

Christa Lakon, Chair
Sharon Mequet, Vice-Chair
Joyce Gatsoulis Batnij
Raymond Cheng
Rick Chou
Tony Chou, Alternate
Suzanne Torgeson, Alternate



City of San Marino

Staff Report

TO: Chair Lakon and Members of the Design Review Committee

FROM: Camillia Martinez, Associate Planner

DATE: October 19, 2022

**SUBJECT: DESIGN REVIEW CASE NO. DR 22-36
840 WINTHROP ROAD, (CALISHER)**

PROJECT DESCRIPTION

The applicant proposes to redesign the front elevation of the subject residence with a new concrete landing with brick borders, a redesign of the existing front bay window into a new 3'-0" by 6'-8" stained wood front door and casement sidelites to the new foyer, the removal of the existing French door to a double hung window in place for the proposed powder room, and the replacement of a double hung window with a casement window in bedroom #3 for egress purposes, all of which are visible from the street. As such, it requires one design review action pursuant to City Code Sections 23.15.03(A1). The project sits on an approximately 2,454 square-foot residence. in the R-I zone, Area District VII.

PROJECT HISTORY

September 21, 2022 – First hearing before the DRC.

On September 21, 2022, the Design Review Committee(DRC) reviewed and continued the proposed project to a date uncertain so the applicant could address comments made by the DRC. At the public hearing, the DRC requested the following changes (a response as to how the applicant addressed the DRC comments is provided below the comments).

- **Detail how the replacement brick will match the existing brick found on the home.**
 - *Sheet DRC-11, shows the additional details as well as the material board.*
- **A detailed rendering of the proposed front door with the sidelights/closet. Preferably from two angles.**
 - *A rendering is shown on sheet DRC-1, and as attachment #9.*

- **Provide a color and material board.**
 - *Sheet DRC-11, shows additional color details, and an image of the material board shown is as attachment #10. The physical material board will be provided at the meeting.*
- **Show how the location of the front door and sidelights will be centered in the same location as the previous bay window.**
 - *The elevations on sheet DRC-4 shows the existing and proposed placement and location of the previous bay window and the new proposed door with sidelights.*
- **Detail the new lighting and hardware located in the front entrance.**
 - *The lighting detail is shown on sheet DRC-11.*
- **Detail the color and finish of the proposed door and sidelights.**
 - *Sheet DRC-11, shows the additional details.*
- **Detail of the head jamb and sill.**
 - *Sheets DRC-5 through DRC-10, show the additional details.*
- **Removal of inconsistent proposals on the landscape plan.**
 - *The inconsistencies have been removed from the landscape plan on sheet DRC-11.*
- **Provide a more conceptual landscape plan.**
 - *Adjustments were made to the planting plan on sheet DRC-12.*

October 19, 2022 – Second hearing before the DRC.

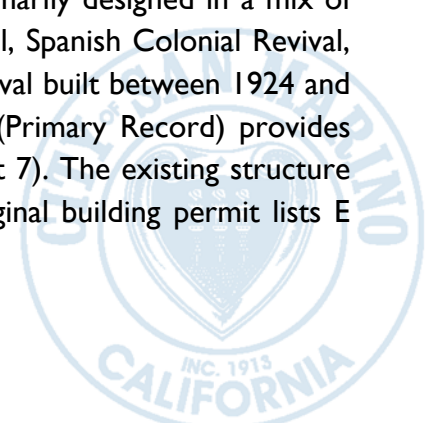
TREE PRESERVATION

The project does not propose the removal or relocation of any trees.

HISTORICAL PRESERVATION

The Historic Resources Assessment Report provided by ASM Affiliates determined in their finding that the single-family residence at 840 Winthrop Road will retain its historical use as a residence. Original distinctive materials and features will be retained wherever possible, except where the new use requires it. All alterations will be made with repurposed or in-kind materials and match existing and retained features on the building to preserve its historic character.

The subject property is identified on the Citywide Historic Resources Survey Report as a potential district contributor. The City's consultants, Architectural Resources Group, identified the structure as a potential district contributor to a potential Mission Street Residential Historic District. The potential district consists of single-family residences primarily designed in a mix of Minimal Traditional and Period Revival homes including Tudor Revival, Spanish Colonial Revival, American Colonial Revival, Monterey Revival, and Mediterranean Revival built between 1924 and 1955. The Department of Parks and Recreation (DPR) 523A form (Primary Record) provides additional comments from the City's historic consultants (Attachment 7). The existing structure was constructed in a Spanish Colonial Revival style in 1933; the original building permit lists E Vernal Clark as the architect.



ENVIRONMENTAL FINDING

Under CEQA, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings, qualifies for a categorical exemption under Section 15331.

Pursuant to Section 21084 of the California Public Resources Code, the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines, Article 19, Sections 15331, Class 3I, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

NEIGHBOR APPROVAL/OBJECTION LETTERS

Approve – 8

Object – 0

No response – 3

DESIGN REVIEW FINDINGS

Pursuant to Section 23.15.08, the San Marino City Code states that the DRC shall approve the application if it finds all of the following to be true:

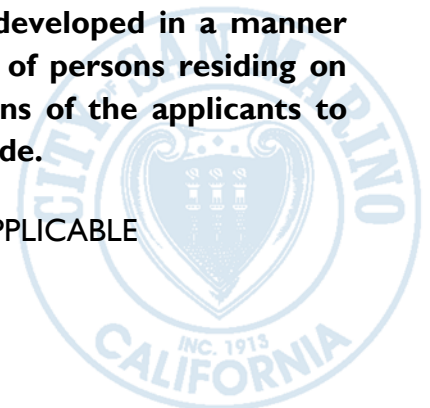
I. That the proposed structure is compatible with the neighborhood.

Staff can make this finding: YES NO NOT APPLICABLE

Comments: The proposed front façade changes consisting of double-hung wood windows and a wood door with sidelights, are compatible with the neighborhood as the neighborhood is composed of single-story and two-story Tudor Contemporary, Minimal Traditional, Period Revival homes in a variety of styles, including Spanish Colonial Revival, American Colonial Revival, and Ranch Traditional. All of the existing residences have a main entry facing Winthrop Road and Plymouth Road, therefore, redesigning the front façade to include a main entrance will be compatible with the neighborhood. Based on the aftermentioned, this project meets this finding.

2. That the proposed structure is designed and will be developed in a manner which balances the reasonable expectation of privacy of persons residing on contiguous properties with the reasonable expectations of the applicants to develop their property within the restrictions of this code.

Staff can make this finding: YES NO NOT APPLICABLE



Comments: Per the plans submitted, the proposed change to the layout will replace the windows and door facing the front elevation and will not provide a direct sightline into the adjacent home to balance the reasonable expectation of privacy of the neighboring resident. Therefore, this project meets this finding.

3. In the case of a building addition, the proposal is compatible with the existing building which includes the rooflines.

Staff can make this finding: YES NO NOT APPLICABLE

Comments: The plan proposes no addition to the existing residence.

4. That the colors and materials are consistent and match the existing building or structure.

Staff can make this finding: YES NO NOT APPLICABLE

Comments: The new front facade will feature double-hung wood windows and a wood door with sidelights, all of which are consistent with the color and materials of the existing building which has existing wood windows. As such, this project meets this finding.

RECOMMENDATION

Based on the information submitted to the record, staff recommends that the Design Review Committee 1) determine that based on the whole of the administrative record, that the proposed addition is exempt from CEQA pursuant to State CEQA Guidelines, Article 19, Sections 15331, and there is no substantial evidence demonstrating an exception to the categorical exemption pursuant to CEQA Guidelines Section 15300.2 applies; and 2) find that the proposed project is compatible with the legal neighborhood and with the existing structure itself, and 3) staff recommends approval of the project.

ATTACHMENTS

1. Revised Plans
2. DRC Application
3. DRC Neighborhood Map
4. DPR 523A Form (840 Winthrop Rd.) by Architectural Resources Group
5. DPR 523A Form (Mission Street Residential Historic District) by Architectural Resources Group
6. Neighborhood Input Letters
7. Historic Resources Assessment Report
8. Staff Report from the 9-21-22, DRC Meeting
9. Colored Renderings
10. Material Board



WINTHROP RESIDENCE

840 WINTHROP RD. SAN MARINO, CA 91108

DESIGN REVIEW COMMITTEE PACKAGE 10-19-22



CALISHERSTUDIO
ARCHITECTURE LA

ALAN GLENN CALISHER AIA
2632 REYNIER AVE
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DRAWING ISSUE

PROJECT TEAM:

OWNER DR. ZEINAB DABBAH
840 WINTHROP RD
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626-354-2195

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MECHANICAL, T24 & PLUMB. ENGINEER MAJEID GHAEMI P.E.
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310-506-6112

ELECTRICAL ENGINEER SAURABH PANDYA, P.E.
ELECTRICAL ENGINEER
SAURABH.J.PANDYA@GMAIL.COM
562-541-4729

PROJECT DESCRIPTION:

FRONT FACADE CHANGES
RELOCATE FRONT DOOR TO FRONT FACADE FROM REAR
REVISE FRONT WINDOW TO DOOR WITH SIDELIGHTS
CHANGE SMALL FRENCH DOOR TO DOUBLE HUNG
CHANGE KITCHEN WINDOW TO DOUBLE HUNG
PROVIDE CONFORMING EGRESS WINDOW TO FRONT BEDROOM

NEW EXTERIOR LANDSCAPING
NEW PLANTING
NEW FENCES
NEW BRICK WALK PATHS
NEW CONC DRIVE PATHS

PROJECT INFORMATION:

PROJECT ADDRESS 840 WINTRHOP RD
SAN MARINO, CA 91108

LEGAL DESCRIPTION TRACT NO 10166 LOT 1 AND SE 12 FT
MEASURED AT R/A TO SE LINE OF LOT 2

APN 5323-012-026
OF STORIES 1 STORY WITH BASEMENT
LOT AREA 11,823 SF
OCCUPANCY R3/U1
CONSTRUCTION TYPE V-A
NEW AUTOMATIC FIRE SPRINKLER SYSTEM & FIRE ALARMS

LIVABLE AREA	
1ST FLOOR EXISTING	2,454 SF
1ST FLOOR ADDITION	157 SF
BASEMENT, REMODELED	301 SF
1ST FLOOR ADU	511 SF
TOTAL LIVABLE AREA	3,423 SF

GROUND COVERAGE	
1ST FLOOR EXISTING & ADDITION	2,611 SF
ADU	511 SF
TOTAL GROUND AREA	3,122 SF



SHEET INDEX:

ARCHITECTURAL

DRC-1 TITLE SHEET
DRC-2 SITE PLAN - EXISTING & PROPOSED
DRC-3 FLOOR PLAN - EXISTING AND PROPOSED
DRC-4 EXTERIOR ELEVATIONS - EXISTING & PROPOSED
DRC-5 FRONT DOOR - FRAME DETAILS
DRC-6 TYPICAL WINDOW DETAILS - HEAD, JAMB, & SILL
DRC-7 OUTSWING FRENCH DOOR - HEAD, JAMB & THRESHOLD DETAILS
DRC-8 POCKET DOORS - HEAD & THRESHOLD DETAILS
DRC-9 FRONT DOOR - DOOR ASSEMBLY DETAILS
DRC-10 FRONT DOOR - HEAD, JAMB & THRESHOLD DETAILS
DRC-11 IMAGES, DIAGRAMS & SPECIFICATIONS

HARDSCAPE IN FRONT YARD SETBACK:	330 SF
LOT AREA IN FRONT YARD SETBACK	1,899 SF
IMPERVIOUS HARDSCAPE COVERAGE	17%

LANDSCAPE ARCHITECTURAL

DRC-12 HARDSCAPE PLAN
DRC-13 PLANTING PLAN

IMAGES



DRC-1
TITLE SHEET

2016 10-19-22

WINTHROP

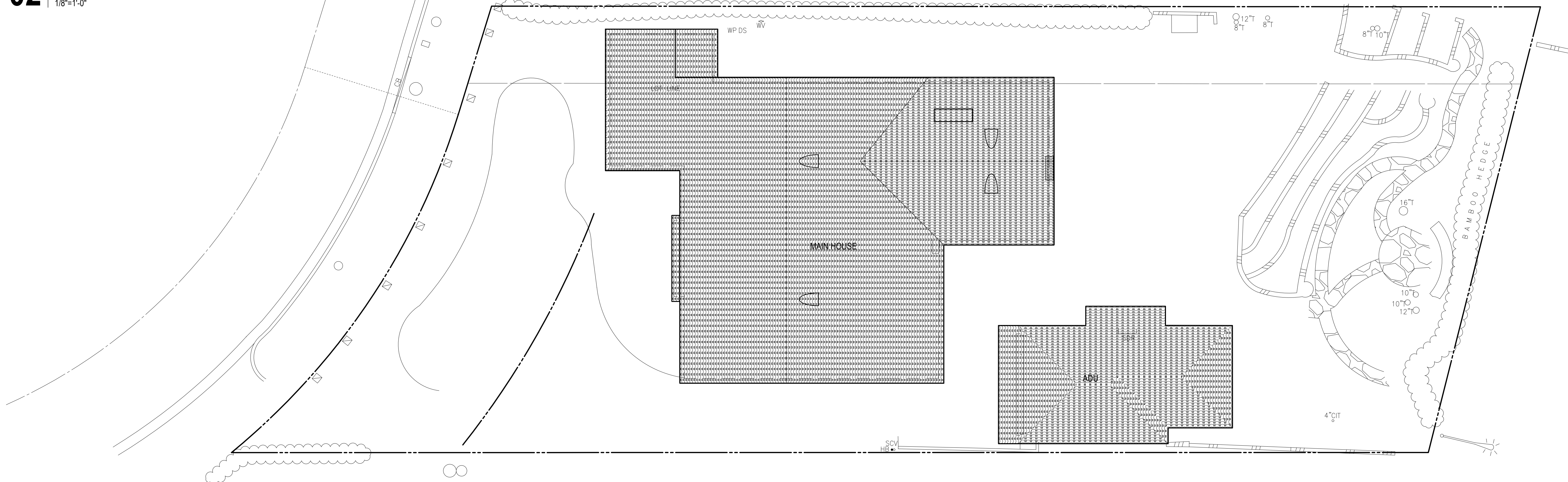
840 WINTHROP RD
SAN MARINO

SHEET NUMBER: [24 x 36]

DRC-1

TITLE SHEET

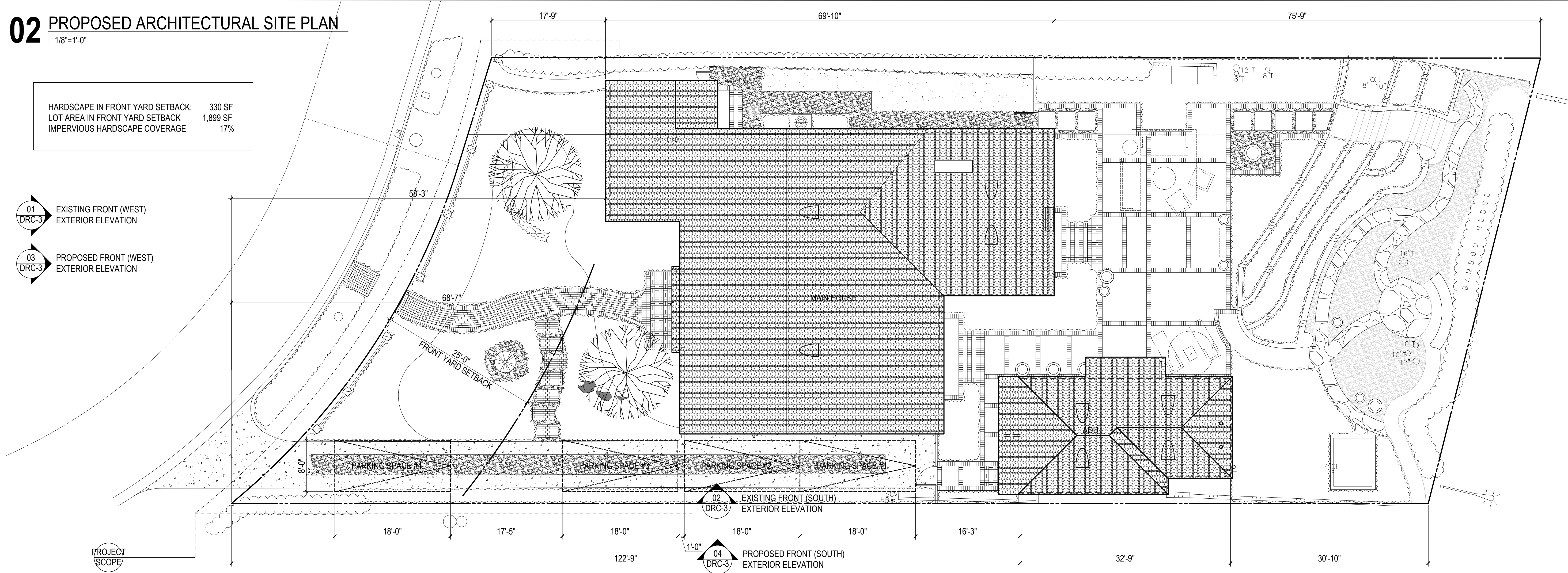
02 EXISTING SITE PLAN
1/8"=1'-0"



02 PROPOSED ARCHITECTURAL SITE PLAN
1/8"=1'-0"

HARDSCAPE IN FRONT YARD SETBACK: 330 SF
 LOT AREA IN FRONT YARD SETBACK: 1,899 SF
 IMPERVIOUS HARDSCAPE COVERAGE: 17%

- 01 EXISTING FRONT (WEST) EXTERIOR ELEVATION
- 03 PROPOSED FRONT (WEST) EXTERIOR ELEVATION



- 02 EXISTING FRONT (SOUTH) EXTERIOR ELEVATION
- 04 PROPOSED FRONT (SOUTH) EXTERIOR ELEVATION



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DRAWING ISSUE

DRC-2
 ARCHITECTURAL SITE PLAN - PROPOSED

2016 10-19-22

WINTHROP

840 WINTHROP RD
 SAN MARINO

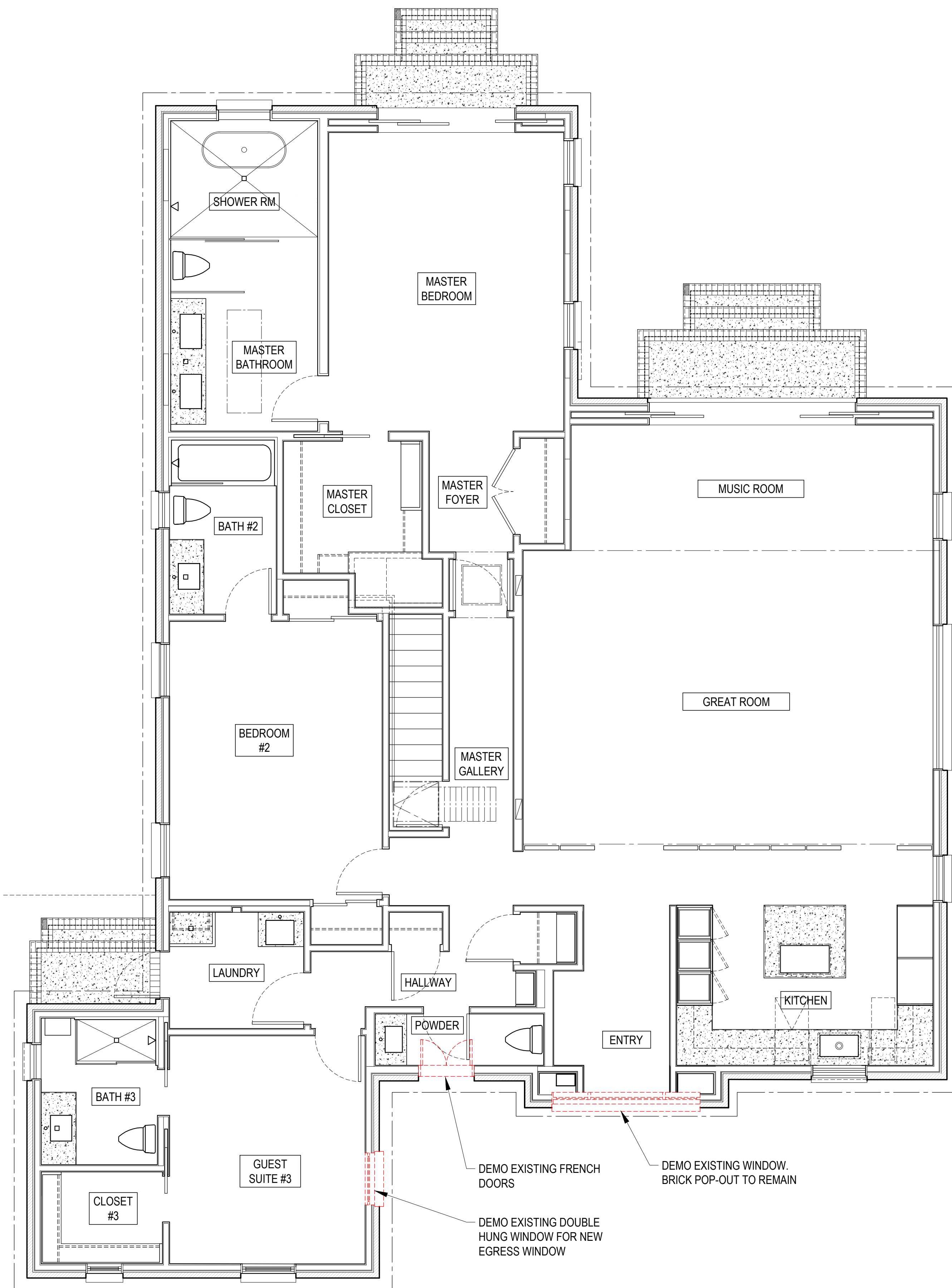
SHEET NUMBER: [24 x 36]

DRC-2
 ARCH SITE - PROPOSED

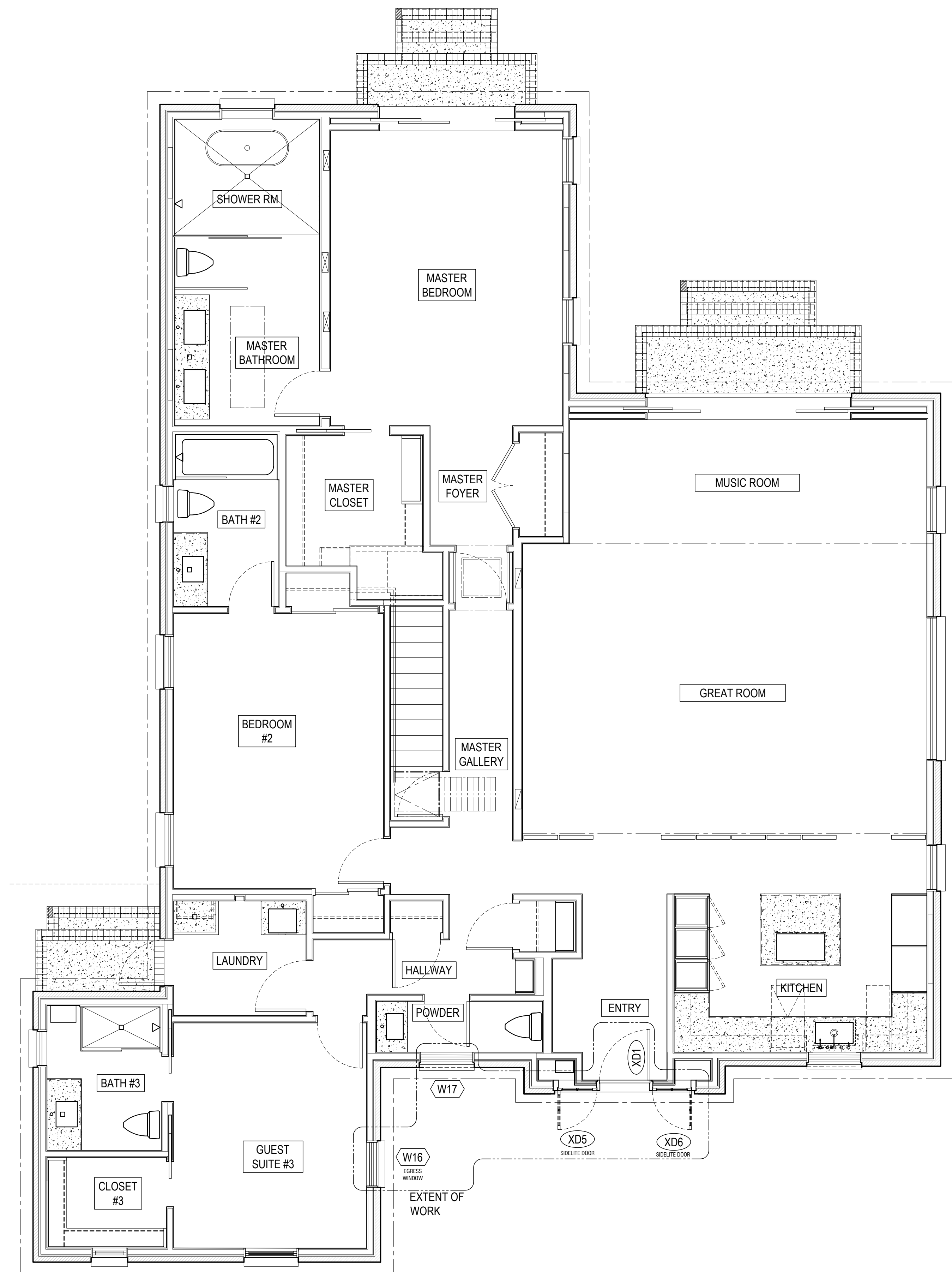
"THESE DRAWINGS, DESIGN CONCEPTS AND IDEAS ARE THE PROPERTY OF CALISHERSTUDIO ARCHITECTURE AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT INDICATED HEREIN, AND SHALL NOT BE USED UNLESS PERSONALLY ENDORSED ON EACH DRAWING."



DRAWING ISSUE



DEMO EXISTING FRENCH DOORS
DEMO EXISTING WINDOW. BRICK POP-OUT TO REMAIN
DEMO EXISTING DOUBLE HUNG WINDOW FOR NEW EGRESS WINDOW



EXTERIOR DOOR SCHEDULE

PLAN 1	DOOR #	ROOM NAME	DOOR TYPE	MATERIAL	NOMINAL DOOR DIMS	HARDWARE	NOTES
	XD01	ENTRY	XD-A	2" SOLID WOOD	3'-0" x 7'-0"	ENTRY	MULLED DOOR AND SIDELITE DOORS
	XD05	ENTRY	XD-A.1	WOOD	2'-4" x 6'-8"	PASSAGE	SIDELITE DOOR - LOW E DUAL GLAZED TEMPERED GLASS
	XD06	ENTRY	XD-A.1	WOOD	2'-4" x 6'-8"	PASSAGE	SIDELITE DOOR - LOW E DUAL GLAZED TEMPERED GLASS

WINDOW SCHEDULE

PLAN 1	WINDOW	ROOM NAME	WINDOW TYPE	MATERIAL	UNIT DIMS (WxH)	GLASS	EGRESS WINDOW?	NOTES
	W16	GUEST SUITE #3	W-A	WOOD	2'-6" 1/2 x 3'-6"	LOWE1 INSULATED	EGRESS	ALL GLASS LITES TEMPERED
	W17	POWDER ROOM	W-E.1	WOOD	3'-2 1/2" x 3'-5"	LOWE1 INSULATED		ALL GLASS LITES TEMPERED

01 EXISTING FLOOR PLAN SHOWING DEMO
1/8"=1'-0"

02 PROPOSED FLOOR PLAN
1/8"=1'-0"

DRC-3 FLOOR PLANS - EXISTING/DEMO & PROPOSED

2016 10-19-22

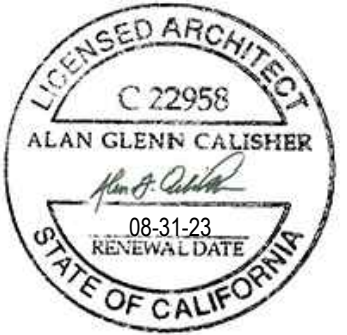
WINTHROP

840 WINTHROP RD
SAN MARINO

SHEET NUMBER: [24 x 36]

DRC-3

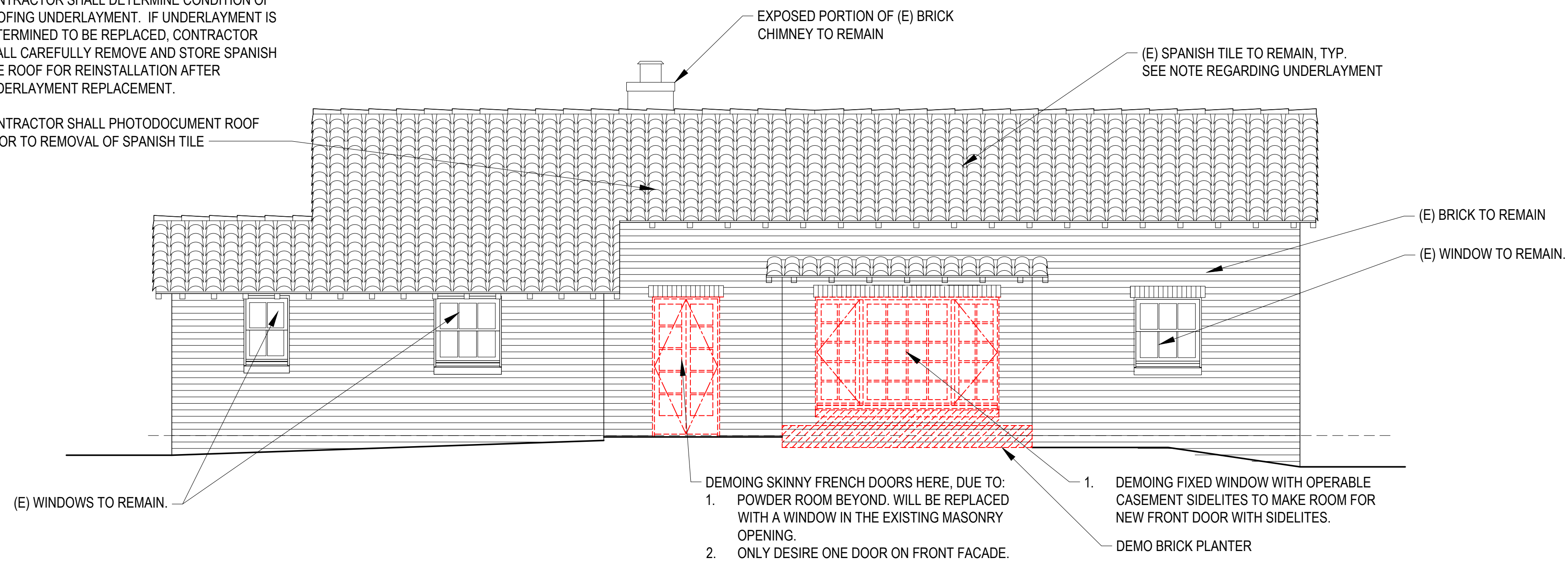
FLR PLANS - EXIST & NEW



EXISTING ROOF TILES TO REMAIN

CONTRACTOR SHALL DETERMINE CONDITION OF ROOFING UNDERLAYMENT. IF UNDERLAYMENT IS DETERMINED TO BE REPLACED, CONTRACTOR SHALL CAREFULLY REMOVE AND STORE SPANISH TILE ROOF FOR REINSTALLATION AFTER UNDERLAYMENT REPLACEMENT.

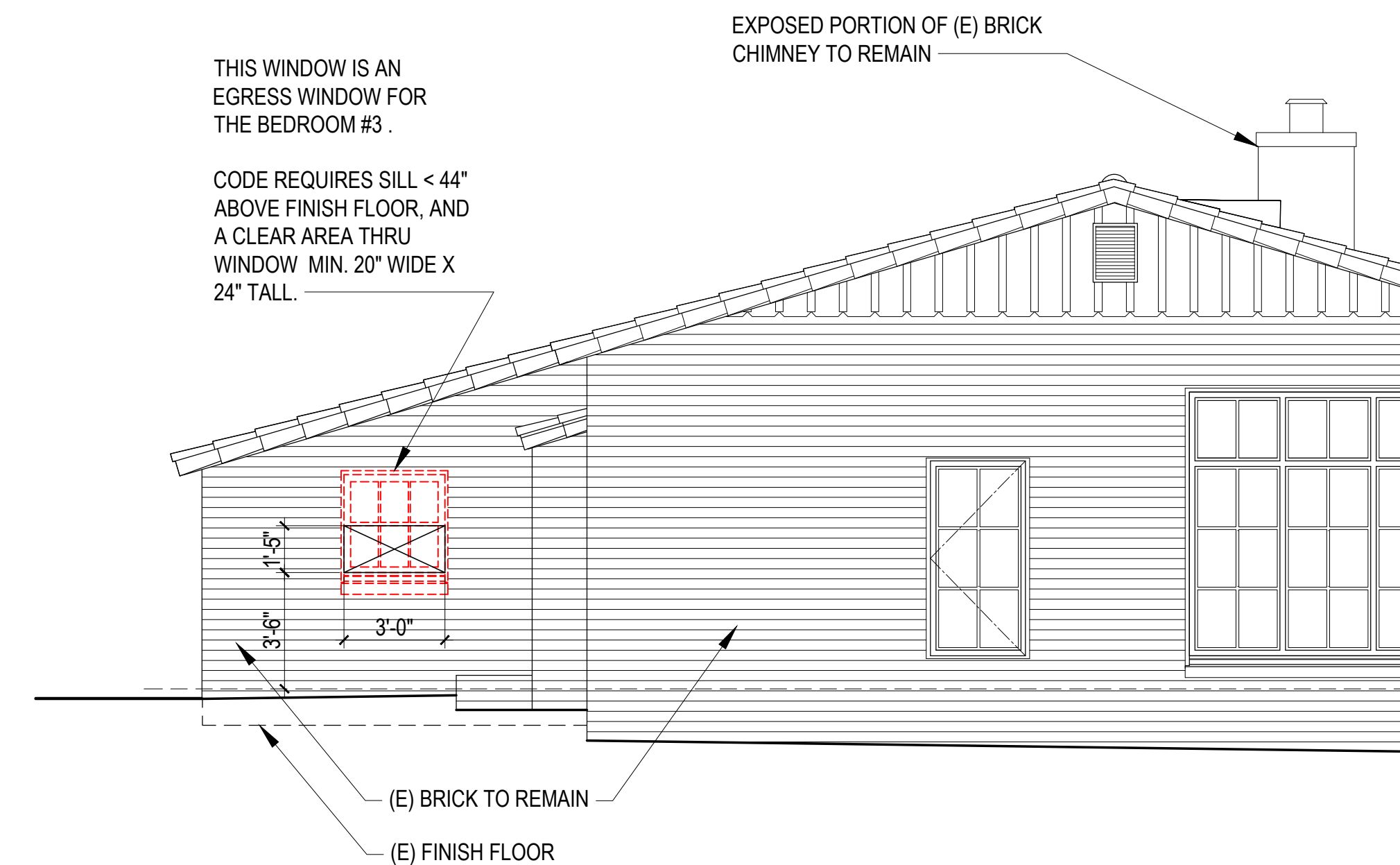
CONTRACTOR SHALL PHOTODOCUMENT ROOF PRIOR TO REMOVAL OF SPANISH TILE



01 EXISTING EXTERIOR ELEVATION (SHOWING DEMO) - FRONT (WEST)
1/4"=1'-0"

THIS WINDOW IS AN EGRESS WINDOW FOR THE BEDROOM #3.

CODE REQUIRES SILL < 44" ABOVE FINISH FLOOR, AND A CLEAR AREA THRU WINDOW MIN. 20" WIDE X 24" TALL.

