Source: Bing Maps

VISION STATEMENT

Downtown Highland Park will be a *vibrant*, easily *accessible* and *sustainable* place for people to live, work and engage in *commerce, cultural arts, and entertainment activities*. Future planning and development will promote the Downtown *pedestrian and historic character*, and adapt to ongoing challenges and opportunities.

Vibrant – *lively, diverse, and engaging*

- Provides a variety of shopping and dining experiences
- Contains spaces that are diverse and inviting
- Hosts a mix of activities at a range of times throughout the day and year
- Incorporates a broad mix of uses including residential, retail/services, office, and recreation

Accessible – *easy to get to and move through*

- Accessible by a variety of transportation modes (car, bus, train, bike, walk)
- Easy to safely navigate to and within
- On-street and off-street parking is available and well identified (automobiles and bicycles)
- Signage is attractive and understandable

Sustainable – *can meet present needs without compromising future generations. This requires the reconciliation of the three pillars of sustainability: environment, social, and economic demands. The three pillars are not mutually exclusive and can reinforce one another.*

- Recognizes of the need for resource conservation (water, energy, materials)
- Encourages compact and mixed land use and future development (commercial, residential, institutional, and public)
- Accessible and functional open spaces, parks, and streetscapes
- Contains social, supportive, and medical services and activities leading to demographic diversity
- Balances economic growth with social and environmental concerns

Cultural Arts – *encompasses art forms including visual arts, literature, music, theatre, film, and dance*

- Supports range of institutions which support the arts including the Highland Park Arts Campus (Art Center and Community House) and the Public Library
- Sponsor live programs and a variety of festivals
- Provide a place for not-for-profit arts organization

Entertainment – *an activity designed to give people a diversion*

- Provide leisure opportunities
- Develop a broad range of dining experiences including outdoor dining
- Encourage music and art festivals

Pedestrian Character – *a sense of place that is pleasant, safe, and interesting in which to walk and linger*

- Unified streetscape and pedestrian connections
- Appropriate signage and wayfinding
- Site furnishings (bike racks, lighting standards, trash cans, seating, etc.)
- Interesting and accessible buildings
- High level design at the pedestrian level
- Buildings oriented toward the sidewalk
- Designed for safety
- Landscape and streetscape improvements
- Encourage activity on the street (e.g. outdoor dining, public gathering places)

Commerce – *buying and selling goods and services*

- Offering a variety of retail, service, and office opportunities

Geographic Features – *the location and defining physical elements of a place and its general surroundings*

- Northshore location and proximity to Lake Michigan
- Presence of nearby ravine systems
- Sunset Park and access to greenway trails
- Commuter Rail Service including the train station and railroad tracks
- Regional access, U.S. Highway 41/ Tollway
- Public squares and other spaces



GENERAL DESIGN GUIDELINES



SITE PLAN

PARKING LOTS & STRUCTURES

Standards

- **Access** into parking structures must be from a public right-of-way
- No parking structure may have more than one access drive per street frontage of the lot on which the parking **structure** is located
- Access to any level of a parking structure reserved for private use shall be from an alley, if one is available
- Off-street parking spaces that are located within a building shall not occupy more than 40% of the front 40 feet of the ground floor frontage of the building
- All ground floor parking must be screened from view from the public **street frontage**, on all sides other than those sides that front along an alley, by glazing, metal grill work, louvers, or other architectural treatments. Such screening elements must provide complete visual screening to at least four (4) feet in height above the adjacent public sidewalk

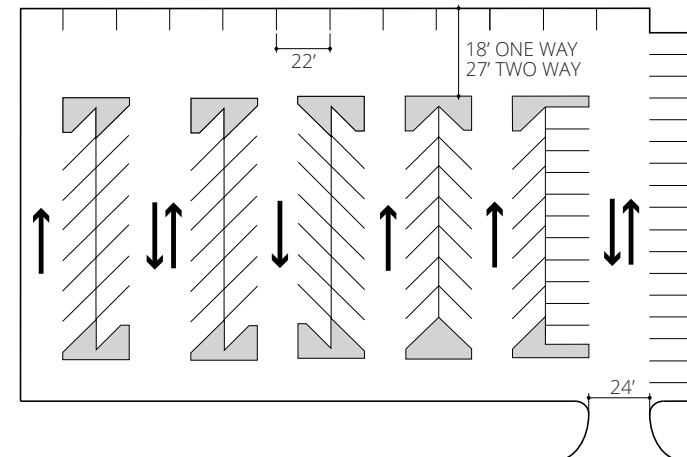
(Sec. 150.808(I) Special Regulations for the Design of Parking Structures in R0, B4-4, B4-5, B4-6 and B5 Zoning Districts, Sec. 150.808 (D2) Parking Table)

Guidelines

- Pedestrian walkways should be incorporated into the design
- Landscaping should be incorporated in the design
- Minimize size and number curb cuts whenever possible to reduce interference with public right-of-way
- Avoid locating parking lots or structures along major right-of-ways
- Avoid locating parking lots or structures at major intersections
- Parking at the rear of the building is the most desirable
- ADA parking should be located near the entrance
- ADA ramp design and size should comply with International Building Code 2009 and ADA Accessibility Building Code



Parking Structure. Parking structure located along St. Johns Avenue incorporates landscaping into the design. (See Article 22 of Chapter 150 of the Municipal Code for details)



Parking Lot Dimensions. This is an example parking lot. Please note that parking lots must have interior landscaping.

PARKING LOT INTERIOR LANDSCAPING

Standards

- The interior portions of all new parking lots that contain twelve (12) or more parking spaces, and of all expansions of existing parking lots of twelve (12) or more parking spaces, shall be improved with *landscaping*
- Install tree planting islands within rows of ten (10) or more parking spaces and the islands shall be no further apart than ten (10) parking spaces
- Except otherwise provided in Section 150.2220, all landscaping required pursuant to Section 150.2220 shall be planted with a combination of shade and ornamental trees, evergreen trees, and shrubs
- All areas that are required to be landscaped that are not planted with trees or shrubs shall be maintained with grass or other living pervious cover

(Sec. 150.2220 (C) Vehicular Use Area Interior Landscaping)



Parking Lot Landscaping. Landscaping screen between parking lot and public right-of-way located along Laurel Avenue

| INTERIOR LANDSCAPING AREA | |
|----------------------------|--|
| Size of Vehicular Use Area | Percentage Required for Interior Landscaping |
| 2,999 sq. ft. or less | 0% |
| 3,000 - 4,999 sq. ft. | 5% |
| 5,000 - 29,999 sq. ft. | 8% |
| 30,000 sq. ft. or greater | 10% |

(Sec. 150.2220 (1)(A) Interior Landscaping Area Table)



Parking Lot Landscaping. Interior landscaping incorporated into design of parking lot located along St. Johns Avenue



Parking Lot Landscaping. Interior landscaping incorporated into design of parking lot located along Skokie Valley Road creates a barrier between parking lot circulation and parking stalls



Parking Lot Landscaping. Landscaping is used to separate two parking lots located along St. Johns Avenue



Parking Lot Landscaping. Landscaping is incorporated into diagonal parking spaces in parking lot located along St. Johns Avenue

PARKING STRUCTURE LANDSCAPING

Standards

- New designs require the inclusion of at least one of the following:
 - » Perimeter plants
 - » Hanging baskets
 - » Flower boxes
 - » Planting trellises
 - » Rooftop garden
- In addition, the Plan and Design Commission may also require:
 - » A planting of vines at the base of the parking structure
 - » The installation of perimeter planters on at least every other floor of the multi-level parking structure using natural ventilation
 - » The installation of perimeter planters on a rooftop used for parking

(Sec. 150.2220 (D) Structured Parking)



Parking Structure. Landscaping screens the parking structure along Laurel Avenue from the public right-of-way



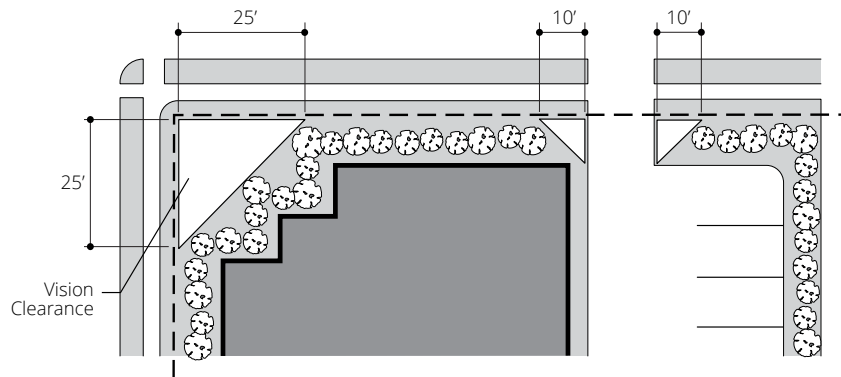
Parking Structure. Landscaping screens the parking structure along St. Johns Avenue from the public right-of-way

VISION CLEARANCE

Standards

- It is essential to maintain clear lines of sight at intersections and curb cuts onto public streets
- No fence, wall, landscaping, sign, vehicle, or other visual obstruction located above a height of three (3) feet, measured from the established street grade, shall be permitted within:
 - » Ten (10) feet on either side of an entrance or exit of *off-street parking* and loading facilities, measured at the property line or,
 - » The triangle area formed by a straight line drawn between points on the property lines at a distance of twenty-five (25) feet in each direction from the intersection of any street or alley

(Sec. 150.808 (H) Visual Clearance)



Vision Clearance. Diagram shows where Vision Clearance triangle is applicable.



Vision Clearance. Southeast corner of Roger Williams Avenue and Green Bay Road is clear of landscaping



Vision Clearance. Approaching traffic is visible at the corner of Roger Williams Avenue and Green Bay Road



Vision Clearance. The vision clearance triangle at the corner of Roger Williams Avenue and Green Bay Road allows for a clear line of sight at the intersection

FOUNDATION PLANTING

Standards

- Foundation landscape area of at least five (5) feet in depth will be installed directly adjacent to the foundation of any new, modified, and expanded *building* and structure.
- Low growing shrubs and ground covers are appropriate for Foundation Landscaping
- Foundation planting areas shall not be required if the required front, side, or rear yard is smaller than five (5) feet in depth

(Sec. 150.2225 Foundation Landscaping)

Guidelines

- Exceptions to foundation planting include zero lot-line frontages
- Planting material should exclude invasive species as listed in the Appendix
- Foundation planting may be interrupted for architectural elements such as doors, openings, or other key features

| LANDSCAPE PLANTING QUANTITIES | | |
|-------------------------------|---|--|
| Type of Tree / Shrub | Number of Trees / Shrubs Required | Size and Variety |
| Shade or Ornamental Trees | 3 caliper inches for every 40 linear feet of the subject lot length or major fraction thereof (measured at the lot line) | Minimum of 3 caliper inches or 8 feet height at installation No fewer than 3 types, no one type exceed 50% of total |
| Evergreen Trees | 3 caliper inches for every 60 linear feet of the subject lot length or major fraction thereof (measured at the lot line), except for lot lines adjacent to street | Minimum of 3 caliper inches or 8 feet height at installation |
| Shrubs | 1 for every 5 linear feet of the subject lot length or major fraction thereof (measured at the lot line) | Minimum 24 inches in height at time of installation No fewer than 3 types, no one type to exceed 50% of total |

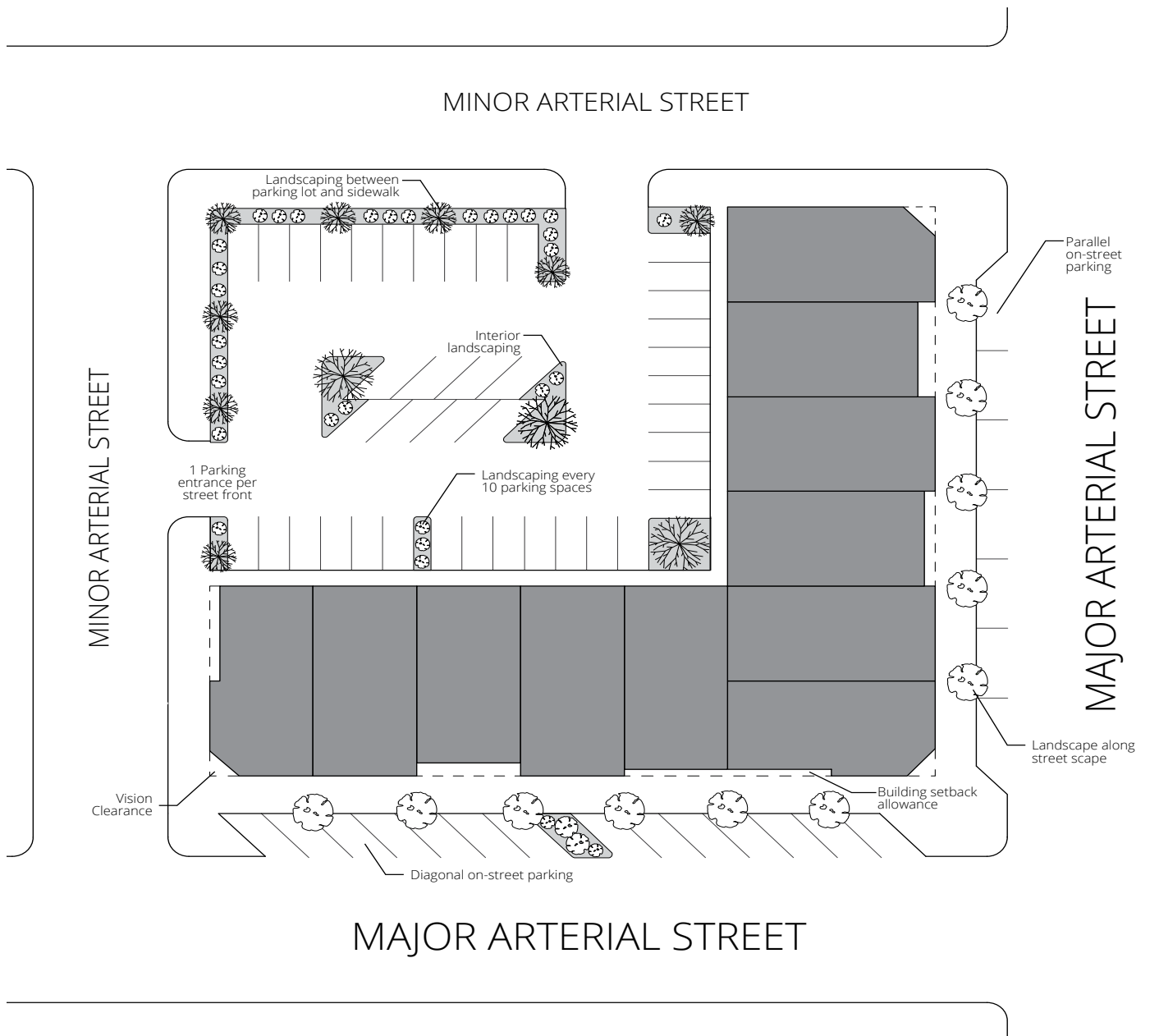
Sec. 150.2230 (A) Landscape Planting Quantities