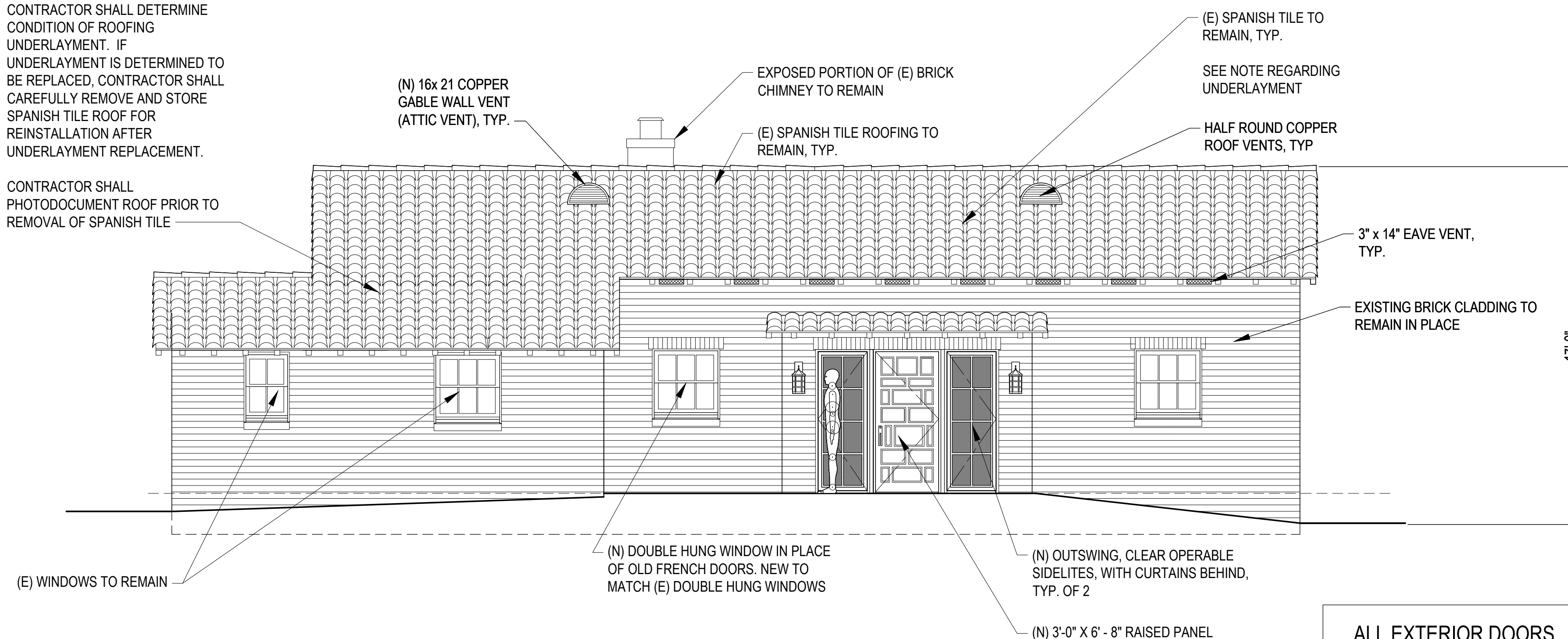


02 (E) EXT ELEV (SHOWING DEMO) - FRONT (SOUTH)
1/4"=1'-0"

EXISTING ROOF TILES TO REMAIN

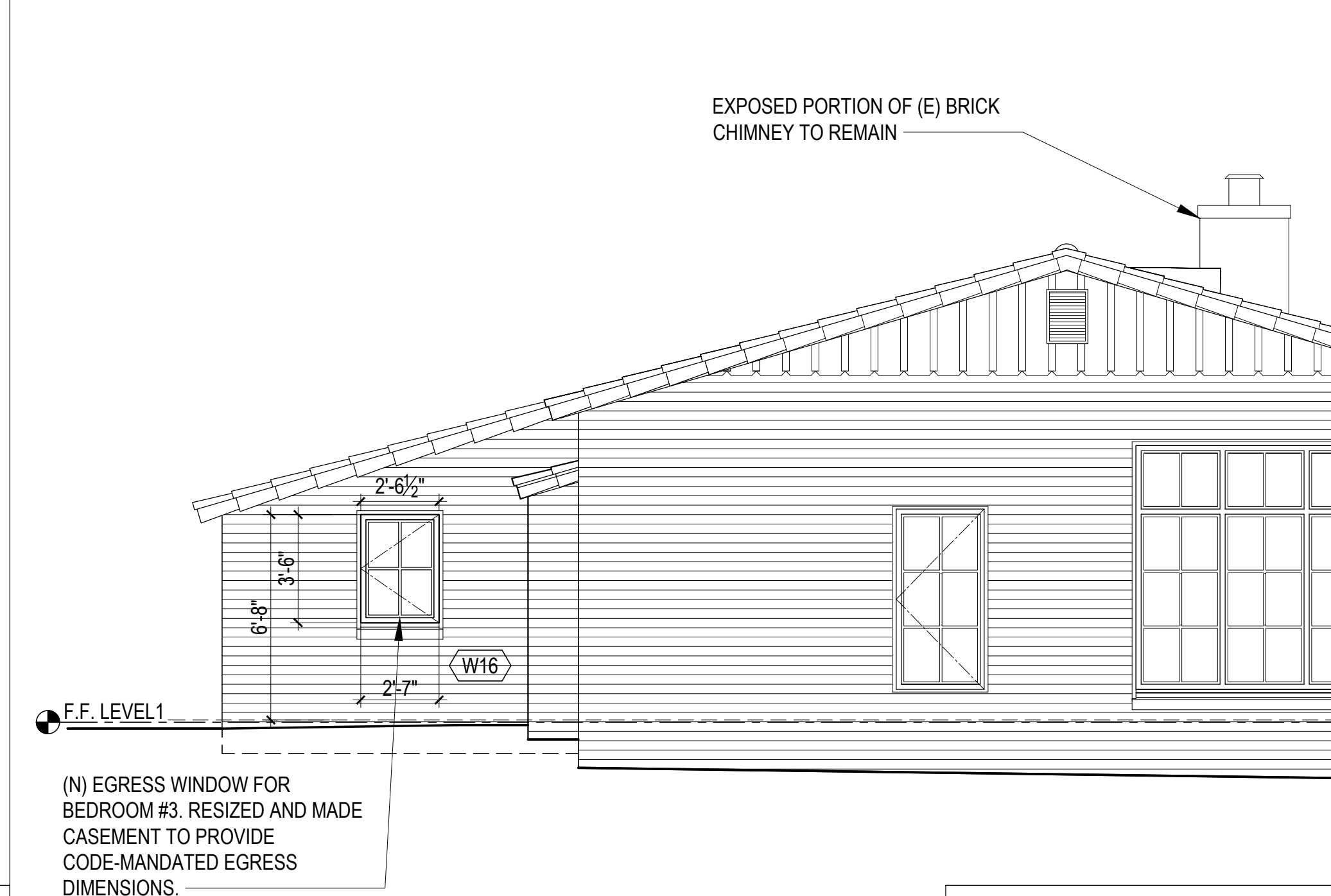
CONTRACTOR SHALL DETERMINE CONDITION OF ROOFING UNDERLAYMENT. IF UNDERLAYMENT IS DETERMINED TO BE REPLACED, CONTRACTOR SHALL CAREFULLY REMOVE AND STORE SPANISH TILE ROOF FOR REINSTALLATION AFTER UNDERLAYMENT REPLACEMENT.

CONTRACTOR SHALL PHOTODOCUMENT ROOF PRIOR TO REMOVAL OF SPANISH TILE



03 PROPOSED EXTERIOR ELEVATION - FRONT (WEST)
1/4"=1'-0"

EXPOSED PORTION OF (E) BRICK CHIMNEY TO REMAIN



04 PROPOSED EXTERIOR ELEVATION - FRONT (SOUTH)
1/4"=1'-0"

ALL EXTERIOR DOORS, WINDOWS & WOODWORK TO BE PAINTED SHERWIN WILLIAMS "BLACK MAGIC" #SW6991, SATIN FINISH

ALL EXTERIOR DOORS, WINDOWS & WOODWORK TO BE PAINTED SHERWIN WILLIAMS "BLACK MAGIC" #SW6991, SATIN FINISH

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DRAWING ISSUE

DRC-5
FRONT DOOR - FRAME DETAILS

2016 10-19-22

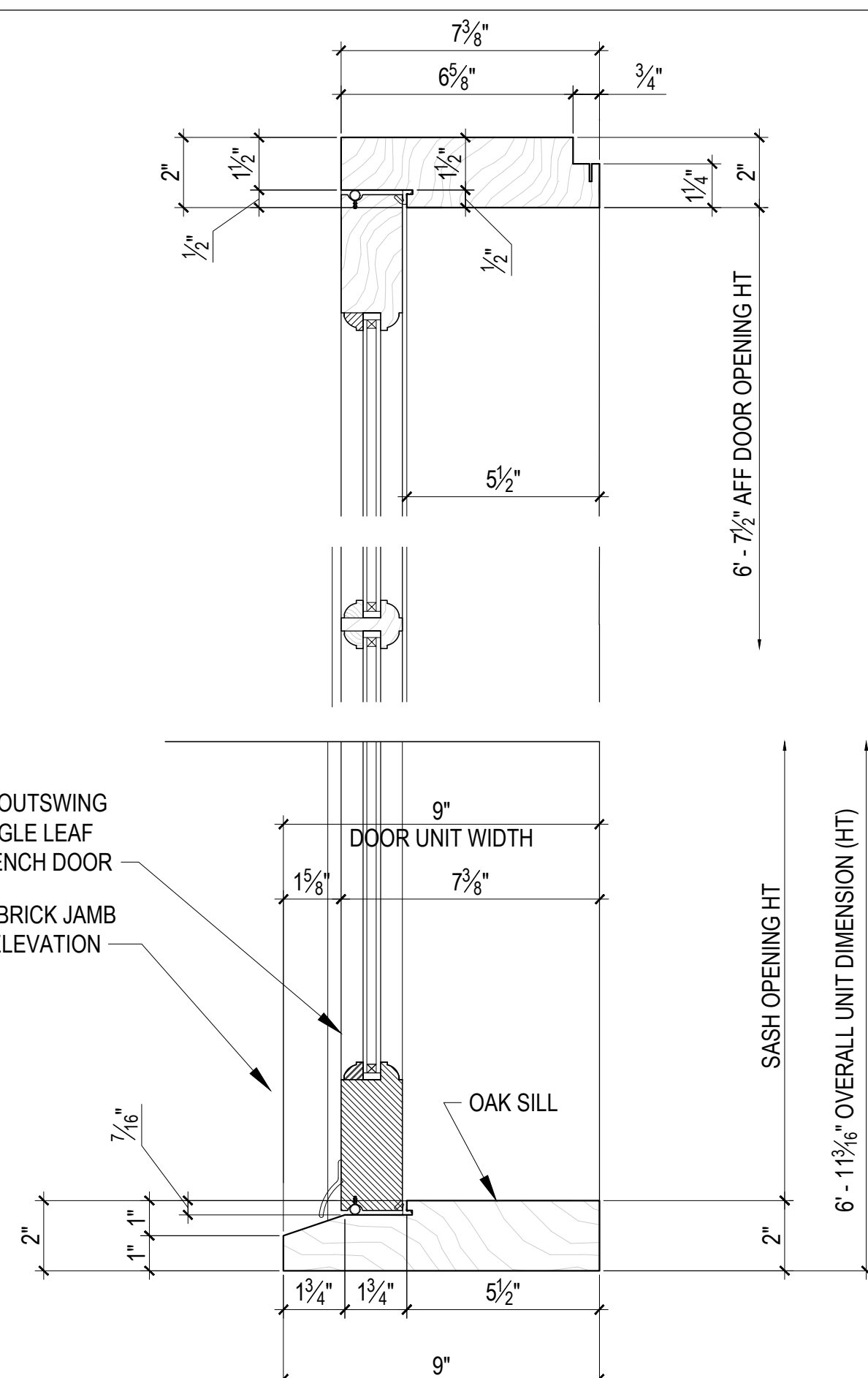
WINTHROP

840 WINTHROP RD
SAN MARINO

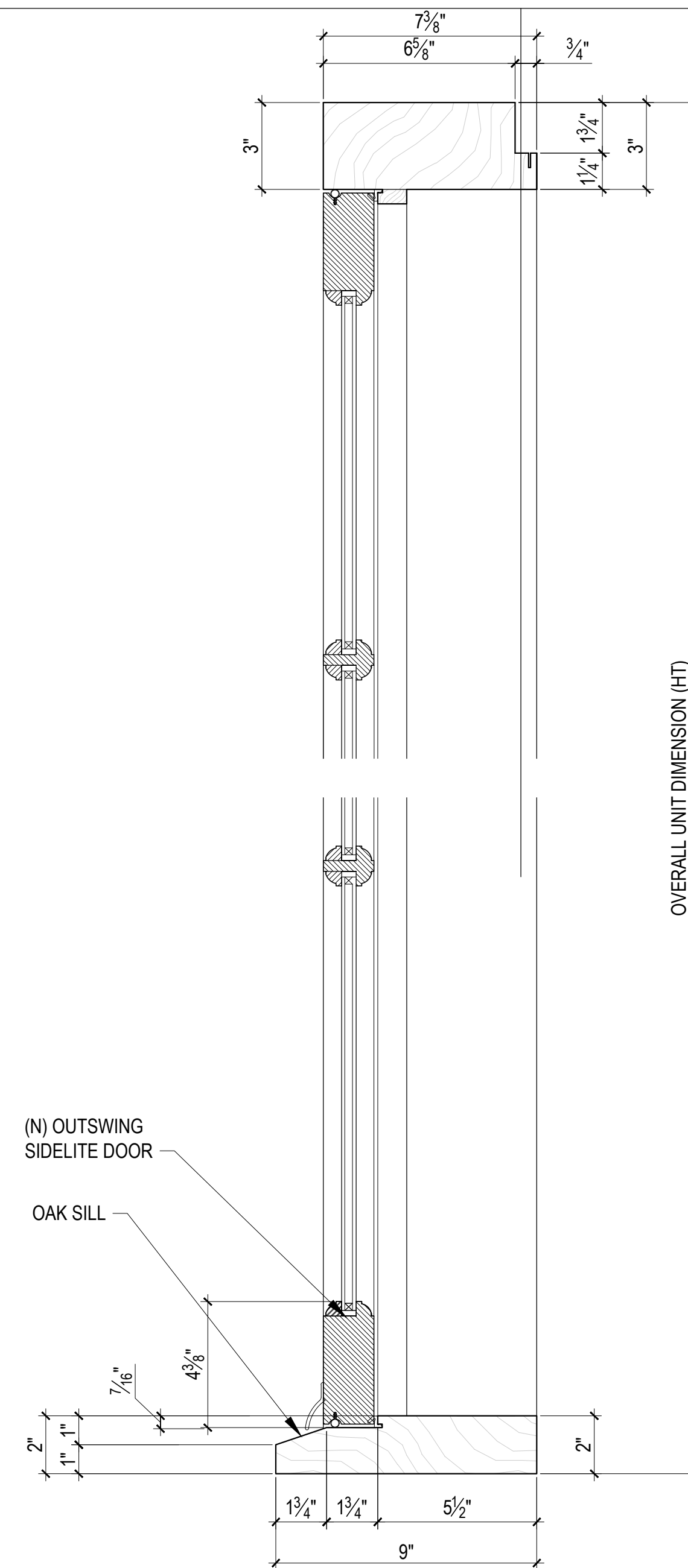
SHEET NUMBER: [24 x 36]

DRC-5

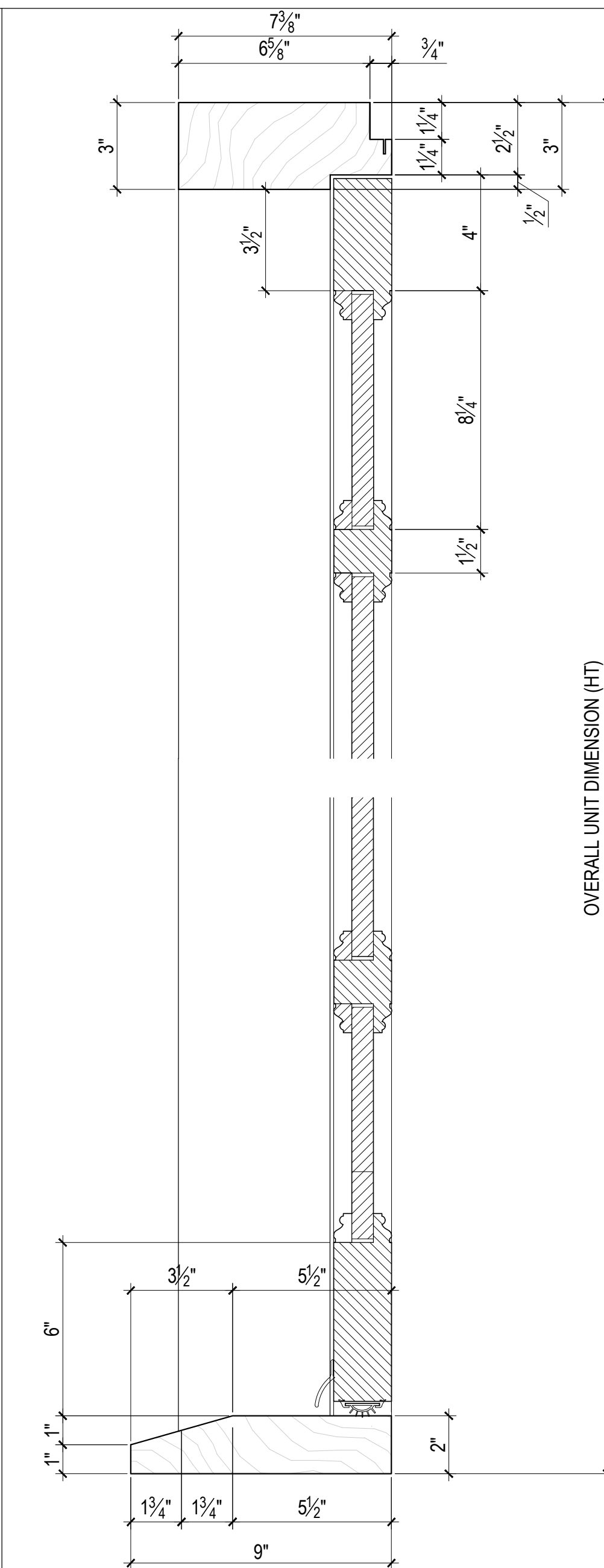
FRONT DOOR FRAME DTLS



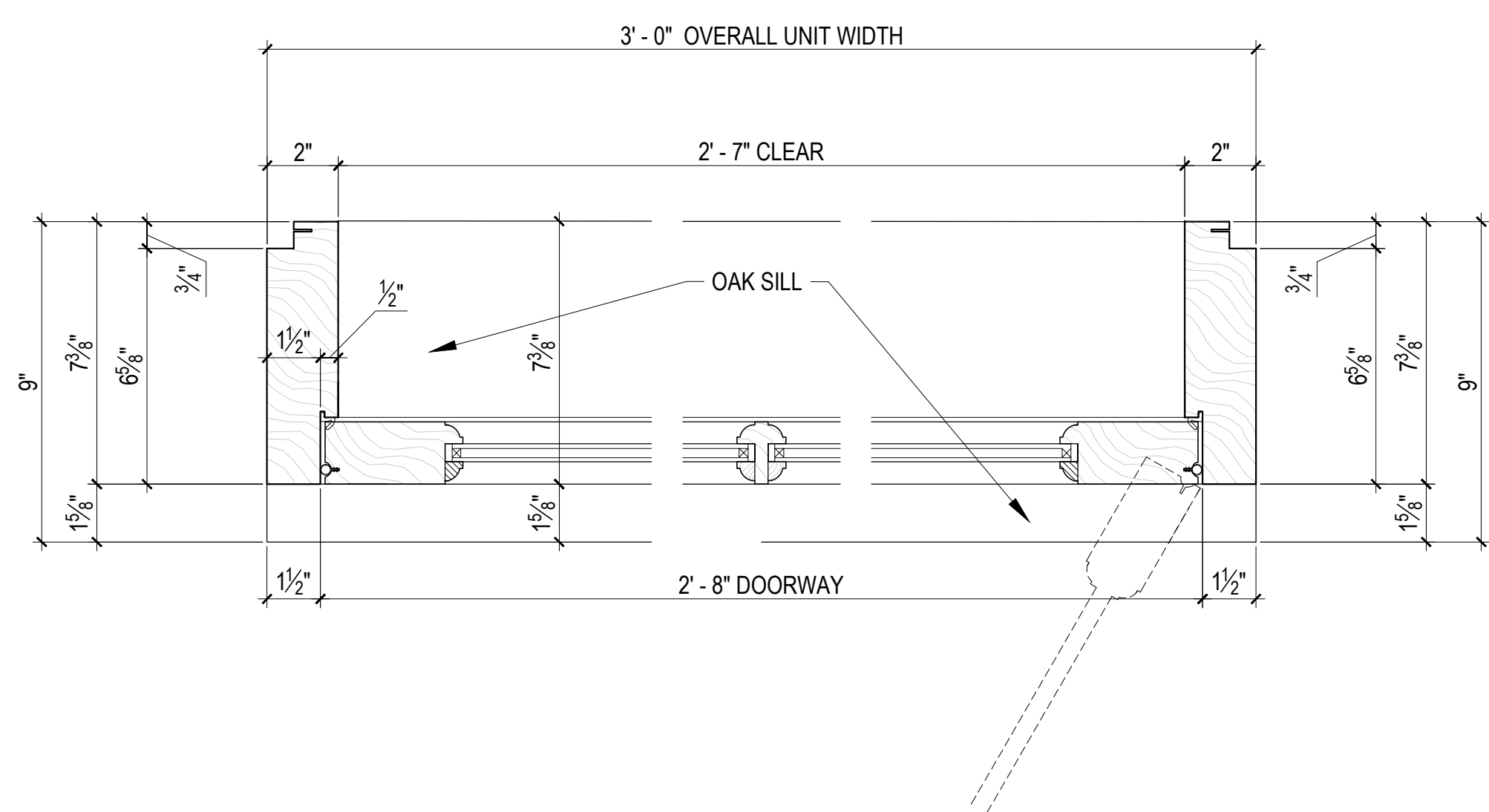
01 OUTSWING SINGLE FRENCH DOOR - HEAD & THRESHOLD - VERT SECTION



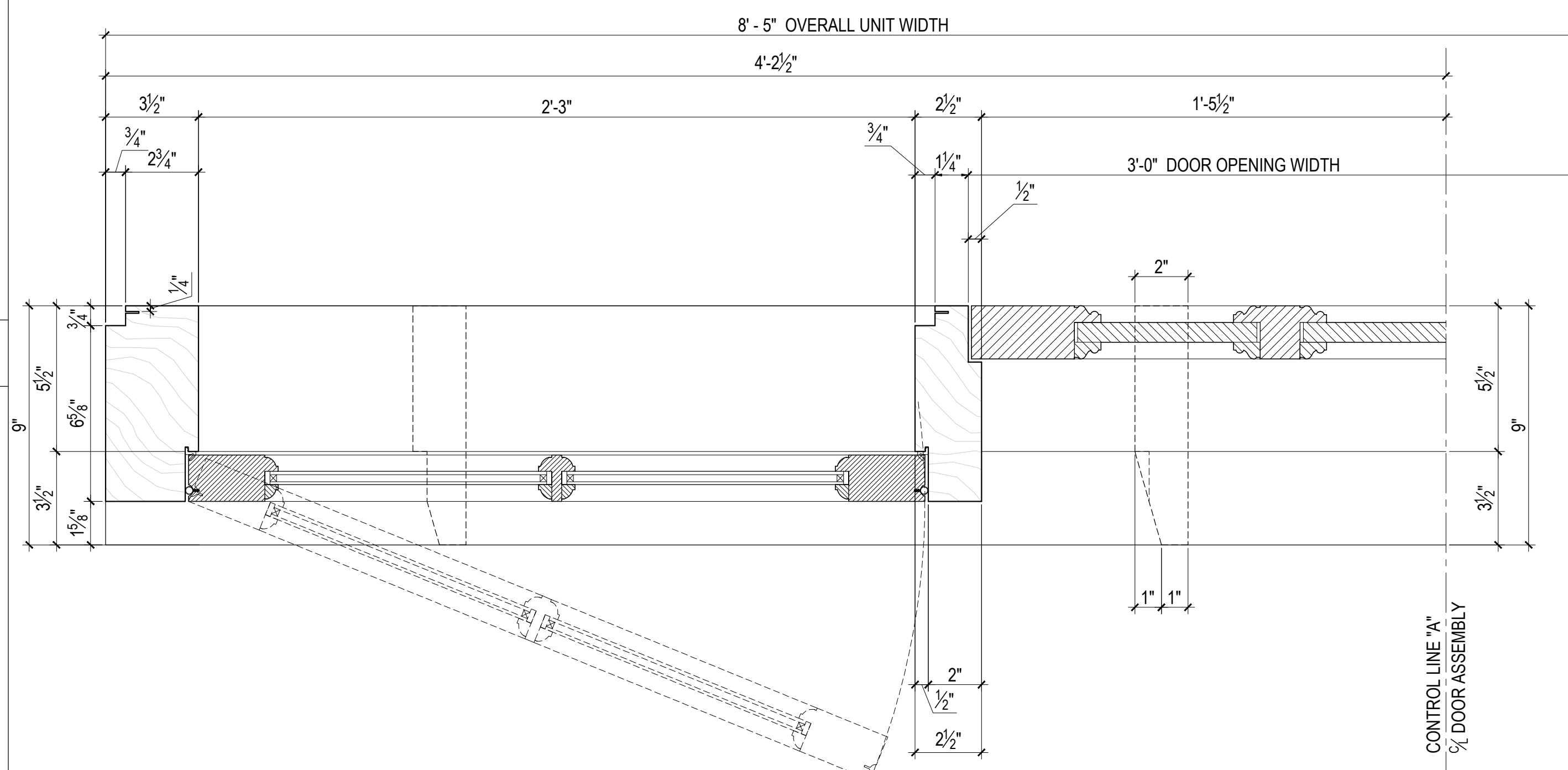
03 FRONT SIDELITES - HEAD & THRESHOLD - VERT SECTION



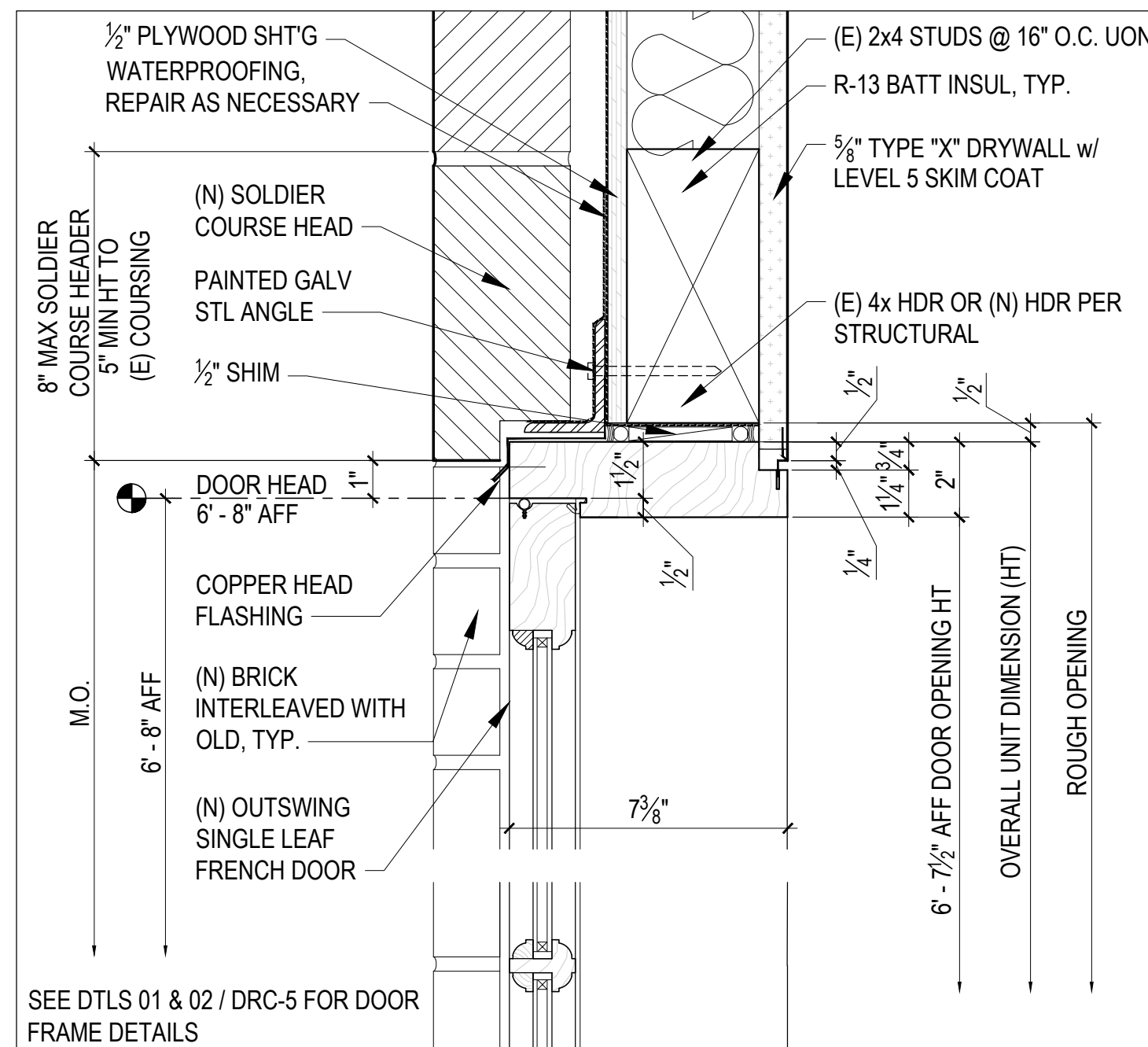
04 FRONT DOOR - HEAD & THRESHOLD - VERT SECTION



02 OUTSWING SINGLE FRENCH DOOR - JAMBS - HORIZ SECTION

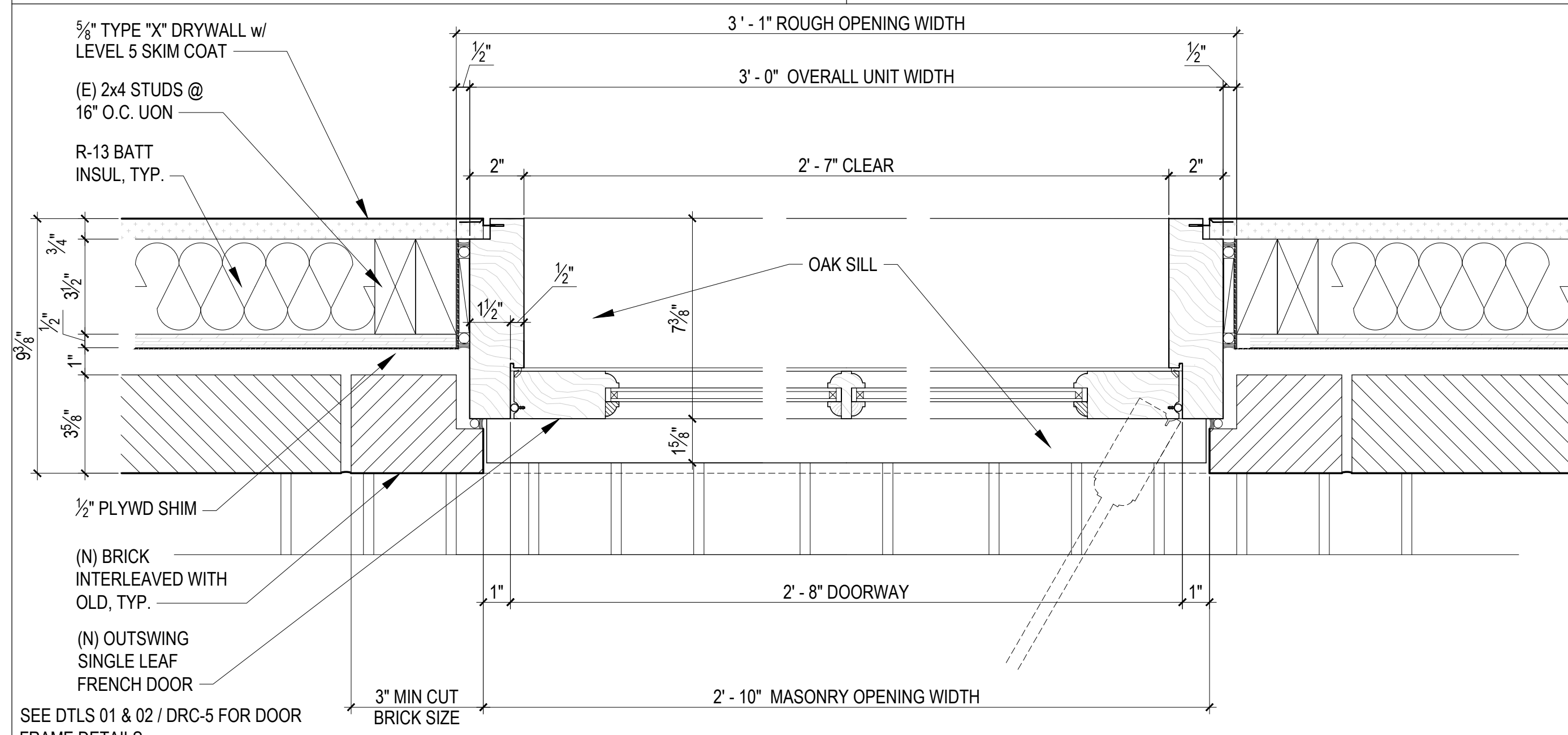


05 FRONT SIDELITES - JAMBS - HORIZ SECTION



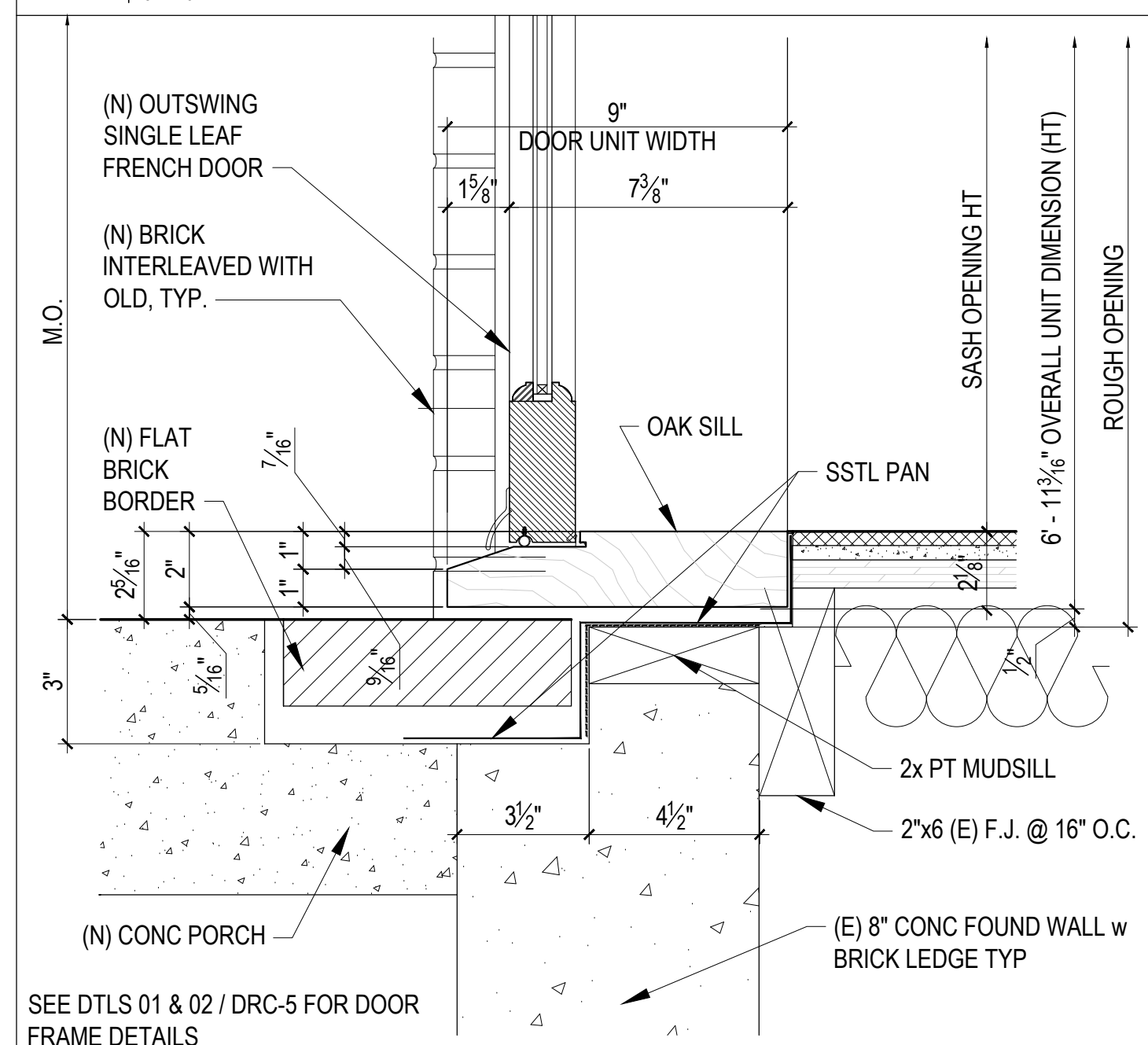
SEE DTLS 01 & 02 / DRC-5 FOR DOOR FRAME DETAILS

01 OUTSWING SINGLE LEAF FRENCH DOOR - HEAD DETAIL
3'-1-0"



SEE DTLS 01 & 02 / DRC-5 FOR DOOR FRAME DETAILS

02 OUTSWING SINGLE LEAF FRENCH DOOR - JAMB DETAIL
3'-1-0"



SEE DTLS 01 & 02 / DRC-5 FOR DOOR FRAME DETAILS

03 OUTSWING SINGLE LEAF FRENCH DOOR - THRESHOLD DETAIL
3'-1-0"

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DRAWING ISSUE

DRC-7
OUTSWING FRENCH DOOR - HEAD, JAMB & THRESHOLD DETAILS

2016 10-19-22

WINTHROP

**840 WINTHROP RD
SAN MARINO**

SHEET NUMBER: [24 x 36]