Foundation Planting. Renaissance Place design includes foundation planting along Second Street



Foundation Planting. Building design includes foundation planting along Central Avenue



Site Plan Example

This example site plan illustrates regulations found in the City's Zoning Code, such as:

- off-street parking lot landscape requirements
- vision clearance triangle
- parking lot entrance limits

The site plan also illustrates desired site plan elements such as:

- off-street parking lots in the rear of the building
- landscaping along streetscape
- diagonal and parallel parking along major arterial streets

SERVICE & LOADING ACCESS

Guidelines

- Access to *service* and *loading* areas should be off an *alley* whenever possible
- If access off an alley is not possible, then the design should be consistent with facade of the building
- Minimize size and number of curb cuts whenever possible to reduce interference with the public right-of-way
- For multiple-use buildings, grouping of loading spaces in one or more locations are encouraged



Service and Loading Access. Access to service and loading area off alley along Second Street



Service and Loading Access. Access to service and loading area off alley along Second Street

MECHANICAL & UTILITY SCREENING

Standards

- All refuse containers shall be screened by a solid wall of a *maximum height* sufficient to obscure such containers from view from *adjacent* streets and adjacent lots used for residential purposes
- All ground-mounted mechanical equipment shall be screened by a solid fence, wall, or densely planted evergreen landscape planting at a maximum height sufficient to obscure such equipment from all adjacent streets and adjacent lots used for residential purposes

(Sec. 150.2245 (A) Refuse Container Screening and Sec. 150.2250 (A) Ground-Mounted Mechanical Equipment Screening)

Guidelines

- The following must be screened from view from *public right-of-way*, residential and public uses
 - » *Mechanical equipment*
 - » Refuse containers
 - » Roof mechanical equipment
- The inclusion of landscaping in the screening design is encouraged when possible
- *Screening* design should be appropriate for the architectural style of the *principal structure*
- Screening area should allow enough space for both refuse and recycling containers



Mechanical Screening. Equipment is screened with both fencing and landscaping behind City Hall



Mechanical Screening. Equipment is screened with landscaping along St. Johns Avenue in the Ravinia district

SITE TREATMENT

TOPOGRAPHY

Standards

- Where natural or existing topographic patterns contribute to beauty and utility of a *development*, they shall be preserved and enhanced

(Sec. 176.205 (B) Site Treatment)

Guidelines

- Retaining walls may be used to help preserve natural topography
- Appropriate *retaining wall* materials include:
 - » Brick
 - » Stone
 - » Decorative landscaping blocks
 - » The inclusion of landscaping in the design of the retaining wall is encouraged



Topography. Path behind Highland Park Public Library respects natural topography

TREATMENT OF CONSTRUCTION SITES

Standards

- Sidewalks should be kept clear of any hazardous construction equipment or debris
- Sites should have caution lighting
- Fencing shall be put up around construction site
- Screening may be required as part of a development agreement

(Sec. 170.012 Barricades, Covers, and Lights)



Topography. Path behind Highland Park Public Library respects natural topography

STREETSCAPE

Guidelines

RATIO Architects, an architecture, planning, and design firm, prepared the Highland Park Streetscape Conceptual Plan focusing on *streetscape* improvements in the Downtown. Improvements outlined in this document can be seen in Highland Park's existing streetscape.

Typical Streetscape Design Components:

- Paving sections
- Circular benches
- Tree grates
- Bollard pairs
- Trash receptacles and liners
- Drinking fountains
- Signs
- Light fixtures and poles
- Bike racks
- Information kiosks
- Raised planters with street trees and season and perennial plant materials

New development designs should be conscious of the Highland Park Streetscape Conceptual Plan and incorporate streetscape elements into the design of the building when possible. The paving bricks that are used in the downtown are as follows:



Yankee Hill Brick
Charcoal Paver



Yankee Hill Brick
Flash Manganese Paver



Streetscape. Streetscape along 2nd Street



Streetscape. Trash receptacle



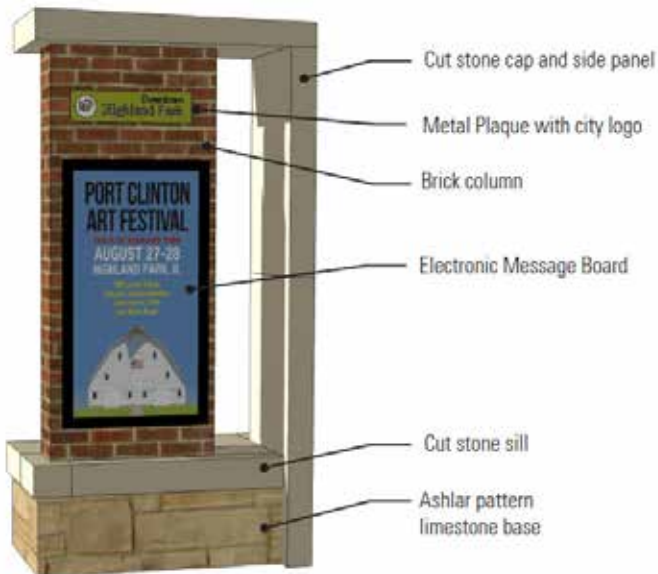
Streetscape. Bike rack



Streetscape. Wide raised planter



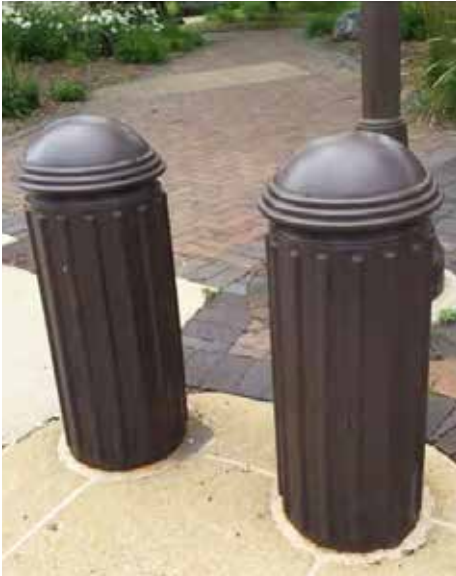
Streetscape. Light fixture and pole



Streetscape. Information kiosk (proposed design based on the Downtown Streetscape Master Plan)



Streetscape. Circular benches



Streetscape. Concrete bollard pair



Streetscape. Pedestrian Arcade



Streetscape. Plaza at Port Clinton



Streetscape. Pocket park at the corner of First Street and Central Avenue



Streetscape. Streetscape along Central Avenue



Streetscape. Streetscape along Central Avenue

SIDEWALKS, PLAZAS, & PEDESTRIAN PATHS

Standards

- Grades of walks, parking spaces, terraces, and other *paved areas* shall provide a safe and stable surface for walking
- Sidewalks, plazas, and pedestrian pathways shall be distinguished from *Vehicular Use Areas* though the use of materials, such as curbs, paver brick, and brushed or scored concrete

(Sec. 176.205 (B) Site Treatment)

Guidelines

- Paving materials should be appropriate for the architectural style of the principal structure
- Choice of paving materials should be the same or complement any existing adjacent paving materials
- Paving materials should be suitable for all users



Sidewalks, Plazas, and Pedestrian Paths. Port Clinton pedestrian plaza includes landscaping and public seating along Central Ave.



Sidewalks, Plazas, and Pedestrian Paths. Renaissance Place pedestrian plaza includes landscaping and seating along Second St.



Sidewalks, Plaza, and Pedestrian Paths. Pedestrian crosswalks are distinguished from street at the intersection of Central Avenue and Second Street by the use of bollards and brick pavers

BURIAL OF UTILITY LINES

Standards

- Newly installed services and services revisions necessitated by a modification to an *Exterior Design Feature* shall be placed underground
- Except as otherwise provided, all utility distribution lines for telephone, gas, electric, telecommunication, internet, or cable television services to be newly installed, or to be reinstalled from existing overhead facilities, shall be placed underground within easements or dedicated public right-of-way
- All overhead utility lines located on the property that is the subject of an application for subdivision approval, shall, as a condition of such subdivision approval, be placed underground within a dedicated easement or a public right-of-way

(Sec. 176.205 (B) Site Treatment and Sec. 151.008 (B)(7) Burial of Utility Lines)

Guidelines

- Burial of utility equipment is encouraged
- *Utility* distribution lines that are encouraged to be placed underground include:
 - » Telephone
 - » Gas
 - » Electric
 - » Telecommunication
 - » Internet
 - » Cable television services



Utility Equipment Burial. Business along Highway 41 buried utility lines. Utility lines are directed underground from utility pole.



Utility Equipment Burial. Business buried utility lines along Highway 41 in front of business property near Park Avenue. View looking South along Highway 41.

BUILDING DESIGN

BUILD-TO-ZONE

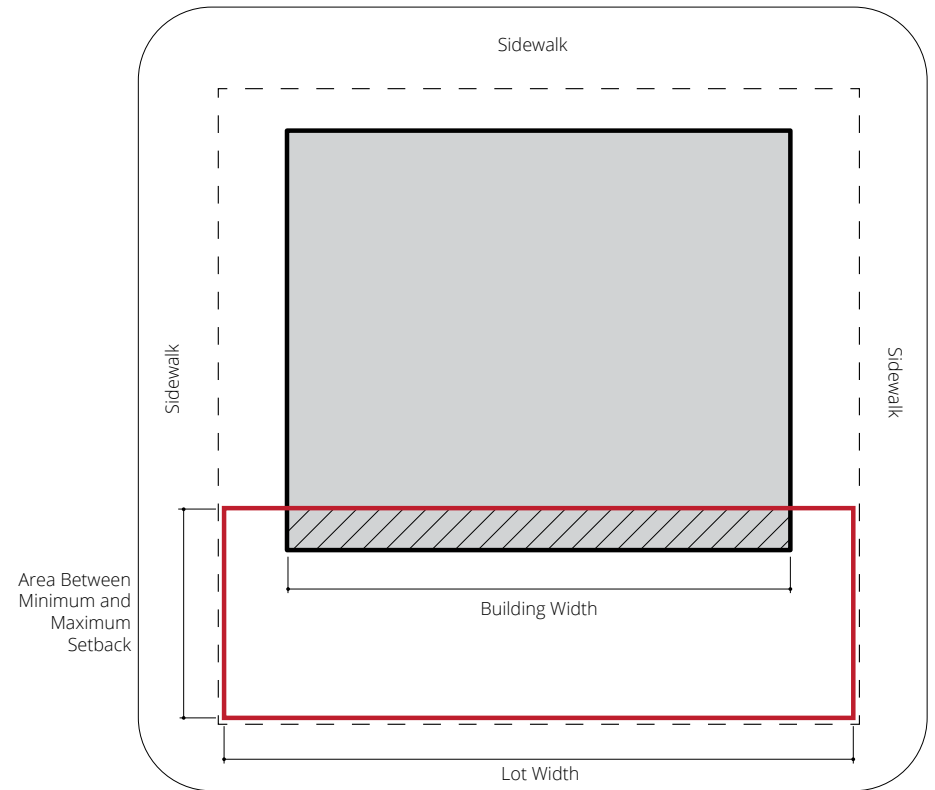
Build-to-zone is the area on the lot in which a minimum percentage of the front building facade must be located. It is measured as a minimum and maximum yard (**setbacks**) range from the edge of the **right-of-way**.

The required percentage specifies the amount of the front building facade that must be located in the build-to-zone, based on the width of the front building facade divided by the width of the lot (**lot width**).

(Sec. 150.2315 (B1 & B2) Measurements and Exceptions)

**MINIMUM REQUIRED
BUILDING WIDTH =**

**LOT WIDTH × % OF LOT WIDTH SET BY
BUILD-TO-ZONE STANDARDS**



Build-to-Zone. This example shows a building site plan. The building width must meet the minimum percentage of the lot width set by the Build-to-Zone standards. The setback of the building must fall between the minimum and maximum setback requirements set by the Build-to-Zone standards. Standards will vary depending on the frontage classification of the subject property. For more information see Chapter 150 Article 23 of the City's Code.

BUILDING HEIGHT & SCALE

Guidelines

- *Scale* of buildings should create a pedestrian friendly environment

| MULTIPLE FAMILY RESIDENTIAL & HEALTH CARE ZONING DISTRICT REGULATIONS | | | | | |
|---|---------|---------------------|---------------------|---------------------|---------|
| Zoning District | RM1 | RM1A | RM2 | RM0 | HC |
| Maximum height of principal structure | 35 feet | 40 feet / 3 stories | 40 feet / 3 stories | 51 feet / 4 stories | 60 feet |

(Sec. 150.704 Multiple Family Residential and Health Care District Regulations)

| COMMERCIAL ZONING DISTRICT REGULATIONS | | | | | |
|---|---------------------|---------------------|---------------------|----------------------|-----------------------|
| Zoning District | B4-4 | B4-5 | B4-6 | B5 | |
| Maximum height of principal structure in Planned Development | 51 feet / 4 stories | 63 feet / 5 stories | 75 feet / 6 stories | 51 feet / 4 stories* | 63 feet / 5 stories** |
| Maximum height of principal structure in all other developments | 51 feet / 4 stories | 51 feet / 4 stories | 51 feet / 4 stories | 51 feet / 4 stories | 51 feet / 4 stories |

* Applies to lots in B5 Zoning District greater than 15,000 square feet.
 ** Applies to lots in B5 Zoning District less than 15,000 square feet.
(Sec. 150.705 Commercial and Light Industrial District Regulations)



Building Height & Scale. This is an example of a block in a Commercial Zone. The height of the new developments should fit within the context and character of the existing buildings.

* Applies to lots in B4-6 Zoning District as part of a Planned Development
 ** Applies to lots in B5 Zoning District greater than 15,000 square feet and as part of a Planned Development.
 *** Applies to lots in B5 Zoning District less than 15,000 square feet.