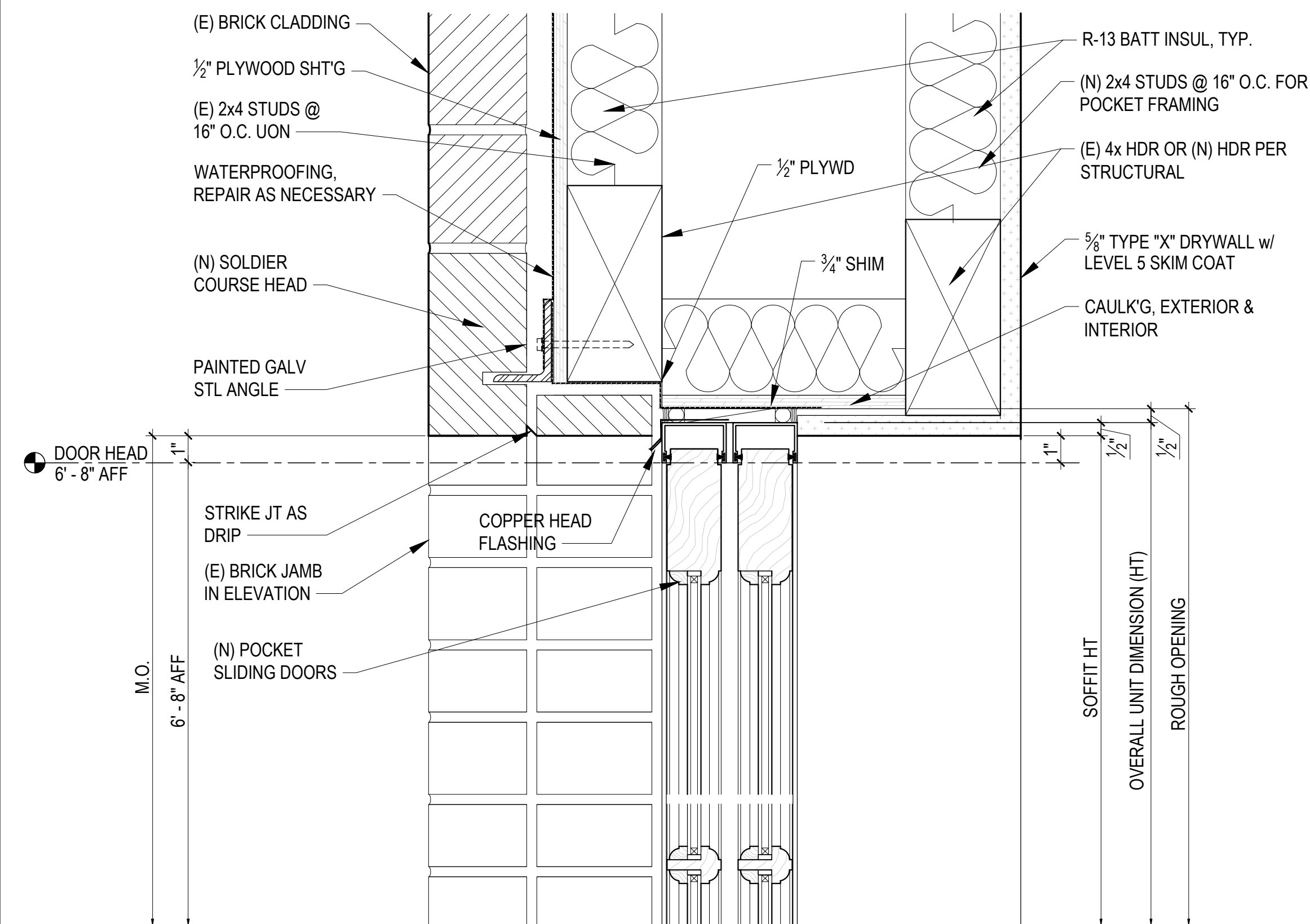
DRC-7

DOOR & WINDOW DTLS

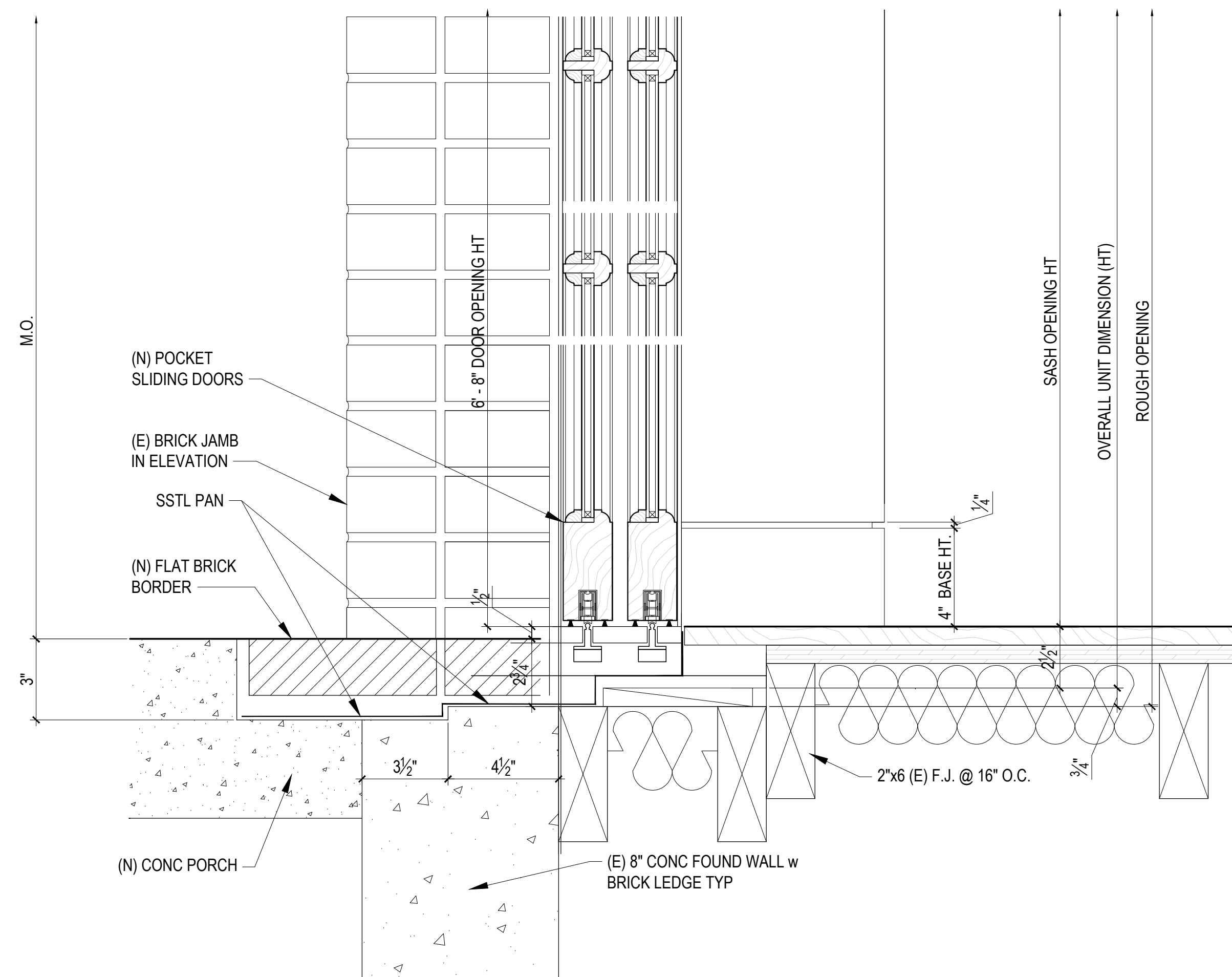
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DRAWING ISSUE



01 POCKET MULTISLIDE DOOR - HEAD DETAIL
3/8"=1'-0"



03 POCKET MULTISLIDE DOOR - THRESHOLD DETAIL
3/8"=1'-0"

DRC-8
POCKET DOORS - HEAD & THRESHOLD DETAILS

2016 10-19-22

WINTHROP

**840 WINTHROP RD
SAN MARINO**

SHEET NUMBER: [24 x 36]

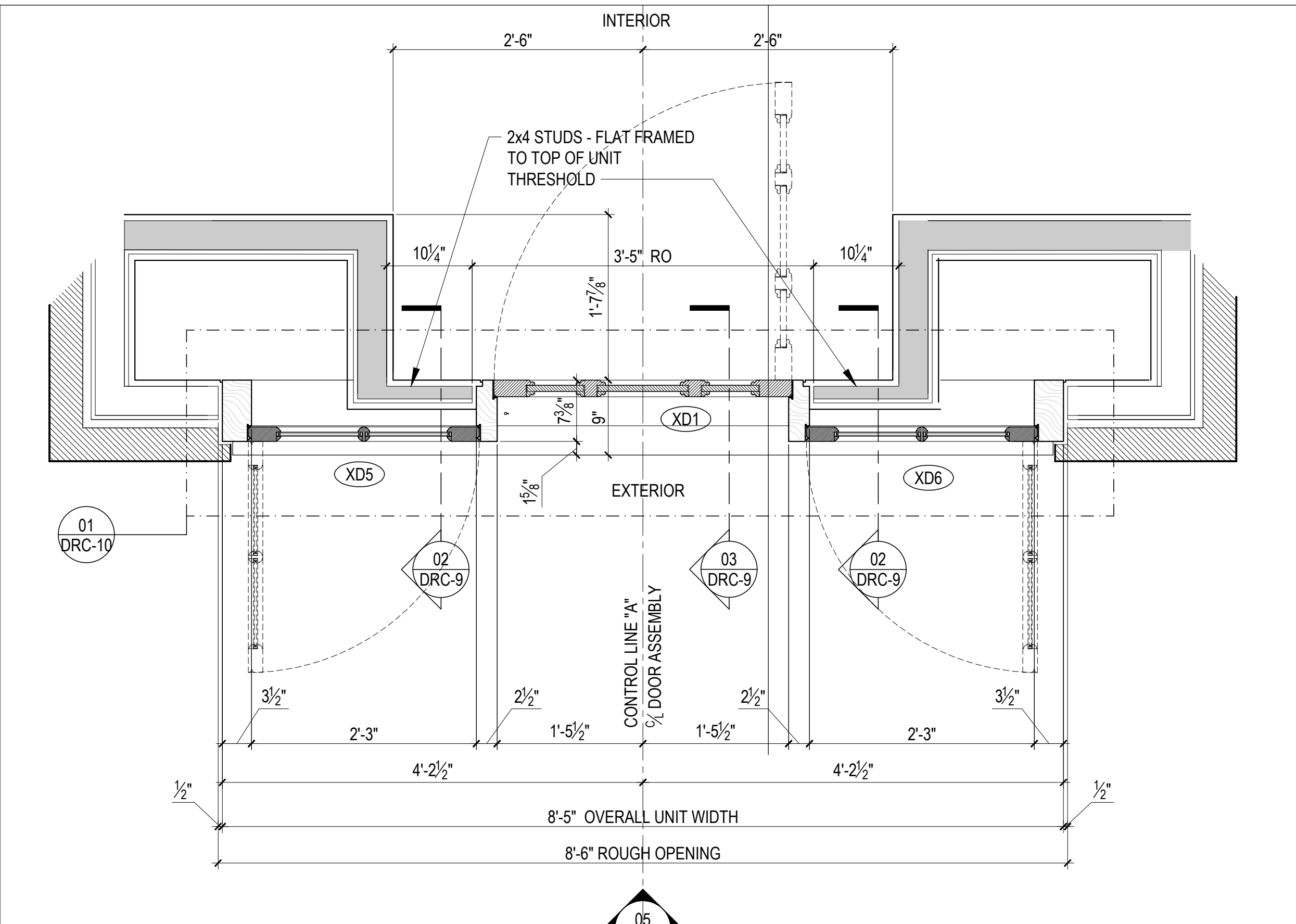
DRC-8

DOOR & WINDOW DTLS

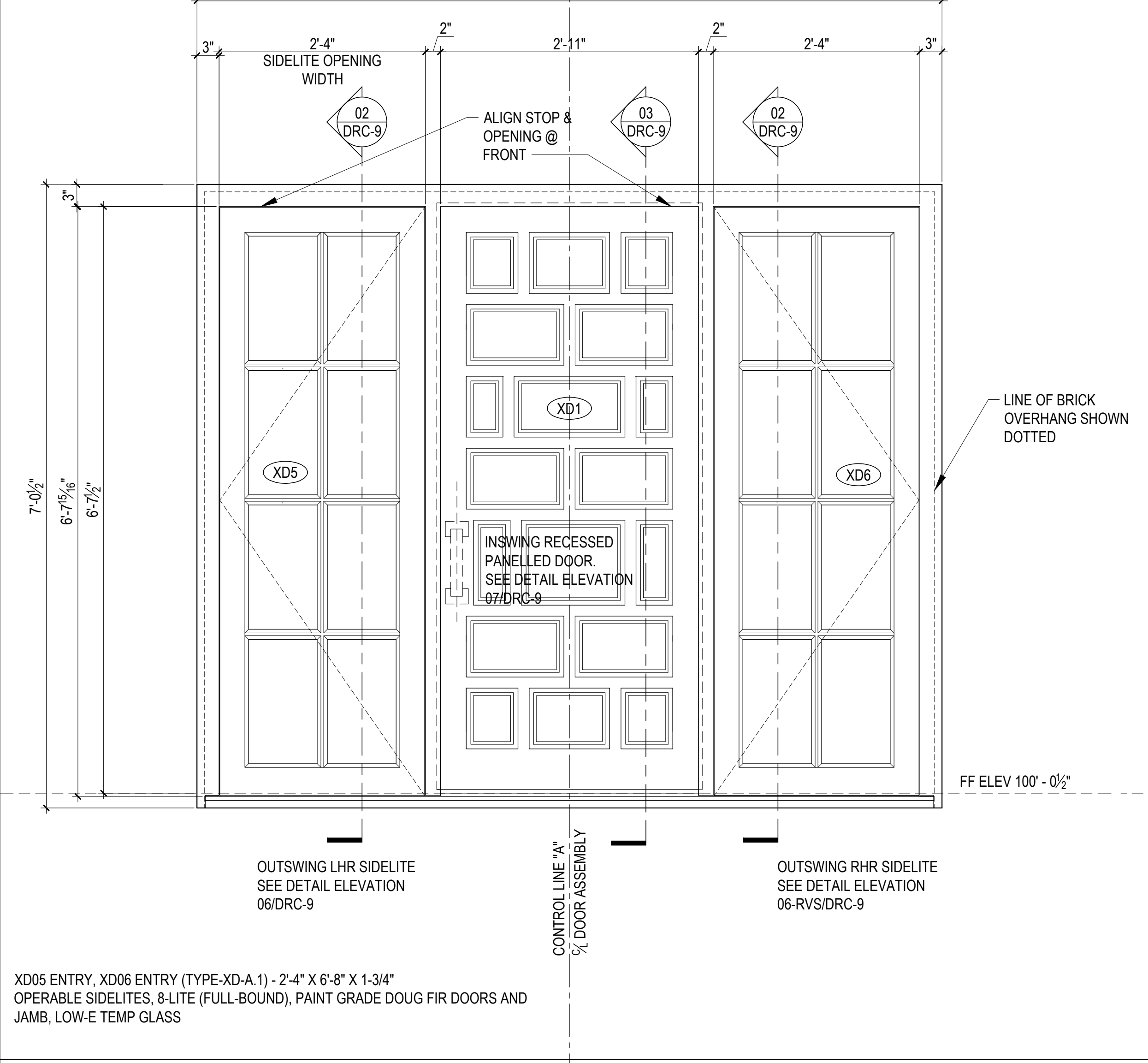
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DRAWING ISSUE

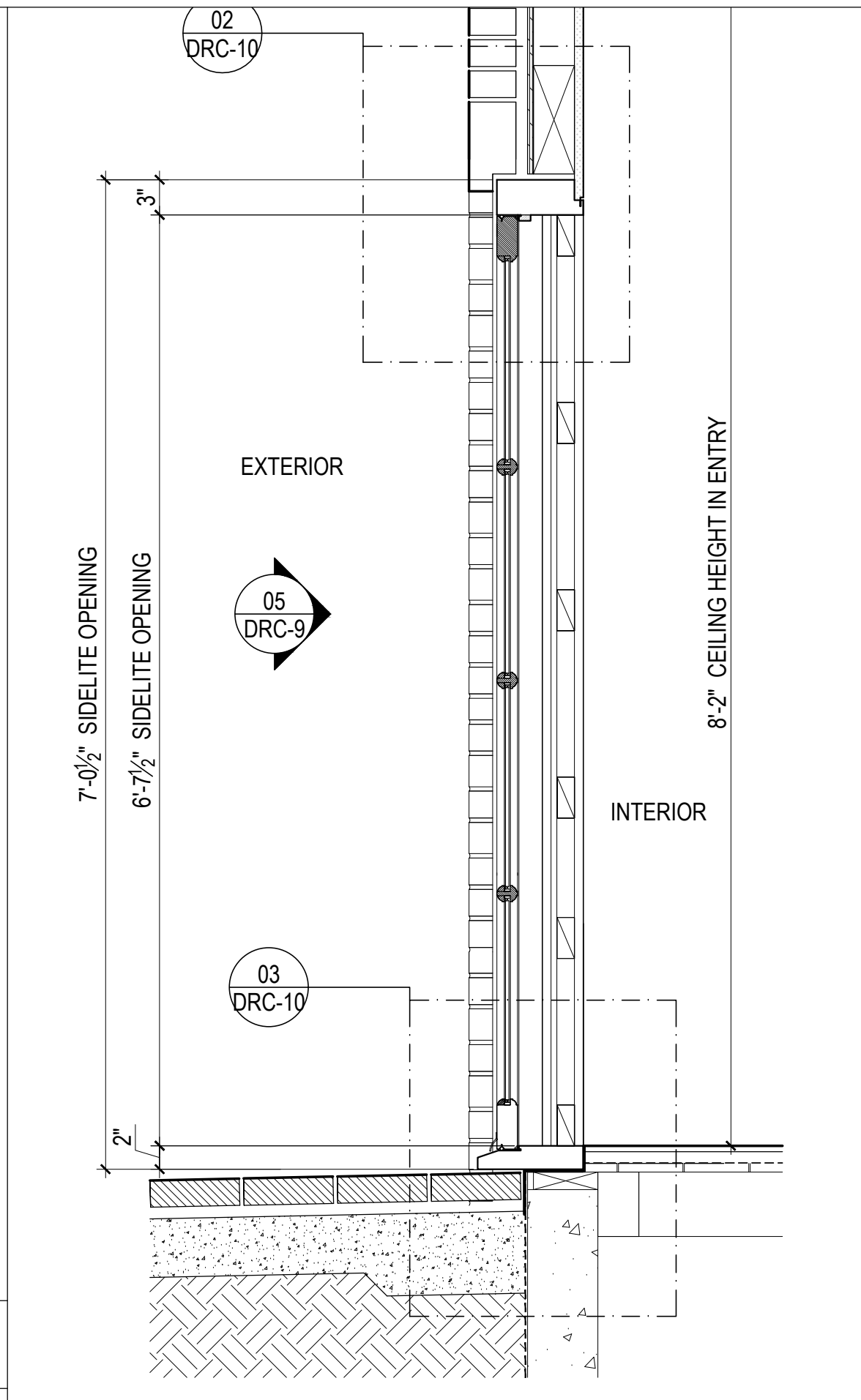


01 FRONT DOOR ASSEMBLY - ENLARGED PLAN
1"=1'-0"

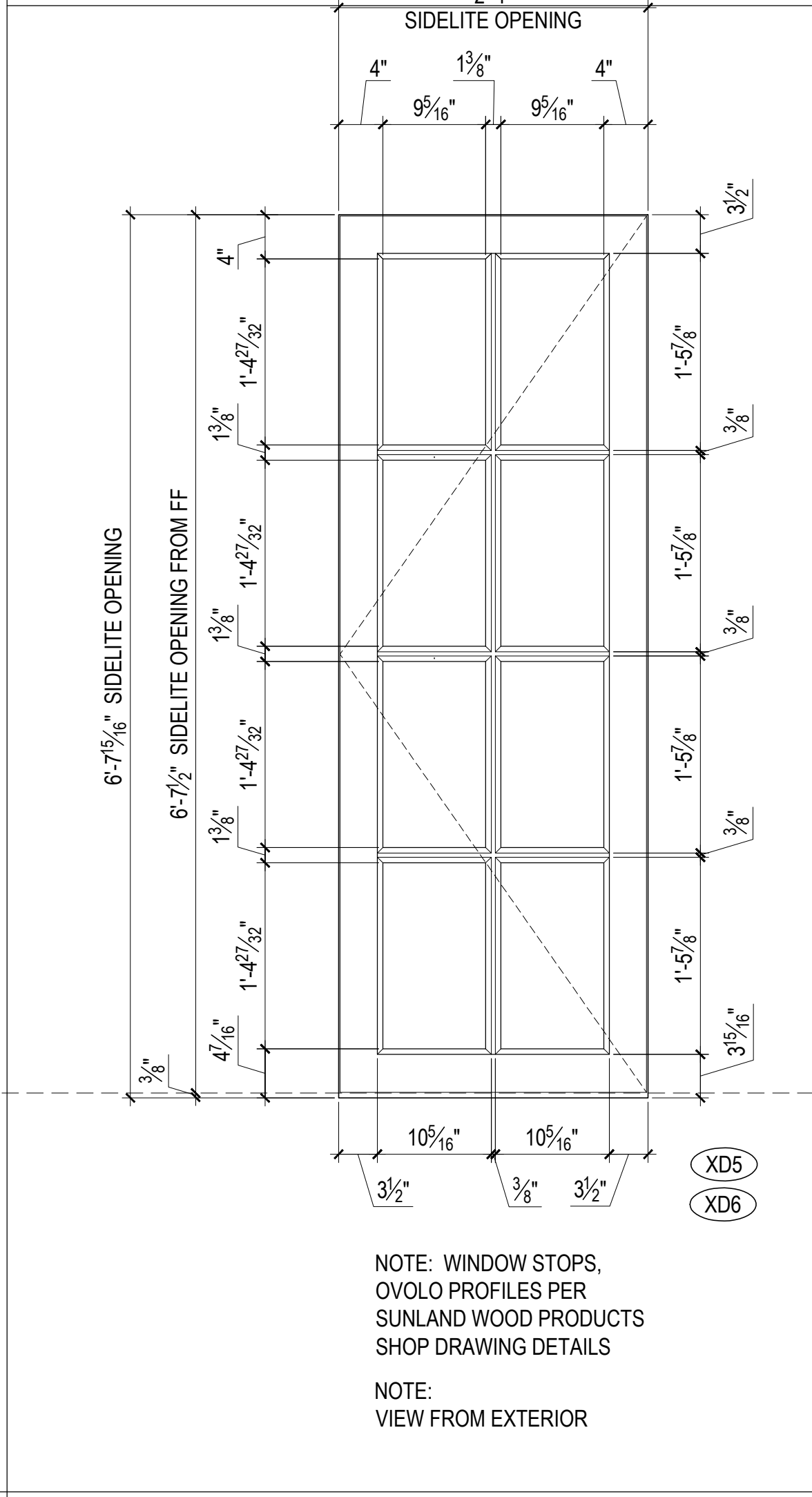


05 FRONT DOOR ASSEMBLY - ENLARGED ELEVATION
1"=1'-0"

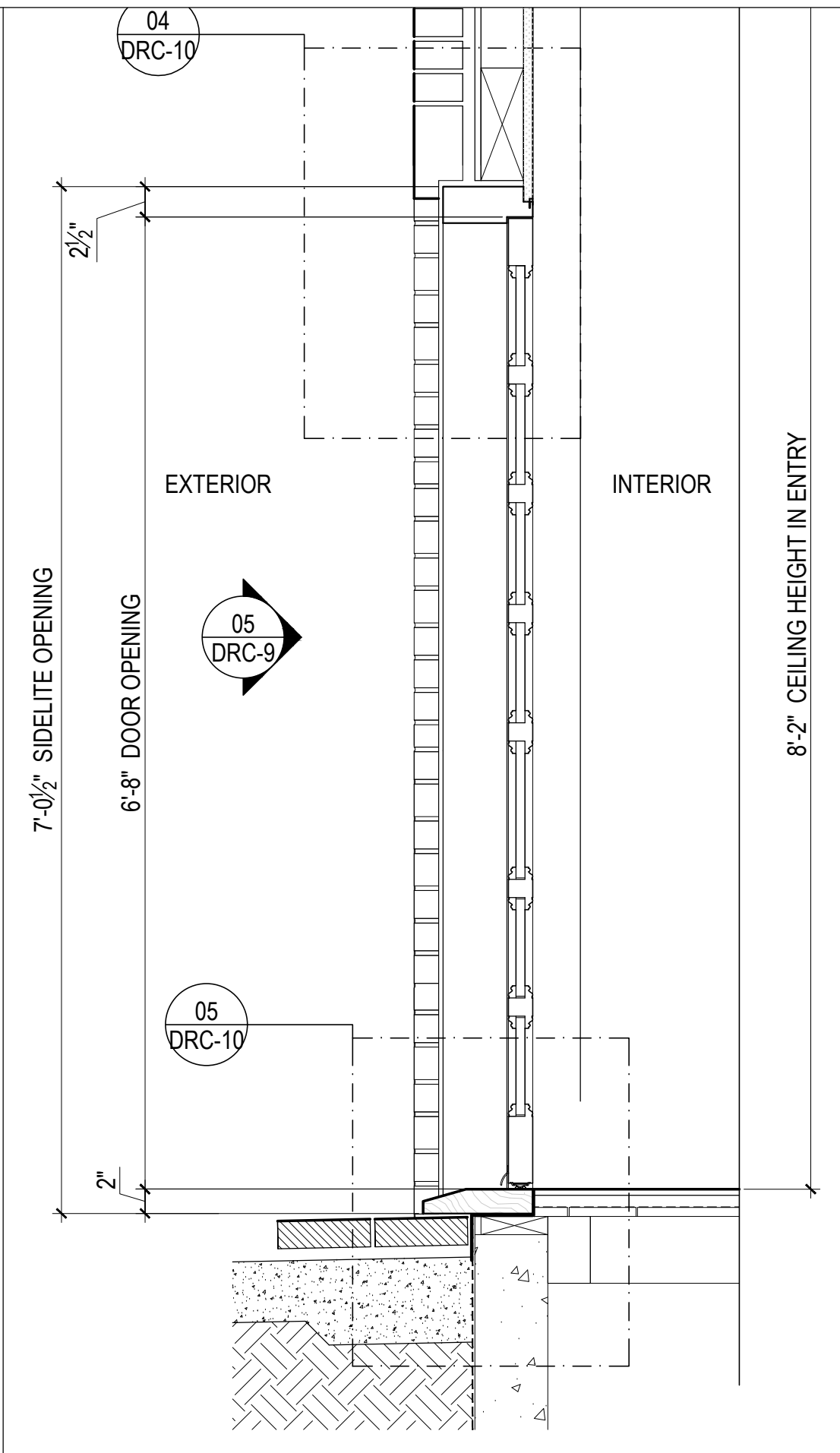
XD05 ENTRY, XD06 ENTRY (TYPE-XD-A.1) - 2'-4" X 6'-8" X 1-3/4" OPERABLE SIDELITES, 8-LITE (FULL-BOUND), PAINT GRADE DOUG FIR DOORS AND JAMB, LOW-E TEMP GLASS



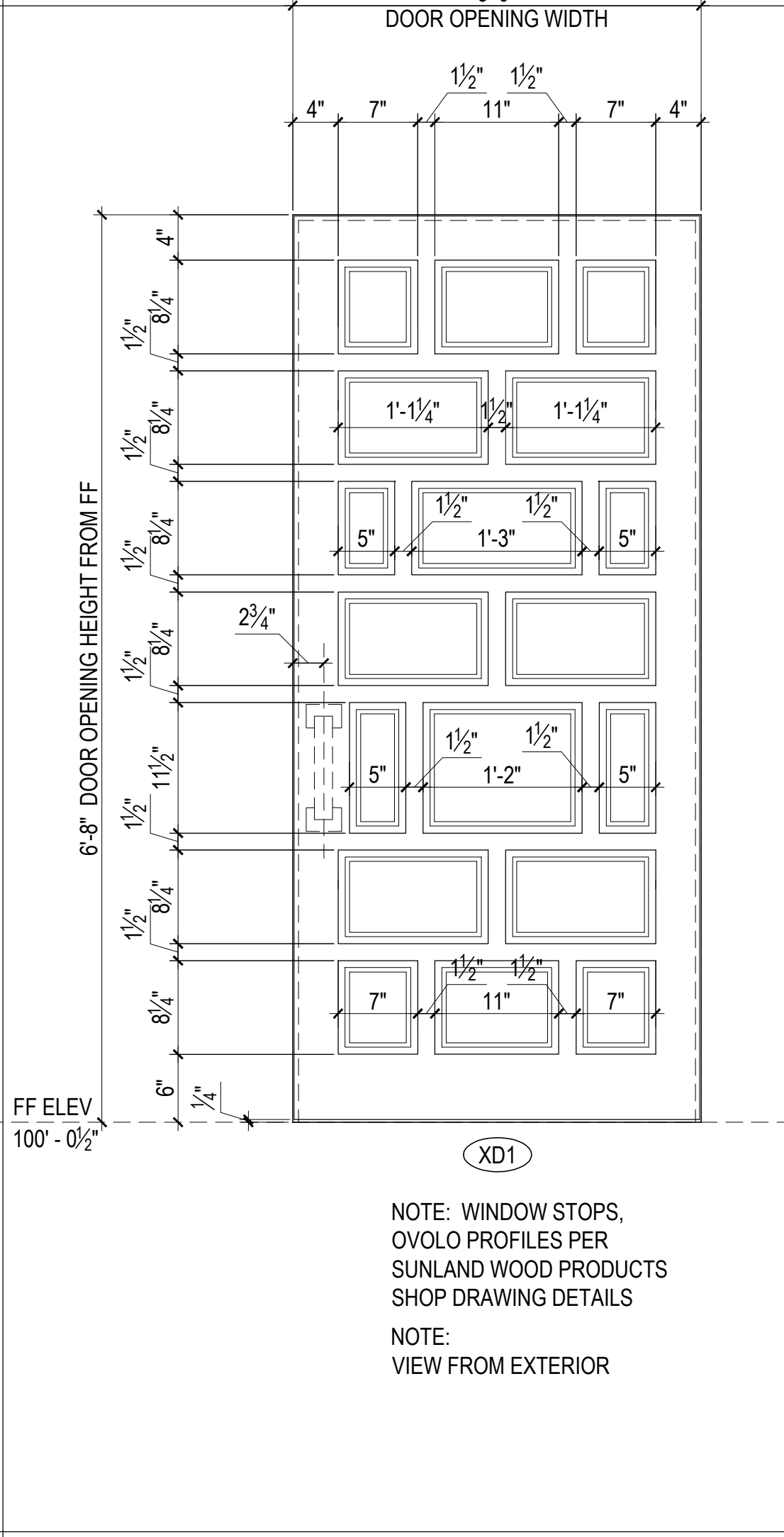
02 FRONT DOOR ASSY - SECTION THRU SIDELITE
1"=1'-0"



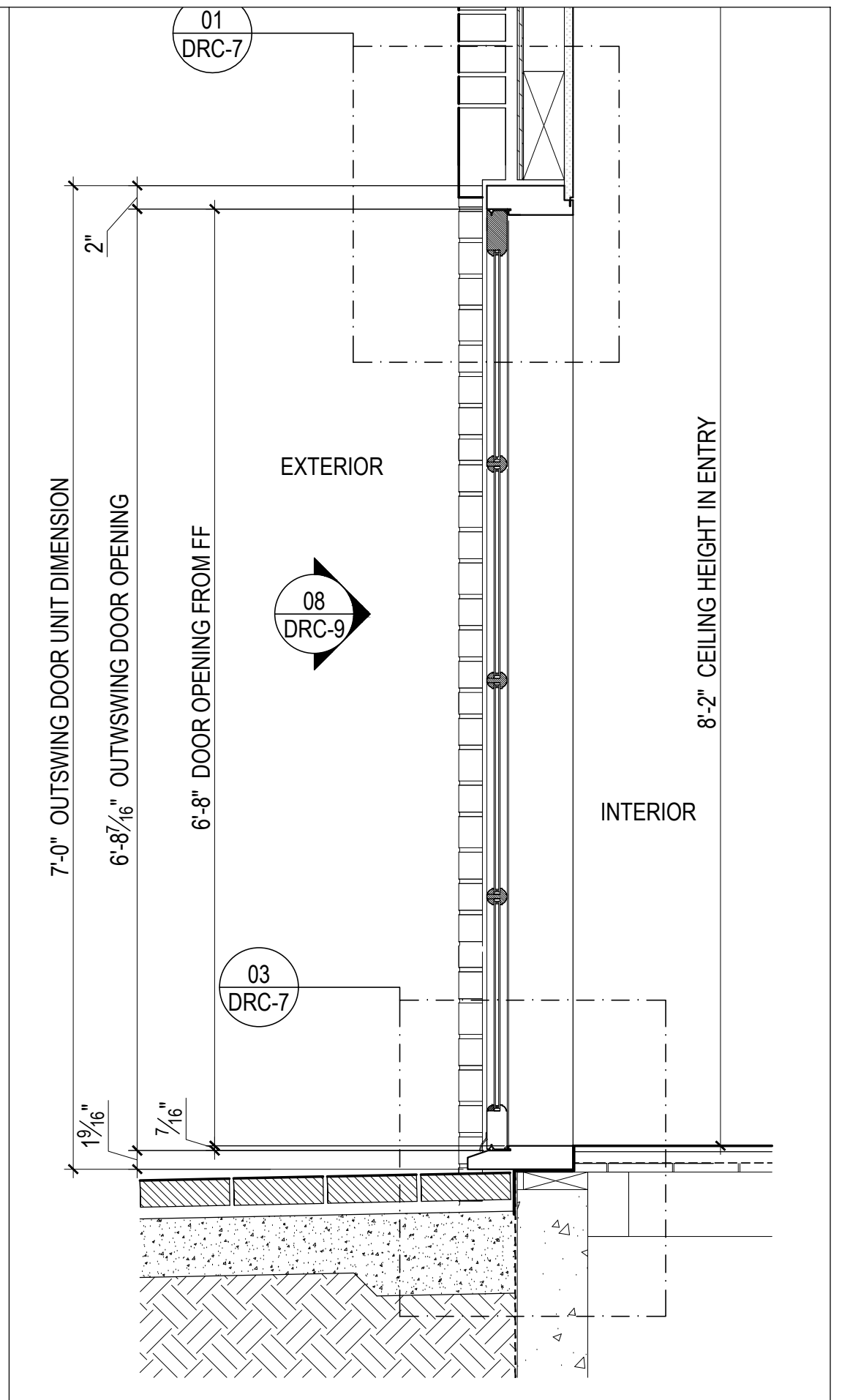
06 SIDELITE - DETAILED DOOR ELEVATION
1"=1'-0"



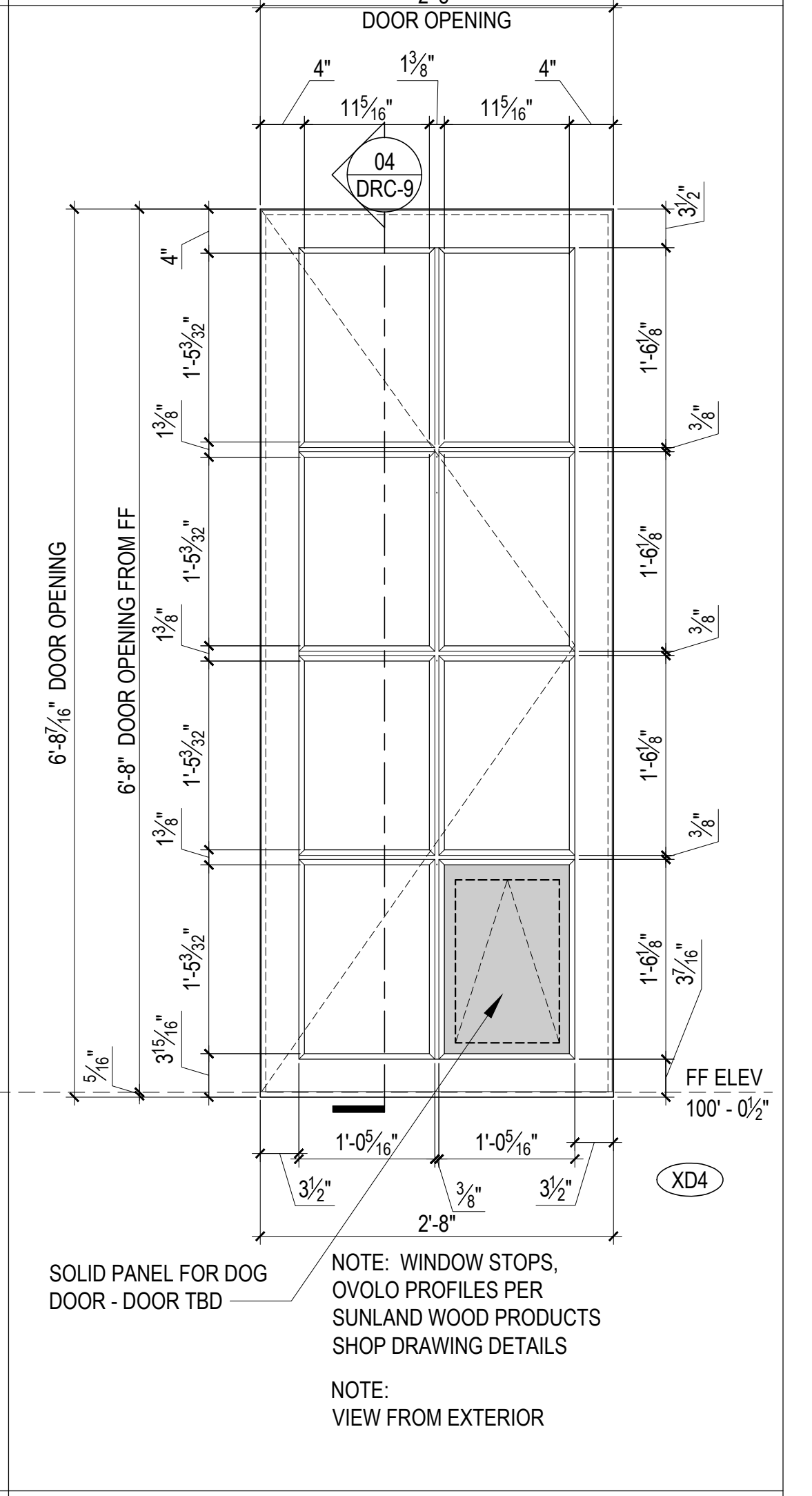
03 FRONT DOOR ASSY - SECTION THRU DOOR
1"=1'-0"



07 FRONT DOOR - DETAILED DOOR ELEVATION
1"=1'-0"



04 LAUNDRY DOOR XD4 - VERT SECTION
1"=1'-0"



08 LAUNDRY RM DOOR XD4 - DETL ELEV
1"=1'-0"

DRC-9 FRONT DOOR - DOOR ASSEMBLY DETAILS

2016 10-19-22

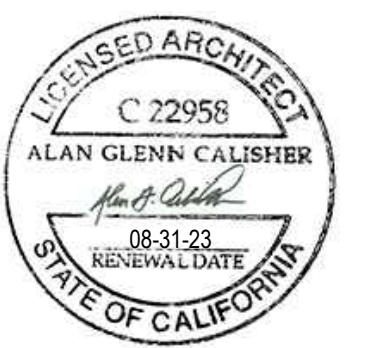
WINTHROP

840 WINTHROP RD SAN MARINO

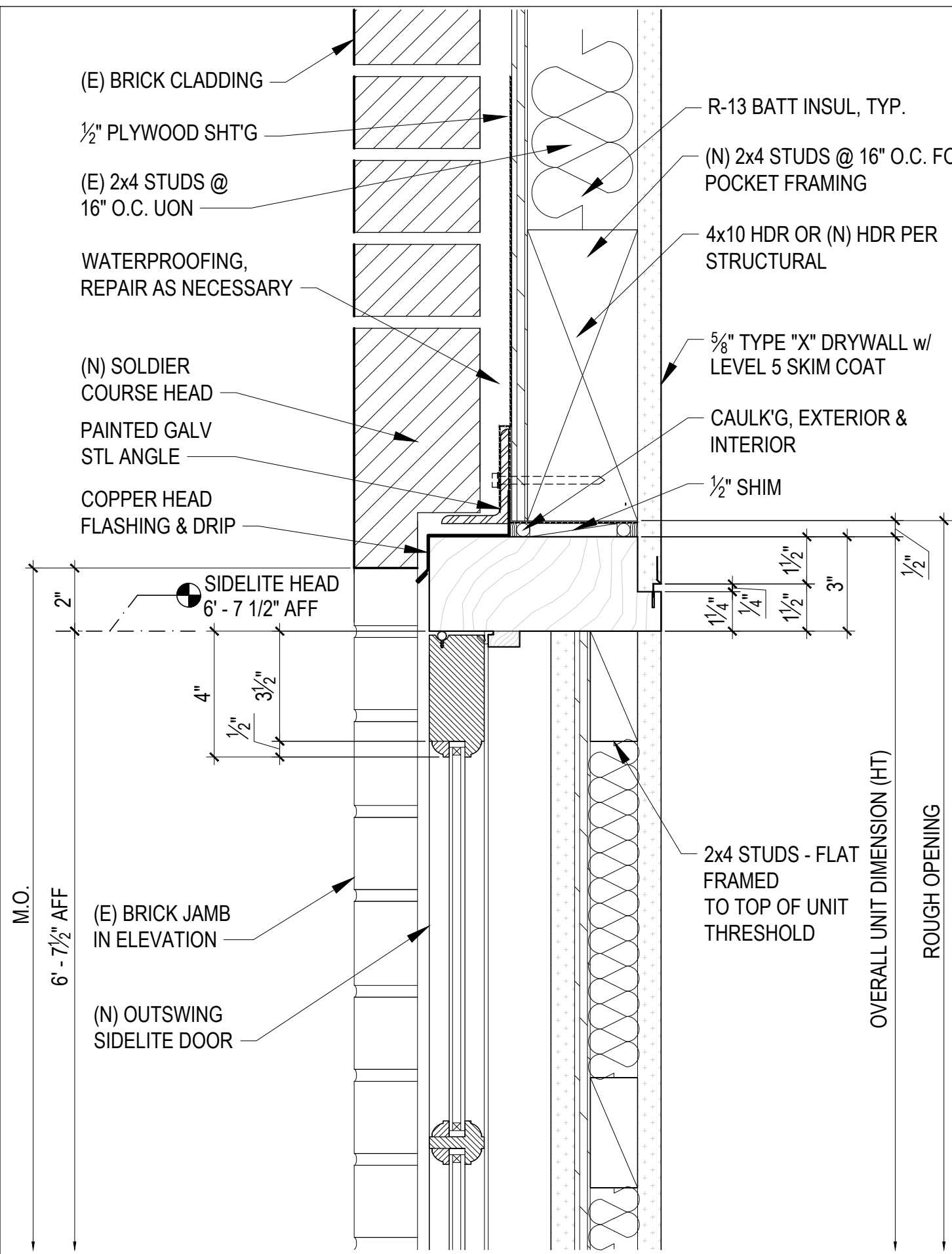
SHEET NUMBER: [24 x 36]