BUILDING BULK

Guidelines

- Lessen the apparent *bulk* of a building whenever possible with the use of exterior design features such as vertical columns or horizontal cornices, variation of exterior building materials, or strategic placement of street-facing entrance and windows
- Building width should reflect the already-existing pattern of nearby structures
- Avoid solid box design and monotonous color design
- Combination of different building material is encouraged
- Gutters and down spouts should be unobtrusive and not on the front facade if possible



Building Bulk. Variation in brick color creates the illusion of two different buildings, lessening the apparent bulk of the building located along Green Bay Road



Building Bulk. Bulk is broken up with change in exterior building materials, vertical elements, and change in roof line of building located at the corner of Park Avenue and Sheridan Road



Building Bulk. Change in materials and varying building setback break up mass of building located along Laurel Avenue



Building Bulk. The bulk of a building can be broken up with horizontal exterior design features and upper story setbacks like this building located along St. Johns Avenue



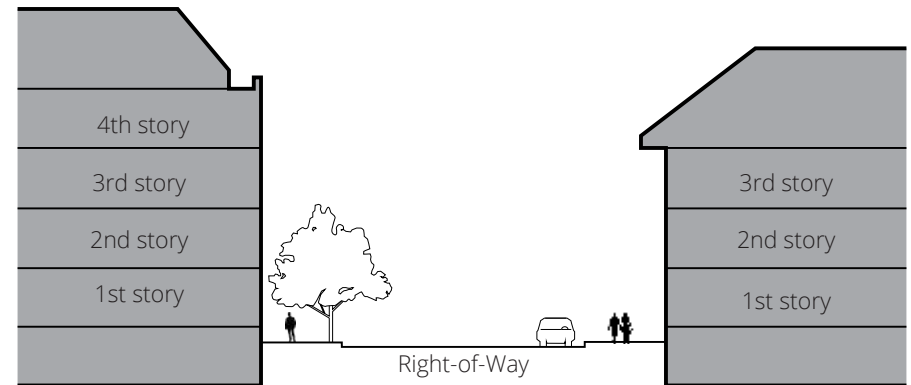
Building Bulk. Change in materials, protruding masses, and balconies break up mass up building located at the corner of Second Street and Walnut Street

HEIGHT STEP BACKS

Standards

- Applies to *Planned Developments* and *additions* to buildings that exceed the maximum Non-Planned Development height for the RO, B4-4, B4-5, B4-6, and B5 Zoning Districts
- Reduces the apparent overall bulk of the building
- Upper-stories include any *story* above the 4th story of a Planned Development or additions above the 4th story of Non-Planned Developments
- Requirements:
 - » An upper-story step back of fifteen (15) feet shall be provided along the *front lot line* for each additional story of building height above the 4th story.
 - » To avoid overly regimented buildings, the forms of the facade of the building adjacent to a front lot line should be designed to provide variation in modulation, finish materials, and fenestration in order to create attractive buildings.
 - » Upper-story step-backs should incorporate decks and/or balconies.
 - » Landscaping should be incorporated within the upper-story step-backs to help soften building forms, either in planters, outdoor plazas, balconies, or other similar features.
 - » Upper-story step-backs may be reduced, but not eliminated if an equal amount of public open space is provided at ground level of the Planned Development.
 - » Building design shall incorporate integrating usable floor space within architectural roof forms and using other design techniques.

(Sec. 150.520 (K) Upper-Story Building Design)



Height Step Back. Commercial & High Density Residential/Office District Step Back



Height Step Back. Upper stories of building are stepped back away from the public right-of-way along Central Avenue



Height Step Back. Port Clinton building height step backs back from the pedestrian plaza and along Central Avenue



Height Step Back. Building height steps back from public right-of-way along Laurel Avenue

ROOFING

Standards

- Mechanical and utility equipment located on the roof or exterior of a building shall either be:
 - » Screened from view from the public right-of-way with materials harmonious to the building, or
 - » Located as to not be visible from the public right-of-way or residential zoning districts

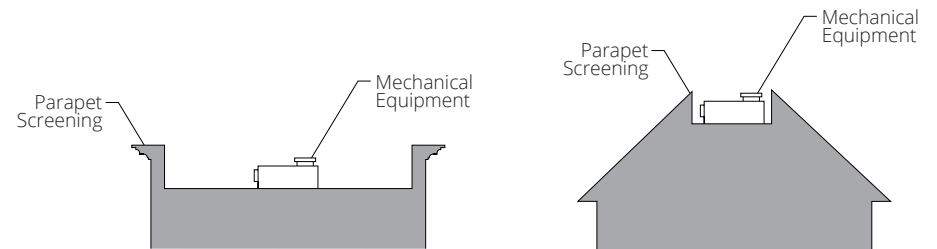
(Sec. 176.205 (C) Building Design)

Guidelines

- Architectural detail or ornamentation should be appropriate for the architectural style of the building
- Roof line should be proportionate with the building design
- Roof should be cohesive with abutting roofs
- Limit uninterrupted *roof planes*
- Roof parapets should screen:
 - » Flat roof terminus
 - » Protrusions other than a chimney
 - » Mechanical equipment



Roofing. The design includes screening of mechanical equipment on the roof of Highland Park Hospital building.



Roofing. Parapet screening

CORNER LOTS

Standards

- Buildings on corner lots must meet the frontage requirements on both street frontages
- Corner lots must adhere to the Visual Clearance requirements
- On corner lots, the requirement governing the minimum percent of the building that must be in the Build-to-Zone may be reduced by sixty percent (60%) along one of the frontages, at the property owner's option, provided that:
 - » A building facade must be placed in the Build-to-Zone for the first thirty (30) feet along street extending from the corner (the intersection of the Build-to-Zones)
 - » The requirements may not be reduced on pedestrian *frontages*

(Sec. 150.808 (H) Visual Clearance and Sec. 150.2312 (A) Build-to-Zone)

Guidelines

- Main entrance may be angled toward the intersection
- Buildings on corner lots are encouraged to take advantage of the highly visible location
- Building on corner lots must meet the frontage requirements on both street frontages
- Signage on both facades is permitted
- To maintain the prominence of the street corner, roofs may be designed to distinguish corner lot from lots along the streetscape



Corner Lots. Building design takes advantage of corner lot with change in roof line and shorter setback along Second Street



Corner Lot. Building design takes advantage lot at the corner of Central Avenue and Second Street with glass canopy and change in exterior building material color

EXTERIOR BUILDING MATERIAL

Standards

- Building materials shall be durable and conducive to easy maintenance and upkeep

(Sec. 176.205 (C) Building Design)

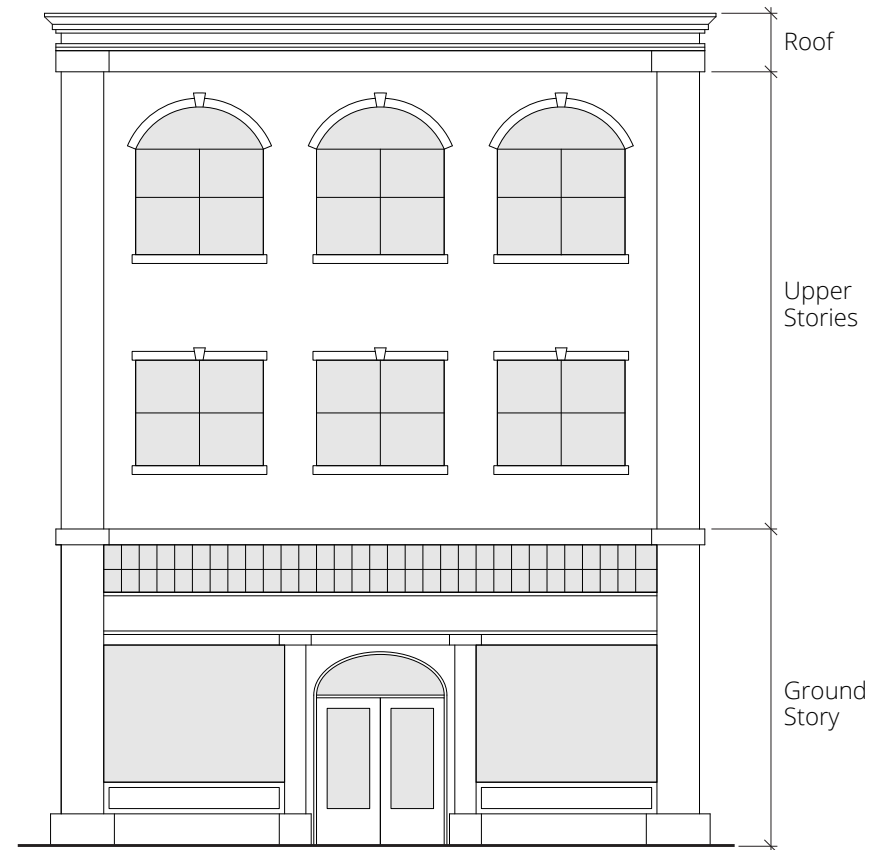
Guidelines

- Exterior materials and colors should be appropriate for the period and style of the building
- The use of genuine materials or high quality alternatives is encouraged, with brick and masonry as preferred exterior building materials
- Exterior building materials should be harmonious with surrounding exterior building materials
- The use of more than three building materials is discouraged
- Use of the following building materials are discouraged:
 - » Exterior Insulation Finishing System (EIFS)
 - » Concrete Masonry Units (CMU) block or super bricks
 - » Imitation materials such as brick panels or stone veneer
 - » Highly reflective materials

FACADE

Guidelines

- Building facade design should be consistent with the architectural style of the building
- In areas that have a commercial character, if the building is more than one story, use exterior building materials or exterior design features to clearly define the ground story, upper stories, and roof
- In areas that have a commercial character, align horizontal moldings or cornices height with abutting buildings
- Exterior design features should be consistent on all sides of the building that are visible to the public
- Larger buildings should use features such as doors, windows, awning, and other architectural elements to break up the facade



Facade. Defined Ground Story, Upper Stores, and Roof Facade Design Example



Building Material and Facade Example. Building along St. Johns Avenue



Building Material and Facade Example. Building on the corner of St. Johns Avenue and Central Avenue



Building Material and Facade Example. Apartment building on the corner of St. Johns Avenue and Elm Place



Building Material and Facade Example. Apartment building on the corner of Green Bay Road and Deerfield Road



Building Material and Facade Example. Building along Central Avenue



Building Material and Facade Example. Building on the corner of Central Avenue and St. Johns Avenue



Building Material and Facade Example. Apartment building on the corner of Central Avenue and McGovern Street



Building Material and Facade Example. Townhomes on the corner of Hickory Street and Laurel Avenue



Building Material and Facade Example. Building along Second Street



Building Material and Facade Example. Apartment building on the corner of Laurel Avenue and Green Bay Road

STREET-FACING BUILDING ENTRANCE

Guidelines

- Main entrance design should be appropriate for the architectural style of the building
- Main entrance design should be a significant feature of the building's facade design
- The main front entrance to building must face the public right-of-way
- Placement should be cohesive with windows placement
- Additional architectural elements to highlight the main entrance are encouraged
- The main entrance should be separate from service entrance
- Main entrance doors should have glass panels so pedestrians may see into the building



Street-facing Building Entrance. Entrance to building on corner faces the intersection of Central Avenue and Sheridan Road



Street-facing Building Entrance. Entrance to building faces the corner of Green Bay Road and Central Avenue

REAR BUILDING ENTRANCE

Guidelines

- When public parking is located at the rear of the building, a rear entrance is encouraged
- Design should be similar to the main entrance
- Design should have less detail and design elements than the main entrance
- Should be clearly identified as rear entrance



Rear Entrance. Secondary entrance to business from parking lot along Central Ave. is located at the rear of the building



Rear Entrance. Rear entrance to business from rear parking lot is similar to the street-facing entrance but with smaller scale exterior design features

BLANK WALL AREA

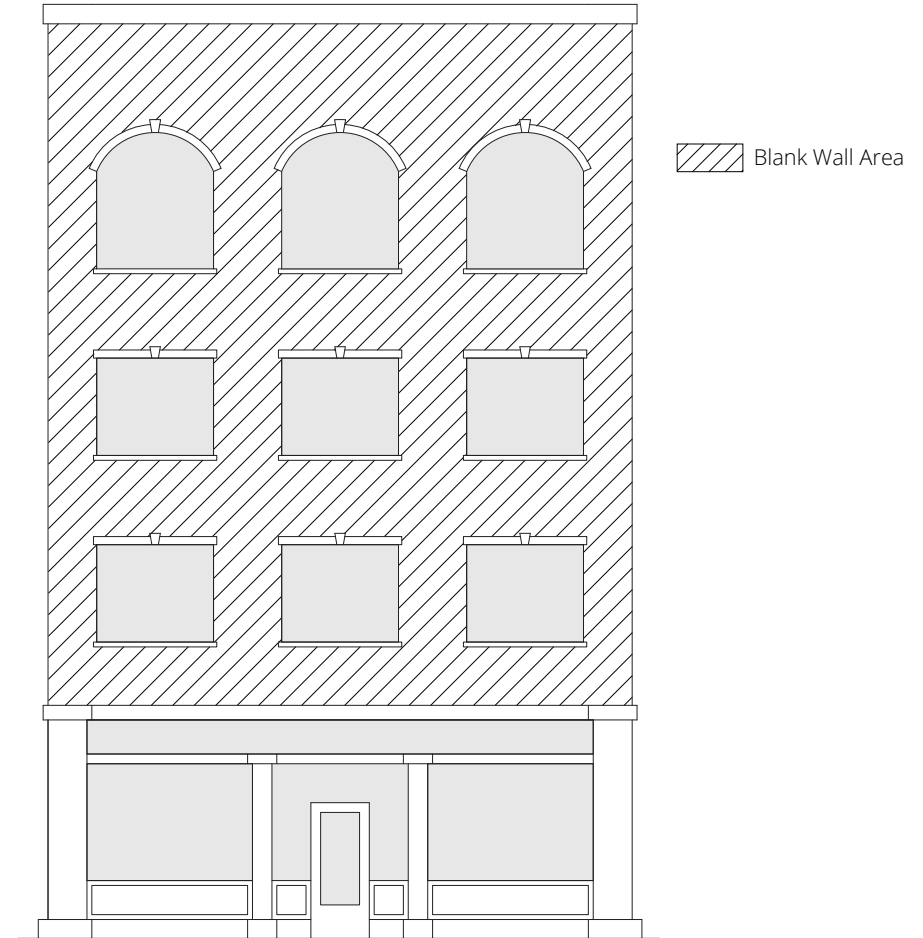
Standards

- Blank walls are areas on the exterior facade of a building that do not include a substantial change in building material, windows or doors, columns, pilasters or other articulation greater than twelve (12) inches in depth
- Blank wall area regulations applies in both a vertical and horizontal direction
- Blank wall area regulations apply to ground and upper-story street-facing facades

(Sec. 150.2312 (C) Blank Wall Area)

Guidelines

- Large blank wall areas should be minimized through the use of transparency, building articulation, changes in building material, and other architectural features.
- The length of blank wall should be no greater than 35 feet on Vehicular and Neighborhood Street Frontages and no greater than 20 feet on Pedestrian Frontages. See [Downtown Street Frontage Classifications](#) for more information.



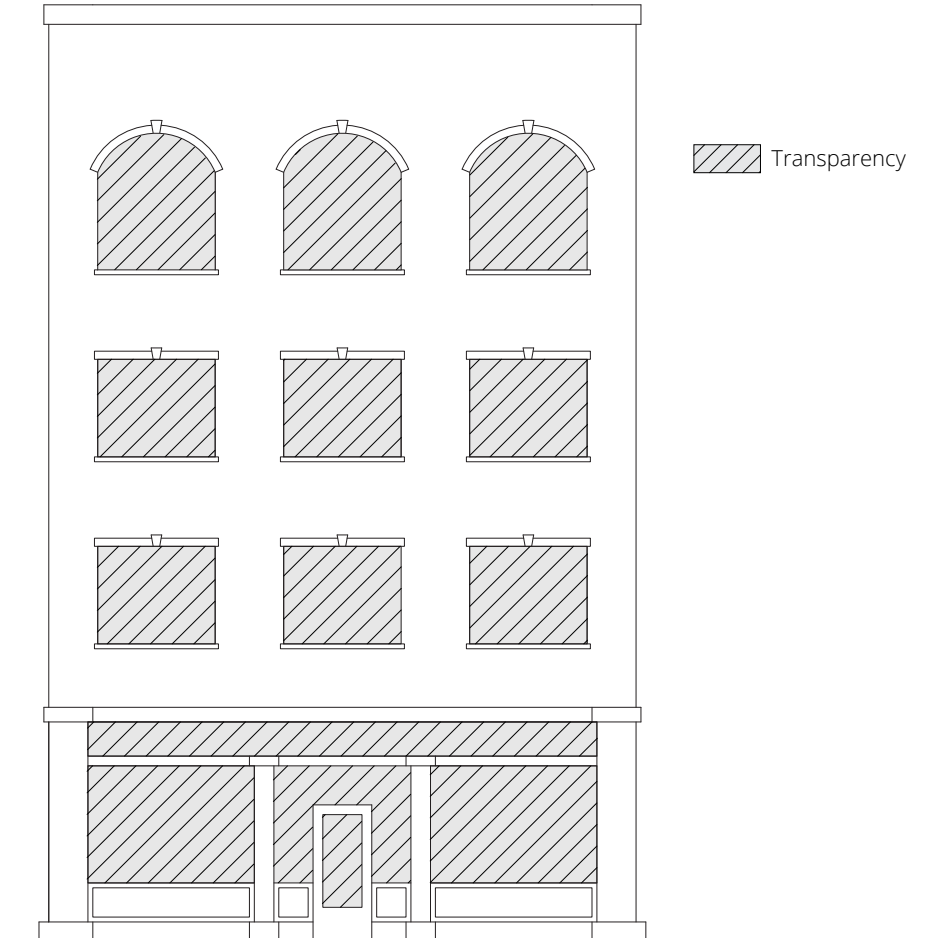
Blank Wall Area. Please note that this example only shows blank wall area on upper stories. Standards are also applicable to ground story, street-facing facades.

TRANSPARENCY

Standards

- Transparency regulations govern the percentage of street-facing building facade that must be covered by glazing (e.g. transparent windows and doors)
- The transparency of a ground story facade is measured between two (2) and twelve (12) feet above the adjacent sidewalk
- The transparency of an upper story facade is measured from top of the finished floor to the top of the finished floor above. When there is no more floor above, upper story transparency is measured from the top of the finished floor to the top of the wall plate
- All glazed elements must be clear and non-reflective and not be painted or tinted (transparent, low-emissivity glass is permitted)

(Sec. 150.2312 (B) Transparency)



Transparency. Transparency includes all glazing elements.

WINDOW DESIGN

Guidelines

- Window design should be appropriate for architectural style of the building
- Windows should be a significant part of the building's facade design, especially on the first floor
- Window bays should reflect the already existing rhythm of abutting buildings

WINDOW DISPLAYS

Guidelines

- Window displays should be changed regularly
- Curtains or other window treatments that block pedestrian views inside building are discouraged
- Window displays should be kept clean
- Holiday decorations are encouraged when appropriate



Window Design. Windows are a major design element for the building on the Southwest corner of Green Bay Road and Central Avenue



Window Design. Window design is appropriate for the architectural style of the building along Green Bay Road

DRIVE-THROUGH FACILITIES

Standards

- *Drive-Through Facilities* shall provide off-street stacking for a minimum of six (6) vehicles
- *Menu board sign* cannot be visible from public right-of-way Menu board signs shall be no larger than 56 square feet and no higher than 8 feet above grade
- Menu board sign must have landscaping at its base

(Sec. 150.808 (D6) Required Stacking Space; Sec. 150.224 (2)(g))



Drive-Through Facilities. Menu board at the McDonald's is not visible from First Street



Drive-Through Facilities. Menu boards at the McDonald's along First Street includes landscaping

FLOWER BOXES & PLANTERS

Guidelines

- Placement of flower boxes or planters must allow for a clear pedestrian walkway
- Avoid artificial plants
- Flower boxes or planters should not be so high that they block the view of the building from pedestrians or motorists
- Flower boxes or planters should match the architectural style of the building
- Healthy planting should be maintained at all times



Flower Boxes and Planters. Planters along walkway of Port Clinton's public plaza along Central Avenue



Flower Boxes and Planters. Planters hanging from fencing along walkway along First Street

OUTDOOR DINING

Standards

- Outdoor dining areas are counted as part of the building for the purpose of measuring compliance with Build-to-Zone requirements, provided that:
 - » Area shall not exceed one third (1/3) the length of the building facade or thirty-five (35) feet, whichever is less
 - » Area shall be no more than thirty-five (35) feet in depth
 - » Only one outdoor dining area per building facade

(Sec. 150.2312 (A) Build-to-Zone)

Guidelines

- Outdoor dining area will not block access to public walkway and maintain a clear sidewalk
- Fencing around outdoor dining area should be the same or complimentary material as principal building
- Seasonal fencing should be removed during cold seasons

DECKS & PATIOS

Guidelines

- Deck or patio will not block access to public walkway and maintain a clear sidewalk
- Design and materials should be consistent with the architectural style of the principal structure
- Fencing or low height wall around deck or patio should be of the same or complimentary materials to the principal structure



Outdoor Dining. Restaurant's outdoor dining does not block access to public. Walkway and includes planters along Second Street



Outdoor Dining. Outdoor dining does not block access to public walkway and includes flower boxes along Second Street

LIGHTING

Standards

- Lighting fixtures shall be of a scale and finish, and shall be mounted at a height that is appropriate to the build design and lighting function
- Lighting poles located within Vehicular Use Area shall be located between parking spaces
- Fixtures must be aimed toward interior of the property
- Fixtures located within twenty (20) feet of a residential property line shall be directed toward the interior of the property and fully shielded from view of the adjacent residential property
- All flood or spot directional lights, regardless of wattage, shall be shielded to prevent glare from being visible at the property line
- Exterior lights that blink or shine with an intermittent phase are prohibited with an exception of holiday decorations within a period of 45 days before and 15 days after the holiday

(Sec. 176.205 (D) Lighting and Sec. 150.605 Lighting)

Guidelines

- Avoid bright lights that would be a nuisance to surrounding properties, especially residential uses
- All lighting fixtures should coordinate including different types of fixtures
- Avoid visible bulbs
- Avoid colored bulbs with an exception of holiday decorations within a period of 45 days before and 15 days after the holiday
- Design features that may be highlighted with the use of lighting include but are not limited to:
 - » Entrances
 - » Decks or patios
 - » Architectural details
 - » Public art
 - » Signage
 - » Landscaping
 - » Outdoor dining areas



Lighting. Example light fixture



Lighting. Example light fixtures and poles



Lighting. Lighting fixture color matches the color of sign lettering along Second Street



Lighting. Gas station located along Skokie Valley Road uses recessed lighting under structure that blends into white material of the structure and LED lighting above



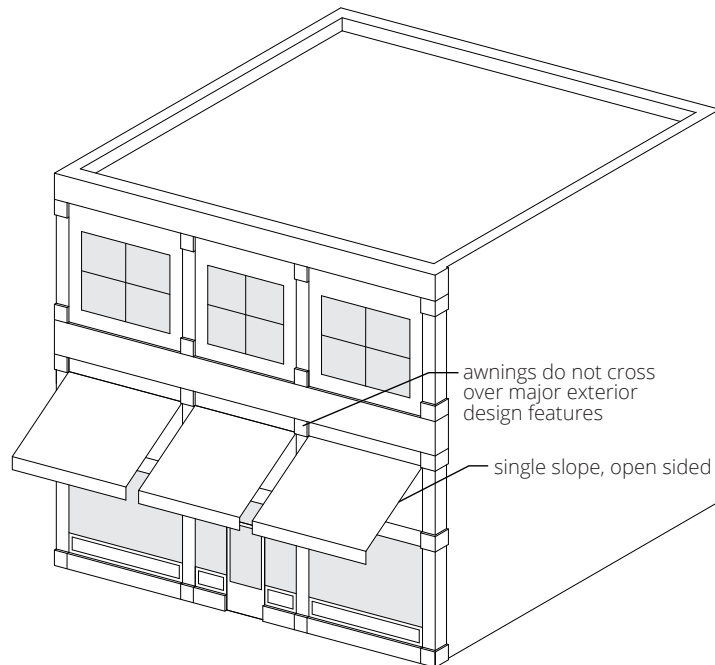
Lighting. Business at Renaissance Place chose lighting fixtures to match the design of the entrance

AWNINGS

Guidelines

- Color and Material
 - » Color should complement building materials
 - » Solid color awnings are encouraged
- Awning design should compliment the surrounding existing awnings
- Placement and Shape
 - » Rounded or oval shaped awnings are only permitted if they are to match an arched or rounded architectural element
 - » Awning should not cross over major exterior design feature
 - » Awning should not block the view of the window
 - » Single-sloped, open sided awnings are encouraged

Please refer to Chapter 170 Building of the Highland Park Code for more information.



Awnings. Placement and shape example.



Awnings. Awnings on businesses at Crossroads Shopping Center



Awnings. Awnings on building at the corner of Laurel Avenue and Green Bay Road



Awnings. Awnings on building at the corner of Sheridan Road and Central Avenue



Awnings. Awnings on building along Second Street



Awnings. Awnings on building along of Sheridan Road

FENCES

Standards

- **Chain link fences** shall not be located in a multiple family residential zoning district or any commercial zoning district within any required front yard
- All new **fences** on lots that are not used for single family residential use shall conform to the following:
 - » **Open fences** shall be constructed of ornamental metal, with a black powder-coat finish
 - » **Solid fences** shall be constructed of either masonry or smooth-finished wood; provided, however, that if the solid-type fence is required to meet the refuse container screening (Sec. 150.2245), the fences shall be constructed of masonry to match the primary material of which the building and structures on the property are constructed

(Sec. 173.005 General Provisions for Fences)

Guidelines

- Fences should be open when used for outdoor dining
- Fences may be solid when used for screening
- Incorporate landscape materials in fence design when possible
- Design should be appropriate for architectural style of principal structure or adjacent buildings
- Materials should be the same or complimentary to the principal building or adjacent buildings



Fencing. Fence railing color compliments colors of the sidewalk along Second Street



Fencing. Fence design includes landscaping at the corner of Second Street and Elm Place

ANTENNAS

Standards

- Height
 - » *Antenna height* can be no taller than the minimum requirement to provide satisfactory operation of the radio and/or television tower and/or other transmitting and receiving equipment or personal wireless telecommunication facilities
- Aesthetics
 - » *Antenna support structure* and *antenna* shall have a finish color of non-contrasting black, blue, gray, or other color which minimizes the visibility of the antenna support structure
 - » Equipment and facilities must be compatible architecturally with adjacent buildings and land uses or otherwise integrated, through location and design, to blend in with existing characteristics of the *site* to the extent practical
 - » Building mounted facilities that are located on building walls that are open to public view will be stepped back
 - » Equipment facilities will preserve the pre-existing character of the site as much as possible
 - » Existing vegetation shall be preserved and improved, and disturbance will result in less visual impact of the site upon the areas adjacent
- Screening
 - » Where possible, towers and roofs and wall mounted facilities should be camouflaged by screening materials or stealth designs
 - » Screening design can include but are not limited to the use of elements such as:
 - Church steeples
 - Spires
 - Bell towers
 - Smoke stacks
 - Radio towers
 - Street lights
 - Fiberglass tree tower

- Location
 - » Locating equipment or facilities on the same antenna support is encouraged
 - » Where feasible, equipment shelters shall be located in underground vaults or vault enclosed buildings and be designed to easily allow for expansion and to house the equipment of potential co-locaters
- Ground Structures
 - » Ground level equipment structures shall be designed to be consistent with the architectural styles, materials, and roof designs typical of the vicinity in which the facility is located
 - » Ground level equipment structures shall have a floor area of no more than three hundred (300) square feet per provider and be no taller than twelve (12) feet in height
 - » All ground level equipment is required to be fenced in by a six (6) foot high fence
 - » Ground level equipment will be screened by non-deciduous plantings from the view of a persons of at least six (6) feet in height at a distance of one hundred (100) feet from all adjacent lot lines

Sec. 150.414 Additional Regulations for Tower and Conditional Uses for Use with Television and/or Other Transmitting and Receiving Equipment, Including Cellular Telephone and Personal Wireless Telecommunication Facilities of the Highland Park Code for more information



Antennae. Rooftop telecommunication antennas on First Street and Laurel Avenue

DOWNTOWN STREET FRONTAGES



STREET FRONTAGE

WHAT ARE FRONTAGES?

Frontage: All the real property adjacent to a street or alley on a given block.

There are three street frontage classifications in Downtown Highland Park:

- Pedestrian
- Vehicular
- Neighborhood

Each of these frontages has a different pattern of development and adjacent street type and each requires design standards specific to each frontage classification. The design of new and existing building should be sensitive to the type of frontage classification of the subject property.

The frontage of a building is most visible to the public right-of-way. The street facing building facade should be given the most attention and the highest quality design and materials.



Street Frontage. Street frontage along Central Avenue west of the train tracks

PURPOSE

The purpose of the downtown form and design regulations of Chapter 150 Article 23 of the Code is to help maintain and enhance the transit-oriented, walkable character of downtown Highland Park.

Street frontages in the downtown area are classified according to their existing and proposed future character.

APPLICABILITY

The downtown form and design regulations of Article 23 apply within the B4-4, B4-5, B4-6, B5, and RO Zoning Districts to:

- All new buildings
- **Renovations** of, or additions to, existing buildings that result in an increase of 50% or more in the building's gross floor area

In the event of a conflict between the regulations in Chapter 150 Article 23 of the Code and the area, bulk, and density regulations set forth in Chapter 150 Article 8 of the City's Code, the regulations of Article 23 shall control.