DRC-9
DOOR ASSY DETAILS

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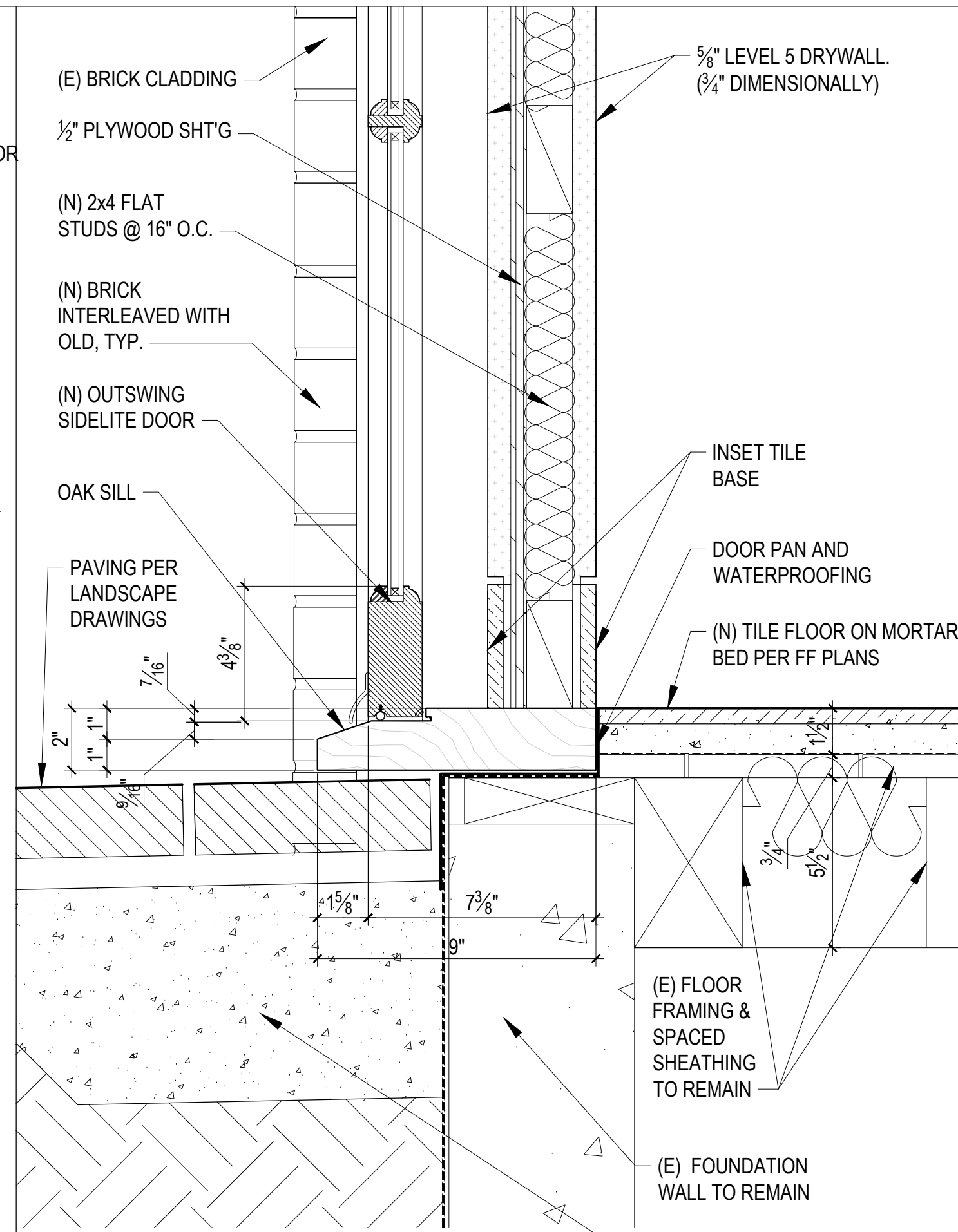


DRAWING ISSUE



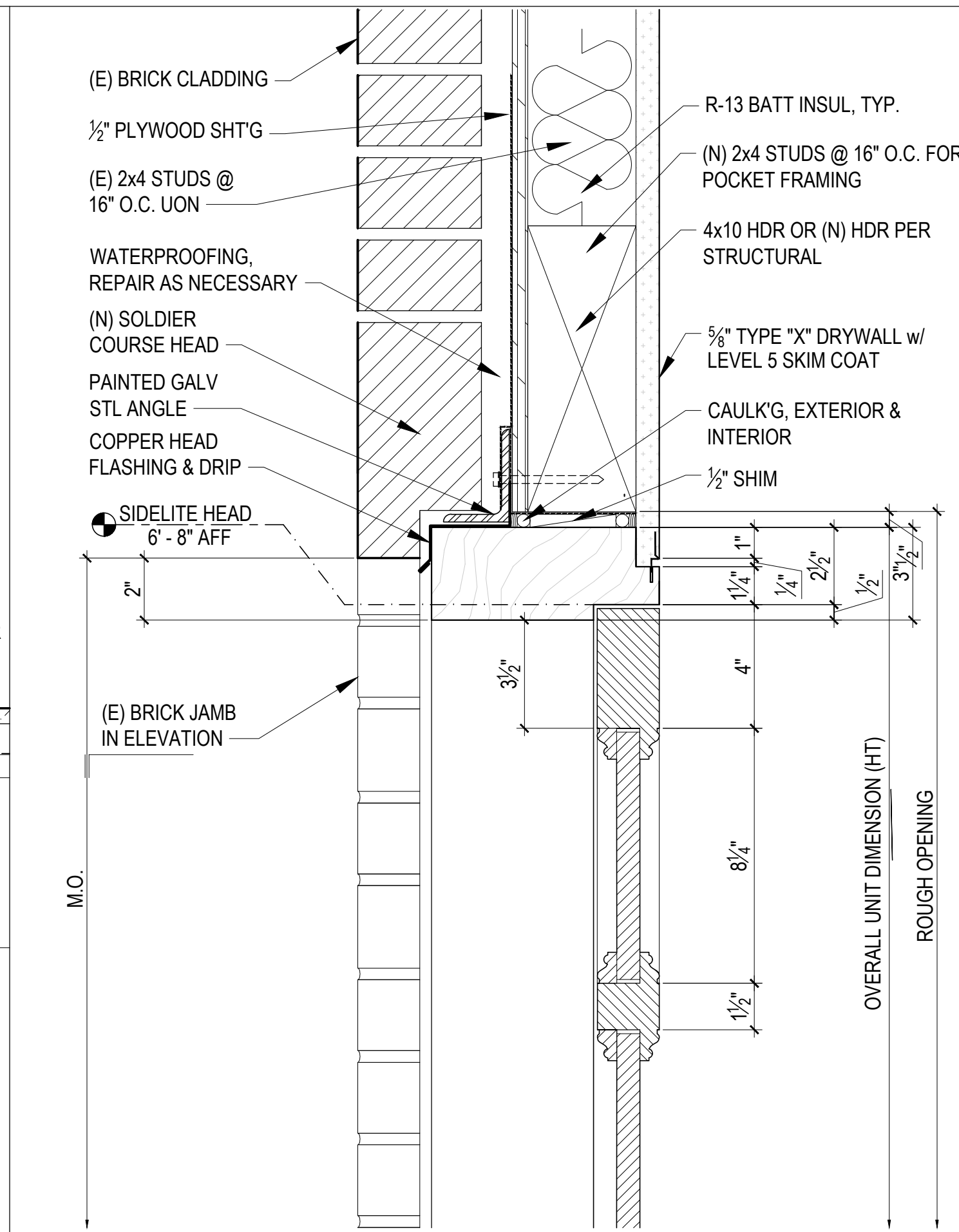
SEE DTLS 03 & 04 / DRC-5 FOR DOOR FRAME DETAILS

02 FRONT DOOR ASSY - SIDELITE HEAD DETAIL
3'-1'-0"



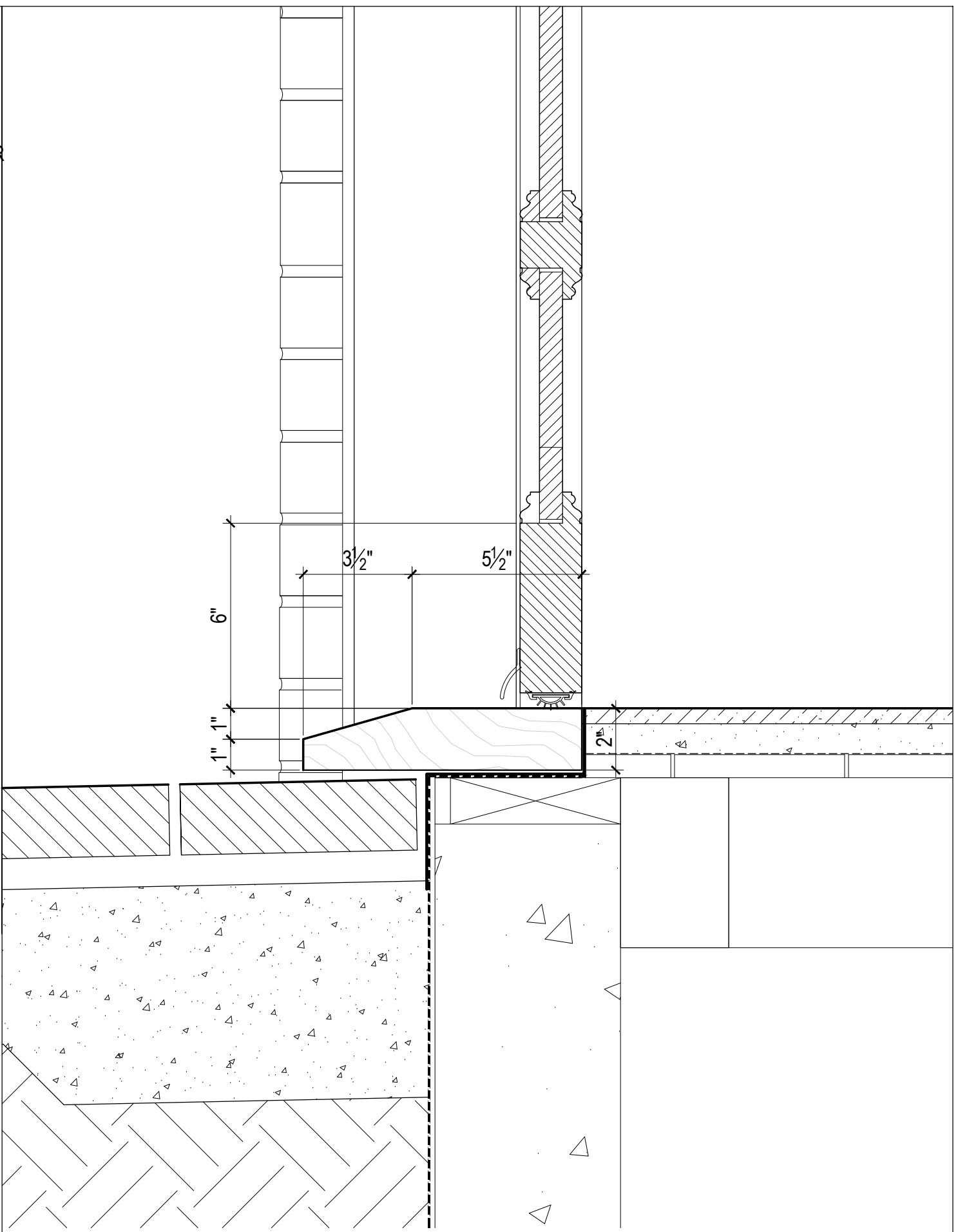
SEE DTLS 03 & 04 / DRC-5 FOR DOOR FRAME DETAILS

03 FRONT DOOR ASSY - SIDELITE HEAD DETAIL
3'-1'-0"



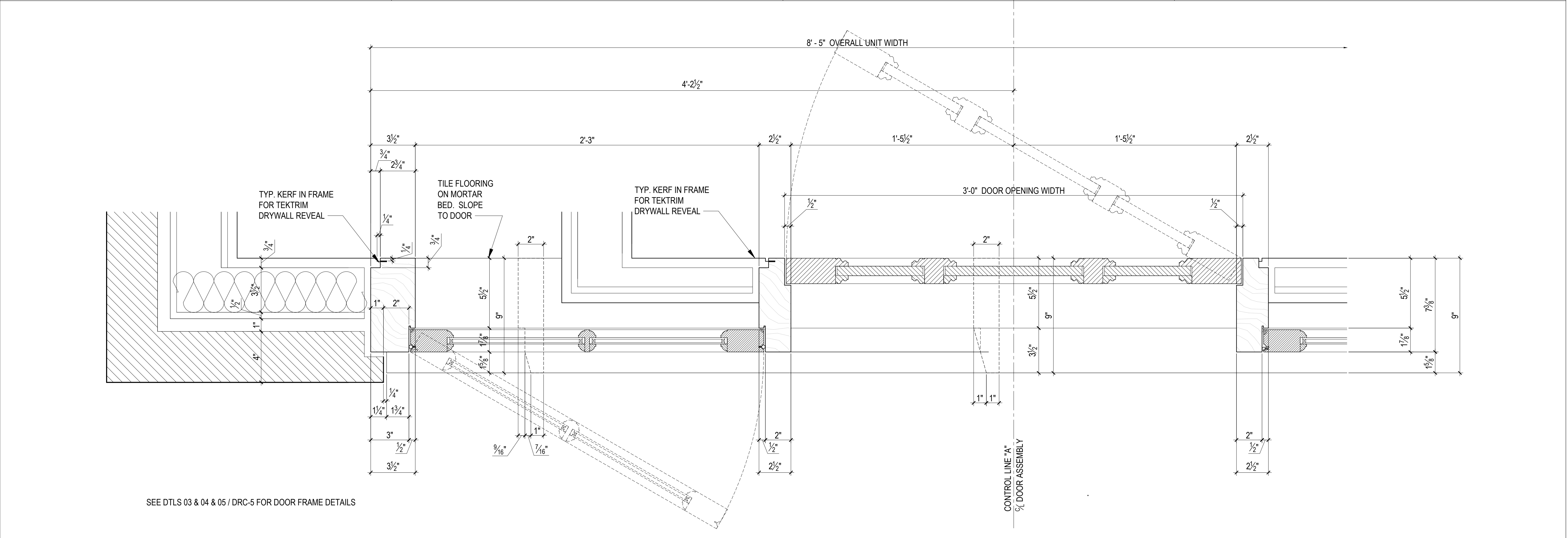
SEE DTLS 03 & 04 / DRC-5 FOR DOOR FRAME DETAILS

04 FRONT DOOR ASSY - DOOR HEAD DETAIL
3'-1'-0"



SEE DTLS 03 & 04 / DRC-5 FOR DOOR FRAME DETAILS

05 FRONT DOOR ASSY - DOOR THRESHOLD DETAIL
3'-1'-0"



SEE DTLS 03 & 04 / DRC-5 FOR DOOR FRAME DETAILS

01 FRONT DOOR ASSEMBLY - ENLARGED JAMB DETAILS
3'-1'-0"

DRC-10
FRONT DOOR - HEAD, JAMB & THRESHOLD DETAILS

2016 10-19-22

WINTHROP

840 WINTHROP RD
SAN MARINO

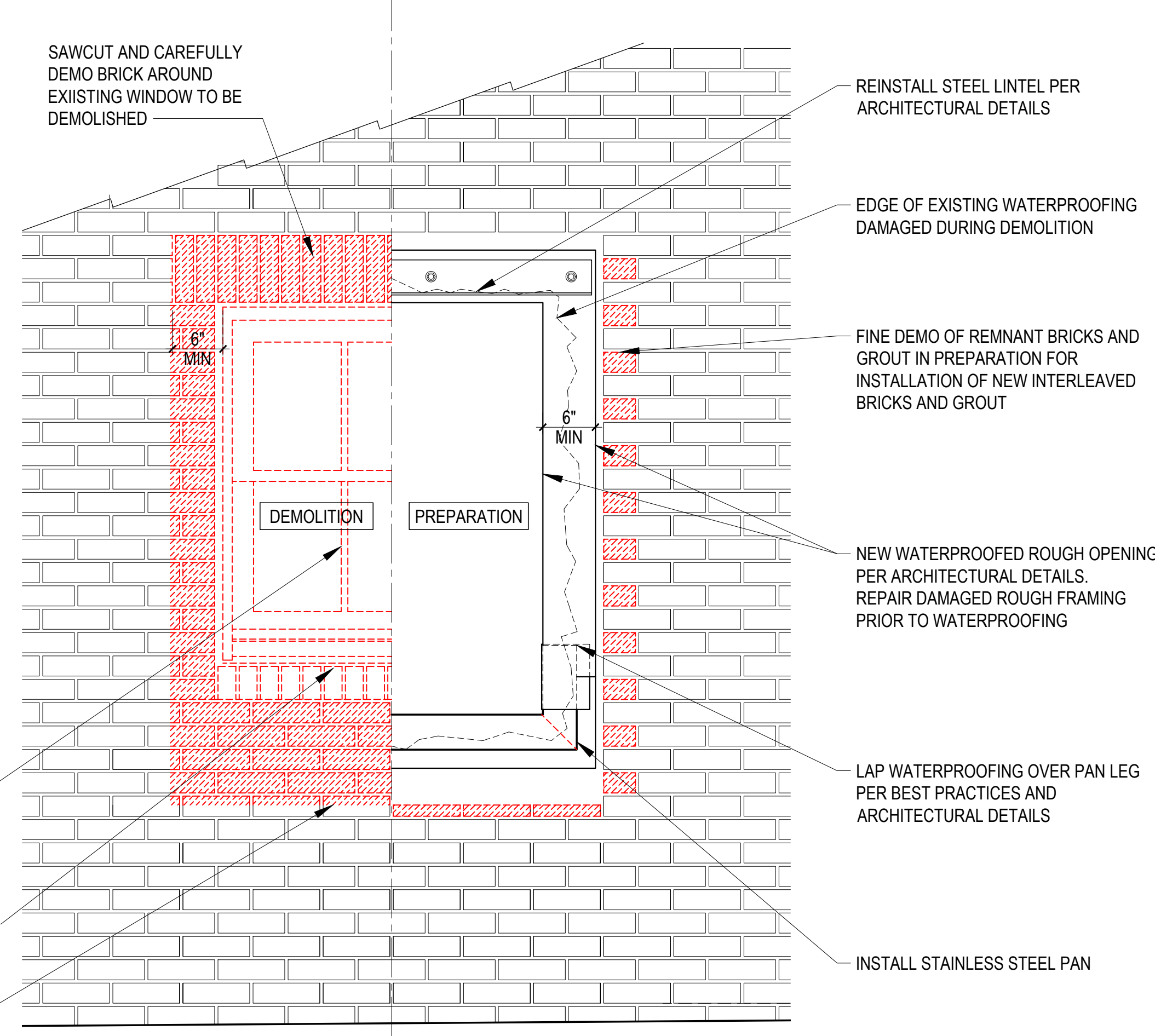
SHEET NUMBER: [24 x 36]

DRC-10

DOOR DTLS

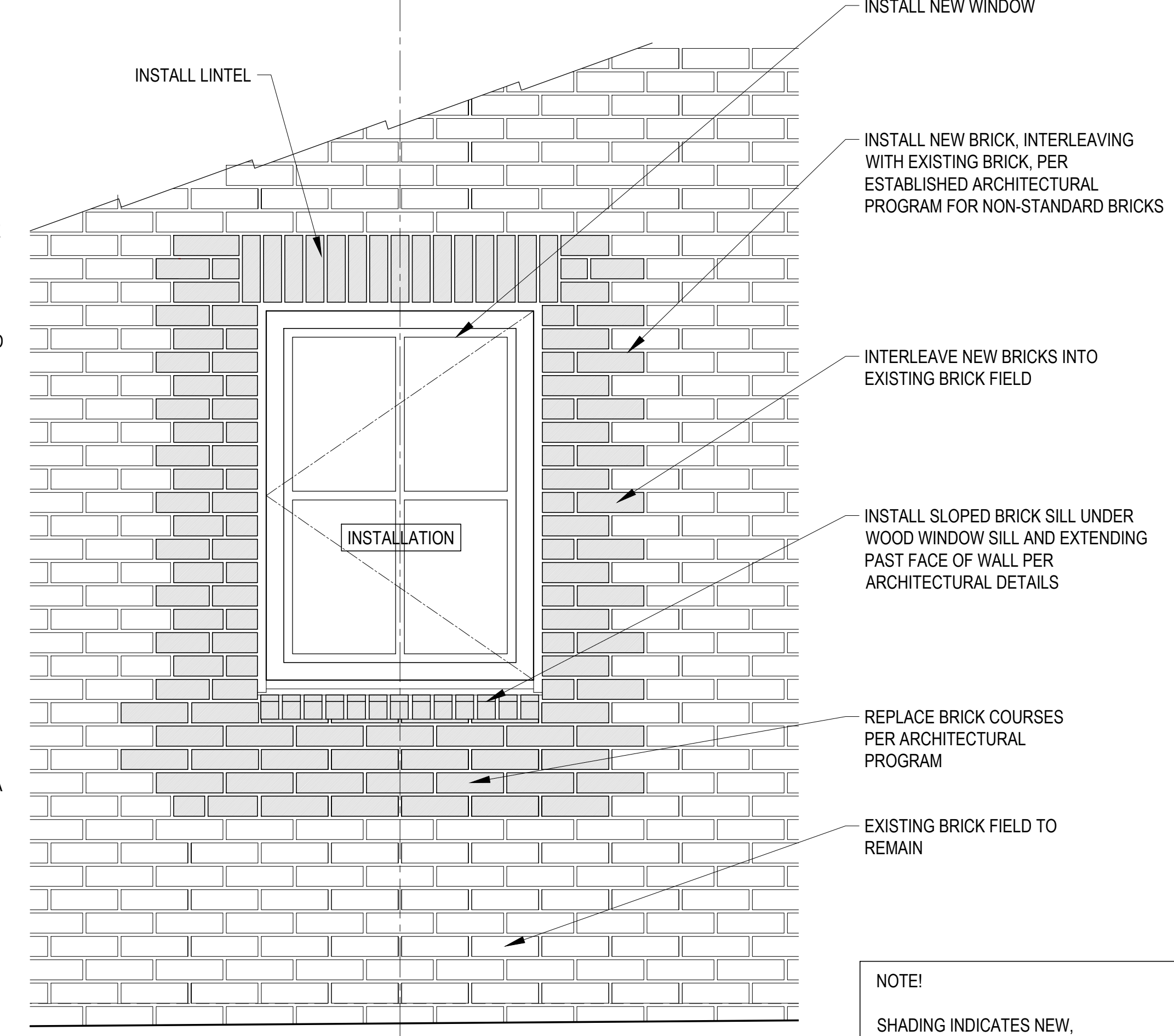
**DIAGRAM 1
DEMO WINDOW & BRICK
SURROUND
PREPARE OPENING**

- STEPS:
1. MARK BRICK TO BE CUT TO ACCOMMODATE NEW WINDOW SIZE AT LOCATION OF EXISTING WINDOW TO BE REPLACED. EXTEND MIN. 6" PAST NEW WINDOW MASONRY OPENING.
 2. SAWCUT MARKED OPENING.
 3. REMOVE CUT BRICK. FINE DEMO OF REMNANT BRICKS TO BE REPLACED WITH WHOLE BRICKS
 4. WATERPROOF OPENING WITH FLUID-APPLIED WATERPROOF FLASHING. PROVIDE STAINLESS STEEL PAN AND COUNTERFLASH. ENSURE CUT ENDS OF EXISTING WATERPROOFING ARE ENCAPSULATED.



**DIAGRAM 2
INSTALL NEW WINDOW
REPAIR BRICK FIELD**

- STEPS & BRICK INSTALLATION PROGRAM:
1. CONTRACTED BRICK MASON SHALL SALVAGE EXISTING BRICK WHERE POSSIBLE AND SUPPLEMENT WITH PROCURED BRICKS THAT MATCH SIZE AND COLOR OF EXISTING.
 2. INSTALL NEW WINDOW INTO WATERPROOFED ROUGH OPENING PER ARCHITECTURAL DETAILS.
 3. INSTALL NEW BRICK COURSING FROM BOTTOM TO TOP, INTERLEAVING WITH BRICK AS SHOWN.
 4. WHERE INFILL BRICKS ARE LESS THAN A TYPICAL BRICK MODULE:
 - a. DIVIDE SPACE INTO 3RDS.
 - b. ONE CUT BRICK SHALL BE 1/3 OF THE SPACE
 - c. THE OTHER BRICK SHALL BE 2/3 OF THE REMAINING SPACE.
 5. ALTERNATE THESE COURSES TO THE LINTEL ELEVATION.
 6. INSTALL SOLDIER COURSE LINTEL (WHERE OCCURS - SOME OPENINGS DO NOT HAVE A SOLDIER COURSE LINTEL BUT RATHER A RUNNING BOND LINTEL.
 7. INSTALL SLOPED BRICK SILL PER DETAIL.
 8. GROUT BRICKS TO MATCH EXISTING GROUT WIDTH, COLOR AND TEXTURE.



840 WINTHROP RD - BRICK REPLACEMENT PROGRAM AT NEW WINDOWS AND DOORS
SCALE: 1" = 1'-0"

ALAN GLENN CALISHER AIA
2632 REYNIER AVE
LOS ANGELES, CA 90034
T: 310-968-8272

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DRAWING ISSUE



840 WINTHROP RD - PROPOSED FRONT FACADE IMAGES

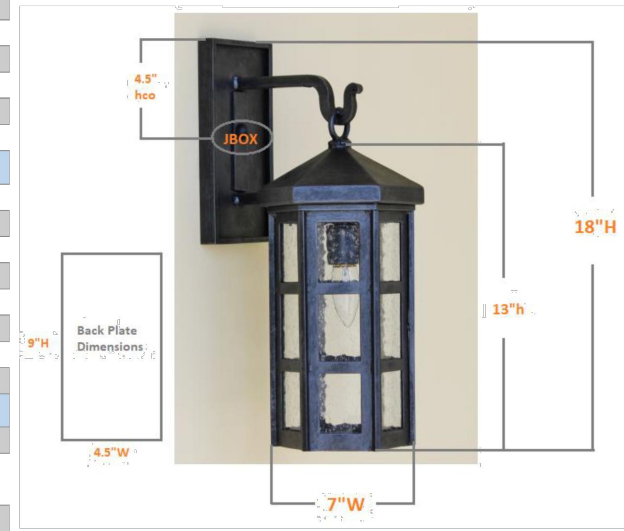
**FRONT ENTRY LANTERNS
LANTERNS OF TUSCANY
COLOR: ANTIQUE BRONZE
GLASS: LOW GLARE SEEDED GLASS**



PRODUCT SPECIFICATION SHEET

SKU	6980-1
Category	Wall Light Outdoor
Finish Options	Antique Bronze, Antique Copper, Antique White, Antique Bronze w/Gold highlights, Antique Gold, Champagne, Dark Brown, Dark Silver, Matte Black, Old Iron, Rust, Verde Green, Rustic Black, Clear Seeded, Low Glare Seeded Glass, Water Glass, White Frosted, Amber Frosted, Clear Glass, Natural Amber Mica, Natural Silver Mica, Natural Gold Mica
Glass Option	

MEASUREMENT	
Total Height	18 Inches
Total Width	7 Inches
Cage Height	13 Inches
Cage Width	7 Inches
Extension	9 Inches
Back Plate Height	4.5 Inches
Back Plate Width	4.5 Inches
HCO	4.5 Inches
Weight	11 LBS
LAMPING	
Total Bulbs	1
Bulb Type	Medium Base E26 - LED
Max Bulb Wattage	15W/100W equivalent
Total Max Wattage	15W/100W equivalent
Recommended Bulb	15W Vintage LED 3000K
Bulbs	Not included
Dimmable	Yes
LED	Yes
INSTALLATION SPECS	
Installation	Standard J-Box
Material	Wrought Iron Glass
Finish process	Powder Coated Hot-Dip Galvanization (optional)
Safety Rating	Exterior - Wet Location
CA Title 24 - JAB	Available
Dark Sky	Available
ADA	No
CSA Listed	Exterior Wet to UL Standard 1598



Rev. 02/2021
Note: Features are manufactured by hand and may have slight variations in measurements and design. Features that are hot dip galvanized have more textured surface due to chemical process.

Lights of Tuscany
7949 Stromesa Ct, Suite 101 | San Diego, CA 92126
Ph: (619) 276-5267

ENTRY LANTERNS

**FRONT DOOR ENTRY HARDWARE BY
BALDWIN HARDWARE
MODEL: SANTA CRUZ EGRESS HANDLESET WITH SQUARE LEVER
#EE.SANXSQU.CQE.112
COLOR: VENETIAN BRONZE
SIDELIGHT HARDWARE : CONCEALED TOUCH LATCHES**

**SANTA CRUZ EGRESS
HANDLESET, WITH
SQUARE LEVER
MODEL #: EE.SANXSQU.CQE.112**



AVAILABLE FINISHES:



FRONT DOOR HARDWARE

**EXTERIOR PAINT BY
SHERWIN WILLIAMS
COLOR: SW 6991 BLACK MAGIC
FINISH: EXTERIOR SATIN**



SW 6991
Black Magic
Interior / Exterior
Location Number: 251-C3

DOORS, WINDOWS & WOODWORK PAINT COLOR

DRC-11
IMAGES, DIAGRAMS & SPECIFICATIONS

2016 10-19-22

WINTHROP

840 WINTHROP RD
SAN MARINO

SHEET NUMBER: [24 x 36]

DRC-11

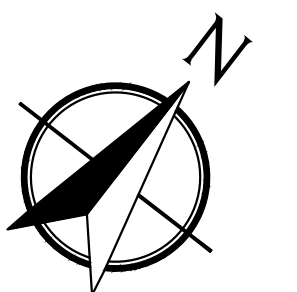
IMAGES DIAGRAMS SPECS



HARDSCAPE PLAN

DABBAH RESIDENCE

840 Winthrop Rd.
San Marino, CA 91108



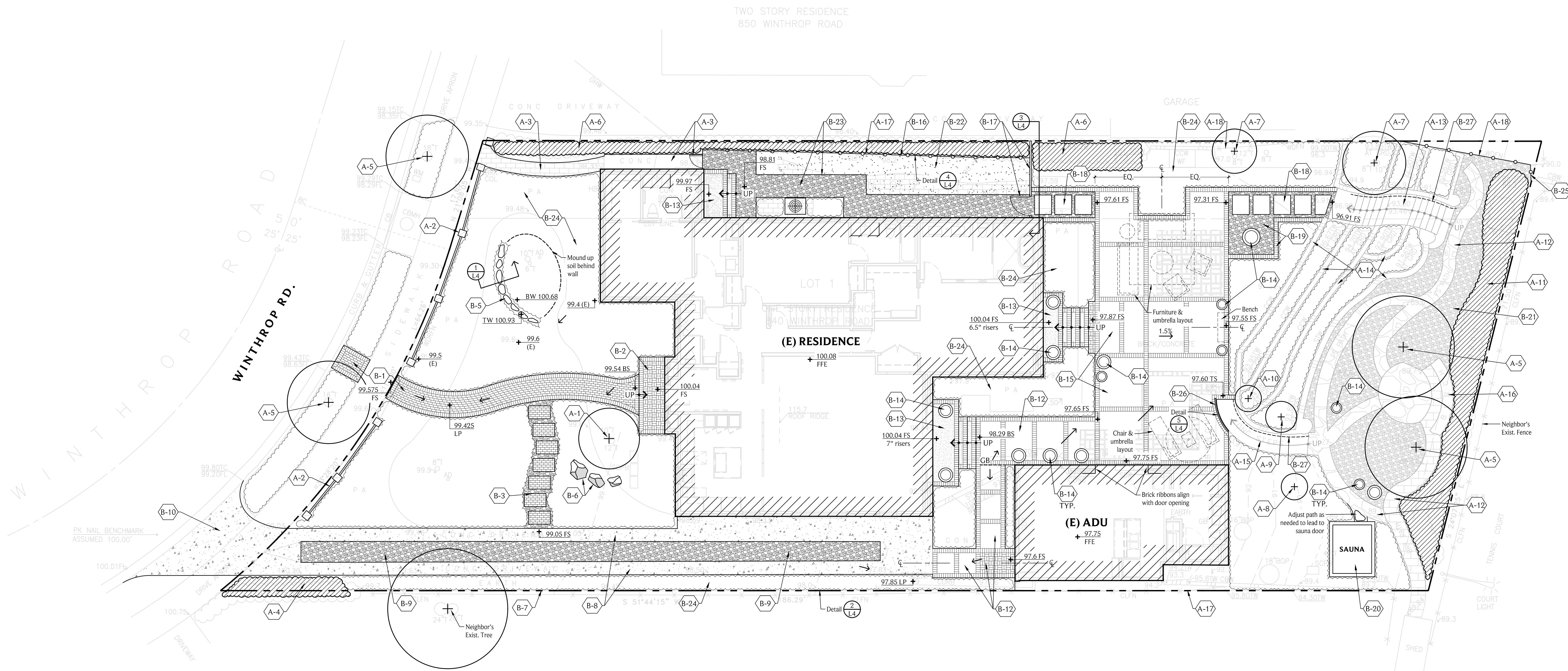
DESIGNED BY: A. TERRY
DRAFTED BY: P. HOESTERY
DATE: 9.29.22

SCALE: 1/8" = 1'-0"
0 4'-0" 8'-0" 16'-0"

REVISIONS

SHEET

DRC-12



HARDSCAPE NOTES

A. Existing Features to be Preserved and Protected

- A-1 Olive Tree
- A-2 Split rail fence with low brick pillars
- A-3 North brick walkway to side yard with gate
- A-4 Ficus hedge
- A-5 Carrotwood tree
- A-6 Eugenia hedge
- A-7 Oak tree
- A-8 Sago Palm
- A-9 Pomegranate tree
- A-10 Bougainvillea
- A-11 Bamboo
- A-12 Stone pathways on lower level
- A-13 North stairs to lower level
- A-14 Retaining walls: Note—cut down tall arched portion, repair stucco to match existing, fill low arches, and repaint (verify with owner).
- A-15 South stairs to lower level
- A-16 Concrete curved seat and patio
- A-17 Chain link fence at property line (multiple locations)
- A-18 Wood fence

B. New Features

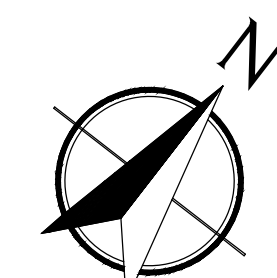
- B-1 FRONT WALKWAY: 4'-0" wide brick walkway from sidewalk to front entry landing. Install brick on reinforced concrete base in merged running bond following the curves of the walkway, with a border around walkway, set side by side. Continue brick through parkway to street as shown on plan. Base preparation to be determined by contractor based on soil conditions. Brick to be selected by Owners.
- B-2 BRICK LANDING: 4'-0" deep front entry landing, aligning with entry bumpout. Landing to be brick set in basket-weave pattern with 4x8 brick border set side by side on three sides. Install brick on reinforced concrete base, with mastic between house and landing. Base preparation to be determined by contractor based on soil conditions. Step riser to be 6" high with 1" cantilever. Riser to be running bond brick.
- B-3 BRICK STEPPERS: Brick stepping pad path from driveway to front walkway. Pads to be approximately 24"x36" with 6" gravel joints. Pads to be laid out evenly so dimensions may vary based on field conditions. Pads to be square to driveway and staggered approx. 6" each offset. Gravel to be 3/8" decorative gravel as selected by Owners.
- B-4 Not Used.
- B-5 LOW BOULDER WALL: 16" high curved boulder wall with soil mounded behind for elevated Olive planting bed, battered back approx. 3"/12". Backfill soil 6" below top of wall and compact so Olive rootball does not settle. Soil to taper naturally into surrounding grade. Boulders to be selected by Owners. Suggest small granite boulders (large cobbles), typical of the area. Set mortar set boulder wall detail 1, sheet L2.
- B-6 FREE STANDING BOULDERS: Boulders to be buried 1/3 depth for stability and natural appearance. Boulders to be selected by Owners—suggest granite boulders typical of the area.
- B-7 WOOD PROPERTY LINE FENCE: Fence to be 6'-0" high, Premium Select Redwood, left natural to weather to silver gray. See Detail 2 on sheet L2. All footings per City standard or contractor.
- B-8 CONCRETE DRIVEWAY STRIPS: Concrete to be reinforced, colored, with Topcast #3. Suggest David color 'Pebble'—to be verified with contractor before installation. Sub-base preparation by contractor per soil conditions.
- B-9 GRAVEL IN DRIVEWAY MEDIAN: Install 6" thick layer of angular gravel, 3/8" on compacted subgrade. Gravel to be selected by Owners.
- B-10 DRIVEWAY APRON: Concrete, installed per city standard. Apply Topcast #3 to colored concrete to match driveway strips, if permitted by City.
- B-11 Not Used.
- B-12 CONCRETE & BRICK WALKWAYS: Reinforced colored concrete with brick bands and borders per plan. Refer to centerlines and alignments as noted on plan for layout. Sub-base preparation per contractor based on soil conditions. Brick borders to be laid side by side, with a basket-weave landing outside ADU door. Brick to match all other on project, as selected by Owners. Concrete to be colored, suggest 'Pebble' to match all other concrete on project, with Topcast #3 finish.
- B-13 LANDINGS AND STAIRS (3): Install brick borders around landing and steps on existing new concrete base, filling interior with reinforced colored concrete, Topcast finish #3. Brick to be laid side by side. Brick and concrete to match all brick and concrete on project. Refer to architectural details on sheets A-9.0 and A-9.1. Maximum riser height to be 7". Where required by the city, install handrail(s) at steps, see Detail 5/L2.
- B-14 POTS: Pots to be purchased by Owners and delivered to jobsite. Contractor to move from curbside delivery to locations as shown on plan, waterproof if needed, and connect irrigation and drainage to post (if located on hardscape). Alternate is to put a flush drain in hardscape below for free draining. Fill with non-staining potting soil and compact so plants do not settle. Pot irrigation to be on a separate valve. Ensure pots are set solidly in gravel so they do not tilt. Possible (wholesale only) source: Asian Ceramics, Duarte.
- B-15 CONCRETE & BRICK PATIO: Reinforced colored concrete with brick bands and borders per plan. Refer to centerlines and alignments as noted on plan for layout. Sub-base preparation per contractor based on soil conditions. Brick to be laid side by side, brick as selected by Owners.
- B-16 WOOD FENCE: Install a 42" high wood fence in front of existing chain link fence in dog run area to hide exposed trunks of screening shrubs. Fence to be Tropical Hardwood left to weather to silver gray. See Detail 4, Sheet L2.
- B-17 FENCE & GATE: 6'-0" high fence and gate on north side yard (dog run) to open away from back yard. Fence and gate to be kiln dried Tropical Hardwood (Ipe, Cumaru, or Tigerwood), left natural to weather to silver gray. Contractor to follow all wood supplier's specifications on wood seasoning. Wood available at Advantage Lumber, hand selected. See Detail 3, Sheet L2.
- B-18 CONCRETE STEPPERS: Reinforced colored concrete steppers approx. 30" x 36" with 6" wide gravel joints. Steppers to be even dimensions, adjust per site conditions. Apply Topcast #3 finish. Suggest 'Pebble' color, verify with Owners prior to installation.
- B-19 GRAVEL WITH BRICK BORDER: Set brick border in concrete base side by side, with decorative gravel 1/2" below top of brick. Decorative gravel to be 4" thick layer of 3/8" gravel set on compacted subgrade. Gravel to be selected by Owners.
- B-20 SAUNA: Per Owners.
- B-21 GRAVEL: Install gravel in areas on lower level. Install 4" compacted aggregate base, filter fabric, and a 2" thick layer of 3/8" decorative gravel, see Detail 6, sheet L2. Gravel to be contained by existing paths. Where gravel abuts existing bamboo plantings and there is no edging, compact thoroughly to minimize settling.
- B-22 K9 TURF: Install per manufacturer's specifications. Contact: Forever Lawn, Nick Langdon, Tel. 951-375-9025, Email: nick@pc.foreverlawn.com
- B-23 GRAVEL PATH: Path in dog run: Install 4" compacted aggregate base, filter fabric, and a 2" thick layer of 3/8" decorative gravel, see Detail 6, Sheet L2. Gravel to be contained with a redwood header.
- B-24 PLANTING AREA: Soil to be min. 2" below weep screed, sloping min. 2% away from structures, hardscape, and property lines.
- B-25 INFILL FENCING: Connect area on lower level that is open to neighbors with chain link fence for complete perimeter fencing, no gaps. Note: Contractor to walk property with Owners to ensure there are no remaining gaps within existing fencing that is to remain.
- B-26 Railing between patio off ADU and steps to lower garden level, see Detail 5, sheet L2. Railing to be Tropical Hardwood left to weather naturally to silver gray.
- B-27 Handrail along steps down to lower yard. Mount curved wrought iron handrail on existing wall along sides of steps. Handrail to be mounted between 34-38" high above stairs, projecting out min. 1.5" from wall, and diameter between 1.25"-2". See photo sheet L4 for general guide.