(Sec. 150.2305 (B) Applicability)

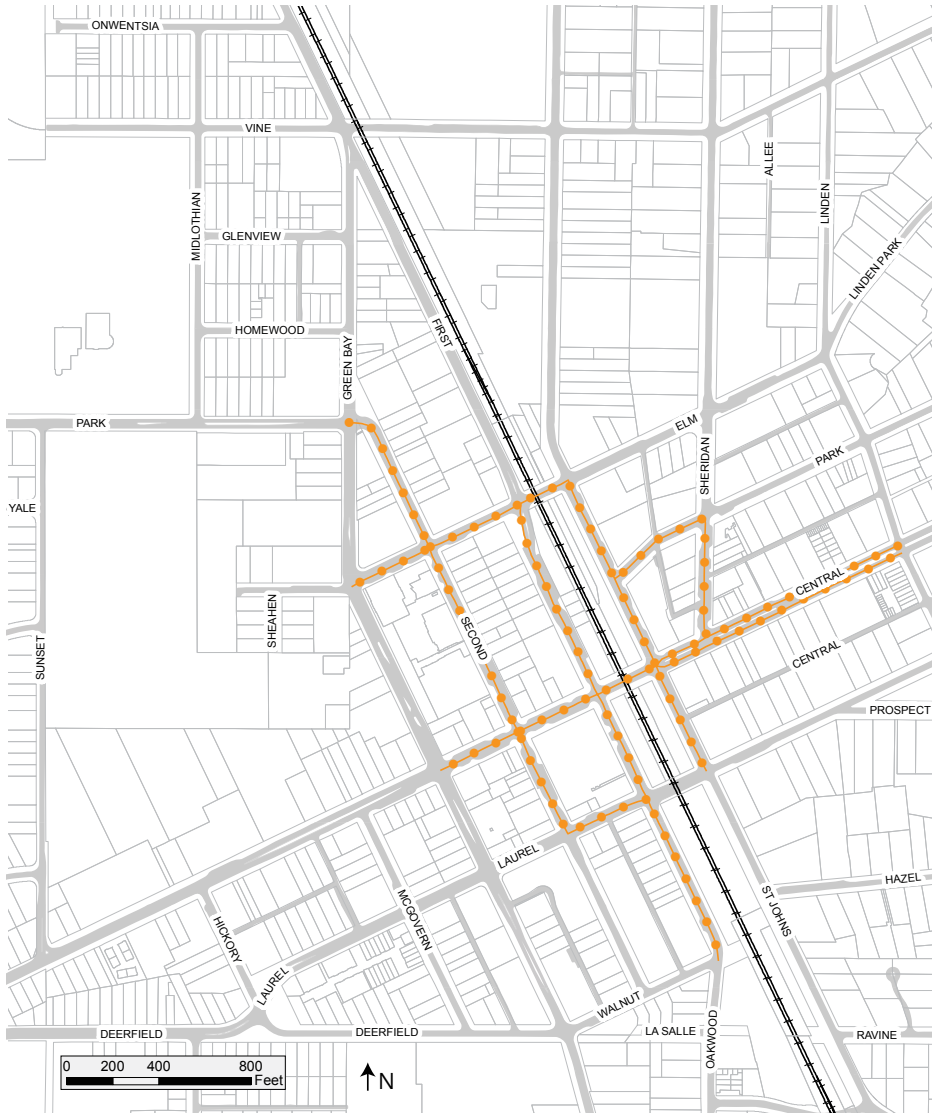


Street Frontage. Street frontage along Laurel Avenue (Neighborhood Frontage)



Street Frontage. Street frontage along Central Avenue East of the train tracks. (Pedestrian Frontage)

PEDESTRIAN FRONTAGE



The pedestrian frontage designation is applied along downtown’s primary pedestrian-shopping streets, where the highest level of walkability is expected and desired. The regulations that apply to pedestrian frontages are intended to help ensure that buildings are located at the front property line and that buildings are designed to promote pedestrian interest, comfort, and safety.

(Sec. 150.2305 (A) Frontage Classifications)

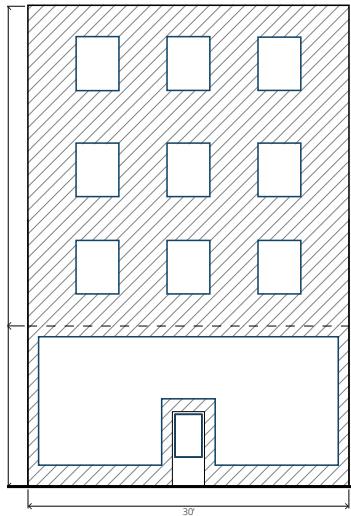


Street Frontage. Pedestrian frontage along Central Avenue West of train tracks

●—● Pedestrian Frontage

PEDESTRIAN FRONTAGE TRANSPARENCY & PEDESTRIAN FRONTAGE BUILD-TO-ZONE

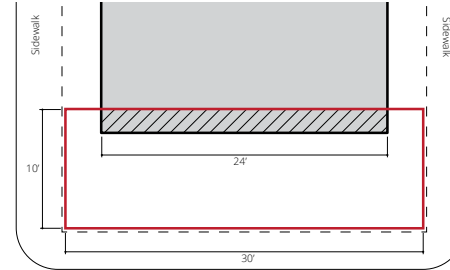
BLANK WALLS



- Division Between Ground and Upper Stories
- Building
- ▨ Blank Wall Area
- Transparency

| TRANSPARENCY EXAMPLE | |
|--|-------------------------------|
| Standards | |
| Min. Ground Story | 75% transparent |
| Min. Upper Story | 20% transparent |
| Max. Blank Wall Length | 20ft. |
| What is the Minimum Amount of Transparency of the Pedestrian Frontage Building? | |
| Ground Story Facade Area | = 30ft. X 15ft. = 450sq.ft. |
| Min. Transparency on Ground Story | = 450sq.ft. X 75% = 315sq.ft. |
| Upper Story Facade Area | = 30ft. X 30ft. = 900sq.ft. |
| Min. Transparency on Upper Story | = 900sq.ft. X 20% = 180sq.ft. |
| <i>Note: This is an example. Required amount of transparency in Pedestrian Frontages will vary depending on building width and floor height. For more information see Chapter 150 Article 23 of the City's Code.</i> | |

Pedestrian Frontage Transparency. Building facade meets the minimum transparency standards for both ground and upper stories. Transparency standards may be met with both transparent windows and doors. Building facade may use exterior design features such as windows, doors, and columns, to reduce the facade's blank wall area.

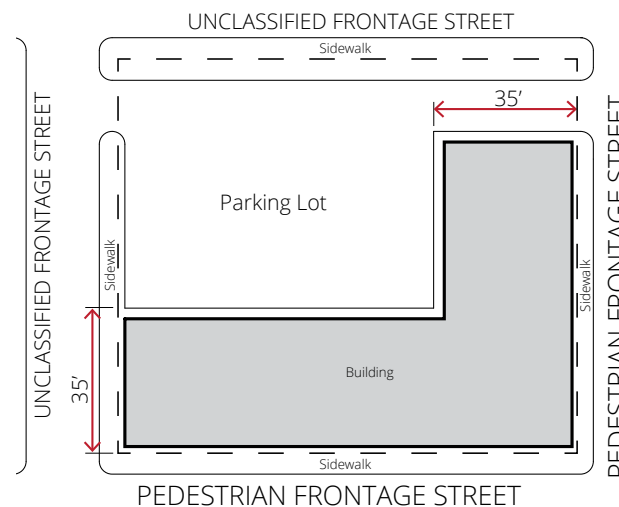


- Lot
- ▨ Frontage in Build-to-Zone
- Building
- Build-to-Zone

Pedestrian Frontage Build-to-Zone. Building site plan meets the minimum width requirements according to Build-to-Zone standards.

| BUILD-TO-ZONE EXAMPLE | |
|--|-----------------------|
| Standards | |
| Min. Setback from Right-of-Way | 0ft. |
| Max. Setback from Right-of-Way | 10ft. |
| Min. Width of Frontage | 80% Lot Width |
| What is the Minimum Required Width of the Pedestrian Frontage Building? | |
| Lot Width | = 30ft. |
| Min. Required Width of Frontage in Build-to-Zone | = 30ft. X 80% = 24ft. |
| <i>Note: This is an example. Required building width in Pedestrian Frontage will vary depending on site width. For more information see Chapter 150 Article 23 of the City's Code.</i> | |

PEDESTRIAN FRONTAGE PARKING SETBACK



| PARKING SETBACK | |
|---|-------|
| Standards | |
| Min. Parking Lot Setback from Pedestrian Frontage | 35ft. |

Parking Lot Setback. The required parking lot setback is measured from the edge of the site along a Pedestrian Frontage street to the edge of the subject parking lot. Streets that are unclassified frontage streets are not subject to the 35 feet parking lot setback standard. For more information see Chapter 150 Article 23 of the City's Code.

VEHICULAR FRONTAGE



The vehicular frontage designation is applied along streets that generally carry the greatest volumes of traffic, typically at higher speeds than along other downtown streets. Because it is often impractical to locate buildings immediately adjacent to the abutting street or sidewalk along vehicular frontages, the regulation allow greater flexibility in terms of building locations and site design.

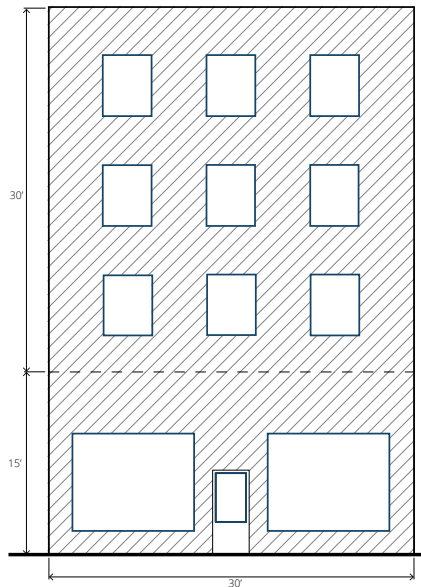
(Sec. 150.2305 (B) Frontage Classifications)



Street Frontage. Vehicular frontage along Central Avenue West of Green Bay Road

■ ■ ■ Vehicular Frontage

VEHICULAR FRONTAGE TRANSPARENCY & BLANK WALLS

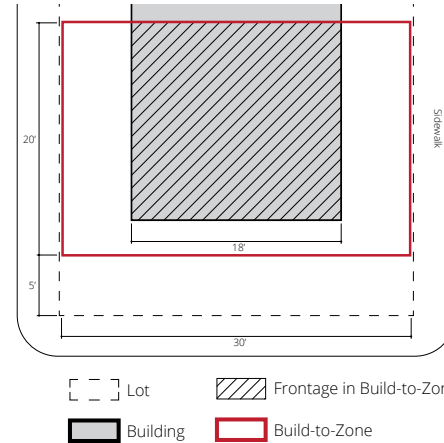


- Division Between Ground and Upper Stories
- Building
- ▨ Blank Wall Area
- Transparency

| TRANSPARENCY EXAMPLE | |
|---|-------------------------------|
| Standards | |
| Min. Ground Story (Mixed-use/Non-Residential) | 40% transparent |
| Min. Ground Story (Residential) | 20% transparent |
| Min. Upper Story | 20% transparent |
| Max Blank Wall Length | 20ft. |
| What is the Minimum Amount of Transparency of the Pedestrian Frontage Building? | |
| Ground Story Facade Area | = 30ft. X 15ft. = 450sq.ft. |
| Min. Transparency on Ground Story | = 450sq.ft. X 40% = 180sq.ft. |
| Upper Story Facade Area | = 30ft. X 30ft. = 900sq.ft. |
| Min. Transparency on Upper Story | = 900sq.ft. X 20% = 180sq.ft. |
| <i>Note: This is an example. Required amount of transparency in Vehicular Frontages will vary depending on building width and floor height. For more information see Chapter 150 Article 23 of the City's Code.</i> | |

Vehicular Frontage Transparency. Building facade meets the minimum transparency standards for both ground and upper stories. Transparency standards may be met with both transparent windows and doors. Building facade may use exterior design features such as windows, doors, and columns, to reduce the facade's blank wall area.

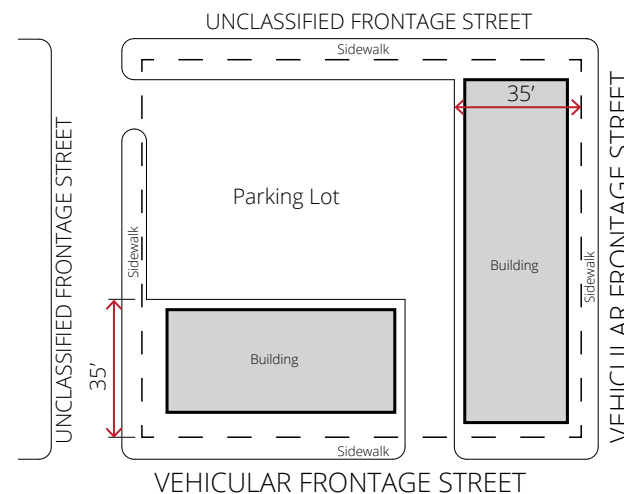
VEHICULAR FRONTAGE BUILD-TO-ZONE



Vehicular Frontage Build-to-Zone. Building site plan meets the minimum width requirements according to Build-to-Zone standards.

| BUILD-TO-ZONE EXAMPLE | |
|---|-----------------------|
| Standards | |
| Min. Setback from Right-of-Way | 5ft. |
| Max. Setback from Right-of-Way | 25ft. |
| Min. Width of Frontage | 60% Lot Width |
| What is the Minimum Required Width of the Pedestrian Frontage Building? | |
| Lot Width | = 30ft. |
| Min. Required Width of Frontage in Build-to-Zone | = 30ft. X 60% = 18ft. |
| <i>Note: This is an example. Required building width in Vehicular Frontage will vary depending on site width. For more information see Chapter 150 Article 23 of the City's Code.</i> | |

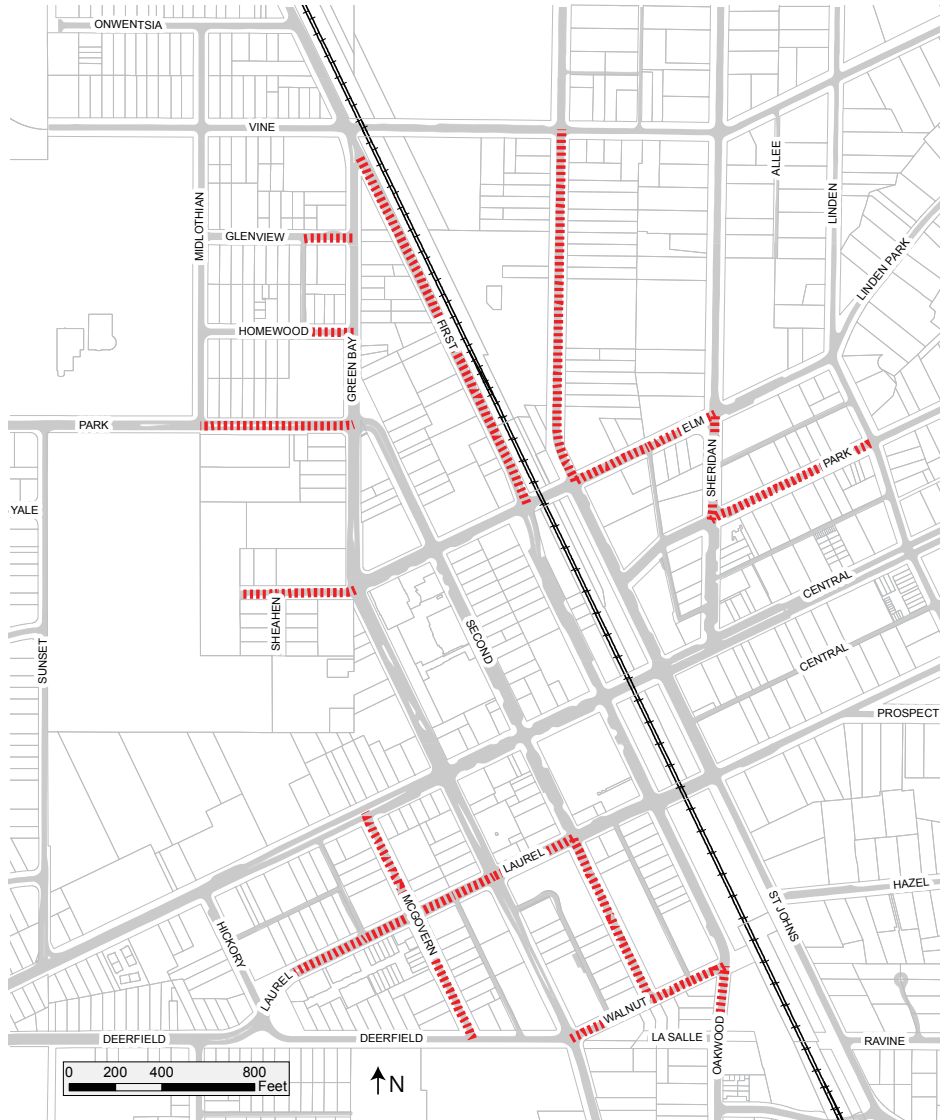
VEHICULAR FRONTAGE PARKING SETBACK



| PARKING SETBACK | |
|--|-------|
| Standards | |
| Min. Parking Lot Setback from Vehicular Frontage | 35ft. |

Parking Lot Setback. The required parking lot setback is measured from the edge of the site along a Vehicular Frontage street to the edge of the subject parking lot. Streets that are unclassified frontage streets are not subject to the 35 feet parking lot setback standard. For more information see Chapter 150 Article 23 of the City's Code.

NEIGHBORHOOD FRONTAGE



The neighborhood frontage designation is applied along downtown streets that are not classified as pedestrian or vehicular frontages. Because such streets typically include a mix of residential and non-residential building types, the regulations allow flexibility in terms of building location and site design.

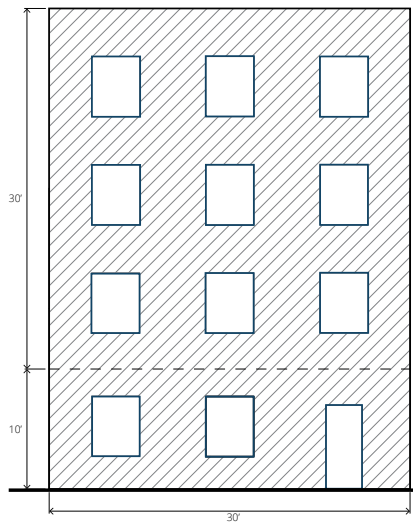
(Sec. 150.2305 (C) Frontage Classifications)



Street Frontage. Neighborhood frontage along Laurel Avenue

----- Neighborhood Frontage

NEIGHBORHOOD FRONTAGE TRANSPARENCY & BLANK WALLS

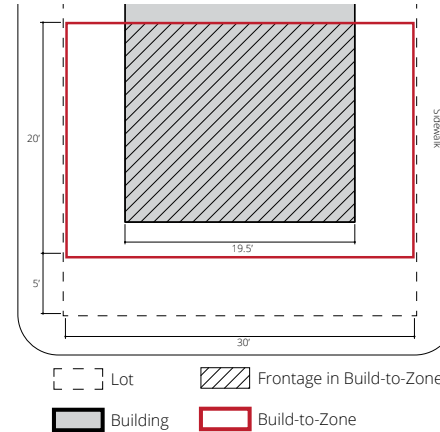


- - Division Between Ground and Upper Stories
- Building
- ▨ Blank Wall Area
- Transparency

| TRANSPARENCY EXAMPLE | |
|---|-------------------------------|
| Standards | |
| Min. Ground Story (Mixed-use/Non-Residential) | 40% transparent |
| Min. Ground Story (Residential) | 20% transparent |
| Min. Upper Story | 20% transparent |
| Max Blank Wall Length | 35ft. |
| What is the Minimum Amount of Transparency of the Pedestrian Frontage Building? | |
| Ground Story Facade Area | = 30ft. X 10ft. = 300sq.ft. |
| Min. Transparency on Ground Story | = 300sq.ft. X 40% = 60sq.ft. |
| Upper Story Facade Area | = 30ft. X 30ft. = 900sq.ft. |
| Min. Transparency on Upper Story | = 900sq.ft. X 20% = 180sq.ft. |
| <i>Note: This is an example. Required amount of transparency in Vehicular Frontages will vary depending on building width and floor height. For more information see Chapter 150 Article 23 of the City's Code.</i> | |

Neighborhood Frontage Transparency. Building facade meets the minimum transparency standards for both ground and upper stories. Transparency standards may be met with both transparent windows and doors. Building facade may use exterior design features such as windows, doors, and columns, to reduce the facade's blank wall area.

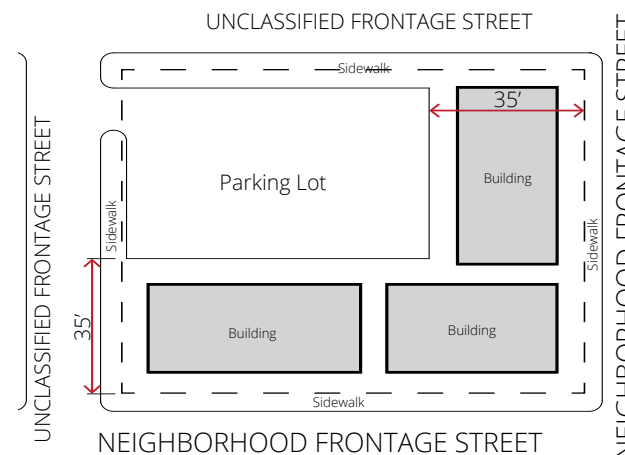
NEIGHBORHOOD FRONTAGE BUILD-TO-ZONE



Neighborhood Frontage Build-to-Zone. Building site plan meets the minimum width requirements according to Build-to-Zone standards.

| BUILD-TO-ZONE EXAMPLE | |
|--|-----------------------|
| Standards | |
| Min. Setback from Right-of-Way | 5ft. |
| Max. Setback from Right-of-Way | 25ft. |
| Min. Width of Frontage | 65% Lot Width |
| What is the Minimum Required Width of the Pedestrian Frontage Building? | |
| Lot Width | = 30ft. |
| Min. Required Width of Frontage in Build-to-Zone | = 30ft. X 65% = 19ft. |
| <i>Note: This is an example. Required building width in Neighborhood Frontage will vary depending on site width. For more information see Chapter 150 Article 23 of the City's Code.</i> | |

NEIGHBORHOOD FRONTAGE PARKING SETBACK



| PARKING SETBACK | |
|---|-------|
| Standards | |
| Min. Parking Lot Setback from Neighborhood Frontage | 35ft. |

Parking Lot Setback. The required parking lot setback is measured from the edge of the site along a Neighborhood Frontage street to the edge of the subject parking lot. Streets that are unclassified frontage streets are not subject to the 35 feet parking lot setback standard. For more information see Chapter 150 Article 23 of the City's Code.

FINANCIAL INCENTIVES



SMALL BUSINESS FACADE IMPROVEMENT PROGRAM

The Small Business Improvement Program is designed to encourage the improvement and revitalization of existing buildings in which small businesses are located. The goal of the program is to provide both assistance and incentive to property *owners* and *small business operators* to improve the appearance of their property and place of business.

A *small business* is defined as having a net worth of less than two million dollars (\$2,000,000), and as showing less than an average of two hundred thousand dollars (\$200,000) in profit per year for two (2) years after taxes.

Eligibility

In order to be eligible for the program, small businesses must meet the following criteria:

- Located and operating within a commercial building in the City of Highland Park
- Owner of property where the subject property is occupied by a business that is a small business as defined in this document or, where such property owner has executed a lease agreement for future occupancy with a small business as defined in this document

Eligible Improvements

- Improvements must be located on, and visible from, the frontage of the building or *right-of-way*, and enhance the appearance of the building
- Removing excess facade materials
- *Repairing* damage from the facade installation
- Repairing building deterioration and restoring original building materials
- Building cleaning (acid or pressure wash, or steam cleaning and tuck pointing)
- Installing new awnings / signage
- Making exterior accessibility improvements
- Replacing, repainting, or *restoring* exterior doors
- Repairing or upgrading exterior lighting
- Painting exterior

- Replacing, repairing, or restoring graphics (permanent)
- Replacing, repairing, or restoring portion of a roof, directly above a building frontage
- Installing new, replacing, repainting, or restoring of permanent signs
- Replacing, repainting, or restoring of trash enclosures, but only if undertaken as part of a comprehensive facade improvement project
- Replacing or repainting windows

Eligible Improvements shall also include Architect's and Contractor's Fees related specifically and exclusively to an Eligible Improvement

Please refer to Small Business Facade Improvement Program document found on City of Highland Park's website or Chapter 107 of the Code for more information.

APPENDIX



ADDITIONAL RESOURCES

For more information please contact the City of Highland Park's Department of Community Development, Planning Division.

1150 Half Day Road,
Highland Park, IL 60035

Phone: (847) 432-0867

Fax: (847) 432-0964

Hours

Monday - Friday

8:00am - 5:00pm

Additional resources:

- [City of Highland Park Website](#)
- [Downtown Highland Park Website](#)
- [Zoning Map](#)
- [Highland Park Interactive Map](#)
- [Plan and Design Commission](#)
- [Highland Park City Code](#)
- [Design Review Application Form](#)
- [Small Business Facade Improvement Program Application](#)



Highland Park City Hall.

INVASIVE PLANTS

The following table provides a comprehensive list of the invasive plants within the Chicago region.

| Scientific Name Common Name | Alternatives |
|---|--|
| <i>Acer ginnala</i> Amur maple | <i>Acer rubrum</i> (red maple), <i>Quercus alba</i> (white oak) |
| <i>Acer platanoides</i> Norway maple | <i>Acer x freemanii</i> 'Marmo' (Marmomaple), <i>Acer miyabei</i> (Miyabe maple), <i>Acer rubrum</i> (red maple), <i>Quercus alba</i> (whiteoak) |
| <i>Aegopodium podagraria</i> Goutweed | <i>Asarum</i> (wild ginger), <i>Epimedium</i> spp. (barrenwort), <i>Glandularia canadensis</i> (mock rose vervain), <i>Hosta</i> (hosta) |
| <i>Agropyron repens</i> Quack grass | <i>Panicum virgatum</i> cvs. (switch grass), <i>Sporobolus heterolepis</i> (prairie dropseed) |
| <i>Ailanthus altissima</i> Tree-of-heaven | <i>Gymnocladus dioica</i> (Kentucky coffee tree), <i>Celtis occidentalis</i> (Hackberry), <i>Styphnolobium</i> (formerly <i>Sophora japonica</i>) (Pagoda tree) |
| <i>Alliaria petiolata</i> Garlic mustard | — |
| <i>Alnus glutinosa</i> European black alder | <i>Celtis laevigata</i> (sugarberry), <i>Celtis occidentalis</i> (common hackberry), <i>Nyssa sylvatica</i> (black tupelo) |
| <i>Alternanthera philoxeroides</i> Alligator weed | — |
| <i>Ampelopsis brevipedunculata</i> Porcelainberry vine | <i>Clematis</i> spp. (clematis) |
| <i>Anthriscus sylvestris</i> Wild chervil | <i>Aruncus</i> spp. (goatsbeard), <i>Achillea</i> spp. (yarrow) |
| <i>Arctium minus</i> Lesser burdock | — |
| <i>Artemisia absinthium</i> Wormwood | <i>Brunnera macrophylla</i> 'Jack Frost' (Siberian bugloss), <i>Pulmonaria</i> 'Silver Shimmers' (lungwort), <i>Senecio cineraria</i> (dusty miller), <i>Perovskia atriplicifolia</i> (Russian sage) |

| Scientific Name Common Name | Alternatives |
|---|--|
| <i>Azolla</i> spp. Water fern | <i>Lemna minor</i> (lesser duck weed) |
| <i>Berberis thunbergii</i> Japanese barberry | <i>Physocarpus opulifolius</i> (ninebark), <i>Ribes odoratum</i> (clove currant) |
| <i>Berberis vulgaris</i> European barberry | <i>Physocarpus opulifolius</i> (ninebark), <i>Ribes odoratum</i> (clove currant) |
| <i>Bromus inermis</i> Smooth brome | — |
| <i>Butomus umbellatus</i> Flowering rush | <i>Juncus effusus</i> (common rush), <i>Sagittaria</i> , <i>Schoenoplectus americanus</i> (bulrush) |
| <i>Cabomba caroliniana</i> Fanwort | — |
| <i>Carduus nutans</i> Nodding plumeless thistle | <i>Echinacea</i> spp. (coneflower), <i>Silphium</i> spp. (rosinweed, prairie dock, compass plant) |
| <i>Celastrus orbiculatus</i> Oriental bittersweet | <i>Aristolochia durior</i> (Dutchman's pipe), <i>Celastrus scandens</i> (American bittersweet) |
| <i>Centaurea maculosa</i> Spotted knapweed | <i>Echinacea</i> spp. (coneflower), <i>Silphium</i> spp. (rosinweed, prairie dock, compass plant) |
| <i>Cirsium arvense</i> Canada thistle | <i>Echinacea</i> spp. (coneflower), <i>Silphium</i> spp. (rosinweed, prairie dock, compass plant) |
| <i>Cirsium palustre</i> Marsh plume thistle | (see <i>C. arvense</i>) |
| <i>Cirsium vulgare</i> Bull thistle | (see <i>C. arvense</i>) |
| <i>Conium maculatum</i> Poison hemlock | <i>Aruncus</i> spp. (goatsbeard), <i>Achillea</i> spp. (yarrow) |
| <i>Coronilla varia</i> Crown vetch | <i>Vicia americana</i> (purple vetch) <i>Tephrosia virginiana</i> (Goat's-rue), <i>Phlox subulata</i> (creeping phlox) |
| <i>Cotoneaster multiflorus</i> Many-flowered cotoneaster | <i>Physocarpus opulifolius</i> (ninebark), <i>Ribes odoratum</i> (clove currant) |
| <i>Daucus carota</i> Queen Anne's lace | <i>Aruncus</i> spp. (goatsbeard), <i>Achillea</i> spp. (yarrow) |
| <i>Dioscorea batatas</i> Chinese yam | No ornamental alternative; used medicinally |
| <i>Dipsacus laciniatus</i> Cutleaf teasel | <i>Echinacea</i> spp. (coneflower), <i>Rudbeckia</i> spp. (black-eyed Susan) |