PLANTING PLAN

DABBAH RESIDENCE

840 Winthrop Rd.
San Marino, CA 91108



DESIGNED BY: A. TERRY

DRAFTED BY: P. HOESTERY

DATE: 9.29.22

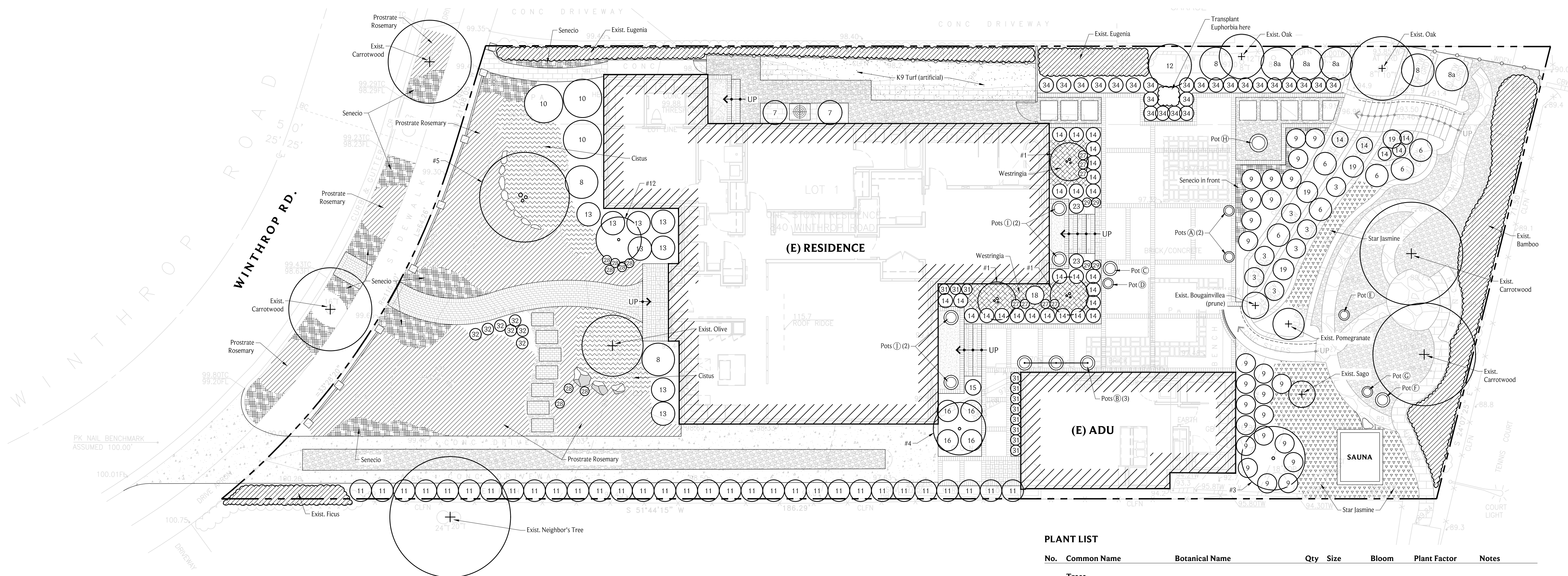
SCALE: 1/8" = 1'-0"

0 4'-0" 8'-0" 16'-0"

REVISIONS

SHEET

DRC-13



PLANT LIST

No.	Common Name	Botanical Name	Qty	Size	Bloom	Plant Factor	Notes
Trees							
1	Dwarf Strawberry Tree	Arbutus unedo 'Compacta'	3	36" box	white/red	Low	multi trunk
2	Oklahoma Redbud	Cercis 'Oklahoma'	1	24" box	pink	Medium	standard
3	Semi dwarf Blood Orange	Citrus 'Semi-dwarf Moro Blood Orange'	1	24" box	white	Medium	standard
4	Semi-dwarf Meyer Lemon	Citrus Semi Dwarf Meyer Lemon	1	24" box	white	Medium	standard
5	Swan Hill Olive	Olea 'Swan Hill'	1	36" box	n/a	Low	multi trunk
Shrubs							
6	La Jolla Bougainvillea	Bougainvillea 'La Jolla'	6	5 gal.	red	Low	
7	Elegans Splendor Camellia	Camellia japonica 'Elegans Splendor'	4	5 gal.	pink	Medium	2 in Pots J
8	Concha California Lilac	Ceanothus 'Concha'	4	5 gal.	blue	Low	
8a	Troyon	Heteromeles arbutifolia	25	15 gal.	white	Low	
9	Wheeler's Dwarf Pittosporum	Pittosporum l. 'Wheeler's Dwarf'	25	5 gal.	white	Medium	
10	Wrinkle Blue Pittosporum	Pittosporum tenuifolium 'Wrinkle Blue'	3	24" box	n/a	Medium	
11	Fern Pine	Podocarpus gracilior column	31	24" box	n/a	Medium	Alt. 15 gal.
12	Carolina Cherry	Prunus caroliniana	1	24" box	white	Medium	
13	Coffeeferry	Rhamnus californica 'Mound San Bruno'	8	5 gal.	n/a	Low	
14	Ken Taylor Rosemary	Rosmarinus 'Ken Taylor'	25	5 gal.	blue	Low	
15	Fragrant Sage	Salvia clevelandii 'Winnifred Gilman'	1	5 gal.	lt blue	Low	
16	Sunshine Blue Blueberry	Vaccinium 'Sunshine Blue'	4	5 gal.	white	Medium	
Perennials, Vines & Succulents							
17	Cousin Itt Acacia	Acacia 'Cousin Itt'	1	5 gal.	n/a	Low	In Pot D
18	Blue Glow Agave	Agave 'Blue Glow'	2	5 gal.	n/a	Low	1 In Pot H
19	Foxtail Agave (transplant)	Agave attenuata (Transplant Exist)	4	Exist.	n/a	Low	
20	Octopus Agave	Agave octopus	1	5 gal.	n/a	Low	In Pot E
21	Tree Aloe	Aloe arborescens	1	5 gal.	org/red	Low	In Pot C
22	Ghost Aloe	Aloe striata	1	5 gal.	red	Low	In Pot G
23	Pig's Ears	Cotyledon orbiculata 'Cinderella'	2	5 gal.	orange	Low	
24	Campfire Crassula	Crassula capitella 'Campfire'	5	4" pots	n/a	Low	In Pots G & H
25	Afterglow Echeveria	Echeveria 'Afterglow'	2	1 gal.	org/red	Low	In Pot G
26	Candelabra Plant (transplant)	Euphorbia ingens (Transplant Exist)	2	Transplant	n/a	Low	Transplant
27	Victoria Falls Iris	Iris 'Victoria Falls'	7	1 gal.	blue	Low	Greenwood
28	Frequent Flier Iris	Iris 'Frequent Flier'	8	1 gal.	white	Low	Greenwood
29	Flapjacks	Kalanchoe 'Flapjacks'	4	Exist	red	Medium	
30	Velvet Elephant Ear	Kalanchoe beharensis	1	5 gal.	n/a	Low	In Pot F
31	With Love Lavender	Lavandula stoechas 'Bentley'	11	1 gal.	pink	Low	
32	Platinum Beauty Lomandra	Lomandra 'Platinum Beauty'	9	1 gal.	yellow	Unknown	2 in Pots J
33	Dwarf Myrtle	Myrtus communis 'Compacta'	3	5 gal.	white	Medium	In Pots B
34	Little Ollie Dwarf Olive	Olea 'Montres'	26	1 gal.	n/a	Low	2 in Pots A
35	Fairy Fan Flower	Scaevola 'Whirlwind White'	3	1 gal.	white	Low	In Pots B
36	String of Pearls	Senecio rowleyanus	8	4" pots	n/a	Low	In Pots A & J
Groundcovers							
	Sageleaf Rockrose	Cistus salvifolium 'Prostratus'	SF	1 gal.	white	Low	4'-6" o.c.
	Prostrate Rosemary	Rosmarinus prostratus	SF	flats	blue	Low	18" o.c.
	Blue Chalksticks	Senecio serpens	SF	flats	white	Low	8" o.c.
	Star Jasmine	Trachelospermum jasminoides	SF	1 gal.	white	Medium	18" o.c.
	Low Coast Rosemary	Westringia fruticosa 'Mundl'	SF	1 gal.	white	Low	3'-0" o.c.

Pots (Plant counts are included in list above)
 Pot A (two pots): Little Ollie trimmed into rounded shape, 2-String of Pearls ea. pot
 Pot B (three pots): Myrtle trimmed into rounded shape, 1-Scaevola each pot
 Pot C: Aloe arborescens
 Pot D: Acacia 'Cousin Itt'
 Pot E: Octopus Agave
 Pot F: Kalanchoe beharensis
 Pot G: 1-Aloe striata, 2-Echeveria, 2-Crassula 'Campfire'
 Pot H: 1-Agave 'Blue Glow', 3-Crassula 'Campfire'
 Pots I (two pots): Camellia j. 'Elegant Splendor'
 Pots J (two pots): Lomandra 'Platinum Beauty' & 2-String of Pearls each

TREE PLANTING NOTES:

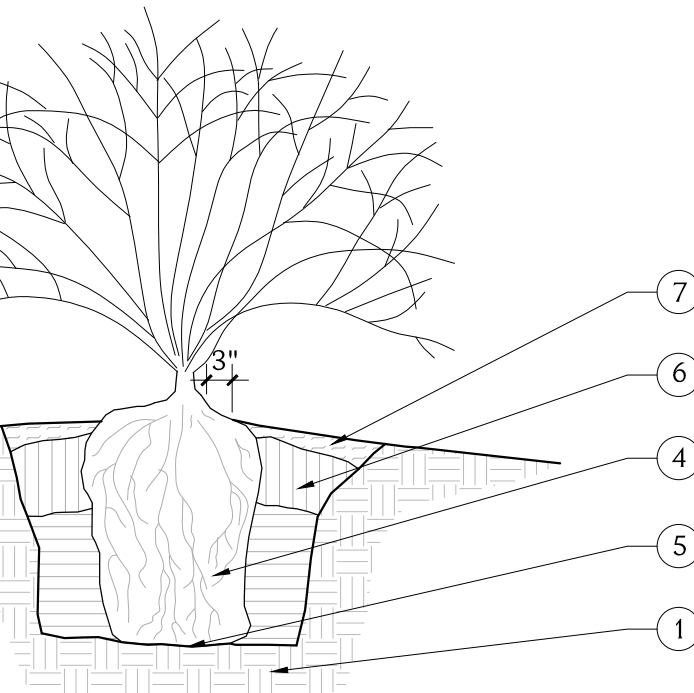
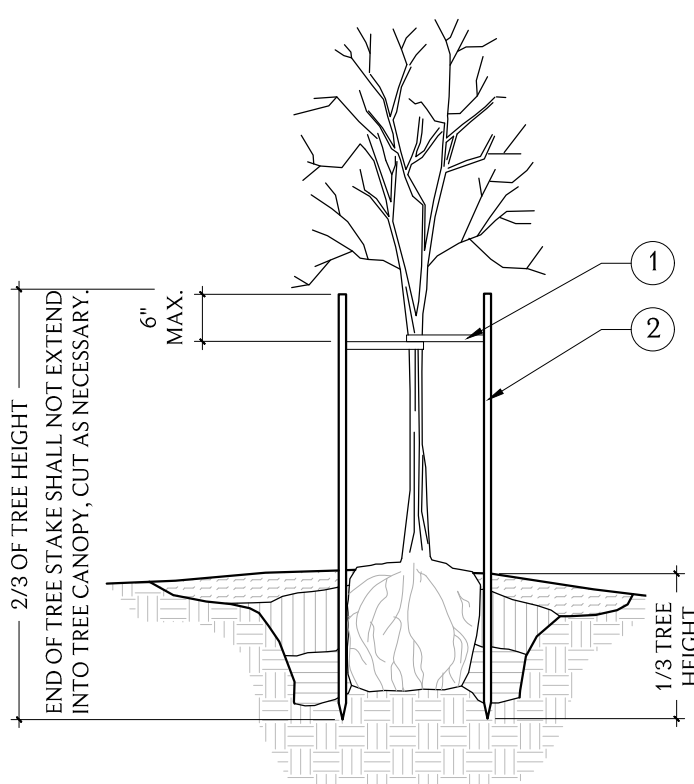
- Excavate planting hole at least twice as wide as root ball and 1/2" less in depth that the soil in the container. Ensure that soil at bottom of hole is solid and slightly mounded. Scarify edges of hole.
- Fill hole with water and ensure that it drains within one hour. If hole does not drain, auger holes to break through hardpan. Fill hole 1-2 more times if soil is dry. If hole does not drain, notify landscape contractor.
- Drench plant root ball by dunking into water (or mycorrhizal drench if liquid product is used) prior to planting in hole.
- Add mycorrhizal fungi directly to plant roots per product label. Set plant root ball in hole so plant collar is 1" higher than finished grade. Using 10% compost, 90% native soil, backfill soil into hole up to 2/3 height of rootball, moistening and tamping all around.
- Fill remaining portion surrounding the top of the root ball with more backfill mix. Ensure that plant collar is still 1" higher than grade. Provide positive drainage away from rootball.
- Apply 3-4" shredded bark mulch (organic weed and disease free) topdressing around entire rootball area, staying 3" away from collar of plant.
- After planting, water thoroughly, allowing mulch to settle and water to soak in. Repeat thorough watering.

PLANTING NOTES:

- Soil preparation for all areas:
 - Soil preparation: Contractor responsible for removing all grass remnants, clods, stones, roots, and other deleterious material.
 - Thoroughly wet entire site with soaker hoses for several days before area is rototilled, if needed.
 - Contractor to use a penetrometer to determine if compaction exists below the surface. If so, auger where needed to break up hardpan and compaction.
 - Per 1,000 square feet of area thoroughly mix and rototill into top 8" - 12" of soil and then water down.
 - 3 - 5 cubic yards of nitrogen stabilized organic matter (compost) that is weed seed free.
- Following planting, mulch all plant areas with a 3"-4" max. layer of nitrogenized fine redwood mulch or equal. Ensure that mulch does not cover any newly planted ground covers and keep all mulch 4-6" away from crown of tree or shrub.
- Sizes of plants and trees are shown on plan at 2/3 mature size. Owner will need to ensure that all plants and trees receive regular maintenance, i.e. pruning, thinning, and dividing, fertilizing, and pest control to maintain the longevity, health, and aesthetic intent of the plantings. It is recommended that all trees receive applications of deep watering to discourage surface roots.
- Plant quantities must be verified by contractor.
- Plant all ground covers in a triangular pattern for most efficient coverage. Provide for ground covers beneath all trees and shrubs.
- Contractor to obtain chemical soil analysis to determine correct soil amendments for site and plants. It is important that all concrete or masonry waste that is left in soil be removed because it affects the soil pH. Contractor to apply mycorrhizal fungi drench at time of planting. For plants in less than 15 gal. container soak rootball in drench. For 15 gal. and larger, drench rootball.
- Stake tree with lodgepole pine stakes (2 per tree or shrub) with soft plastic tree ties. Allow for 5-6" of slack in ties for tree movement in wind.
- If certain plants on plant list are not available at the time of planting, contact landscape architect to determine if a suitable substitution could be made, or if Owners want to wait until plant is available. Direct questions of substitutions to landscape architect if no nursery can be found to supply plant material.
- Landscape architect reserves the right to adjust plant material on-site. If plants are purchased wholesale, contractor to supply a full material and labor warranty on all plants installed on project for a minimum of 90 days or longer as agreed upon by contractor and Owner.

SHRUB AND PERENNIAL PLANTING NOTES:

- Excavate planting hole at least twice as wide as root ball and 1/2" less in depth that the soil in the container. Ensure that soil at bottom of hole is solid and slightly mounded. Scarify edges of hole.
- Fill hole with water and ensure that it drains within one hour. If hole does not drain, auger holes to break through hardpan. Fill hole 1-2 more times if soil is dry. If hole does not drain, notify landscape architect.
- Drench plant root ball by dunking into water (or mycorrhizal drench) prior to planting in hole, for container sizes less than 15 gal.
- Add mycorrhizal fungi directly to plant roots per product label if liquid product is not used.
- Set plant root ball in hole firmly on compacted soil so plant collar is 1" higher than finished grade. Using 10% compost, 90% native soil, backfill soil into hole up to 2/3 height of rootball, moistening and tamping all around.
- Fill remaining portion surrounding the top of the root ball with more backfill mix, ensure that plant collar is still 1" higher than grade. Provide positive drainage away from rootball.
- Apply 3-4" shredded bark mulch (organic weed and disease free) topdressing around entire rootball area, staying 3" away from collar of plant.
- After planting, water thoroughly, allowing mulch to settle and water to soak in. Repeat thorough watering.



PLANT HOLE DIAMETERS
 1 GAL: 1'-6"
 5 GAL: 2'-0"



City of San Marino
 2200 Huntington Drive
 San Marino, CA 91108
 (626) 300-0711

**DESIGN REVIEW
 COMMITTEE
 APPLICATION**

DESIGN REVIEW NUMBER: OR 22-36

Project Address:

840 WINTHROP RD, SAN MARINO, CA 91108

Proposed Use:

Residential Commercial

Project Type:

One (1) Story Addition
 Two (2) Story Addition
 Other
 New Construction
 Exterior Remodel



General Description of Proposed Improvements:

FRONT FACADE REMODEL: REPLACE DOUBLE HUNG WINDOW IN SLEEPING ROOM WITH EGRESS CASEMENT WINDOW. REPLACE 36" WIDE FRENCH DOOR WITH DOUBLE HUNG WINDOW, CONVERT FRONT WINDOW INTO FRONT DOOR WITH SIDELITES IN EXISTING BRICK POP-OUT (EXISTING FRONT DOOR WAS IN THE REAR OF THE HOUSE)

APPLICANT (the applicant must be an authorized agent of the property owner):

Name: ALAN GLENN CALISHER, AIA

Owner Architect Builder/Developer Other
 (if "Other", please explain)

Address: 2632 REYNIER AVE, LOS ANGELES, CA 90034-2426

Phone: (310) 968-8272 E-mail: ALAN@CALISHERSTUDIO.COM

I declare, under penalty of perjury, that the foregoing is true and correct.

Executed on JULY 19 2022, at LOS ANGELES, California.

Signature of Applicant other than Property Owner

PROPERTY OWNER:

Name: Gary B. Dabbah

Address: 840 Winthrop Rd San Marino CA 91108

Phone: (626) 818-4629 E-mail: dabbah0801@gmail.com

Plans that are found to include discrepancies, errors, and/or omissions may result in delays or denial of the project. Please ensure that the plans reflect the true scope of the project and are accurate representation of the existing conditions.

I declare, under penalty of perjury, that the foregoing is true and correct.

Executed on July 19th 2022, at San Marino, California.

Signature of Property Owner (Signature of Owner is required for all applications)

1

ID		APN	5323-012-026	Site Address	840 WINTHROP RD
Site City	SAN MARINO	Site State	CA	Site Zip Code	91108
Owner 1 Name	TEMIANKA, DANIEL	Owner 1 Address	710 PINEHURST DR	Owner 1 City	PASADENA
Owner 1 State	CA	Owner 1 Zip Code	91106	Owner 2 Name	DABBAH, ZEINAB
Building Square Feet	2454				

2

ID		APN	5323-010-048	Site Address	836 WINTHROP RD
Site City	SAN MARINO	Site State	CA	Site Zip Code	91108
Owner 1 Name	SETO, JOHN E	Owner 1 Address	836 WINTHROP RD	Owner 1 City	SAN MARINO
Owner 1 State	CA	Owner 1 Zip Code	91108	Owner 2 Name	SETO, DIANA LEE
Building Square Feet	3737				

3

ID		APN	5323-010-047	Site Address	826 WINTHROP RD
Site City	SAN MARINO	Site State	CA	Site Zip Code	91108
Owner 1 Name	COSTO, OSCAR LUIS	Owner 1 Address	826 WINTHROP RD	Owner 1 City	SAN MARINO
Owner 1 State	CA	Owner 1 Zip Code	91108	Owner 2 Name	WU COSTO, VIVIAN JUNMEI
Building Square Feet	2985				

4

ID		APN	5323-012-027	Site Address	850 WINTHROP RD
Site City	SAN MARINO	Site State	CA	Site Zip Code	91108
Owner 1 Name	MILLER, PAUL R	Owner 1 Address	850 WINTHROP RD	Owner 1 City	SAN MARINO
Owner 1 State	CA	Owner 1 Zip Code	91108	Owner 2 Name	MILLER, SUSAN C
Building Square Feet	2855				

5

ID		APN	5323-012-028	Site Address	860 WINTHROP RD
Site City	SAN MARINO	Site State	CA	Site Zip Code	91108
Owner 1 Name	HARRIGIAN, MICHAEL E	Owner 1 Address	860 WINTHROP RD	Owner 1 City	SAN MARINO
Owner 1 State	CA	Owner 1 Zip Code	91108	Owner 2 Name	HARRIGIAN, KAREN R
Building Square Feet	2560				

6

ID		APN	5323-011-040	Site Address	834 PLYMOUTH RD
Site City	SAN MARINO	Site State	CA	Site Zip Code	91108
Owner 1 Name	DJOU YASUDA FAMILY TRUST	Owner 1 Address	834 PLYMOUTH RD	Owner 1 City	SAN MARINO
Owner 1 State	CA	Owner 1 Zip Code	91108	Owner 2 Name	YASUDA, BARBARA
Building Square Feet	2276				

7

ID		APN	5323-011-041	Site Address	825 WINTHROP RD
Site City	SAN MARINO	Site State	CA	Site Zip Code	91108
Owner 1 Name	LIU, YAPING	Owner 1 Address	301 W VALLEY BLVD STE 203	Owner 1 City	SAN GABRIEL
Owner 1 State	CA	Owner 1 Zip Code	91776	Owner 2 Name	
Building Square Feet	2149				



8

ID		APN	5323-011-054	Site Address	805 WINTHROP RD
Site City	SAN MARINO	Site State	CA	Site Zip Code	91108
Owner 1 Name	STURGEON, MARY ANN	Owner 1 Address	805 WINTHROP RD	Owner 1 City	SAN MARINO
Owner 1 State	CA	Owner 1 Zip Code	91108	Owner 2 Name	STURGEONBYPASS TRUST
Building Square Feet	2268				

9

ID		APN	5323-006-031	Site Address	2065 S OAK KNOLL AVE
Site City	SAN MARINO	Site State	CA	Site Zip Code	91108
Owner 1 Name	MING, YUE	Owner 1 Address	2065 S OAK KNOLL AVE	Owner 1 City	SAN MARINO
Owner 1 State	CA	Owner 1 Zip Code	91108	Owner 2 Name	LI, HANSHI
Building Square Feet	4196				

10

ID		APN	5323-006-030	Site Address	2101 S OAK KNOLL AVE
Site City	SAN MARINO	Site State	CA	Site Zip Code	91108
Owner 1 Name	LEE, STEPHEN Y	Owner 1 Address	2101 S OAK KNOLL AVE	Owner 1 City	SAN MARINO
Owner 1 State	CA	Owner 1 Zip Code	91108	Owner 2 Name	LEE, SHUFEN Y
Building Square Feet	4624				

11

ID		APN	5323-006-029	Site Address	1560 GRANADA AVE
Site City	SAN MARINO	Site State	CA	Site Zip Code	91108
Owner 1 Name	CHANDLER, JENNIFER S	Owner 1 Address	1560 GRANADA AVE	Owner 1 City	SAN MARINO
Owner 1 State	CA	Owner 1 Zip Code	91108	Owner 2 Name	CHANDLER FAMILY TRUST
Building Square Feet					



State of California --- The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code 3D, 3CD, 5D3

PRIMARY RECORD

Other Listings _____
Review Code _____ Reviewer _____ Date _____

*Resource Name or # (Assigned by recorder) 840 Winthrop Road

P1. Other Identifier: Element of Mission Street Residential Historic District

*P2. Location: Not for Publication Unrestricted

*a. County Los Angeles and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ 1/4 of _____ 1/4 of Sec _____ B.M.

c. Address 840 Winthrop Road City San Marino Zip 91108

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN 5323012026

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting and boundaries)

Evaluation: District contributor

Primary Architectural Style: Spanish Colonial Revival

Property Type: Residential—Single-family

Alterations: Other Alterations—Appears to be unaltered

*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other: _____

*P5a. Photograph or Drawing (Photograph required for buildings, structures, or objects)



P5b. Description of Photo: (view, date, accession #) View east, 2/24/2020

*P6. Date Constructed/Age and

Sources: Historic Prehistoric Both
1933 (Assessor)

*P7. Owner and Address:

Not Recorded

*P8. Recorded by: (Name, affiliation, and address) Mary Ringhoff, Rosa Lisa Fry, Architectural Resources Group, 360 E. 2nd Street, Suite 225 Los Angeles, CA 90012

*P9. Date Recorded: 2/24/2020

*P10. Survey Type: (Describe)

Intensive Reconnaissance

*P11. Report Citation: (Cite survey report and other sources or enter "none".) ARG, "City of San Marino Citywide Historic Resources Survey Report" (prepared for the City of San Marino, 2020).

*Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure & Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photographic Record Other (List) _____

PRIMARY RECORD

Primary # _____

HRI _____

Trinomial # _____

NRHP Status Code 3S, 3CS, 5S3

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 5

*Resource Name or # (Assigned by recorder) Mission Street Residential Historic District

P1. Other Identifier: _____

*P2. Location: Not for Publication Unrestricted *a. County Los Angeles

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ ; _____ % of _____ % of Sec _____ ; _____ B.M.

c. Address _____ City San Marino Zip 91108

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Mission Street Residential Historic District is located in western San Marino. It comprises 382 houses in the irregular area bounded roughly by Winthrop Road to the south, Euclid Avenue and Los Robles Avenue to the west, South Oak Knoll Avenue to the east, and the northern city limit. The northeastern quadrant of the district abuts the Mission Street Commercial Planning District. Residences are one or two stories and set on large lots. The area is fairly flat or gently sloping. Streets are mostly straight, and improvements vary throughout the district. The neighborhood consists of single-family residences primarily designed in a mix of Period Revival styles with some compatible Minimal Traditional infill. 306 properties contribute to the district's historic significance. Some properties have been altered, but overall, the district retains sufficient integrity to be eligible for listing in the National Register, California Register, and as a City of San Marino Historic District.

*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) Mission Street Historic District, Fleur Drive, view east (ARG 2020)

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both

1924-1955

(sources listed on Page 3)

*P7. Owner and Address:

Not Recorded

*P8. Recorded by: Name, affiliation, and address)

Mary Ringhoff, Rosa Lisa Fry,

Architectural Resources Group,

360 E. 2nd Street, Suite 225

Los Angeles, CA 90012

2/19/20-

*P9. Date Recorded: 2/27/20

*P10. Survey Type: (Describe)

Intensive

Reconnaissance

*P11. Report Citation: (Cite survey report and other sources or enter "none.") ARG, "City of San Marino Citywide Historic Resources

Survey Report" (prepared for the City of San Marino, 2020)

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure & Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photographic Record Other (List) _____

D1. Historic Name: _____ D2. Common Name: Mission Street Residential Historic District

*D3. **Detailed Description** (Discuss overall coherence of the district, its setting, visual characteristics, and minor features. List all elements of the district.):

The Mission Street Residential Historic District is a neighborhood of one and two-story single-family residences located on the far west side of San Marino. The neighborhood is mostly flat, though it is flanked on the east and west by channelized drainages of the Alhambra wash. The topography slopes downward towards these waterways, particularly in the northeastern and southwestern corners of the district. Streets are mostly straight, though there is no strict adherence to a grid. Improvements include concrete sidewalks and most streets feature ornamental cast stone streetlights with obscure glass lanterns. Houses retain generous setbacks with front lawns and scattered mature shade trees. Historic street trees are prevalent and can be found along many roadways throughout the district. Some streets retain consistent plantings of southern magnolia, jacaranda, or carrotwood trees. All properties have garages with driveways oriented on the side of the lot. Most garages are detached and sited at the rear of the parcels.

The Mission Street district consists of single-family residences primarily designed in a mix of Period Revival and Minimal Traditional styles. Period Revival contributors include high style examples of Spanish Colonial Revival, Tudor Revival, American Colonial Revival, Monterey Revival, and Mediterranean Revival. The Spanish Colonial Revival style predominates throughout the neighborhood with particularly consistent stretches on Fleur Drive and eastern La Mirada Avenue. Typical architectural features include complex massing and asymmetrical façades, incorporation of corbeled jetties and balconettes, a low-pitched hipped roof with clay tile roofing, open wood-bracketed eaves, stucco wall cladding, single and paired multi-paned windows (predominantly casement), and decorative chimney caps simulating turrets. Of the 382 total properties, 306 (80%) contribute to the district's historic significance. 76 of this district's properties do not contribute to its significance due to substantial alterations or construction dates after the period of significance. The district retains sufficient integrity to be eligible for listing in the National Register, California Register, and as a City of San Marino Historic District.

Of the 306 buildings that contribute to the district's significance, 6 have also been identified as individually eligible for designation (880 Winthrop Road, 1740 Ramiro Road, 2585 Monterey Road, 2385 Monterey Road, 1720 Ramiro Road, 2787 Fleur Drive).

*D4. **Boundary Description** (Describe limits of district and attach map showing boundary and district elements.):

The Mission Street Residential Historic District constitutes an irregularly shaped area in western San Marino. The district is bounded by Winthrop Road to the south, Euclid Avenue and Los Robles Avenue to the west, South Oak Knoll Avenue to the east, and the northern city limit.

*D5. **Boundary Justification:**

The boundaries of the Mission Street Residential Historic District were drawn to encompass a relatively intact area of residential development and related site features which retain sufficient integrity to convey their significance. The boundaries of the district roughly correspond to tracts subdivided in the mid-1920s, but have been modified to include only that portion of the neighborhood that retains enough integrity to convey its association with residential development from 1924-1955. Elements within the district boundaries are unified geographically and in terms of scale, style, use, and age.

*D6. **Significance:** Theme Residential Development; Architecture and Design Area San Marino
Period of Significance: 1924-1955 Applicable Criteria: A/1/1, C/3/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Summary Statement of Significance:

The Mission Street Residential Historic District is eligible for listing in the National Register, California Register, and as a City of San Marino Historic District under Criteria A/1/1 and C/3/3. The district conveys significant patterns of residential development in San Marino from the 1920s to the 1950s and embodies the distinctive characteristics of multiple architectural styles (predominantly Period Revival and Minimal Traditional).

Residential Development and Architecture:

The Mission Street Residential Historic District is significant as one of the earlier sections of San Marino to be subdivided and developed. This westernmost corner of San Marino appears to be one of the few areas in the city not owned by railroad magnate Henry E. Huntington; instead the early ranchos were divided and sold to various developer groups. Before subdivision, orchards dominated the district and agricultural holdings in the area included Los Robles Rancho, the Pollard Ranch, and Richardson's Lemon Grove.

Similar to much of the development surrounding the Huntington Estate, the Mission Street Residential Historic District was fully subdivided and aggressively marketed in the mid-1920s. This district comprises 10 small tracts, all of which were originally subdivided between 1923-

(continued on page 3)

*D7. **References** (Give full citations including the names and addresses of any informants, where possible.): (See Page 3)

*D8. **Evaluator:** Mary Ringhoff and Rosa Lisa Fry **Date:** 2/19-2/27, 2020
Affiliation and Address: Architectural Resources Group, 360 E. 2nd Street Suite 225, Los Angeles, CA 90012

CONTINUATION SHEET

Page 3 of 5

Recorded By: Architectural Resources Group *Resource Name or # (Assigned by recorder) Mission Street Residential Historic District
Date: 2/19-2/27, 2020 Continuation Update

***D6. Significance** (continued from page 2):

1927 by different proprietors. The northwestern quadrant of the Mission Street Residential District was subdivided in 1924 and subsequently developed by the California Consolidated Building and Investment Corporation as Oak Knoll Grove. A *Los Angeles Times* article from November 16, 1924 announces the construction of 100 homes by the developer.¹ The neighborhood is noted as highly restricted with high grade improvements including macadam streets, sidewalks, and wide street frontages.² Additionally, the "balmy weather of Southern Italy" and proximity to the Huntington Hotel, Raymond Hotel, and California Institute of Technology are noted as selling points.

By 1926, many tracts in the eastern half of the district (9381, 9164, 9382, and 5529) were owned by the Evans-Lee Corporation and the area was marketed as the Old Mill Vista subdivision. A *Los Angeles Times* article from 1926 announced that the Evans-Lee Corporation and the Lincoln Mortgage Company planned to build homes in the area and lauded the desirable location near the Huntington Hotel and Old Mill. The article states, "In view of the historic background of the property, closely linked with the early mission days of Southern California, the development at Old Mill Vista will be carried out along Spanish lines."³ Many of the houses in Old Mill Vista were built in the Spanish Colonial Revival style by the subdivision developers and custom homes had to be approved by the Evans-Lee Corporation's jury of architects. Advertisements boast that "every lot has trees" and the area is "historic in its charms."⁴

The southwestern quadrant of the district does not appear to have been marketed as a unified subdivision. As such it is presumed that that most homes were custom-built and not the work of owner-developers. The three tracts in this area (7500, 7828, 8349) were subdivided between 1923-1924 and many of the earliest houses in the district appear in this area west of Los Robles Avenue. Although this section of the district was subdivided by different developers, it also features many Spanish Colonial Revival designs and maintains architectural cohesiveness with Oak Knoll Grove and Old Mill Vista. Development throughout the district was relatively swift, beginning on the west side and moving east, with scattered infill in the 1940s and 1950s. Approximately two thirds of the residences in the district were built in the 1920s and a quarter in the 1930s. The neighborhood was largely complete by the late 1930s, with compatible construction and infill continuing until the mid-1950s.

The Mission Street Residential Historic District contains a significant concentration of Period Revival and Minimal Traditional architecture, with high quality of design and craftsmanship conveyed by individual dwellings. District contributors retain the original plans, massing, and character-defining features of their respective styles. The district appears eligible for listing as a City of San Marino Historic District as an embodiment of significant patterns of residential development from the mid-1920s to the mid-1950s. It also appears eligible as a cohesive collection of intact Period Revival residential architecture, particularly the Spanish Colonial Revival style. The district retains sufficient integrity to convey its association with historic patterns of residential development, and to convey its original architectural character.

Evaluation of Significance:

The Mission Street Residential Historic District is eligible for federal, state, and local designation under Criteria A/1/1 for its association with significant patterns of events: specifically, residential development in San Marino from the 1920s to the 1950s. The district is also eligible for designation under Criteria C/3/3 for its association with the distinctive architectural character of the Period Revival (particularly Spanish Colonial Revival) and Minimal Traditional. The period of significance for the Mission Street Residential Historic District is 1924 to 1955, reflecting its major period of development and the time during which most of its buildings were constructed.

Evaluation of Integrity:

The Mission Street Residential Historic District contains a significant concentration of Period Revival and Minimal Traditional architecture, with high quality of design and craftsmanship conveyed by individual dwellings. Minimal Traditional and Period Revival styles were used concurrently throughout the period of significance. District contributors retain the original plans, massing, and character-defining features of their respective styles. As a result, the district appears eligible for listing in the National Register, California Register, and as a City of San Marino Historic District as an embodiment of significant patterns of residential development from the mid-1920s to the mid-1950s. It also appears eligible as a cohesive collection of intact Period Revival and Minimal Traditional residential architecture. The district retains sufficient integrity to convey its association with historic patterns of residential development, and to convey its original architectural character.

*** D7. References** (continued from page 2):

"\$1,000,000 To Be Spent," *Los Angeles Times*, November 16, 1924.

Architectural Resources Group, Inc. *City of San Marino Citywide Historical Resources Survey Report*. Prepared for the City of San Marino, 2020.

(continued on page 4)

¹ "Oak Knoll Grove Put on Market," *Los Angeles Times*, November 16, 1924.

² "\$1,000,000 To Be Spent," *Los Angeles Times*, November 16, 1924.

³ "New Tract Built Up," *Los Angeles Times*, June 26, 1926.

⁴ "Location is Everything," *Los Angeles Times*, June 5, 1926.

CONTINUATION SHEET

Page 4 of 5

*Resource Name or # (Assigned by recorder) Mission Street Residential Historic District

Recorded By: Architectural Resources Group

Date: 2/19-2/27, 2020

Continuation

Update

***D7. References** (continued from page 2):

City of Los Angeles. *SurveyLA Los Angeles Citywide Historic Context Statement, Context: Architecture and Engineering, 1850-1980*. Themes prepared by multiple consultants for the City of Los Angeles Office of Historic Resources, 2018-2020.

City of San Marino. Building permits, various dates.

GPA Consulting, Inc. *Residential Period Revival Architecture and Development in Pasadena from 1915-1942*. Prepared for the City of Pasadena, 2004.

"Location is Everything," *Los Angeles Times*, June 5, 1926.

Los Angeles County Department of Public Works. Tract Maps. Accessed 2020 at <https://dpw.lacounty.gov/smpm/landrecords/TractMaps.aspx>.

Los Angeles County Office of the Assessor. Parcel Data. Accessed 2020 at <http://maps.assessor.lacounty.gov/>.

Los Angeles Times, various dates.

McAlester, Virginia Savage. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 2015.

"New Tract Built Up," *Los Angeles Times*, June 26, 1926.

"Oak Knoll Grove Put on Market," *Los Angeles Times*, November 16, 1924.

LOCATION MAP

*Resource Name or # (Assigned by recorder) Mission Street Residential Historic District
*Map Name: Mission Street Residential HD Location Map *Scale: See scale bar *Date of Map: 2/27/2020





City of San Marino
2200 Huntington Drive
San Marino, CA 91108
(626) 300-0711

**DESIGN REVIEW
NEIGHBORHOOD
INPUT
LETTER**

I, Daniel Temianka am a property owner of
(neighbor's name)

710 Pinchurst Dr., San Marino and have been shown the plans
(neighbor's address)

and elevations of proposed changes to the neighboring property located at

840 Winthrop Rd. San Marino CA 91108
(project address)

After reviewing the plans of the proposed changes (circle applicable response):

I object to the project.

I do not object to the project.

Comments: _____

Daniel Temianka
Neighboring Property Owner's Signature

July 26, 2022
Date



City of San Marino
2200 Huntington Drive
San Marino, CA 91108
(626) 300-0711

DESIGN REVIEW NEIGHBORHOOD INPUT LETTER

I, Paul Miller am a property owner of
(neighbor's name)

850 Winthrop Rd, San Marino and have been shown the plans
(neighbor's address)

and elevations of proposed changes to the neighboring property located at

840 Winthrop Rd. San Marino CA 91108
(project address)

After reviewing the plans of the proposed changes (circle applicable response):

I object to the project.

I do not object to the project.

Comments: _____


Neighboring Property Owner's Signature

7/25/22
Date



City of San Marino
2200 Huntington Drive
San Marino, CA 91108
(626) 300-0711

**DESIGN REVIEW
NEIGHBORHOOD
INPUT
LETTER**

I, Gary Dabbah am a property owner of
(neighbor's name)

840 Winthrop Rd, San Marino and have been shown the plans
(neighbor's address)

and elevations of proposed changes to the neighboring property located at

840 Winthrop Rd. San Marino CA 91108
(project address)

After reviewing the plans of the proposed changes (circle applicable response):

- I object to the project.
- I do not object to the project.

Comments: _____

Gary Dabbah

Neighboring Property Owner's Signature

07/26/22

Date



City of San Marino
2200 Huntington Drive
San Marino, CA 91108
(626) 300-0711

**DESIGN REVIEW
NEIGHBORHOOD
INPUT
LETTER**

I, John Seto am a property owner of
(neighbor's name)

836 Winthrop Rd., San Marino and have been shown the plans
(neighbor's address)

and elevations of proposed changes to the neighboring property located at

840 Winthrop Rd. San Marino CA 91108
(project address)

After reviewing the plans of the proposed changes (circle applicable response):

- I object to the project.
- I do not object to the project.

Comments: _____

John Seto
Neighboring Property Owner's Signature

7-21-22
Date



City of San Marino
2200 Huntington Drive
San Marino, CA 91108
(626) 300-0711

**DESIGN REVIEW
NEIGHBORHOOD
INPUT
LETTER**

Sue

I, *Jennifer Chandler* am a property owner of
(neighbor's name)

1560 Grenada Ave, San Marino and have been shown the plans
(neighbor's address)

and elevations of proposed changes to the neighboring property located at

840 Winthrop Rd. San Marino CA 91108
(project address)

After reviewing the plans of the proposed changes (circle applicable response):

I object to the project.

I do not object to the project.

Comments: _____

Sue W. Chandler

Neighboring Property Owner's Signature

7/21/2012

Date



City of San Marino
2200 Huntington Drive
San Marino, CA 91108
(626) 300-0711

**DESIGN REVIEW
NEIGHBORHOOD
INPUT
LETTER**

I, Yue Ming am a property owner of
(neighbor's name)

2065 S. OAK Knoll Ave. San Marino and have been shown the plans
(neighbor's address)

and elevations of proposed changes to the neighboring property located at

840 Winthrop Rd. San Marino CA 91108
(project address)

After reviewing the plans of the proposed changes (circle applicable response):

- I object to the project.
- I do not object to the project.

Comments: _____

Li [Signature]
Neighboring Property Owner's Signature

07/21/2022
Date



City of San Marino
2200 Huntington Drive
San Marino, CA 91108
(626) 300-0711

**DESIGN REVIEW
NEIGHBORHOOD
INPUT
LETTER**

I, Barbara Yasuda am a property owner of
(neighbor's name)

834 Plymouth Rd., San Marino and have been shown the plans
(neighbor's address)

and elevations of proposed changes to the neighboring property located at

840 Winthrop Rd. San Marino CA 91108
(project address)

After reviewing the plans of the proposed changes (circle applicable response):

- I object to the project.
- I do not object to the project.

Comments: _____

[Signature]
Neighboring Property Owner's Signature

7/21/22
Date



City of San Marino
2200 Huntington Drive
San Marino, CA 91108
(626) 300-0711

**DESIGN REVIEW
NEIGHBORHOOD
INPUT
LETTER**

I, Oscar Luis Costo am a property owner of
(neighbor's name)

826 Winthrop Rd. San Marino and have been shown the plans
(neighbor's address)

and elevations of proposed changes to the neighboring property located at

840 Winthrop Rd. San Marino CA 91108
(project address)

After reviewing the plans of the proposed changes (circle applicable response):

I object to the project.

I do not object to the project.

Comments: _____

Vincent Costo
Neighboring Property Owner's Signature

7/21/22
Date



City of San Marino
2200 Huntington Drive
San Marino, CA 91108
(626) 300-0711

**DESIGN REVIEW
NEIGHBORHOOD
INPUT
LETTER**

I, Stephen Lee am a property owner of
(neighbor's name)

2101 S. OAK KNOLL AVE. San Marino and have been shown the plans
(neighbor's address)

and elevations of proposed changes to the neighboring property located at

840 Winthrop Rd. San Marino CA 91108.
(project address)

After reviewing the plans of the proposed changes (circle applicable response):

I object to the project.

I do not object to the project.

Comments: _____

[Signature]
Neighboring Property Owner's Signature

7/25/2
Date



City of San Marino

2200 Huntington Drive
San Marino, CA 91108
(626) 300-0711

NEIGHBOR NOTIFICATION DECLARATION

860 Wintrop Rd.

Address: ~~845 Wintrop Rd.~~ Case Number(s): _____

I have made the following attempts to contact the property owners in the legal neighborhood (see reverse) regarding the above-referenced project:

- € Attempted to visit each neighboring property and present the proposed plans to the property owners. The applicant is strongly encouraged to conduct a neighborhood meeting subject to the following parameters:

Weekdays after 6:00 p.m.;

Non-Holiday weekends after 10:00 a.m.; and

Not during the City Council, Planning Commission or Design review meeting times.

Date and Time of first attempt: 7-21-22 / 9:15 am

Date and Time of second attempt: 7-25-22 / 3:11 pm

- € Mailed a copy of the plans and explanation of the project to the property owners. If the information is mailed to the neighbors, evidence in the form of certified mail shall be submitted to staff.

○ Date of first mailing: _____

○ Date of second mailing: _____

€ Other:

I declare under penalty of perjury that the foregoing is true and correct.

Gary Basil Dabbah

Signature of owner/applicant

Gary Basil Dabbah

Printed name

07/27/22

Date



City of San Marino

2200 Huntington Drive
San Marino, CA 91108
(626) 300-0711

NEIGHBOR NOTIFICATION DECLARATION

825 Wintrop Rd.

Address: ~~540 Wintrop Rd~~ Case Number(s): _____

I have made the following attempts to contact the property owners in the legal neighborhood (see reverse) regarding the above-referenced project:

- € Attempted to visit each neighboring property and present the proposed plans to the property owners. The applicant is strongly encouraged to conduct a neighborhood meeting subject to the following parameters:

Weekdays after 6:00 p.m.;

Non-Holiday weekends after 10:00 a.m.; and

Not during the City Council, Planning Commission or Design review meeting times.

Date and Time of first attempt: 7-21-22 / 9:21 am

Date and Time of second attempt: 7-25-22 / 2:59 pm

- € Mailed a copy of the plans and explanation of the project to the property owners. If the information is mailed to the neighbors, evidence in the form of certified mail shall be submitted to staff.

Date of first mailing: _____

Date of second mailing: _____

- € Other:

The property is being rented out and owner does not live there. Owner lives out of the Country.

Rental Tenant does not want to sign as it is not her property.

I declare under penalty of perjury that the foregoing is true and correct.

Gary Basil Dabbah
Signature of owner/applicant

Gary Basil Dabbah
Printed name

07/27/22
Date



City of San Marino

2200 Huntington Drive
San Marino, CA 91108
(626) 300-0711

NEIGHBOR NOTIFICATION DECLARATION

Address: 805 Winthrop Rd. ~~830 Winthrop Rd.~~ Case Number(s): _____

I have made the following attempts to contact the property owners in the legal neighborhood (see reverse) regarding the above-referenced project:

€ Attempted to visit each neighboring property and present the proposed plans to the property owners. The applicant is strongly encouraged to conduct a neighborhood meeting subject to the following parameters:

Weekdays after 6:00 p.m.;

Non-Holiday weekends after 10:00 a.m.; and

Not during the City Council, Planning Commission or Design review meeting times.

Date and Time of first attempt: 7-21-22 / 9:27am

Date and Time of second attempt: 7-25-22 / 3:15pm

€ Mailed a copy of the plans and explanation of the project to the property owners. If the information is mailed to the neighbors, evidence in the form of certified mail shall be submitted to staff.

○ Date of first mailing: _____

○ Date of second mailing: _____

€ Other:

I declare under penalty of perjury that the foregoing is true and correct.

Signature of owner/applicant

Gary Basil Dabbah
Printed name

07/27/22
Date

Historic Resource Assessment Report for 840 Winthrop Road, San Marino, Los Angeles County, California

January 2022



Prepared for:

Dr. Zeinab Dabbah
1138 Hillcrest Avenue
Pasadena, California 91106

Prepared by:

Lisa Demarais, M.H.P.
Architectural Historian
and
Shannon Davis, M.A.
Director, Architectural History



20 N. Raymond Ave. Suite 220
Pasadena, CA 91103
(626) 793-7395

ASM Project Number 38050

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Historic Resource Assessment Report for 840 Winthrop Road, San Marino, Los Angeles County, California

Prepared for:

Dr. Zeinab Dabbah
1138 Hillcrest Avenue
Pasadena, California 91106

Prepared by:

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EXECUTIVE SUMMARY

This Historic Resources Assessment Report (HRAR) provides the results of the analysis of the historical significance and proposed rehabilitation of 840 Winthrop Road, San Marino, Los Angeles County, California (subject property). ASM Affiliates, Inc. (ASM) evaluated the single-family residence for eligibility for listing in the California Register of Historical Resources (CRHR), as a City of San Marino Historic Landmark, and a California Environmental Quality Act (CEQA) historical resource. The evaluation has been requested by the City of San Marino (City) prior to approval of the proposed remodel of the west façade of the single-family residence constructed on the property in 1933 (Project). This report was prepared following CEQA regulations and definitions for historical resources.

ASM evaluated the significance of the residential building at 840 Winthrop Road in the City of San Marino. A review of San Marino's Survey Findings Property List, compiled as part of the citywide historic resources survey, revealed that 840 Winthrop was previously identified as eligible for the National Register of Historical Places (NRHP), CRHR, and local listing as a contributor to the Mission Street Residential Historic District (District). However, the citywide survey did not evaluate 840 Winthrop Road individually, and as such, ASM performed an individual evaluation of eligibility. To complete the evaluation, ASM conducted an on-site survey of the home, photographing the exterior and interior of the building. Building permits were reviewed and archival research was conducted to confirm the date of construction, architect(s), and original and subsequent owners.

The evaluation was conducted in conformance with the California Office of Historic Preservation's *Instructions for Recording Historical Resources* and Technical Assistance Series #7 *How to Nominate a Resource to the California Register of Historical Resources*. The property was also evaluated using the City of San Marino for Historic Landmark Designation, as outlined in the San Marino Historic Preservation Ordinance. The City of San Marino criteria aligns with criteria 1-3 of the CRHR. The significance of the subject property was evaluated under the context of San Marino in the Great Depression and Wartime (1931–1945) and theme of Residential Development as defined in the *San Marino Historic Resources Survey Report* prepared by Architectural Resources Group for the City in 2020. ASM also evaluated the subject property under the context of San Marino Architecture and Design (1870–1980) and theme of Spanish Colonial Revival.

As a result of these efforts, ASM determined that the single-family residence at 840 Winthrop Road is not individually eligible under any CRHR or City of San Marino criteria. ASM concurs with the previous finding that the property is a contributor to an eligible historic district. Therefore, 840 Winthrop Road is considered part of a historical resource as defined by CEQA (Pub. Res. Code §5024.1, Title 14 CCR, Section 4850 et seq.). Since the property is a contributor to the Mission Street Residential Historic District (a CEQA historical resource), the proposed alterations were assessed for compatibility with the existing buildings and surrounding area as per the *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* at the request of the City. ASM also assessed the compatibility of the Project with the *City of San Marino Residential Design Guidelines (Design Guidelines)*.

1.0 INTRODUCTION

ASM prepared this historical evaluation to determine the historical and architectural significance of the residential property at 840 Winthrop Road, San Marino, Los Angeles County, California. The single-family residence has not been designated previously to the California Register of Historical Resources (CRHR), nor is it listed as a California Point of Historical Interest, California Historical Landmark, or City of San Marino Historic Landmark. The property was previously identified in the City of San Marino Historic Resources Survey as a contributor to the Mission Street Residential Historic District but was not evaluated individually. The results of this evaluation informed the analysis of the proposed alterations against the *Standards*.

This section of the report provides a project description, location, and current setting. Section 2 addresses the study's archival research and field survey methodology. The property's historic context is addressed in Section 3, and survey results are provided in Section 4. The evaluation framework and historical significance of the property are detailed in Section 5, and Section 6 provides a conclusion. The Department of Parks and Recreation (DPR) 523 site record forms for the property are provided in Appendix A; resumes of key personnel in Appendix B; building permits in Appendix C; a historical map in Appendix D; and Project plans can be found in Appendix E.

1.1 PROJECT LOCATION

The Project is located in the Mission District area of the City of San Marino, in Los Angeles County, California (Figure 1). It is located at 840 Winthrop Road, in a residential subdivision that was developed beginning in the 1920s (Figure 2). It can be found on the U.S. Geological Survey (USGS) Los Angeles, California 7.5-minute topographic quadrangle map in Section 00 of Township 1 South and Range 12 West, in the southwestern portion of the City of San Marino, south of the Oak Knoll neighborhood of Pasadena and east of South Pasadena (Figure 3). The Assessor's parcel number (APN) for the property is 5323-012-026, encompassing a portion of Lot 1 of Tract No. 10166 (Figure 4).

1.2 PROJECT DESCRIPTION

The Project includes the proposed alteration of façades on the western façade of the residence at 840 Winthrop Road. Other alterations to the non-street-facing portions of the property have been approved by the City and thus are not analyzed in this report. Proposed alterations of the street-facing façade include the conversion of the existing bay fenestration to an entrance, conversion of the existing French doors to a divided light double-hung window, addition of a concrete and brick walkway from the driveway and street sidewalk to the primary entrance, replacement of one casement window with a divided light double-hung sash window, and replacement of a second single-hung window with a simulated double-hung sash window that operates as a casement type to serve as a means of egress from a sleeping room (see Appendix E, sheet 2, sketches 2 and 4). The proposed alterations would be performed with in-kind materials and follow the City's residential design guidelines.

1.3 CURRENT SETTING

The residence (subject building) at 840 Winthrop Road (subject property) is located on a .27-acre (43,560-square-foot) parcel at the eastern end of Winthrop Road, south of the road's confluence with Plymouth Road. The property is accessed via a private driveway at the southern boundary of the parcel that meets Winthrop Road at the western edge of the lot (see Figure 2). The immediate surroundings of the subject property are residential properties on large, rectangular shaped lots of approximately .25 acres within the Mission Street Residential Historic District (Figure 5). The houses are of varying ages and styles, but most

1.0 Introduction

were constructed after 1920, after the incorporation of various ranchos as the City of San Marino in 1913. The subject property in a hilly wooded area of the San Rafael Hills, bounded by residential properties in each direction and with South Oak Knoll Avenue to the east, Huntington Drive to the south and smaller streets and Los Robles Avenue to the west. The closest major street is South Oak Knoll Avenue to the east. All the immediately surrounding streets are small and winding to conform to the natural hills and variations in the landscape.

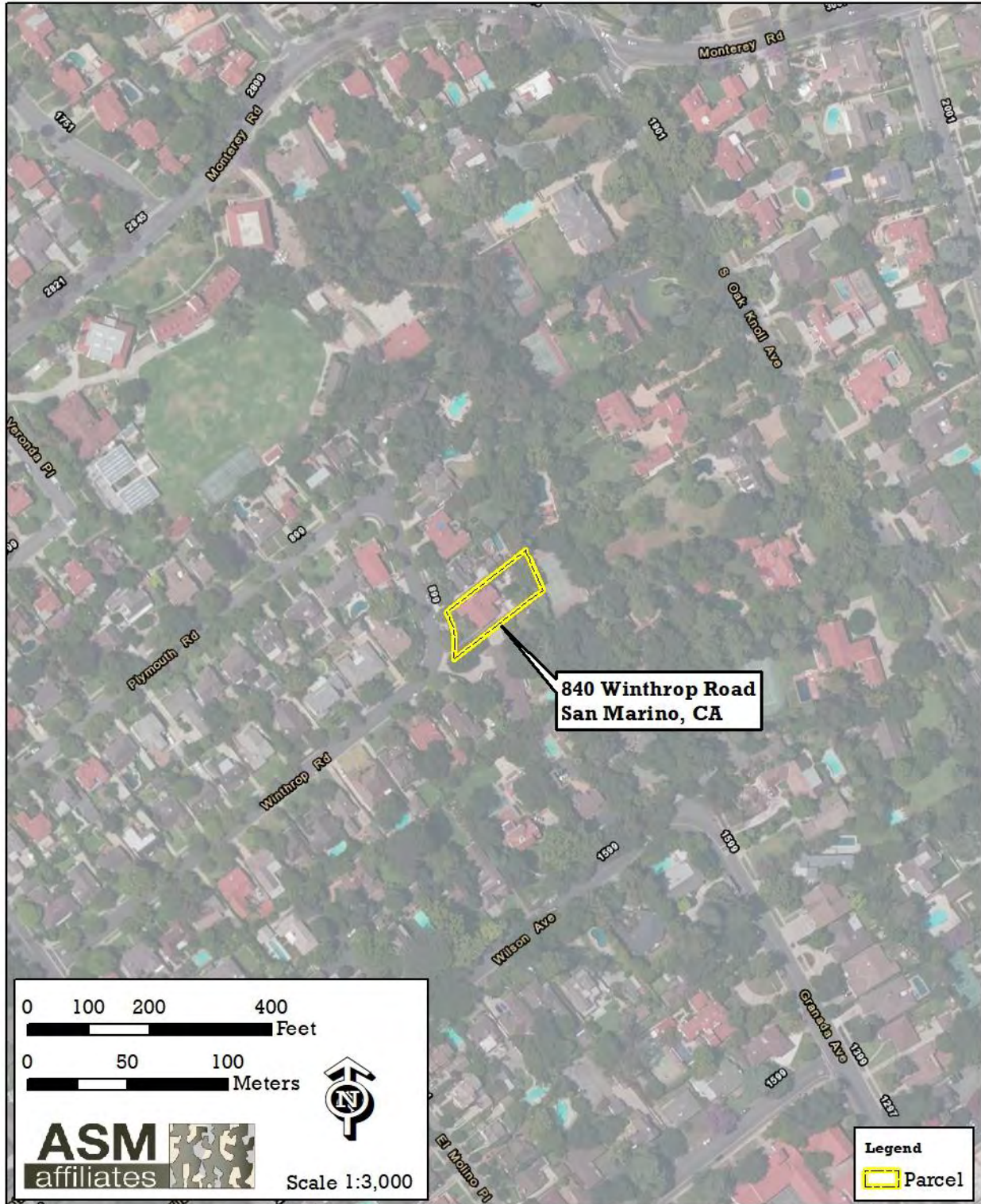


Figure 2. Site map.

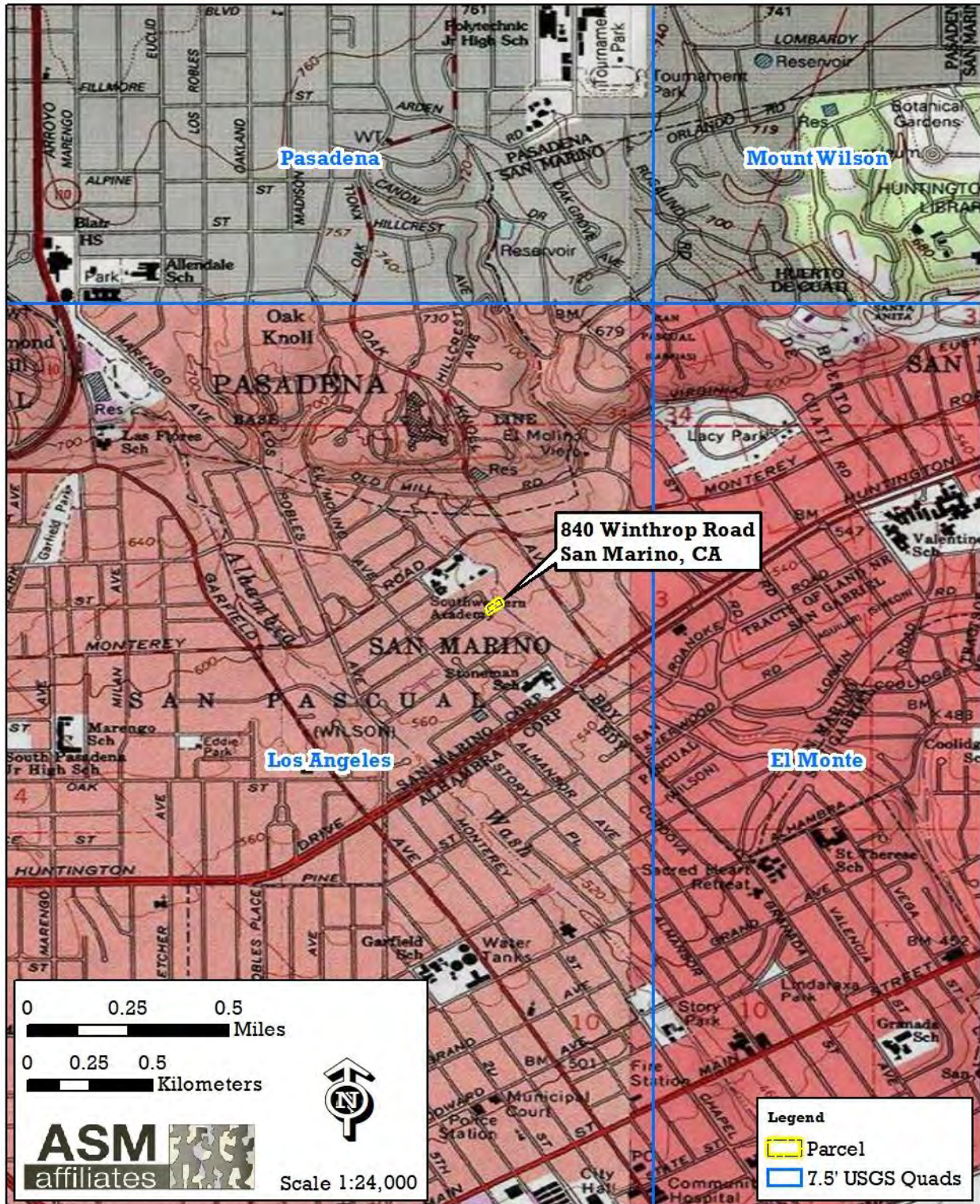


Figure 3. Aerial of project location.

1.0 Introduction

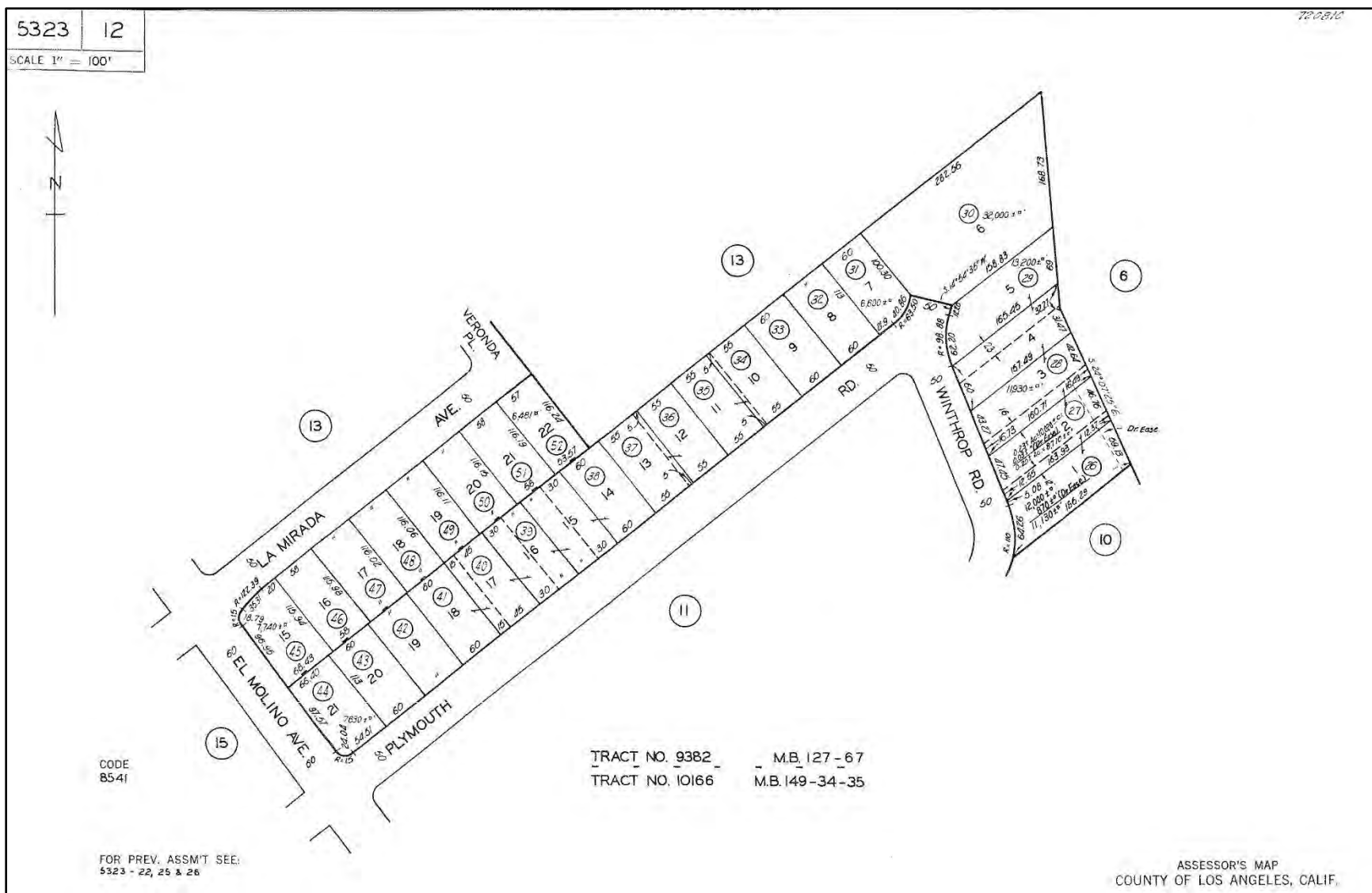


Figure 4. Assessor Parcel map.

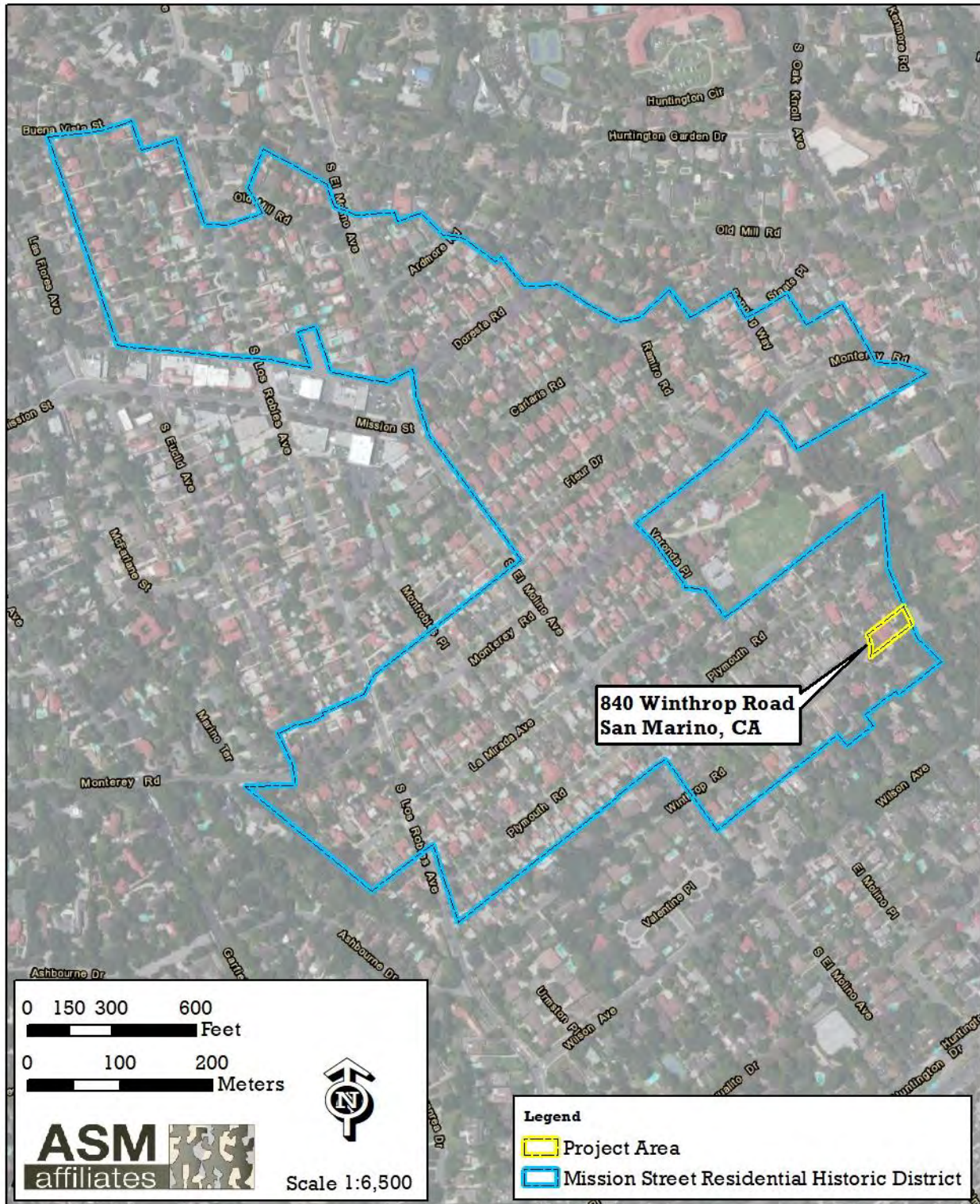


Figure 5. Mission Street Residential Historic District.

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2.0 METHODOLOGY

2.1 FIELD SURVEY METHODS

ASM conducted a historical resource field survey on September 7, 2021, to document the property at 840 Winthrop Road. The intensive-level field survey was conducted by ASM Architectural Historians Lisa Demarais and Shannon Davis. During the survey, multiple photographs were taken of the exterior, interior, and setting of the building. The building's plan, architectural features, physical condition, and historical integrity were noted.

2.2 ARCHIVAL RESEARCH

To develop the appropriate historic context from which to evaluate the property, ASM consulted the City's only previous survey and historical context, *San Marino Historic Resources Report* (Architectural Resources Group 2020). To determine the site-specific history and confirm construction dates, ASM requested the building permits on file at the City. Due to closures, ASM was unable to research the chain of ownership at the Los Angeles County Assessor's map room. City Directories, newspapers, census and voting records were searched to compile a list of occupants and determine if they were historically significant. ASM also consulted historic maps and aerial photos to further understand the development of the neighborhood (Historicaerials.com 1948, 1952, 1964, 1972, 1977, 1980; USGS 1927, 1944, 1952, 1960).

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3.0 HISTORIC CONTEXT

3.1 SPANISH AND MEXICAN PERIODS

Spanish explorer Juan Rodríguez Cabrillo first encountered California in 1542, claiming it for the King of Spain. More than two centuries later, Gaspar de Portola crossed what is now known as the San Gabriel Valley in 1769, and Mission San Gabriel Arcangel was founded by Junipero Serra two years later. After Mexico gained independence from Spain in 1821, the process of dismantling the mission system began. The 1833 Secularization Act passed by the Mexican Congress ordered half of all mission lands to be transferred to the Indians, and the other half to remain in trust and managed by an appointed administrator. These orders were never implemented due to several factors that conspired to prevent the Indians from regaining their patrimony, but the missions were secularized by 1835 (Grimes and Vanaskie 2010; Scheid 1986:14).

Prior to secularization part of Mission San Gabriel Arcangel became Rancho Huerta de Cuati, which encompassed lands that now comprise San Marino. The land was granted to Victoria Reid (formerly Bartolomea Cumicrabit), an indigenous Tongvan woman from the Comicranga village located near the Mission. To the Spanish and Mexican colonizers, the Tongvan people were referred to as the Gabrieleño, for Mission San Gabriel. The lands were granted directly to Reid because her husband, Scottish immigrant Hugo Reid, was not eligible as he was not yet a citizen of Mexico. After California's cession to the United States, the original land grant to Reid was honored (Ruiz and Korrol 2005:19; City of San Marino n.d.).

3.2 AMERICAN PERIOD

The Mexican-American War ended in the 1848 with the signing of the Treaty of Guadalupe Hidalgo, and from the land of the Mexican Cession, California became the 31st U.S. state in 1850. The discovery of gold in northern California in 1848 led to an enormous influx of American citizens in the 1850s and 1860s, and these settlers rapidly displaced the old rancho families (Scheid 1986:21).

In 1852, Reid sold Rancho Huerta de Cuati to Benjamin Davis Wilson, the first mayor of Los Angeles, who built his home on land he named the Lake Vineyard Ranch, at a location now known as Euston Road. The area was initially a small community of a few wealthy families. Wilson later deeded the land to his son-in-law James de Barth Shorb, who renamed the rancho San Marino Ranch for his grandfather's plantation in Maryland which itself had been named for the Republic of San Marino. Shorb built a home at the current site of the Huntington Art Gallery. In 1903, Henry E. Huntington purchased the property (City of San Marino n.d.; San Marino Historical Society n.d.).

3.3 FOUNDING AND SETTLEMENT OF SAN MARINO¹

By early 1913, Henry Huntington, George S. Patton, and other local landowners like William L. Valentine and N.M. Murray decided they needed to file for incorporation in order to protect the San Marino Ranch area from desirous adjacent cities – the Los Angeles Times cited “the alleged rapacity” of Alhambra as the primary driver. Los Angeles County approved the petition in a matter of months, and on April 12, 1913, the City of San Marino was established. It comprised Huntington's San Marino Ranch and Oak Knoll subdivision (originally the Pasadena Country Club), Patton's Lake Vineyard estate, and holdings of other landowners including Richard H. Lacy, William L. Valentine, J.K. Urmston, Hugh Stewart, W.J. Hunsaker, William L. Stewart, and more. The city's official boundaries were almost the same as they are today, and it had a total acreage of about 2,316 acres. In 1924, San Marino annexed an additional 58 acres north of

¹ This section is excerpted from the *San Marino Historic Resources Survey Report* completed in 2020.

California Boulevard. The city's founders established a five-man Board of Trustees (later City Council): Patton, Valentine, Lacy, E.J. Groenendyke, and Edwin G. Hart. The Board determined that San Marino would remain almost entirely single family residential in nature, with no multi-family buildings and the barest minimum of commercial activity. Huntington donated land for construction of a city hall in 1914, although it was not built until 1920. During the early years of cityhood, the Board met in the old Mayberry residence.

San Marino quickly established a general city layout (with map copies sold for \$10), expanded and improved its road system, appointed a city marshal, initiated discussions about a local school district, and began laying gas pipes; the earliest funding came from a voluntary property tax of 50 cents on each \$100 of property, which was enough to cover all city expenses for its first year – including street improvements. As the largest property owner in town, Huntington paid about 75 percent of all the taxes. San Marino primarily dedicated itself to establishing and maintaining order, passing ordinances prohibiting things like retail or wholesale liquor stores (liquor was allowed only at private social clubs with members “known to be reputable and orderly”), and the keeping of cows and domestic fowl within 50 feet of any dwelling. By the early 1920s, prohibited building types included hospitals, sanitariums, asylums, and roadhouses, restaurants, inns, dancing pavilions, or dance halls (later, a very few of these were allowed by permit). Commercial areas were restricted to portions of Huntington Drive and Mission Street, and zoning was so strict that the town did not even allow churches. Residential development, soon to become the defining characteristic of the city, was slow during San Marino's first decade.