| Scientific Name Common Name | Alternatives |
|---|--|
| <i>Dipsacus sylvestris</i> Teasel | (see <i>D. laciniatus</i>) |
| <i>Duchesnia indica</i> Wild strawberry | Waldsteinia ternata (barren strawberry) |
| <i>Echinops sphaerocephalus</i> Globe thistle | Liatriis spp. (blazing star), Monarda spp. (beebalm), Phlox spp. (phlox), Salvia spp. (sage), Thalictrum spp. (meadowrue), Veronica spp. (speedwell) |
| <i>Egeria densa</i> Brazilian elodea | Elodea canadensis (water weed) |
| <i>Eichornia crassipes</i> Water hyacinth | No ornamental alternative |
| <i>Elaeagnus umbellatus</i> Autumn olive | Aesculus parviflora (bottlebrush buckeye), Aronia melanocarpa (black chokeberry), Corylus americana (American filbert) |
| <i>Epilobium hirsutum</i> Hairy fireweed | (see <i>E. sphaerocephalus</i>) |
| <i>Euonymus alatus</i> Winged euonymus, burning bush | Euonymus americanus (American strawberry bush), Itea virginica (Virginia sweetspire), Rhus copallina var. latifolia 'Morton' (Prairie Flame shining sumac) |
| <i>Euonymus europeaus</i> European spindle tree | Euonymus americanus (American strawberry bush), Itea virginica (Virginia sweetspire) |
| <i>Euonymus fortunei</i> Wintercreeper | Asarum spp. (ginger), Helleborus spp. (hellebore) |
| <i>Euphorbia cyparissias</i> Cypress spurge | Origanum laevigatum (ornamental oregano), selected Sedum spp. (stonecrop) |
| <i>Euphorbia esula</i> Leafy spurge | Aurinia saxatilis (basket-of-gold) |
| <i>Festuca elatior</i> (<i>F. arundinacea</i>) Tall fescue | — |
| <i>Festuca pratense</i> Meadow fescue | — |
| <i>Glechoma hederacea</i> Ground ivy | — |
| <i>Hemerocallis fulva</i> (locally invasive) Tawny daylily | Hemerocallis hybrids (daylily), Liliium spp. & cvs. (lily), Papaver orientale (Oriental poppy) |
| <i>Heracleum mantegazzianum</i> Giant hogweed | Aruncus spp. (goatsbeard), Achillea spp. (yarrow) |

| Scientific Name Common Name | Alternatives |
|---|---|
| <i>Hesperis matronalis</i> Dame's rocket | (See <i>E. sphaerocephalus</i>) |
| <i>Hippophae rhamnoides</i> Common sea buckthorn | — |
| <i>Hydrilla verticillata</i> Hydrilla, water thyme | — |
| <i>Hydrocharis morsus-ranae</i> European frog-bit | Native Nuphar (yellow pond lily) and Nymphaea (waterlily) |
| <i>Hypericum perforatum</i> Common St. Johnswort | Other Hypericum spp. (St. Johnswort) |
| <i>Ipomoea aquatica</i> Water spinach | Justicia americana (American water willow) |
| <i>Iris pseudacorus</i> Yellow flag iris | Iris fulva 'Lois Yellow' (copper iris), Iris virginica var. shrevii (interior blue flag iris) |
| <i>Lespedeza cuneata</i> Chinese bush clover | Baptisia spp. (wild indigo) |
| <i>Leymus arenarius</i> Blue lyme grass | Ammophila breviligulata (American beach grass) |
| <i>Ligustrum obtusifolium</i> Border privet | Physocarpus opulifolius (ninebark), Ribes odoratum (clove currant) |
| <i>Ligustrum vulgare</i> Common privet | Physocarpus opulifolius (ninebark), Ribes odoratum (clove currant) |
| <i>Linaria vulgaris</i> Butter-and-eggs | Antirrhinum majus cvs. (snapdragons), Calibrachoa cvs. (million bells), Digitalis spp. (foxglove), Nemesia fruticans cvs. (nemesia) |
| <i>Lonicera x bella</i> Bell's honeysuckle | Amelanchier spp. & cvs. (serviceberry), Calycanthus floridus (Carolina allspice), Diervilla spp. (bush honeysuckle) |
| <i>Lonicera japonica</i> Japanese honeysuckle | Clematis spp. (clematis), native <i>Lonicera</i> spp. (native honeysuckles) |
| <i>Lonicera maackii</i> Amur honeysuckle | Amelanchier spp. & cvs. (serviceberry), Calycanthus floridus (Carolina allspice), Diervilla spp. (bush honeysuckle) |
| <i>Lonicera morrowii</i> Morrow's honeysuckle | Amelanchier spp. & cvs. (serviceberry), Calycanthus floridus (Carolina allspice), Diervilla spp. (bush honeysuckle) |
| <i>Lonicera tatarica</i> Tatarian honeysuckle | Amelanchier spp. & cvs. (serviceberry), Calycanthus floridus (Carolina allspice), Diervilla spp. (bush honeysuckle) |

| Scientific Name Common Name | Alternatives |
|---|--|
| <i>Lotus corniculatus</i> Bird's-foot trefoil | — |
| <i>Lysimachia nummularia</i> Moneywort | Chrysogonum virginianum (green and gold), Origanum laevigatum (ornamental oregano) |
| <i>Lysimachia verticillata</i> Whorled loosestrife | — |
| <i>Lythrum salicaria</i> Purple loosestrife | Asclepias incarnata (swamp milkweed), Lia- tris spp. (blazing star), Physostegia virginiana 'Vivid' (obedient plant) |
| <i>Malus spp. (crabapples)</i> Crabapple | Crataegus spp. (hawthorn species), Prunus serotina (black cherry) |
| <i>Melilotus alba</i> White sweet-clover | Baptisia spp. (wild indigo) |
| <i>Melilotus officinalis</i> Yellow sweet- clover | Baptisia spp. (wild indigo) |
| <i>Microstegium vimineum</i> Japanese stilt grass | — |
| <i>Miscanthus sacchariflorus</i> Amur silver grass | (see A. repens) |
| <i>Miscanthus sinensis</i> Chinese silver grass, Autumn Red Miscanthus, Flame Grass, Eulalia, Maiden Grass, Zebra Grass (exempted cultivars are M.s. 'Silberpfeil,' 'Hinjo' and Miscanthus x giganteus) | (see A. repens) |
| <i>Morus alba</i> Mulberry | Crataegus spp. (hawthorn species), Prunus seroti- na (black cherry) |
| <i>Myriophyllum aquaticum</i> Parrot feather | Elodea canadensis (water weed) |
| <i>Myriophyllum spicatum</i> Eurasian watermilfoil | Elodea canadensis (water weed) |
| <i>Najas minor</i> Toothed water weed | — |
| <i>Nasturtium officinale</i> Watercress | — |
| <i>Nymphaoides peltata</i> Yellow floatingheart | Native Nuphar (yellow pond lily)and Nym- phaea (waterlily) |
| <i>Pastinaca sativa</i> Wild parsnip | — |

| Scientific Name Common Name | Alternatives |
|---|---|
| <i>Perilla frutescens</i> Beefsteak plant | Monarda didyma (bee balm), Pycnanthemum muticum (mountain mint), Coleus, Occimum basilicum (basil) |
| <i>Persicaria perfoliata</i> (formerly <i>Polygonum perfo- liatum</i>) Mile-a-minute vine | — |
| <i>Phalaris arundinacea</i> Reed canary grass | Spartina pectinata 'Aureomarginata' (variegated prairie cordgrass) |
| <i>Phellodendron amurense</i> (excluding male culti- vars) Amur corktree | Acer rubrum (red maple), Phelloden- dronamurense (male cvs.), Quercus alba (white oak) |
| <i>Phellodendron japonica</i> (excluding male culti- vars) Japanese corktree | Acer rubrum (red maple), Phelloden- dronamurense (male cvs.), Quercus alba (white oak) |
| <i>Phragmites australis</i> Common reed | Erianthus ravennae (Plume grass) |
| <i>Pistia stratiotes</i> Water lettuce | — |
| <i>Poa compressa</i> Canada bluegrass | — |
| <i>Poa pratensis</i> Kentucky bluegrass | — |
| <i>Polygonum cuspidatum</i> = <i>P. japonicum</i> Japanese knotweed | Actaea racemosa (black cohosh), Aruncus dioi- cus (goatsbeard), Polygonatum spp.(Solomon's seal), Smilacina racemosa (false Solomon's seal), Tricyrtis spp.(toad lily) |
| <i>Polygonum sachalinense</i> Giant knotweed | (see P. cuspidatum) |
| <i>Populus alba</i> White poplar | |
| <i>Portulaca oleracea</i> Purslane | Aurinia saxatilis (basket-of-gold), selected Se- dum spp. & cvs. (stonecrop) |
| <i>Potamogeton crispus</i> Curlyleaf pondweed | — |
| <i>Potentilla argentea</i> Silver cinquefoil | Chrysogonum virginianum (green and gold) |
| <i>Prunus mahaleb</i> Mahaleb cherry | Crataegus spp. (hawthorn species), Prunus seroti- na (black cherry) |

| Scientific Name Common Name | Alternatives |
|---|--|
| <i>Pueraria montana</i> = <i>P. lobata</i> Kudzu vine | — |
| <i>Pyrus calleryana</i> Callery pear | Chionanthus virginicus (fringetree), Crataegus-spp. (hawthorn species), Prunus serotina (black cherry) |
| <i>Ranunculus ficaria</i> Lesser celandine | Asarum canadense (wild ginger), Jeffersonia diphylla (twinleaf) |
| <i>Rhamnus cathartica</i> Common buckthorn | Alnus rugosa (speckled alder), Carpinus caroliniana (American hornbeam), Corylus americana (American filbert), Thuja occidentalis (American arborvitae) and Thuja plicata (giant arborvitae) |
| <i>Rhamnus frangula</i> Glossy buckthorn | Alnus rugosa (speckled alder), Carpinus caroliniana (American hornbeam), Corylus americana (American filbert), Thuja occidentalis (American arborvitae) and Thuja plicata (giant arborvitae) |
| <i>Robinia pseudoacacia</i> Black locust | Catalpa speciosa (Northern catalpa), Gleditsia triacanthos (honeylocust) |
| <i>Rorippa sylvestris</i> Creeping yellow-cress | Aurinia saxatilis (basket-of-gold), selected Sedum spp. & cvs. (stonecrop) |
| <i>Rosa multiflora</i> Japanese rose | Rosa spp. & cvs. (hardy shrub roses) |
| <i>Rumex acetosella</i> Garden sorrel | Beta vulgaris 'Bright Lights'(Swiss chard)Solenostemon scutellarioides (coleus) |
| <i>Salvinia molesta</i> and <i>S.minima</i> Water fern | — |
| <i>Saponaria officinalis</i> Bouncing bet | Liatriis spp. (blazing star), Monarda spp. (bee balm), Phlox spp. (phlox), Salvia spp. (sage), Thalictrum spp. (meadowrue), Veronica spp. (speedwell) |
| <i>Setaria faberi</i> Japanese bristlegrass | — |
| <i>Sonchus arvensis</i> Field sow thistle | Coreopsis spp. (coreopsis); Helianthus spp. (sunflower) |
| <i>Sorghum halapense</i> Johnson grass | — |
| <i>Stachys balansae</i> No common name | (failed plant evaluation) |

| Scientific Name Common Name | Alternatives |
|--|--|
| Thalictrum buschianum No common name | (failed plant evaluation) |
| <i>Trapa natans</i> European water chestnut | — |
| <i>Typha angustifolia</i> Narrow leaf cattail | Typha latifolia |
| <i>Ulmus pumila</i> Siberian elm | Dutch-resistant cvs. of Ulmus americana (American elm) |
| <i>Valeriana officinalis</i> Common valerian | (See E. sphaerocephalus) |
| <i>Verbascum thapsus</i> Flannel mullein | Digitalis spp. (foxglove) |
| <i>Veronica gentianoides</i> Gentian speedwell | (failed plant evaluation), Veronicastrum virginicum (Culvers root), Veronica spicata (spike speedwell) |
| <i>Viburnum opulus</i> European cranberrybush viburnum | Viburnum dentatum cvs. (arrowwood viburnum), Viburnum trilobum (American cranberrybush viburnum) |
| <i>Vinca minor</i> Common periwinkle | Asarum spp. (ginger) |
| <i>Vincetoxicum nigrum</i> Black swallowwort | — |
| <i>Vincetoxicum rossicum</i> Swallowwort | — |
| Source: Chicago Botanic Garden https://www.chicagobotanic.org/research/identifying_threats/invasive Accessed October 4, 2017. | |

PUBLIC BENEFIT GUIDANCE LIST

September 26, 2016

Pursuant to Section 150.515(E) of the City of Highland Park Zoning Code, the following list serves as a guide for the types of items that might be regarded as appropriate public benefits.

The proposal of any of the items on this list in order to satisfy a public benefit requirement pursuant to Section 150.515 of the Code does not obligate the City Council to accept said proposal, nor does this list represent all items that might be an appropriate public benefit. The appropriateness of all public benefits will be evaluated within the context of the development.

| PUBLIC BENEFIT GUIDANCE LIST | | |
|--|--|---|
| Enhance and Support the Character and Vitality of the Area | | |
| Amenities & Infrastructure <ul style="list-style-type: none"> Streetscape construction Lighting improvements Landscaping/Plantings Seasonal Decoration Parks/Parklets Infrastructure Capacity Studies | Roads <ul style="list-style-type: none"> Striping/Painting Repaving Plowing Maintenance Sewer Improvements | Public Art <ul style="list-style-type: none"> Acquisition Installation & Maintenance Historic Preservation <ul style="list-style-type: none"> Plaques and Signage for Historic Structures and Districts Preservation and Restoration Projects Outreach & Education Initiatives |
| Foster Economic Development | | |
| Cross-Access Agreements to Improve Connectivity Land Donation for Public Right-of-Ways Funding for Façade Improvement Grant Program | Additional Public Parking <ul style="list-style-type: none"> Parking Fund Creation of Off-Street Public Parking Spaces Shared Parking Agreements | Public Signage Projects <ul style="list-style-type: none"> Underwriting signage design, fabrication and installation Installation & Maintenance Affordable Housing Improvements |
| Improve Access and Multi-Modal Transportation Amenities | | |
| Provision of Public Bike Parking and Storage Improvement of multi-modal connectivity <ul style="list-style-type: none"> Connections to routes Land donations and improvements Public Access Easements/Agreements | Implementing/Maintaining capital projects that are part of City’s adopted Bike/Walk Plan <ul style="list-style-type: none"> Infrastructure Lighting Installation & Maintenance | Bus Shelters Bike Maintenance Kiosks |
| Improve Environmental Stewardship & Sustainability | | |
| Land Acquisition/Donation Storm Water Management Improvements Removal of Invasive Species Preservation and Restoration of Natural Environments Streetscape Enhancements | <ul style="list-style-type: none"> Bioswales & Rain Gardens Native Plantings Permeable Pavement Enhanced Street Trees Waste Management & Recycling-related Improvements | Bird-Friendly Design |

DEFINITIONS

1. **Access** – a way or mean of approach to provide physical entrance to a property or capability for physical entrance to a property
2. **Addition** – any structural alteration that increases the floor area ratio of a building
3. **Adjacent** – to touch, to abut, to lie immediately next to, and/or to share a common wall or lot line
4. **Alley** – a right-of-way not more than twenty-five (25) feet wide
5. **Alteration, Structural** – any change (other than incidental repairs) or replacement of the supporting members of a building, such as a bearing walls or partitions, columns, beams or girder, or any substantial change in the roof or in the exterior walls
6. **Antenna** – any structure or device designed for the purpose of collecting or transmitting electromagnetic waves for telephonic, radio, data, Internet or other communications, including appurtenant equipment attached to a tower or building for the purpose of providing personal wireless services, including, for example, “cellular”, “paging”, “low power mobile radio”, and “personal communications services” telecommunications services, and their attendant base stations
 - a. “Antenna” includes directional antenna (such as panels) microwave dish, satellite dish, and Omni-directional antenna (such as a whip antenna)
7. **Antenna Height** – the vertical distance measured from the base of the antenna support structure at grade to the highest point of the antenna support structure, even if said highest point is an antenna. Measurement of the tower height shall include antenna, base pad, and other appurtenances and shall be measured from the grade of the site. If the antenna support structure is on a slope grade, then the average between the highest and lowest grades shall be used in calculating the antenna height
8. **Antenna Support Structure** – any building, pole, mast, tower, tripod, or other structure which supports or is a component part of the overall structure supporting an antenna
9. **Awning** – a temporary shelter supported entirely from the exterior wall of a building, composed of non-rigid material, which is either stationary or can be retracted, folded, or collapsed against the face of the supporting building
10. **Building** – any structure with substantial walls and roof which is securely affixed to the land, on a permanent frost-proof foundation, and entirely separated on all sides from any other structure by space of walls in which there are no communicating doors, windows, or opening, an which structure is designed, intended, or used for the shelter, enclosure, or protection of persons, animals, or chattels. The term also includes gas or liquid storage tanks
11. **Building Envelope** – the area depicted upon a master site plan within which the general location of existing structures and/or structures that may be development in the future are shown
12. **Build-to-Zone** – the area on the lot in which a minimum percentage of the front building facade must be located, measured as a minimum and maximum yards (setbacks) range from the edge of the right-of-way. The required percentage specifies the amount of the front building facade that must be located in the build-to-zone, based on the width of the front building facade divided by the width of the lot
13. **Bulk Regulations** – term used to indicate the size of the setback, the location of a building with respect to adjoining lots and streets lines, and matters similar thereto including but not limited to the following:
 - a. Floor area ratio and bonus area ratio
 - b. Front yard regulations
 - c. Side yard regulations
 - d. Rear yard regulations
 - e. Maximum height regulations
 - f. Lot size
 - g. Lot coverage
 - h. Lot area per dwelling unit
 - i. Open space
14. **Commercial Wireless Telecommunication Services** – licensed commercial wireless telecommunication services including cellular, personal communication services, specialized mobilized radio, enhanced specialized radio, paging, and similar services that are marketed to the general public
15. **Construction** – any activity which would cause structures of any kind to be installed, erected, or removed
16. **Deck** – a structure which is open to the sky (as opposed to a “porch”) and which provides a platform that is raised more than six (6) inches above the ground
17. **Development** – the performance of any construction or earth moving activity, the making of a material change in the use or appearance of any structure or land, the division of land into two (2) or more lots, or the creation or termination of right of access or littoral rights. With respect to storm water management, wetland protection, and floodplain regulation, “Development” means any finalization of plat, or man-made change to real estate by private or public agencies including:
 - a. Construction, reconstruction, repair, or placement of a building or any addition to a building
 - b. Drilling, mining, installation of utilities construction of roads, bridges, or similar projects

- c. Construction or erection of levees, walls, fences, dams, or culverts; channel modification; filling, dredging, grading, excavating, paving, or other alteration of the ground surfaces; storage of materials; deposit of solid or liquid waste; or
- d. Any other activity that might change the direction, height, volume, or velocity of flood or surface water, including the drainage of wetlands and removal of vegetation to the extent such that the wetland would no longer meet the criteria of supporting hydrophytic vegetation as defined except that which would be considered appropriate for management purposes
- e. Development does not include maintenance of existing buildings and facilities such as resurfacing or roadways when the road elevation is no increased, or gardening, plowing, and similar agricultural practices that do not involve filling, grading, or construction of levees. Nor does development include agricultural practices outside of the Regulatory Floodplain involving filling or grading as part of a Natural Resource Conservation Service designed and approved conservation project (i.e. terraces, grass waterways). Additionally, development does not include fence installation pole placement, drilling or other minor auxiliary construction activity which does not affect storm water runoff rates or volumes as long as the development activity is not located in a Regulatory Floodplain, wetland or channel
18. **Drive-Through Facility** – an accessory use, other than a gasoline and/or diesel fuel station, which accommodates the patrons’ motor vehicles and from which the occupants of the motor vehicles may make purchases, or transact business; provided, however, that an area used solely for the placement by occupants of a motor vehicle of mail or parcel into United States Postal Services mailboxes or similar structure shall not be considered a Drive-Through Facility
19. **Established Building Setback** – the average of the existing setbacks of such foundations on such block
20. **Exterior Design Feature** – the outward appearance of portion of a structure and the style, nature, and arrangement of associated site improvements, such as: landscaping; screening materials; and lighting, site circulation, and open space configurations, as are designed to open to view from courtyard open to the public or a public place or right-of-way. “Exterior Design Features” include: the kind of characteristic of window, door, lighting components, and other appurtenant features; and the color of the exterior of a structure, or of associated site improvements
- a. **Major Exterior Design Feature** – an Exterior Design Feature that is a building or that is appurtenant and affixed to a building, including, without limitation, wall-mounted lighting, awnings, and rooftop mechanical screening, but specifically excluding Antennae and Antenna Support Structures. “Major Exterior Design Features” also include, without limitation, the location of a building within a site
21. **Fence** – structure forming a barrier at grade between lots, between a lot and a street or an alley, public or private, or between portions of a lot or lots, such structures being independent of any other
- a. **Solid** – type of fence is so constructed that less than 60% of the superficial area thereof consists of regularly distributed aperture
- b. **Open** – type of fence is so constructed that at least 60% of the superficial area thereof consists of regularly distributed apertures
- c. **Chain Link** – a fence made of wire helically wound and interwoven in such a manner as to provide a continuous mesh without knots or ties, except in the form of “knuckling” the ends of the wires to form a selvage of the fabric. As used herein, “knuckling” is a term used to describe the type of selvage obtained by interlocking adjacent pairs of wire ends and then bending the wire ends back into a closed loop
22. **Foot Candles** – the American unit used to measure the total amount of light cast on a surface (illuminance). One foot candle is equivalent to the illuminance produced by one candle at a distance of one foot.
23. **Footprint** – the specific area depicted upon a Development Plan or a Building Site Plan which demonstrates the exact perimeter boundaries of structures
24. **Frontage** – all the real property adjacent to a street or alley on a given block
25. **Front Lot Line** – with respect to any lot other than a lot-in-depth, the lot line thereof coextensive with the right-of-way line of any adjacent and abutting street. The front lot line of a lot-in-depth shall be the lot line adjacent to and the most perpendicular to the stem
26. **Ground Sign** – a sign that is mounted to or part of an independent base affixed to the ground and designed as an integral part of that base
27. **Harmonious** – a quality which produces an aesthetically pleasing while as in an arrangement of varied architectural and landscape element
28. **Height, Maximum** – height shall be measured as the vertical distance in feet of a building measured from grade to the highest point of the coping of a flat roof or the deck line of a mansard roof or to the mean level between the eaves of the ridge of a gable, hip, or gambrel roof, or to the highest point of a shed roof; provided that antenna towers with a maximum height of sixty (60) feet and antenna tower structures (including mast and antenna) having an overall height of not more than seventy (70) feet; and aesthetic design features (including dormer windows), equipment penthouses, steeples, chimneys, etc., of other towers shall not be counted in measuring the height of buildings
29. **Holiday Decorations** – signs that are in the nature of decorations, clearly incidental to, and customarily and comply associated with, any national, local, or religious holiday
30. **Landscape** – element of nature, topography, building, and other man-made objects combined in relation to one another

31. **Loading and Unloading Space or Berth, Off-Street** – an open, paved area of land other than a street or a public way, the principal use of which is for the standing, loading, and unloading of motor vehicles, trucks, tractors and trailers
32. **Lot-in-Depth** – a lot of record, most of which is adjacent to and located behind another lot of record and which derives its only access to a public street by a stem
33. **Lot Area** – the total land and water area of a lot, excluding any streets
34. **Lot, Corner** – a lot situated at the junction of and abutting on two (2) or more intersecting streets; or a lot at the point of deflection in alignment of a single street, the interior angle of which is one hundred thirty-five (135) degrees or less. On a corner lot all lot lines adjacent to a street shall be deemed as front lot lines.
35. **Lot Coverage** – the area of a lot that is covered by principal and/or accessory buildings
36. **Lot Depth** – the average distance between the front lot line and the rear lot line. In the case of a corner lot, the lot depth is the greater of the two distances between the front lot line and the respective lot line opposite each other. For a lot-in-depth shall be the average distance between the front lot line and the lot line opposite and most parallel to the front lot line.
37. **Lot Width** – measured parallel to the street adjacent to the front lot line, the distance between the side lot lines most perpendicular to the front lot line measured at the midpoint of the lot depth. When a lot has more than one front lot line, the required lot width shall be measured parallel to the shortest front lot line
38. **Mechanical Equipment** – equipment, devices, and accessories, the use of which relates to water supply, drainage, heating, ventilating, air, conditioning, and similar purposes
39. **Menu Board Sign** – a sign that displays process and products available for sale through a Drive-Through Facility that is accessory to a Restaurant, which Menu Board Sign may include, without limitation, an Order and Confirmation Sign
40. **New Construction** – any alteration or enlargement of a Building that requires the removal of more than forty (40) percent of the total linear feet of the existing exterior walls of the Building as measured around the exterior perimeter of the Building
41. **Off-Street Parking** – paced parking spaces located in an area other than a street or public right-of-way and limited in use of vehicles not exceeding a net weight of three (3) tons and parked for continuous periods of less than forty-eight (48) hours
42. **Order and Confirmation Sign** – a sign displaying only items, prices, and total cost of a single transaction or purchase made through a Drive-Through Facility that is accessory to a Restaurant
43. **Owner** – the holder of legal title as well as holder of any equitable interest, such as trust beneficiaries, contract purchasers, option holders, lessees under leases having an unexpired term of at least ten (10) years, and the like. Whenever a statement of ownership is required by the Code, full disclosure of all legal and equitable interests in the property is required.
44. **Parking Deck** – any structure containing automobile parking spaces, any portion of which is above grade, which structure is neither totally enveloped by nor directly below another structure
45. **Patio** – a surfaced area other than a deck which is used for sitting or passive recreation
46. **Paved Area** – roads, parking areas, terraces, plazas, patios, and walkways
47. **Planned Development** – an area or tract of land under common ownership or control to be developed in accord with the procedures established in Chapter 150 of the Code as a single entity for a number of structures; the plan for which does not necessarily correspond in lot size, bulk, type or use, lot coverage, or required open space to the regulations established in the zoning district in which such land is located
48. **Principal Frontage** – that boundary of lot adjacent to a street. In the case of a lot-in-depth “principal frontage” shall be the boundary of the stem parallel to and abutting a street.
49. **Principal Structure or Use** – the main structure or use on a parcel of land as distinguished from a secondary or accessory use. The uses allowed in various districts in Article IV Chapter 150 of the Code are principal uses.
50. **Rear Lot Line** – the lot line any lot opposite a front lot line thereof
51. **Reconstruction** – the act of rebuilding a structure.
52. **Renovation** – physical improvement that adds to the value of the real property. Painting, ordinary repairs, and other normal maintenance do not constitute a renovation.
53. **Repair, Remodeling or Maintenance** – activities which do not result in any increases in the outside dimensions of a building or any other changes to the dimensions of a structure
54. **Restoration** – to re-establish the grade, slope, stability, vegetation, or drainage systems of a steep slope property by bringing the property back to its former conditions prior to the adverse impact(s) caused
55. **Retaining Wall** – an artificial composition of wood, concrete, masonry or other material utilized in conjunction with a drainage and grading plan approved by the City Engineer of the City for the sole purpose of stabilizing soil and/or existing natural conditions
56. **Right-of-Way** – a strip of land designated for use for vehicular or pedestrian access or passage or for installation of railroads tracks, utility lines, or similar facilities

57. **Right-of-Way, Private** – a Right-of-Way that has not been dedicated by prescription or otherwise to or accepted by a government agency
58. **Right-of-Way, Public** – a Right-of-Way that has been dedicated by prescription or otherwise to and accepted by a government agency
59. **Roof Plane** – A roofing area defined by having four separate edges. One side of a gable, hip or mansard roof.
60. **Scale** – harmonious relationship of the size of parts to one another and to the human figure
61. **Screening** – structure or planting which conceals from view from public right-of-way the areas behind such structure or planting
62. **Service Use** – use devoted to repair, maintenance, administration, teaching, or enhancement
63. **Setback** – the minimum horizontal distance between the street line and the nearest wall of a building facing such street line, or edge of the area of operation of a principal use when no building or structure is involved
64. **Sign** – any object, device, display, or structure, or any part thereof, including any Structural Elements, that is located outdoors or indoors, and that is used to advertise, identify, display, direct, or attract attention to an object, Person, institution, organization, business, product, service, event, or location by any means, including specifically, but not without limitation, words, letters, figures, designs, symbols, fixtures, colors, illumination, or projected images
65. **Site** – a delimited area considered for specific use which may be part of a larger area and which may vary in size from a one acre parcel of land to a one thousand two hundred (1,200) acre watershed
66. **Site Plan** – the plan depicting the exact location on the ground upon which any building, structure, landscaping, or other facility is to be located in connection with the development of any parcel of land
67. **Small Business** – a business located and operating within a Building located in the city and having a net worth of less than two million dollars (\$2,000,000) and less than an average of two hundred thousand dollars (\$200,000) in profits per year for two years after taxes
68. **Small Business Operator** – the owner, manager, or official and lawfully authorized representative of a Small Business
69. **Story** – that portion of a building included between the surface of any floor and the surface of the floor above it, or if there is no floor above then the space between the floor and the ceiling next above it
70. **Street** – the entire right-of-way or width between property lines of every road, way, thoroughfare, easement or place, public or private, that is or that may be open to the use of the public for the primary purpose of vehicular traffic, but shall not include an alley
71. **Streetscape** – the scene as may be observed along a public street or way composed of natural and man-made components, including buildings, paving, planting, street hardware, and miscellaneous structures
72. **Structure** – anything constructed, reconstructed, or erected or any production of piece of work man-made or composed of part joined together in some definite manner, the use of which requires permanent or temporary location on or in the ground or requires attachment to something having a permanent location in or upon the ground, including, but not limited to: air conditioner compressor units, backstops for tennis courts, billboards, buildings, fences, parking facilities, (surface and/or deck), pergolas, radio and television antennae including supporting towers, signs, stadias, and swimming pools. This definition does not include underground tanks for the storage of any type of storm water, utility lines, or retaining walls
73. **Substantial Improvement** – any repair, reconstruction, addition or improvement of a structure, the cost of which equals or exceeds 50% of the market value of the pre-existing structure either a) before the improvement or repairs is started, or b) if the structure has been damaged, and is being restored, before the damage occurred
74. **Utility Service** – any device, including wire, pipe, and conduit which carries gas, water, electricity, oil, and communications into a building or development
75. **Vehicular Use Area** – all areas of a lot dedicated to paved off-street parking and loading spaces, including vehicle service yards, driveways, and drive aisles, that provide for vehicular maneuvering or other accessory or incidental vehicular movement purpose, all as regulated pursuant to Article XXII of Chapter 150 of this Code
76. **Window Display** – the display of actual merchandise, products, and good sold, as well as the means or material necessary to display those items, including, without limitation the following:
- a. Stands
 - b. Mannequins
 - c. Platforms
 - d. Lighting
 - e. Backdrops