By 1920, the population had grown by only 65 people since incorporation in 1913, to 584. There was certainly a higher proportion of homeowners than there used to be in the area once occupied by only a handful of wealthy families, but actual house construction had not much affected the area's vineyards, orange groves, and native oak woodland. Properties constructed during this time tended to be large residences in Period Revival styles, like the G. Lawrence Simpson-designed Mediterranean Revival at 1050 Oak Grove Avenue (1918), though there was also room for more modest examples like the one-story house at 2670 Tura Lane (1915).

Residential subdivision began in earnest around 1923, with the establishment of tracts like the Huntington Land & Improvement Company's Oak Knoll (an extension of its earlier Oak Knoll tracts in the City of Pasadena). Oriented toward the Pacific Electric's Oak Knoll line, this tract saw addition after addition over the next few years.⁷⁸ Real estate companies representing the Huntington Co. and other owners began to advertise heavily in the *Los Angeles Times* for tracts like San Marino Manor (1923), Huntington Hill (1925), and Oak Knoll Marino (1923). Most of the advertisements touted the proximity to Huntington's famed estate, and some, like Huntington Hill, were in fact directly adjacent to the property. The new tracts typically boasted wide paved streets, concrete curbs and sidewalks, streetlamps, street trees, and sizable lots. There were far too many tracts developed during the 1920s to address each in turn, but Oak Knoll Marino typifies the development of a residential subdivision in San Marino during the boom and is a useful representative example. In 1923, the Huntington Land & Improvement Co. subdivided Tract 6012, located west of the Huntington estate and south of the well-known Pasadena neighborhood of Oak Knoll. The land was prepared with grading, addition of drainage features, placement of underground utilities, and routing of new roads complete with street trees. It was soon ready for lot sales, with the new name of Oak Knoll Marino.

The Frank Meline Realty Company heavily marketed the Oak Knoll Marino subdivision in newspaper advertisements starting in 1923 and continuing through the early 1930s as additional phases opened. The first unit was bounded by Huntington Drive to the south, Virginia Road to the east, the open space and lake that would become Lacy Park to the north, and Oak Knoll Avenue to the west. The realty company maintained a tract office at the corner of Huntington Drive and St. Albans Road, easily accessible from the Pacific Electric line; as new phases opened to the south and east, it opened a second office at Huntington and San Marino Avenue. Oak Knoll Marino was touted as a graceful neighborhood of wide curving streets,

large lots, and expansive views perfectly suited to the high-quality owners who surely wished to build there. As the *Los Angeles Times* reported in 1926, the development boasted “the very finest improvements...including sewers, cement curbs, cement sidewalks, splendidly paved streets and ornamental lighting.” The subdivision was meant for custom-built, architect-designed houses rather than typical tract homes built on spec; advertisements shouted “Strictly for Homebuilders not Speculators” and depicted homes designed by notables like Paul R. Williams and Garrett Van Pelt.

To ensure high property values, Oak Knoll Marino required that houses cost \$7,500-\$15,000 to build and enforced strict ownership and design guidelines, noting that “Racial and artistic restrictions further enhance the value of the lots.” Racially restrictive covenants, built into the deeds of sale and more informally enforced by realtors, were a common feature of 1920s subdivisions in Southern California, especially those marketed to the rich. They ensured that people of color (and in some cases Jewish people and first-generation European immigrants) would be unable to purchase property outside of carefully circumscribed neighborhoods. As discussed in *Context 4.6, San Marino in the Great Depression and Wartime*, racist, exclusionary real estate practices would become even more inescapable after the formation of the Home Owner’s Loan Corporation (HOLC) in 1933 and passage of the National Housing Act (NHA) in 1934.

Between about 1923 and 1930, residential development dominated all activity in San Marino. The Huntington Land and Improvement Co., along with other landowners and development companies, subdivided tract after tract and sold lot after lot, occasionally with developer-built homes, but more often as parcels on which prominent architects could design and build Period Revival-style homes for prominent owners. While nearly every variety of the Period Revival movement was represented, the City’s built environment came to include a particularly rich array of Tudor Revival, Mediterranean Revival, and Spanish Colonial Revival residences. Commercial development along Huntington Drive and Mission Street accelerated during this period as well and began to reflect the influence of the automobile as well as the streetcar. The business districts were still pedestrian-focused, to service streetcar passengers, but now included gas stations too. That said, continued restrictions on commerce meant residents still had to do much of their shopping in neighboring cities.

While other tracts may have diverged somewhat from Oak Knoll Marino in terms of size, layout, or advertising, this subdivision does seem to have been typical of most in the city during the 1920s: spacious lots (increasing in size as elevation increased to the north); wide streets, picturesque tract features (streetlamps etc.); design and price requirements to ensure consistent setbacks and appropriate architectural styles; and racial requirements to ensure neighborhoods remained white. Known named developments included Gainsborough Heath, Huntington Hill, multiple Oak Knoll units, San Marino Vista, and San Marino Manor. Subdivision continued at this breakneck pace for the next decade, producing numerous named and unnamed tracts with lots of various sizes offered for sale. In 1925, the city established the Office of Building Inspector to keep up with rapid development.⁸⁷ San Marino reached the zenith of its residential construction in 1927, when 212 new buildings were completed, at an estimated value of over \$3 million.

The overwhelming majority of single-family residences built in San Marino during this period reflected Period Revival designs. Nearly every style within this romantic, historicist idiom appeared in the city, though Tudor Revival, Mediterranean Revival, and Spanish Colonial revival seemed to be particularly common. These styles not only lent themselves to construction on a large scale (appropriate for some of the massive houses built on large lots) but could reflect high levels of articulation on houses of a much more modest size – like the cluster of charming Storybook houses on Coniston Place. Most of these houses were custom designed by architects, including many of the region’s master practitioners. Architects known to have designed San Marino houses in the 1920s include Wallace Neff, Marston & Maybury, Marston, Van Pelt & Maybury, Harold J. Bissner, Carleton Monroe Winslow, Roland E. Coate, Frank D. Hudson, Paul R. Williams, and Gordon Kaufmann. Even “tract houses,” like the exquisite Spanish Colonial Revival

homes on Berkeley Street and Fleur Drive, were designed by master architects (in these cases, Wallace Neff and Harold J. Bissner, respectively).

Between about 1923 and 1930, residential development dominated all activity in San Marino. The Huntington Land and Improvement Co., along with other landowners and development companies, subdivided tract after tract and sold lot after lot, occasionally with developer-built homes, but more often as parcels on which prominent architects could design and build Period Revival-style homes for prominent owners. While nearly every variety of the Period Revival movement was represented, the City's built environment came to include a particularly rich array of Tudor Revival, Mediterranean Revival, and Spanish Colonial Revival residences. Commercial development along Huntington Drive and Mission Street accelerated during this period as well, and began to reflect the influence of the automobile as well as the streetcar. The business districts were still pedestrian-focused, to service streetcar passengers, but now included gas stations too. That said, continued restrictions on commerce meant residents still had to do much of their shopping in neighboring cities.

By 1930, San Marino's population had jumped to 3,719, about a 600% increase from the 1920 total of 584. Its housing stock had increased in tandem. The city building inspector noted a total of 192 houses present at the beginning of 1925; between 1925 and 1930, 953 more houses were built. At this point, San Marino saw a major drop-in construction activity; like the rest of the country, it was affected by the stock market crash of 1929 and the ensuing Great Depression, although its collective wealth meant its suffering did not compare to most other places, and construction never came to a complete halt. After all, many of its residents, even those who were self-made rather than born into money, had been able to invest in real estate as well as the stock market.

3.4 DEVELOPMENT IN THE MISSION STREET RESIDENTIAL HISTORIC DISTRICT²

The Mission Street Residential Historic District was one of the few neighborhoods in San Marino not owned by founder Henry E. Huntington. Prior to its subdivision, the area consisted of orchards and other agricultural properties including Los Robles Rancho, the Pollard Ranch, and Richard's Lemon Grove.

Similar to much of the development surrounding the Huntington Estate, the District was fully subdivided and aggressively marketed in the mid-1920s. This District comprises 10 small tracts, all of which were originally subdivided between 1923–1927 by different proprietors (Figure 6).

By 1926, many tracts in the eastern half of the District were owned by the Evans-Lee Corporation and the area was marketed as the Old Mill Vista subdivision. A *Los Angeles Times* article from 1926 announced that the Evans-Lee Corporation and the Lincoln Mortgage Company planned to build homes in the area and lauded the desirable location near the Huntington Hotel and Old Mill. The article states, "In view of the historic background of the property, closely linked with the early mission days of Southern California, the development at Old Mill Vista with be carried out along Spanish lines." Many of the houses in Old Mill Vista were built in the Spanish Colonial Revival style by the subdivision developers and custom homes had to be approved by the Evans-Lee Corporation's jury of architects. Advertisements boast that "every lot has trees" and the area is "historic in its charms."

² This section is excerpted from the Mission Street Residential District California Department of Parks and Recreation form completed in 2020.

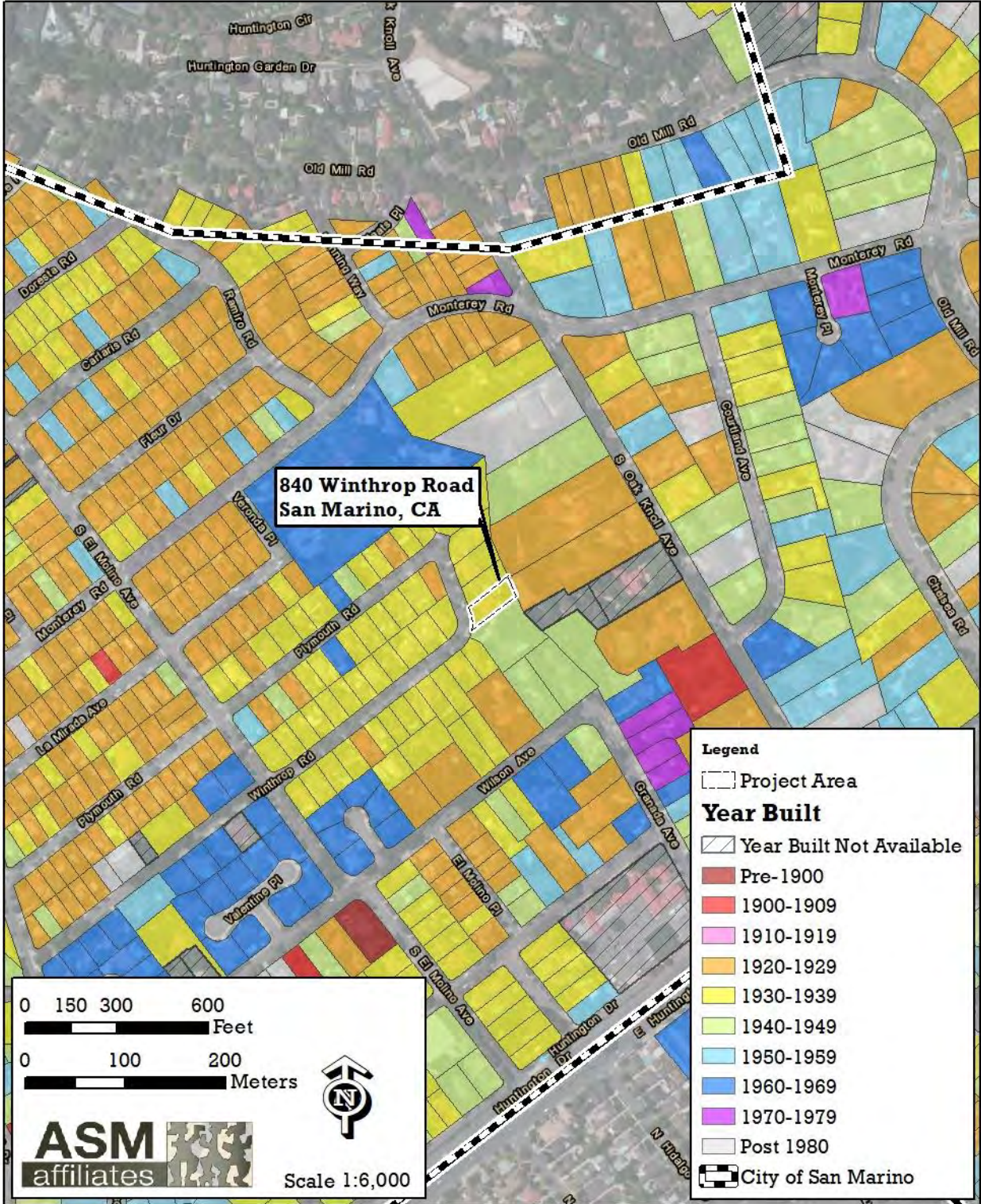


Figure 6. Chronology of development near the project location.

4.0 Survey Findings

The southwestern quadrant of the District does not appear to have been marketed as a unified subdivision. As such, it is presumed that most homes were custom-built and not the work of owner-developers. The three tracts in this area were subdivided 1923–1924 and many of the earliest houses in the District appear in this area west of Los Robles Avenue. Although this section of the District was subdivided by different developers, it also features many Spanish Colonial Revival designs and maintains architectural cohesiveness with Oak Knoll Grove and Old Mill Vista. Development throughout the District was relatively swift, beginning on the west side and moving east, with scattered infill in the 1940s and 1950s. Approximately 65 percent of the residences in the District were built in the 1920s, 25 percent in the 1930s, with the remaining 10 percent the later infill. The neighborhood was largely complete by the late 1930s, with compatible construction and infill continuing until the mid-1950s.

The District contains a significant concentration of Period Revival and Minimal Traditional architecture, with high quality of design and craftsmanship conveyed by individual dwellings. District contributors retain the original plans, massing, and character-defining features of their respective styles (Architectural Resources Group 2020).

3.5 SITE-SPECIFIC HISTORY: 840 WINTHROP ROAD

The property is in the southwest section of the City of San Marino within Tract 10166 of the Old Mission District (now the Mission Street Residential Historic District), situated north of Huntington Drive and southwest of the Oak Knoll tract. Tract 10166 was subdivided in 1927 by developers Harry L. Off and F.M. Bedell of the Bedell and Ogg Company (Los Angeles County Public Works 1933). The residence on the subject property was built in 1933.

There is no Sanborn map that shows the subject property or its immediately surrounding area, however there is a historical map from 1938 that shows the extent of development in the area (see Appendix D). USGS topographic maps of the area exist, but the residence is not demarcated on any of the maps. The land of the property is first seen on the 1896 topographic map of Los Angeles, California and a 1927 aerial photograph. On the 1927 aerial, the property is a cleared undeveloped area abutting a tree break to its east and is surrounded by residences and agricultural land, typical of San Marino during the post-incorporation period of residential development. The extant residence on the subject property was built in 1933 by contractor Everett Vernal Clark, listed as E. Vernal Clark on the original building permit. The residence first appears on a 1944 USGS aerial photograph with the same configuration and footprint it has today. It appears unchanged on USGS historic aerial photographs from 1944, 1952, 1960, 1971 as well as aeriels from 1964, 1977, and 1980 (Historicaerials.com).

The owner and occupant history of the residence is summarized in Table 1 and detailed below. Ownership of the property between 1959 and 1977 was unable to be established through currently accessible archival sources.

Table 1. Owner and Occupant History³

Date	Owners	Tenants/Other Occupants
1933–1937	Francis and Domina Drake	Isobel Holder (1934)
1938–1939	Margaret and Robert Dorstewitz	Elphye White (maid)
1940–1959	Theodore and Helen Hay	
1977	Julian A. Catapano	
1977–1986	Dr. Albert Hecton and Dolores Hecton	

³ Information derived from building permits, U.S. City Directories, 1822-1995 and U.S. Census data, 1890-1980. See List of Sources.

Date	Owners	Tenants/Other Occupants
1986–1988	Dr. Jay Bisgard and Nonja F. Bisgard	
1988–1999	Susan D. and Harold Daume Swenson	Janet Smiley (1995), Javier Martinez (1995)
1999–2000	Lily Li	
2001–2002	Chik L. Mak	

The first owner of the subject property was Francis Drake, grandson and namesake of Frances Marion Drake. Frances Marion Drake the elder was a Union Brigadier General during the Civil War, lawyer, merchant, the 16th governor of Iowa, and one of the founders of Drake University in Des Moines, Iowa. According to the obituary of Domina Drake, who owned the house with her husband Francis Marion Drake the younger, he was also a descendant of famous explorer Sir Frances Drake. Sir Frances Drake did not have any known children, so Frances Marion Drake was not a direct patrilineal descendant but may have been an indirect descendant through Sir Francis Drake’s brothers or other relatives (*Columbia Encyclopedia* 2000; Grant 2000; *Escondido Times-Advocate* 1958).

The second owners of the house were Robert and Margaret Dorstewitz. Robert Dorstewitz held professional roles at various investment firms during his career. He worked as an investment banker for Dillon, Read & Co.; Bennett, Richards & Hill; and Griffith-Wagenseller & Durst. Beginning in 1933, he served as vice president of sales for Griffith-Wagenseller & Durst. He married Margaret Miller Jackson, a housewife, in 1936. The Dorstewitzes only resided at the subject property for a short time, moving to a home on Oak Knoll Avenue by the 1940 census. The 1940 census also lists two of Margaret’s children from a previous marriage, Robert M. and Sue Ann, in the same household. Robert had six children from his first marriage that did not reside in the household. Margaret died in 1942 at age 37 and Robert died in 1983 at 99 years old (*Los Angeles Evening Express* 1925:28; *Los Angeles Times* 1932:12, 1933:12, 1938:35; U.S. Census 1940; U.S. Social Security Death Index 1935–2014).

The third owners of the house were Theodore and Helen Hay. Theodore Hay was an insurance agent and a member of the U.S. Navy between 1943–1945 during World War II. He held the rank of lieutenant and married Helen Mauvais in 1933. Helen Hay was a housewife and a member of the Huntington Memorial Clinic Auxiliary, a non-profit organization. The Hays had one daughter, Marcia Ann Hay (U.S. City Directories 1940, 1943, 1947; *Los Angeles Times* 1956:112; *Metropolitan Pasadena Star-News* 1945:12; *Pasadena Post* 1940:8; *San Francisco Examiner* 1933:13).

The next known owner of the house was Julian Catapano, born in 1924 in New York. He was a Corporal in the U.S. Marine Corps during World War II, enlisting in 1942 and discharging in 1945. He married Heidi Pegg in 1947 in California and remained in the state until his death in 1996. Heidi Catapano was born in 1918 and died in 2008 in California (U.S. Department of Veterans Affairs 1850-2010; U.S. Marine Corps 1945; U.S. Social Security Death Index 1935–2014).

Julian Catapano only owned the subject property briefly in 1977 before selling to Dr. Albert Hecton and Dolores Hecton, who lived there from 1977 to 1986. Dr. Hecton was an internist based in Pasadena, specializing in cardiology and nutrition. He also served as an advisor for the San Gabriel Valley Unit of the American Diabetes Association of Southern California Affiliate, Inc. He married Dolores “Dee” Canning in 1973 and died in 1985. Dolores moved from the subject property after her husband’s death and died in 2019. No additional information was uncovered about her career or personal life (*Los Angeles Times* 1979:245; *South Pasadena Review* 1979:13, U.S. Find a Grave Index 2019; U.S. Public Records Index 1950–1993, 1994–2019). Insufficient time has passed for any subsequent owners to have the potential to be historically significant individuals.

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4.0 SURVEY FINDINGS

4.1 ARCHITECTURAL DESCRIPTION

The single-family residence at 840 Winthrop Road is located on a 0.27-acre rectangular parcel at the eastern edge of Winthrop Street, a winding residential road within the Mission Street Residential Historic District. The one-story Spanish Revival style house has a unique floorplan with its primary access on the east façade facing the rear of the lot rather than the street-facing west façade. The plan is vaguely L-shaped except for the maid's quarters extending from the northwest corner of the residence. The three sections of the building are the maid's quarters, northwest-southeast oriented wing (main wing), and southwest-northeast oriented wing (secondary wing). The foundation of the residence is raised post-and-beam and follows the natural slope of the upper section of the lot. Due to the slope, the westernmost portion of the foundation is concrete slab.

The lot consists of two sections at different elevations. The lower, eastern portion of the lot is accessed via an exterior stuccoed concrete and tile stairway from the upper, western portion. The upper level is slightly sloped downward to the northeast and the lower level is flat. In addition to the stairs, a stuccoed concrete terrace for plantings separates the upper and lower portions of the yard (Figure 7). Much of the upper yard is hardscaped with concrete and brick. The lot is enclosed in chain-link fencing camouflaged by greenery on the north, south, and east sides. The western edge of the lot, which faces Winthrop Street, has a brick pillar and wood beam fence.

The residence features an irregular cross gable clay tile roof with wood brackets and decorative wood paneling beneath each gable. Other characteristics include brick exterior cladding over a wood frame, a partially enclosed brick patio on the west façade, an open concrete porch on the east façade, and a wood porch at the northwest access door. There are four exterior doors, including two on the southeastern porch, one at the northwest access, and a French door that leads to the patio. The patio is enclosed in a low curved brick wall approximately two feet tall.

A driveway runs along the southern boundary of the property and is comprised of two rows of concrete separated by a grass strip. The driveway leads to a two-car garage that features concrete cladding, a clay tile roof, one vertical wood plank electric garage door the width of two bays, a vinyl sliding glass door, and a glass-inset wood door (Figures 8-9). Both glass doors are on the northwest façade. A brick wall covered in vines connects the northwest corner of the garage to the easternmost corner of the main residence at an arched doorway that separates the driveway from a concrete porch (Figure 10).

The *west façade* of the residence faces Winthrop Road and consists of two sections—the southwestern exterior walls of the main wing and of the maid's quarters (Figure 11). Although the west façade faces Winthrop Street, the primary access to the lot, it does not serve as the primary entrance of the residence and is thus not historically considered the primary façade. The curved brick partial patio wall attaches to the main wing and maid's quarters. A true divided-light French door provides access from the interior of the main wing to the patio (Figure 12). A brick path leads from the maid's quarters to the sidewalk along Winthrop Street. There are two wood-frame windows on the southwest façade of the maid's quarters. One of these windows is two-over-two true divided-light and the other is three-over-three true divided-light, and both windows are single-hung sash types. There are two wood-frame windows on the southwest façade of the main wing; one is a large three-part window with a central true divided-light fixed portion flanked by two true divided-light casements and the other is a double true divided eight-light casement. Each window, other than the three-part window, has a brick rowlock sill and jack arch. The three-part window has a brick sill but has a wood beam header in place of a brick jack arch.

4.0 Survey Findings



Figure 7. Overview of the lower rear yard facing southwest (Redfin 2020).



Figure 8. Overview of the garage, facing northeast.



Figure 9. View of the garage, looking east.



Figure 10. View of southeast porch entrance, looking northwest.

4.0 Survey Findings



Figure 11. Overview of the west façade, looking north.



Figure 12. Overview of southwest patio and French door entrance, looking northeast.

The **south façade** includes the southeast façades of the maid quarters, main wing, and secondary wing. The southeast façade of the main wing features two windows and a curved cast iron gate that enters the concrete porch (Figure 13; see Figure 10). One window is a large three-part window with a central true divided-light fixed portion flanked by two true divided-light casements. Two rows of lights above the flanking casements are also fixed. The other window is a double true divided eight-light casement. There is a vent beneath the gable and vent openings in the brick near the ground. The southeast façade of the maid's quarters is also part of the south façade and features one three-over-three true divided-light window. The curved brick partial patio wall attaches to southeast façade of the maid's quarters. The southeast façade of the secondary wing features four openings—one doorway and three windows openings (Figure 14-15). One of the three windows and framing has been removed. The remaining windows are true divided three-light casements. The no longer extant third window was a fixed stained-glass window common for the Spanish Revival style (Figure 16). Although the opening remains, a door is no longer present. The door was a raised wood panel French door with inset stained glass in a crosshatch pattern (see Figure 16). The shed roof extension of the roof gable and porch attaches to part of the northeast façade of the secondary wing at the door opening. All the windows except for the large three-part window on the southeast façade of the main wing have brick rowlock sills and jack arches. The three-part window has a brick sill but has a wood beam header in place of a brick jack arch.

The southeast façade of the secondary wing and the east façade of main wing comprise the **east façade**, which is also the **primary façade** as it contains the primary entrances to the building. The main entrance from the driveway to the house leads through a metal gate to the porch area which spans the east façade of the main wing (Figure 17; see also Figure 10). The floor of the porch was previously covered with Spanish tile (see Figures 16 and 17), which has been removed, leaving the concrete bare (see Figure 15). The soffit of the porch roof is inlaid with wood plank. A wide double-door opening is present, but no doors remain (Figure 18; see Figure 15). The doors had been removed by the time of the survey, however prior real estate photographs reveal that the doors were wood, each with two stained glass inserts with a crosshatch pattern spanning most of the face of each door (see Figures 16-17). The east façade faces the upper portion of the yard which features hardscaping and decorative plantings (Figure 19). The hardscaping is a mixture of concrete and brick. The east façade also includes a small portion of the maid's quarters that extends northeast from the secondary wing (Figure 20). The east façade of the maid's quarters features a small wooden porch which is covered by a slight extension of the roof of the maid's quarters and has a single inset panel wood door with a glass insert. A winding brick path from the yard traverses the northeast corner of the residence of its northwest side. The brick path leads to the wood porch (see Figure 20).

The **north façade** of the residence consists of the northwest façades of the maid's quarters and the secondary wing (see Figure 20). The northwest façade of the secondary wing has similar features to other sides of the building including wood paneling beneath a side gable, wood roof brackets, brick cladding, vents beneath the gable and along the lower wall, and windows with brick sills and jack arches. The façade has five windows. One of those windows is a double casement with three true divided lights on each side and the other three windows are single casements with six true divided lights. The fifth window is the smallest and has two parts, a fixed lower portion and a top hopper portion attached to the frame on the interior with a metal chain. The northwest façade of the maid's quarters features two double casement windows with three true divided lights on each side. A chain-link fence spans the space between the northern edge of the lot and the northwest façade of the maid's quarters, severing the front yard from the northern side of the house.

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Figure 13. View of the southeast façade of the main wing, looking north.



Figure 14. Partial view of the southeast façade of the secondary wing and rear yard, looking northwest.



Figure 15. Partial view of the southeast façade of the secondary wing and concrete porch, looking northwest.



Figure 16. Overview of the concrete porch and southeast façade of the secondary wing prior to removal of doors, windows, and tiles (Redfin 2020).



Figure 17. Overview of the concrete porch and northeast façade of the main wing prior to removal of doors, windows, and tiles (Redfin 2020).



Figure 18. Overview of the concrete porch and northeast façade of the main wing, looking southwest.



Figure 19. Overview of the upper rear yard, facing northwest (Redfin 2020).



Figure 20. View of the porch and exit on the northeast façade of the maid's quarters.

The interior of the residence is entered from the primary entrance from the concrete porch along the southeast façade of the main wing which leads into a large open living room (Figure 21). Finishes throughout the interior include modern plaster walls over original lath, wide baseboards, and wood plank flooring. A fireplace is located on the northern wall of the living room and the ceiling is coffered. The ceiling and moldings are painted white, and the flooring is pale wood plank. The dining room is located west of the living room at the southwest edge of the main wing, and the library is located southeast of the dining room at the southeasternmost corner of the building. The dining room has a flat ceiling with recessed lighting (Figure 22). The library has beadboard panel cladding, built-in bookshelves, and flat ceiling with recessed lighting (Figure 23-24). The flooring in both the dining room and library is pale wood plank.

The kitchen is located northwest of the dining room. A set of French doors is situated between the kitchen and dining room which provide access to the patio (Figure 25). The kitchen has tile flooring and backsplash. The ceiling is flat with recessed lighting (Figure 26). Northwest of the kitchen is the maid's quarters which include a bedroom, bathroom, and a utility room. A swinging door separates the utility room from the kitchen. The maid's quarters bedroom has an angled roof and dark wood plank flooring (Figure 27). The maid's quarters bathroom is a three-quarters bath with tile flooring (Figure 28). The utility room has a door to the exterior and one window (Figure 29).

Northwest of the living room is a roughly L-shaped hallway with access to two bedrooms, a half-bath, the rear yard, and the basement (Figure 30). The door to the basement is wood with frosted inset glass. The stairs to the basement are wooden and narrow (Figure 31). The brick stack of a fireplace extends down to the basement which is approximately 300 total square feet. The basement has a poured concrete floor and board form concrete walls. The basement also has two access points to the subfloor crawlspace. The half-bath has tile flooring and one window opening with its framing removed (Figure 32). The master and secondary bedrooms both have pale wood plank floors, wide painted white baseboards, and flat ceiling with recessed lighting (Figures 33-34). The master bedroom also has a set of French doors, a fireplace, and a full bathroom (Figures 35-36). The secondary bedroom has built-in cabinetry and an attached full bath (Figure 37).

4.2 MISSION STREET RESIDENTIAL HISTORIC DISTRICT⁴

The Mission Street Residential Historic District is in western San Marino. It comprises 382 houses in the irregular area bounded roughly by Winthrop Road to the south, Euclid Avenue and Los Robles avenues to the west, South Oak Knoll Avenue to the east, and the northern city limit. The northeastern quadrant of the District abuts the Mission Street Commercial Planning District. Residences are one or two stories and set on large lots. The area is fairly flat or gently sloping. Streets are mostly straight, and improvements vary throughout the District. The neighborhood consists of single-family residences primarily designed in a mix of Period Revival styles with some compatible Minimal Traditional infill. Of the 382 houses within the District's boundaries, 306 contribute to the District's historic significance. Some properties have been altered, but overall, the District retains sufficient integrity to be eligible for listing in the NRHP, CRHR, and as a City of San Marino Historic District.

Period revival contributors include high style examples of Spanish Colonial Revival, Tudor Revival, American Colonial Revival, Monterey Revival, and Mediterranean Revival. The Spanish Colonial Revival style predominates throughout the neighborhood with particularly consistent stretches on Fleur Drive and eastern La Mirada Avenue.

⁴ This section is excerpted from the California Department of Parks and Recreation form for the historic district completed in 2020.



Figure 21. Interior overview of the living room from near the primary eastern entrance.



Figure 22. Interior overview of the dining room looking west.

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Figure 23. Interior view of the library, looking west.



Figure 24. View of the library entrance, facing northwest toward the dining room.



Figure 25. Interior view of the southwest French doors, facing the patio and looking west.



Figure 26. Interior overview of the kitchen, facing east.

4.0 Survey Findings



Figure 27. Interior overview of the maid's quarters bedroom.



Figure 28. View of the maid's quarters attached bathroom.



Figure 29. Interior overview of the utility room and exit door of the maid's quarters, facing east toward the kitchen.



Figure 30. Interior view, facing northwest, from the living room toward the hallway to the master and secondary suites, basement entrance, and half-bath.

4.0 Survey Findings



Figure 31. Detail view of the basement stairs.



Figure 32. Interior overview of the half-bath.



Figure 33. Interior overview of the master bedroom.



Figure 34. Interior overview of the secondary bedroom.

4.0 Survey Findings



Figure 35. Detail view of the master bedroom fireplace.



Figure 36. Interior view of the attached bathroom to the master bedroom.



Figure 37. Interior view of the attached bathroom to the secondary bedroom.

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5.0 EVALUATION OF ELIGIBILITY

Districts, sites, buildings, structures, and objects are assigned historical significance based on their exceptional value or quality illustrating or interpreting the heritage of San Marino or the United States in history, architecture, archaeology, engineering, and culture. A number of criteria are used in demonstrating resource importance. Specifically, criteria outlined in the CRHR and City of San Marino Criteria for Historic Landmarks are similar and provide the guidance for making such a determination. The following sections detail the criteria that a resource must meet in order to be determined eligible and a full evaluation of eligibility for 840 Winthrop Road.

In evaluating the single-family residential building at 840 Winthrop Road, ASM considered factors relevant to making a recommendation of eligibility, including:

- the history of San Marino;
- the history of the building's construction, use, and associations;
- the history of the surrounding community and the building's relationship to that community;
- the building's association with important people or events;
- whether the building is the work of a master architect, craftsman, artist, or landscaper;
- whether the building is representative of a particular style or method of construction; and
- whether the building has undergone structural alterations over the years, the extent to which such alterations have compromised its historical integrity, and the current condition of the property.

5.1 REGULATORY FRAMEWORK AND ELIGIBILITY CRITERIA

5.1.1 California Register of Historical Resources

The CRHR program encourages public recognition and protection of resources of architectural, historical, archaeological, and cultural significance; identifies historical resources for state and local planning purposes; determines eligibility for state historic preservation grant funding; and affords certain protections under CEQA. The criteria established for eligibility for the CRHR are directly comparable to the national criteria established for the NRHP.

In order to be eligible for listing in the CRHR, a building, object, or structure must satisfy at least one of the following four criteria:

- 1) It is associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.
- 2) It is associated with the lives of persons important to local, California, or national history.
- 3) It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values.
- 4) It has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California, or the nation.

Historical resources eligible for listing in the CRHR must also retain enough of their historic character or appearance to be recognizable as historical resources and to convey the reasons for their significance. For the purposes of eligibility for the CRHR, integrity is defined as “the authenticity of an historical resource’s physical identity evidenced by the survival of characteristics that existed during the resource’s period of significance” (California Office of Historic Preservation 2001). This general definition is generally

strengthened by the more specific definition offered by the NRHP—the criteria and guidelines on which the CRHR and City of San Marino Criteria for Historic Landmark are based.

5.1.2 City of San Marino Criteria for Historic Landmark Designation

The City of San Marino’s historic preservation ordinance was adopted in 2018. In 2020, the City of San Marino’s Community Development Department established the first citywide historic resources survey, which identified places of social, historical and architectural significance. The survey identified potential historical resources but did not formally evaluate any properties. Formal evaluation is subject to public notification, participation, and review. The City criteria is analogous to that set by the CRHR. To be considered for landmark designation, a property must meet one or more of the following criteria:

- 1) It is or was once associated or identified with important events or broad patterns of development that have made a significant contribution to the cultural, architectural, historical, and political heritage of the City, region, State, or Nation;
or
- 2) It is or was associated with an important person or persons who made a significant contribution to the history, development, or culture of the City, region, State, or Nation;
or
- 3) It embodies the distinctive characteristics of a style, type, period, or method of construction; exemplifies the work of a well-recognized architect or builder, or possesses high artistic or aesthetic values; or it represents one of the last, best remaining examples of an architectural type or style in a neighborhood or the City that was once common but is now increasingly rare.

The ordinance also states,

Historic landmarks must retain integrity from their period of significance with respect to its location, design, setting, materials, workmanship, feeling, association, or any combination of these factors. A proposed landmark need not retain all such original aspects, but must retain sufficient integrity to convey its historic, cultural, or architectural significance. Neither the deferred maintenance of a proposed landmark nor its dilapidated condition shall, on its own, be equated with a loss of integrity.

Integrity should be judged with reference to the specific characteristics that support the property’s eligibility (City of San Marino Municipal Code, Chapter 23.18).

In addition to the above ordinance, the *San Marino Historic Resources Survey Report* establishes evaluation guidelines specific to various themes and property types within the citywide historic context statement. In order to be eligible for local listing, a historic district must be significant under one of the established themes of the citywide historic context statement,

- 1) for its association with patterns of residential development in San Marino; and/or as the site of a significant historic event from this period
- 2) for its association with a person (or persons) significant in the history of San Marino.
- 3) for embodying the distinctive characteristics of one or more architectural styles or types; and/or as the notable work of one or more architects or master builders; and/or for possessing high artistic or aesthetic values.

The relevant contexts and themes from the *San Marino Historic Resources Survey Report* for the evaluation of 840 Winthrop are included in the next section.

5.1.3 San Marino Recent Past Context and Themes⁵

THEME: Residential Development, 1931–1945

In an era characterized by economic uncertainty and massive unemployment, most communities nationwide saw a near-cessation of construction activity during the first half of the Great Depression. San Marino, too, felt the effects of the 1929 stock market crash and ensuing economic depression, with a notable construction slowdown from 1931 through 1934. These were the worst years of the Depression for most parts of the country. As people began defaulting on their mortgages, the bursting of the 1920s housing bubble was a major contributor to the crisis; by early 1933, about half of the country's home mortgages were in default. San Marino's default rate was likely less than the national average, given the low amount of construction on spec and the continued holding of most land by very wealthy owners, but lenders were nonetheless cautious. Between 1931 and 1934, the city's residential development slowed greatly (with some 1920s subdivisions like Gainsborough Heath and San Marino-Patton Estates remaining undeveloped) but never stopped – apparently some owners could afford to build without loans or had sufficient credit to coax reluctant financiers into lending.

Nationwide prospects began to improve in the mid-1930s as the federal government implemented a number of ambitious New Deal programs, including the passage of the National Housing Act establishing the Federal Housing Administration. With its greater base of wealth and stable housing market, San Marino recovered quickly. Construction and home sales in the city began to pick up again in 1935 and continued at a steady pace, bolstered by aggressive marketing by local realtors touting San Marino as a city for those of “moderate income,” not just a “rich man's town.” The city's development activity actually exceeded its 1920s pace in the early 1940s, experiencing the construction of many new houses on smaller, more modest scales than seen previously. This new construction happened primarily in previously established subdivisions, reconfigured to accommodate more houses on smaller lots. San Marino's population reflected its continued growth, mushrooming from 3,719 in 1930 to 6,078 in 1936 and 8,175 in 1940.¹²⁹ The 1936 count, taken by the San Marino Police Department, included 795 “servants and other employees residing on place” – constituting 13% of the total population, this number of live-in employees indicates that San Marino was still quite wealthy, even while it was marketing itself to residents of moderate means.

It is clear that San Marino's development slowed during the worst years of the Great Depression, just as development slowed across the nation, but it did not stop completely. The federal government passed the Home Owners' Loan Corporation Act in 1933 as one of several acts meant to help stabilize housing values and slow losses. It created the Home Owners' Loan Corporation (HOLC), which refinanced loans for borrowers to prevent default, and created standards for assessing the credit-worthiness of neighborhoods. In 1934, the passage of the National Housing Act created the Federal Housing Administration (FHA), which provided federal insurance for privately financed mortgages as long as the lenders submitted to federal standards. These and other federal programs during this time stimulated the revival of the construction industry, especially in better-off places like San Marino. The city felt the effects quickly. In 1935, it saw the construction of 138 new buildings, a threefold increase from 1934, with a total valuation (including additions and alterations to existing buildings) of almost \$1.4 million – nearly a million dollars over the year before.¹³⁹ Growth continued upward over the next few years, reaching its height in 1940. In that year, 263 new buildings (nearly all houses) were constructed, as were 284 additions to new buildings, at a valuation of \$2.4 million. Even as construction picked up, real estate values remained lower than they had during the speculative years of the 1920s. But in terms of sheer volume of construction, 1940 exceeded even the height of the 1920s boom, as did 1941 (with 246 new buildings). The difference was in the types of houses built.

⁵ This section is excerpted from portions of the *San Marino Historic Resources Survey Report* completed in 2020.

While San Marino still saw construction of architecturally distinctive homes on a grand scale during this period, far more common was the smaller-scale, developer-designed home. This is evident today in some of the city's small-scale neighborhoods like San Marino Highlands (south of Huntington Drive in the east part of the city, originally planned to be the southern part of Gainsborough Heath in 1927), San Marino Oaks (just west of San Marino Highlands), and San Marino-Patton Estates (between The Huntington Library and Huntington Drive, originally subdivided right before the 1929 crash). These subdivisions built between the late 1930s and the early 1950s exhibit small (mostly one-story) houses with repetitive building plans and consistent styles, primarily in Colonial Ranch, Cape Cod Ranch, and Minimal Traditional designs. The homes tended not to be as small as the typical FHA-compliant house built in the late 1930s to early 1940s; the first few built in San Marino Highlands averaged 1,600 square feet in size. But the city's developers and builders were clearly following the neighborhood and building design guidelines established by the FHA and formalized in its 1936 publication *Planning Neighborhoods for Small Houses*.

This guide encouraged things like curvilinear streets (already San Marino's predominant street type) and modest homes built to maximize efficiency and ensure consistent neighborhood character. This kind of development made more sense for large-scale builders who could "arrange for the purchase of land, the design of the subdivision plat, and the design and construction of the houses." In the case of San Marino Oaks and San Marino Highlands, it was California Subdividers. California Subdividers boasted that its San Marino Highlands homes "will be complete in every detail except for movable furnishings," and were to include central heat, air conditioning, and large, fully landscaped yards with sprinklers.

FHA guidelines also encouraged deed restrictions to ensure high property values; in practice, this included racial as well as design restrictions. Most, if not all, of San Marino's 1920s houses carried racially restrictive covenants in their deeds; this was common across Southern California at this time. Even in areas without formal deed restrictions, informal means were typically used to exclude people of color - particularly the common realtor practice of simply refusing to show or sell properties to anyone of undesirable ethnicity. In San Marino, this real estate practice appears to have excluded most Jewish as well as African American, Asian American, and Latino buyers. The city's realtors appear to have closely followed guidelines in the 1922 Code of Ethics for the National Association of Real Estate Brokers that stated, "A Realtor should never be instrumental in introducing into a neighborhood a character of property or occupancy, members of any race or nationality, or any individual whose presence will clearly be detrimental to property values in the neighborhood." From its incorporation until the last quarter of the twentieth century, San Marino's residents were overwhelmingly white.

The discriminatory practice of restrictive covenants was reinforced by HOLC, which created a nationally applicable framework for appraising properties, classing neighborhoods into one of four grades: A, B, C, and D, with corresponding colors green, blue, yellow, and red shown on residential security maps, based on factors like homogeneity of population as well as proportion of multi-family income properties to single-family residences and building age/quality. The FHA used these ratings to decide who met the lending requirements of FHA-insured mortgages. In a practice that became known as redlining, certain neighborhoods were classed as red, a category that was usually reserved for the oldest areas with the highest ethnic diversity and presence of "subversive racial elements." These neighborhoods were viewed as an undesirable credit risk to lenders, and their residents were rarely able to obtain FHA loans. HOLC rated all of San Marino as grade-A green in 1939, noting "Deed restrictions are ample and rigidly enforced" and "Population is homogeneous." Of the most prestigious Oak Knolls area in the northwest part of town, the HOLC appraisal sheet notes "It is one of the most exclusive districts in the country and merely to be a resident here presupposes a secure place in the social register."

While most of San Marino's late 1930s construction revival was due to federal programs like the FHA and HOLC, some credit is also due to an aggressive newspaper advertising campaign by a group of San Marino realtors. Display ads placed in the *Los Angeles Times* focused on San Marino as the ideal place to raise a

family, with safe streets, fresh air, reasonably priced homes, and good schools with comfortably white and upper-class students who “are drawn from the sort of homes that *you* will live in, and will grow up to be the men and women that your children will meet in the business and social world.” The tactic seems to have worked, as shown by a 1938 report by the city building inspector showing an average of one family a day was moving into a new home in San Marino. The same report noted that building permit valuations indicated “a definite trend towards smaller home construction.”

The U.S. entered World War II in 1941. New construction in San Marino slowed in 1942 and came to a screeching halt in 1943 due to the wartime building moratorium. Between 1943 and 1945, permits were granted for only three new buildings; additions and alteration work were all that was allowed, and their total valuations were quite low in comparison to those in 1940–1941. Construction would not resume again until after the war. By 1946 the country was facing a new future, and San Marino was poised to participate in the massive postwar economic boom to come. However, it had very little room left for new subdivisions as seen elsewhere in California, as the last burst of activity during the late 1930s early 1940s had claimed the last of the open parcels. They were quickly filling in with modest single-family houses, at a pace that would soon see them fully built out.

THEME: Architecture and Design, 1870–1980

San Marino’s built environment represents an array of architectural types and styles that illustrate different periods in the city’s development. Together, these various architectural resources provide San Marino with distinctive aesthetic qualities and help to define the community’s character.

The most common architectural styles in San Marino correspond with major periods in the community’s development history. Its early development from the late nineteenth century through the first decade of the twentieth century saw relatively little construction, with scattered single-family residences in Victorian-era styles soon joined by residences designed in the Arts and Crafts idiom. A few early examples of Period Revival styles were also constructed during this pre-incorporation period. After the city’s 1913 incorporation, it experienced its first period of intense development with the construction of numerous Period Revival single-family residences during the 1920s. Numerous Period Revival styles are represented, many on grand scales with high levels of articulation, often designed by notable architects. The city’s first institutional and commercial buildings from this time represent a range of designs, from the Mediterranean Revival of City Hall to low-scale commercial vernacular types with some Period Revival elements.

After a lull during the worst years of the Great Depression, 1931–1934, federal programs like the FHA and an aggressive marketing campaign by local realtors led to a resurgence in local construction. Large-scale, custom-built, single-family residences in Period Revival styles were built but were few in number compared with developer-built, small-scale, single-family residences in Ranch and Minimal Traditional styles; Cape Cod Ranch, Colonial Ranch, Minimal Ranch, and Traditional Ranch were all common in the city’s FHA-approved subdivisions from the late 1930s through 1941. Commercial development included more vernacular types with minimal Period Revival elements, as well as some Moderne influences.

Construction ceased during World War II, then resumed during the postwar period. San Marino’s postwar residential construction was similar to that seen immediately before the war: small-scale Ranch and Minimal Traditional residences in FHA subdivisions, with larger examples as infill in other existing subdivisions across the city. Geographically constrained and zoning restricted, the city was soon built out, and additions to or replacement of existing buildings became the main construction activity, though most older buildings remained intact. Commercial areas saw the most change, with construction of new vernacular and Mid-Century Modern examples, and renovation of many existing buildings with Modern elements. Modernism became the dominant idiom for new, large-scale, single-family residences, which were often designed by notable architects but were relatively few in number. All of these development periods are well-represented in San Marino, with the architectural styles characteristic of each period

showing a range in terms of size, scale, and articulation. Whether Period Revival, Ranch, or Modern, each style is represented by single-family residential examples from relatively small to enormous, with detailing from minimal to extravagant. The city's wealth, both past and present, is reflected by the preponderance of large and well-articulated homes, and by the fact that even the Depression-era houses in San Marino are relatively spacious (averaging 1,600 square feet).

The community has an impressive number of buildings designed by notable architects, designers, and prominent local builders. These local and regional practitioners include, but are not limited to, Frank D. Hudson, G. Lawrence Stimpson, Garrett Van Pelt, George Washington Smith, Gordon Kaufmann, H. Roy Kelley, Harold Bissner, Harold Zook, Jack De Long, Miller Fong, Myron Hunt, Paul R. Williams, Reginald D. Johnson, Roland Coate, Sylvanus Marston, Theodore Pletsch, Wallace Neff, and William A. Munsell.

By the late 1910s, Period Revival architecture prevailed throughout Southern California. A range of styles associated with Europe and Colonial America inspired Period Revival architecture in the early twentieth century. These styles remained a popular choice for residential design through the late 1930s and early 1940s. By World War II, Period Revival architecture had largely given way to styles such as Minimal Traditional and Mid-Century Modern, which were more pared down and embraced more contemporary materials in lieu of references to the past.

Sub-theme: Spanish Revival Style

Spanish Colonial Revival architecture gained widespread popularity throughout Southern California after the 1915 Panama-California Exposition in San Diego. The exposition's buildings were designed by architect Bertram Grosvenor Goodhue, who wished to go beyond the popular Mission architectural interpretations of the state's colonial past and highlight the richness of Spanish precedents found throughout Latin America. The exposition prompted other designers to look directly to Spain for architectural inspiration. The Spanish Colonial Revival style was an attempt to create a "native" California architectural style that drew upon and romanticized the state's colonial past.

The popularity of the Spanish Colonial Revival style coincided with Southern California's population boom of the 1920s. The versatility of the style, allowing for builders and architects to construct buildings as simple or as lavish as money would permit, helped to further spread its popularity throughout the region. The style's adaptability also lent its application to a variety of building types, including single- and multi-family residences, commercial properties, and such as Churrigueresque, Gothic Revival, Moorish Revival, or Art Deco. The style is characterized by its complex building forms, stucco-clad wall surfaces, and clay tile roofs. The Spanish Colonial Revival style remained popular through the 1930s, with later versions simpler in form and ornamentation.

Sub-theme: Ranch Style

Ranch style architecture first appeared in Southern California in the 1930s. Inspired by the Spanish and Mexican-era haciendas of Southern California and the vernacular, wood-framed farmhouses dotting the landscape of Northern California, Texas, and the American West, the style projected an informal, casual lifestyle that proved to be immensely popular among the American public. Early iterations of the Ranch style tended to be large, sprawling custom residences that were designed by noted architects of the day. However, after World War II, Ranch style architecture was pared down and also became a preferred style for economical, mass-produced tract housing. By some estimates, nine of every ten new houses built in the years immediately after World War II embodied the Ranch style in one way or another. The style remained an immensely popular choice for residential architecture – and was occasionally adapted to commercial and institutional properties as well – until it fell out of favor in the mid-1970s.

Traditional Ranch style architecture made its debut in the 1930s and is what is generally considered to be the “quintessential Ranch house.” Buildings designed in the style were awash in historical references associated with the vernacular architecture of nineteenth-century California and the American West, and generally took on a distinctive, rusticated appearance. Examples of Traditional Ranch architecture were prominently featured in general interest publications, notably *Sunset* magazine, which perpetuated the style’s popularity and led to its widespread acceptance among the American public.

Subsets of the Traditional Ranch style include the American Colonial Ranch, which features elements associated with the American Colonial Revival style (symmetrical façades, cupolas, classical details); the Hacienda Ranch, which loosely resembles the haciendas of late-nineteenth-century California, incorporating clay tile roofing and textured stucco exteriors; Cape Cod Ranch, which typically features a steeply pitched roof, a diversion from the traditional low-slung roofs of other Ranch variations; and Minimal Ranch, which is a pared down version of the Traditional Ranch, featuring simple floor plans and restrained ornamentation.

5.1.4 California Environmental Quality Act

CEQA Section 15064.5 *Determining the Significance of Impacts to Archeological and Historical Resources* requires that all private and public activities not specifically exempted be evaluated against the potential for environmental damage, including effects to historical resources. Historical resources are recognized as part of the environment under CEQA. It defines historical resources as “any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California.”

Lead agencies have a responsibility to evaluate historical resources against the CRHR criteria prior to making a finding as to a proposed Project’s impacts to historical resources. Mitigation of adverse impacts is required if the proposed Project will cause substantial adverse change to a historical resource. Substantial adverse change includes demolition, destruction, relocation, or alteration such that the significance of an historical resource would be impaired. While demolition and destruction are fairly obvious significant impacts, it is more difficult to assess when change, alteration, or relocation crosses the threshold of substantial adverse change. The CEQA Guidelines provide that a Project that demolishes or alters those physical characteristics of an historical resource that convey its historical significance (i.e., its character-defining features) can be considered to materially impair the resource’s significance. The CRHR is used in the consideration of historical resources relative to significance for purposes of CEQA. The CRHR includes resources listed in, or formally determined eligible for listing in, the NRHP, as well as some California State Landmarks and Points of Historical Interest. Properties of local significance that have been designated under a local preservation ordinance (local landmarks or landmark districts), or that have been identified in a local historical resources inventory, may be eligible for listing in the CRHR and are presumed to be significant resources for purposes of CEQA unless a preponderance of evidence indicates otherwise.

Generally, a resource shall be considered by the lead agency to be a “historical resource” if it:

- 1) Is listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (PRC Section 5024.1, Title 14 CCR, Section 4850 et seq.).
- 2) Is included in a local register of historical resources, or is identified as significant in an historical resource survey meeting the requirements Section 5024.1(g) of the PRC.
- 3) Is a building or structure determined to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California.

Integrity

In order to be eligible for listing in the CRHR, a property must retain sufficient integrity to convey its significance. The National Register of Historical Places (NRHP) publication *How to Apply the National Register Criteria for Evaluation*, Bulletin 15, establishes how to evaluate the integrity of a property: “Integrity is the ability of a property to convey its significance” (National Park Service 1998). The evaluation of integrity must be grounded in an understanding of a property’s physical features, and how they relate to the concept of integrity. Determining which of these aspects are most important to a property requires knowing why, where, and when a property is significant. To retain historic integrity, a property must possess several, and usually most, aspects of integrity:

1. **Location** is the place where the historic property was constructed or the place where the historic event occurred.
2. **Design** is the combination of elements that create the form, plan, space, structure, and style of a property.
3. **Setting** is the physical environment of a historic property and refers to the character of the site and the relationship to surrounding features and open space. Setting often refers to the basic physical conditions under which a property was built and the functions it was intended to serve. These features can be either natural or manmade, including vegetation, paths, fences, and relationships between other features or open space.
4. **Materials** are the physical elements that were combined or deposited during a particular period or time, and in a particular pattern or configuration to form a historic property.
5. **Workmanship** is the physical evidence of crafts of a particular culture or people during any given period of history or prehistory and can be applied to the property as a whole, or to individual components.
6. **Feeling** is a property’s expression of the aesthetic or historic sense of a particular period of time. It results from the presence of physical features that, when taken together, convey the property’s historic character.
7. **Association** is the direct link between the important historic event or person and a historic property.

5.2 EVALUATION

The citywide *San Marino Historic Resources Survey Report* did not provide an individual evaluation of eligible for 840 Winthrop Road that considered all CRHR/San Marino criteria. As such, ASM individually evaluated the property within the context of the themes and property types in the report completed for the City. Because the City of San Marino criteria broadly parallels Criteria 1-3 of the CRHR, they are considered concurrently below. The City of San Marino Landmark Designation does not have a criterion paralleling CRHR Criterion 4, so the Criterion 4 evaluation only applies to the CRHR.

5.2.1 Individual Evaluation

Criterion 1: The property is one of many single-family residences constructed during the period of growth after San Marino’s founding. There are many such residences extant throughout the City. The residence is representative of this period of development from 1931–1945 because of its date of construction and location within a residential development of this period. However, this connection with early residential development in San Marino is not strong or apparent enough for the property to be considered individually significant for this association. It does not appear to be associated with any other events that have made a

significant contribution to the broad patterns of history on the local or state level. As such, the subject property is recommended not eligible under CRHR/San Marino Criterion 1.

Criterion 2: ASM carefully considered whether the subject property is associated with any historically significant persons by reviewing owners and occupants of the residence throughout its historic era. Research did not reveal any historically significant individuals at the local, state, or national level affiliated with the property. As such, 840 Winthrop Road is recommended not eligible under CRHR/San Marino Criterion 2.

Criterion 3: To evaluate the property under CRHR/San Marino Criterion 3, ASM carefully considered whether 840 Winthrop Road embodies distinctive characteristics of a type, period, or method of construction, or whether it possesses high artistic values. The house has some character-defining features of the Spanish Revival style including a clay tile roof, wood decorative details, ceramic Mediterranean tiles, a porch with an arcade without arch framing, an asymmetrical floorplan, wood casement and double-hung windows, and decorative use of iron. However, the most recognizable and obvious characteristic of the style, stucco siding, is absent. Additionally, as the primary entrance and most notable present features of the style face the rear of the property, the residence is not visually an ideal or remarkable example of the Spanish Revival style from the public right-of-way and how the building is primarily seen. The most prominent feature facing the street, a squared bay window, is not typical of the Spanish Revival style.

To evaluate the property under CRHR/San Marino Criterion 3, ASM also considered whether the property represents the work of a master builder or architect. The residence was built by E. Vernal Clark, a prolific builder throughout southern California. Although Clark was a prolific builder with his work mentioned in building permit announcements in local newspapers, no information was found to suggest he was a master builder. Additionally, he is not a professional architect listed within the American Architectural Institute (AIA) Historic Directory of American Architects or the Pacific Coast Architecture Database (PCAD).

The residence is not a notable example of the Spanish Revival style. It does not embody the distinctive characteristics of the style, period, region, or method of construction as well as other local examples, nor is it associated with a significant architect or builder. As such, the property at 840 Winthrop Road is recommended not eligible under CRHR/San Marino Criterion 2.

Criterion 4: 840 Winthrop Road is recommended not eligible under CRHR Criterion 4. It is a common property type that does not have the potential to provide information about history or prehistory that is not available through historic research.

The subject property, 840 Winthrop Road, is recommended not individually eligible under any CRHR/San Marino Landmark criteria.

5.2.2 Historic District Evaluation

The subject property lies within the Mission Street Residential Historic District and was previously identified as a contributing property to the District in an evaluation from 2020. ASM concurs with the previous finding. The District is significant as one of the early sections of San Marino to be subdivided and developed. The District is eligible for listing in the NRHP, CRHR, and as a City of San Marino Historic District under Criteria A/1/1 and C/3/3. The District conveys significant patterns of residential development in San Marino from the 1920s to the 1950s and embodies the distinctive characteristics of multiple high architectural styles, predominantly Period Revival and Minimal Traditional styles.

Character-defining features of the District, noted in the Department of Parks and Recreation (DPR) District Record include building use and type, landscape features, streetscape features, building orientation and setbacks, and revival architectural styles. Specifically, the District features predominantly one to two-story

single-family residences in the Spanish Revival Style with generous setbacks, yards with mature parklike landscaping, and detached garages and driveways oriented on the side of the lot. Typical architectural features include complex massing, asymmetrical façades, corbeled jetties and balconettes, low-pitch hipped roofs with clay tiles, open wood-bracketed eaves, stucco exterior cladding, single and multi-paned windows predominantly casement in type, and decorative chimney caps. Within the right-of-way, the District's streetscape features sidewalks and ornamental cast stone streetlights with obscure glass lanterns.

Of the 382 total properties, 306 (80%) contribute to the District's historic significance. Of the 306 buildings that contribute to the District's significance, six have also been identified as individually eligible for designation (880 Winthrop Road, 1740 Ramiro Road, 2585 Monterey Road, 2385 Monterey Road, 1720 Ramiro Road, and 2787 Fleur Drive) (Architectural Resources Group 2020).

Integrity Assessment

Following the eligibility guidelines for historic districts outlined in the San Marino Historic Resources Survey Report, "the majority of the components within the district boundary must possess integrity, as must the district as a whole. Integrity of design, setting, materials, workmanship, and feeling must be strongly present in the district overall, and it should convey a strong sense of time and place (Architectural Resources Group 2020)." ASM concurs that the Mission Street Residential Historic District retains high integrity of design, setting, materials, workmanship, and feeling, sufficient overall integrity, and a strong sense of time and place.

ASM carefully evaluated 840 Winthrop's integrity to determine whether it still conveys the significance of the historic district and is therefore a contributing resource. The Mission Street Residential Historic District is eligible for the CRHR and local listing under CRHR and local criteria 1 and 3 with a period of significance of 1924–1955. The integrity assessment considers any alterations made since evaluation.

1. **Location** The house has not been moved and retains integrity of location.
2. **Design** Most of the design changes requiring a building permit occurred on the interior. Some permitted alterations are in progress on the northeast façade which faces the rear of the lot. Changes thus far include removal of two doors and their frames, a window and its frame, and tile flooring on the porch. No new exterior design changes have replaced those elements that have been removed but are planned to be similar in design. All other exterior design features are intact. Therefore, 840 Winthrop Road retains good integrity of design.
3. **Setting** The setting appears as it did in aerial photos from 1944–present. Therefore, the house at 840 Winthrop Road retains its integrity of setting.
4. **Materials** The house appears to have retained nearly all its original doors and windows. Two doors and one window have been removed on the northeast façade and have not yet been replaced but are planned to be replaced with in kind materials in a similar design. Although the roof has been replaced, it was replaced in kind. Therefore, the property retains integrity of materials.
5. **Workmanship** The house at 840 Winthrop Road retains all the components that serve as evidence of a particular period of history. Therefore, it retains good integrity of workmanship.
6. **Feeling** Because it has all the character-defining features of the Spanish Revival style and retains its setting, the house at 840 Winthrop Road retains good integrity of feeling.
7. **Association** 840 Winthrop Road is associated with the early development of San Marino and Period Revival architecture. It retains these associations, and thus retains good integrity of association.

The single-family residence at 840 Winthrop Road retains integrity of location, design, setting, materials, workmanship, feeling and association. ASM therefore concurs with the 2020 assessment that the property is a contributor to the Mission Street Residential Historic District which is eligible under CRHR and San Marino Criteria 1 and 3.

5.2.3 California Environmental Quality Act Evaluation

As a contributor to an eligible historic district, 840 Winthrop Road is a “historical resource” pursuant to Section 15064.5(a) of the CEQA Guidelines.

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6.0 GUIDANCE FOR REHABILITATION

6.1 SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION

Based on the District's classification as a historical resource, the City requested rehabilitation of the street-facing façade conform to the *Standards* set forth by the National Park Service. The intent of the *Standards* is to provide guidance in the treatment of historic properties and the preservation of historic materials and features. The *Standards* offer four distinct approaches for the treatment of historic properties, each with their own guidelines: preservation, rehabilitation, restoration, and reconstruction. The proposed Project falls under Rehabilitation, which is defined as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions of features which convey its historical, cultural, and architectural values” (National Park Service 2017). The *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

6.2 CITY OF SAN MARINO RESIDENTIAL DESIGN GUIDELINES

Due to the subject property's location within a residential neighborhood of the City of San Marino, the City's *Residential Design Guidelines* should be considered in the design for the Project. The *Design Guidelines* apply to both new construction and alteration of existing buildings, and the document discusses neighborhood compatibility, site development, physical design components, and landscaping. The purpose of the *Design Guidelines* is to preserve neighborhood character and property values while promoting architectural design that enhances and is compatible with established neighborhoods. The *Design Guidelines* are targeted toward residential property owners, developers, architects, building designers, and contractors and are used by City staff to evaluate proposed projects. The recommendations provided are broad and thus each design element described does not apply to every home or style of architecture. The following sections of the *Design Guidelines* apply broadly to exterior remodels and alterations, and therefore apply to the Project. Portions of the guidelines that are irrelevant to the proposed architectural alterations are not included in the summary of the guide below (City of San Marino 1999):

A. **Neighborhood Compatibility** is defined as "having an architectural style, visual bulk, massiveness, height, width and length which is compatible with the neighborhood and harmonizes with the existing residential or commercial structures in the neighborhood." Features that may contribute or detract from neighborhood character compatibility include scale, proportions, orientation, setbacks, relationships to site contours, and other design elements such as texture, color, finishes, and materials.

1. **Architectural consistency and compatibility**

- Additions and other alterations should be consistent and continuous with the original house's design elements, including the overall architectural style.
- Spanish Revival style character defining features listed in the *Design Guidelines* include: a height of one to one and one-half stories, flat or low-pitch gable roofs with little or no overhang, red tile roofs, parapet caps, stucco siding, arched windows and porch openings, a large focal window on the front façade, a wing wall at one corner, and indoor-outdoor continuity by use of patios and terraces.

2. **Streetscape compatibility** is the appearance of a developed property as viewed from a public street, incorporating elements such as setbacks, mass and height, roof forms, façades, entry locations, porches, garages, fences, hardscaping, and other architectural and landscape features. Alterations to existing buildings should respect the established neighborhood patterns.

- The mass and height of a new building, addition, or other alteration should blend well with the neighboring structures and not overwhelm them with out of character or disproportionate design.
- New structures should observe existing front and side yard setbacks and follow the same pattern for placement.
- Visual impact to adjacent properties should be minimized to avoid obstructing sunlight, create a loss of privacy, or obstructing a neighbor's view.

B. **Site Development**

1. **Site plan considerations** address how well a building fits within its setting. Effective site planning should reflect the natural attributes of the site while maintaining compatibility with the neighborhood.

- Buildings should be designed to be compatible with the natural slope of the land, features of the site, and established patterns found in the neighborhood.
 - The size, mass, and height of a structure should be in proportion to both the size of the property and nearby structures.
 - Open space and landscaped areas should visually blend with adjacent properties and extend a sense of open space.
 - Private open space such as patios and gardens should maximize use of sun and shade patterns, natural drainage, and existing trees and vegetation.
 - Maximize vegetative ground cover, use permeable surfaces and reduce paving, use trees and shrubs to provide a parklike atmosphere and shade a residence, use native planting or drought-tolerant plants to decrease water demand, recycle and repair existing materials, and use high-quality long-lasting materials that are not energy-intensive to manufacture.
2. **Environmental Considerations** refer to ways to conserve energy, materials, and money through good and compatible design.
- Use roofs with large overhangs and trellises or utilize deciduous trees in front of south-facing windows for energy efficiency.
 - Use native or drought-tolerant trees and shrubs to create a pleasant park-like atmosphere while reducing water demand.
 - Use windows and buffers such as porches and patios to optimize natural light and promote natural cooling. Incorporate attic turbines for ventilation.
 - Orient the building or any additions on the site respective to natural landforms.
 - Maximize vegetative ground cover on the lot to reduce runoff and provide water and drainage to trees. Use permeable surfaces whenever possible and avoid extensive paving.
 - Recycle, repair, and maintain well-built existing structures and materials. Use quality long-lasting materials.
 - Maximize floor area usage, eliminate unnecessary rooms, simplify floorplans, and avoid large garages.
- C. **Physical design components** include mass, scale, building volume height and rooflines, façade treatment, front entries, integrity of architectural details, windows, doors, awnings, building materials, color, texture, roof treatment, chimneys, skylights, dormers, and accessory lighting.
1. **Mass and scale**
- Buildings should be compatible in mass and scale to surrounding buildings and with natural site features, conveying a sense of human scale through use of architectural elements such as simple roof forms, understated entries, low pitch roofs, façade articulation, roof breaks, textured walls, ornamental details, and incorporation of landscaping.
 - **Façade treatment:** Façades should complement each other and remain relevant to the homes architectural style. Treatments should be applied to all façades and accessory structures. Architectural features such as decorative moldings, windows, dormers, chimneys, balconies, railings, lattices, etc. are encouraged (when

appropriate to the architectural style). Façades should provide a sense of human scale and avoid large areas of flat, blank wall with lack of treatment.

- **Front entrances:** A front entrance, including both the front door and any surrounding architectural elements, is the primary focal point of a residence. The *Design Guidelines* broadly encourage small and recessed entrances to a human scale, decorative elements and doors that are consistent with the style of the house, and one-story roofs or overhangs that serve as porches (when appropriate for the style).

2. Windows and doors

- All new windows and doors should match those that are on the existing structure, and they should be composed of the same materials as those found on the structure.
- Proposed window mullions, trim, surrounds, material, and type should complement all existing windows and be in scale with the structure. Windows made of natural materials are encouraged. Window lites should be true divided and proportional, and windows with widely varying styles are discouraged.
- Doors should be compatible with the architectural style of the structure and designed at human scale. Doors made of natural materials such as wood and single door entries are encouraged.

3. Integrity of Building Materials, Color, and Texture

- Design and materials should be applied consistently on all façades and appropriate with the architectural style of the structure.
- New materials should match those of the existing structure. Accessory structures should also match materials, finishes, and colors found on the primary structure. The use of at least one strong accent material is encouraged, but an excess of different materials is discouraged. Genuine natural materials are preferred.
- Earth tone colors are preferred. The use of strongly contrasting colors for accent use can be appropriate. For most styles, the number of exterior colors should be limited to a maximum of three, with an additional contrasting accent color. In general, darker colors are encouraged for trim and accents while lighter colors should be used for the main body of the building.

4. Roof Treatment

- The design should be harmonious to itself, the overall building structure, and the architectural design and style.
- Natural materials should be preserved for harmony with the natural setting, the elegance of the city, and for their architectural integrity. Selection of a synthetic roofing material should take into account architectural style and design, the neighborhood character, the amount of roof exposed to public view, the roof shape and slope, and sun angles. Synthetic materials should simulate natural materials.
- For remodels, repairs, and additions, care should be taken to match the color of the existing tiles, so the roof does not have a patched appearance. Colors of natural materials such as wood, tile, and slate should be left natural and not altered by staining or painting.
- Glossy roof surfaces are strongly discouraged.

- a. **Chimneys** provide aesthetic and practical functions as well as a break to horizontal structures.
 - Chimneys should be designed to reflect the architectural style of the structure and be appropriate in scale to the structure. Spark arresters should also be architecturally compatible with the structure.
 - Chimneys should use materials and detailing compatible to those found on the structure.
 - For remodels and additions, new chimneys should match the scale, design, and materials of any existing chimneys.
5. **Accessory Lighting** includes all fixtures on the front façades, security lighting, and landscape lighting.
- Fixtures should be compatible with the architectural style, materials, color, and scale of a project.
 - Exterior lighting of a façade should not wash out architectural features. Lighting that reinforces the architecture and blends into the landscape is strongly encouraged.
 - Accessory lighting should be positioned so no direct light extends into neighboring properties.

Any changes to the landscape of the residence will be made in consultation with a landscape architect and the guidelines for landscaping and environment considerations in sections B-2 and D of the City's *Design Guidelines*.

6.3 REVIEW OF PROPOSED DESIGN

Because 840 Winthrop Road is a contributor to a historical resource, the proposed Project's design was reviewed to determine if it is compatible with the existing building and Mission Street Residential Historic District as per the *Standards* for rehabilitation and the *Residential Design Guidelines* established by the City. As the alterations to the non-street-facing façades of the residence have already been reviewed and approved by the City, this review is limited to the proposed alterations on the street-facing west façade (see Appendix E).

The proposed Project includes alteration of the floorplan that results in alterations to the west façade of the residence at 840 Winthrop Road. The property is a contributor to the Mission Street Residential Historic District, which is eligible under CRHR/San Marino Criterion 1 and 3. Character-defining features are integral to the building design and its architectural style for which it is significant and associated with the historic district. These features visible on the west façade include the low-pitch cross-gable clay tile roof, the brick exterior siding, wood accents, true divided-light wood casement and single-hung sash windows, and overhanging eaves. The following specific alterations, shown in Appendix E, are proposed with retaining the building's contributing status in mind.

1. Removal of a chimney, including an exterior chimney stack partially visible on the west façade.
2. Replacement of the single-hung window on the south façade of the maid's quarters (W16) with a casement type window so it may serve as a means of egress from the sleeping bedroom of the maid's quarters. Based on Section 8-503 of the *California Historical Building Code*, the new window may have minimum clearance area of 3.3 square feet and a minimum width

or height dimension of 18 inches; however, due to safety concerns the client chooses to comply with the more stringent *California Building Code* which states that an egress window to a sleeping bedroom should have a sill no higher than 44 inches above the floor/ground with a minimum 20-inch width by 24-inch height opening dimensions. The new window will match the original window in appearance using in-kind design, materials, and light pattern. Specifically, the new window will be wooden, have true divided lights, use a three-over-three light pattern, and simulate the appearance of a single-hung sash window.

3. Replacement of the French doors on the southwest façade of the main wing with a single-hung window (W17) designed to match the three-over-three single-hung windows on the southwest and southeast façades of the maid's quarters (W15 and W17). The reduction in the opening will be filled using brick and mortar that matches the extant materials, pattern, and construction technique elsewhere on the structure or by reusing brick removed elsewhere on the building. The alteration is necessitated by the creation of a power room in this area within the interior of the building, a new interior use.
4. Replacement of the southernmost window on the west façade of the main wing (W01) with a three-over-three double-hung window to match the appearance of windows W15, W16, and W17. The new window will match the existing windows in materials and finishes. The interior framing of the window also indicates it originally matched the size of three-over-the-three single-hung windows (Figure 38). Thus, this alteration seeks to restore the opening of W01 to its original size and most probable window type.



Figure 38. Interior wall construction of W01 showing original, larger size.

5. Replacement of the square bay window on the southwest façade of the main wing with an entrance that will become the new primary entrance to the residence. The new entrance will use approximately the same size opening as the current bay and will retain the existing articulation. The entrance will consist of a 3'-0" by 6'-8" wood door flanked by operable true divided-light sidelights, similar to the existing sidelight windows. The solid wood raised-panel new entrance door will be in-keeping with front entry doors typical of the Spanish Revival style and use natural materials encouraged by the *Design Guidelines*. The alteration is needed to allow for a new primary entrance on the street-facing façade which is in-keeping with typical residences in the District and in the Spanish Revival style. A through-wall mailbox on the left side of the entry door and a parcel closet on the right side of the entrance will also be added.
 - Accent lighting will be placed on either side of the new primary entrance.
 - A brick and concrete walkway will be added to provide access from the sidewalk and driveway to the new primary entrance.
6. Installation of two half-round 16-inch x 21-inch copper roof vents. The top of each vent will be clad with Spanish tile to match the existing roof material. The shape, size, copper color of the vents, and use of Spanish tile will reduce their visibility and maintain the overall current appearance of the roof.

6.3.1 Secretary of the Interior Standards for Rehabilitation

Standard 1

The subject building will retain its historical use as a residence. Thus, the Project adheres to Standard 1.

Standard 2

Original distinctive materials and features will be retained wherever possible, except where the new use requires it. All alterations will be made with repurposed or in-kind materials and match existing and retained features on the building to preserve historic character. Alteration 1 does not affect a feature considered distinctive or character-defining to the Spanish Colonial Revival style; the chimney stack is not a character-defining feature of this style.

The original window/character-defining feature being replaced with Alteration 2 is necessary to meet state fire and safety requirements that supersede compliance with the *Standards*. The specific size of the new egress window was chosen by the client based on the *California Building Code* rather than the *California Historical Building Code* due to safety concerns. Nonetheless, the alteration will be completed using in-kind materials and match the existing window. Alterations 3-5 will also use compatible materials and designs present elsewhere in the current building features. The alterations will not result in a change to the pattern of fenestration but will change the composition of the windows/doors in the openings to accommodate a new interior floorplan.

The *Guidelines Preservation, Rehabilitation, Restoration, and Reconstruction of Historic Buildings (Guidelines)* that accompany the *Standards* note that new openings required by a new use should be made on secondary façades, and compatible with the overall design of the building although not exactly duplicate. The new replacement fenestration for Alterations 3 and 5 meet these Guidelines as the west façade was historically not the primary façade and the new windows and door will match the original features in materials and light pattern. Although the size of the new openings will not exactly duplicate the existing openings, the new windows and entrance are proposed to accommodate a new use of the interior spaces in those locations which is permitted by Standard 2.

Additionally, Alteration 5 will not alter a feature considered distinct to the building's style or the District. Spanish Revival style homes typically feature a focal window and entrance on the front façade, but the angular bay form of the existing window is not representative of the style. The original orientation of the residence, with its primary entrance and façade facing the rear of the property, also deviates from the Spanish Revival style and is not typical in the District. Both the District and Spanish Revival style most often feature primary entrances on public-facing façades. Thus, while creating a new primary entrance involves the alteration of the bay window, the change is simultaneously in-keeping with characteristics of the Spanish Revival style and the District. The new features from Alteration 5 will also meet the Guidelines by using historically appropriate materials and retain primary characteristics of the original bay window to include articulation, massing, size, and form.

Alteration 6 will be completed in such a way that the overall appearance of the distinctive Spanish tile roof is retained and Standard 2 is followed. Half-round clay tile clad roof vents are compatible with the style and blend into the roof design.

To adhere to Standard 2, all other distinctive features on the street-facing façade will be retained, including the brick exterior cladding, wood details, tile roof, and all original windows that are compatible with the existing and proposed new interior uses and safety functions (i.e., all windows not mentioned in the list of proposed alterations on other façades). In summary, the proposed alterations avoid extensive removal or changes to distinctive materials and character-defining features, thus the Project adheres to Standard 2. Furthermore, after rehabilitation, the house will retain enough of its character-defining features that convey the historical significance of the District to remain a contributing resource.

Standard 3

The alterations will retain most of the original building features and materials. Where changes will be made, these will match original materials and features elsewhere on the structure or that are typical of the Spanish Revival style. Therefore, no proposed changes will create a false sense of historical development or use conjecture. As such, the Project adheres to Standard 3.

Standard 4

Standard 4 does not apply to the Project. No past changes to the property have required historic significance in their own right that would warrant preservation.

Standard 5

The Project will retain most original materials and features of the west façade and overall residence. Where alterations will be made, all changes will match the materials, construction techniques, and architectural style of the residence to retain the distinctive craftsmanship and character of the property. Alteration 1 does not affect features that are considered distinctive or character-defining to the residence and would not affect the eligibility of the historic district or the property's status as a contributing historical resource to the District. As such, Alteration 1 of the Project adheres to Standard 5.

The original window/character-defining feature being replaced with Alteration 2 is necessary to meet fire and safety requirements that locally supersede compliance with the *Standards*. Alteration 3 affects the patio, a distinctive feature, on the west façade of the residence by removing the patio and replacing the French doors that access it with a window. The new window will match the material, type, size, finishes, and form of other windows on the building and west façade. Although patios and indoor/outdoor circulation are commonly featured throughout the Mission Street Residential Historic District and for Spanish Revival style residences, it is not an essential feature to the property's design to represent its style and craftsmanship or to retain its compatibility with the District, especially noting that the primary indoor/outdoor circulation space at this residence was on the rear of the property at the primary entrance/façade. Alterations 2, 3, and

4 will follow the window type, size, scale, proportion, materials, and massing of existing windows elsewhere on the building to remain consistent with the design of the property.

Replacement of the bay window (Alteration 5) will be made with care to retain the extant articulation, form, massing, and materials to minimize the effect of the alteration. The general shape and massing of the window opening will be retained but it will be extended slightly lower to the ground so it may serve as a safe and functional entry door, which is not currently present on the west façade but is a character-defining feature of the District. The extant casement windows on either side of the central fixed portion of the bay window will be transformed into sidelights that simulate the features of the original casements and use in-kind light patterns, finishes, and materials. The inclusion of a parcel locker and mailbox accessed through the sidelights will not be readily apparent, and the new sidelights will simulate the existing sidelights. In summary, effort will be made to preserve the distinctive bay window's primary features while allowing for functional alterations to provide a full-size primary entrance to the west façade of the building.

Alteration 6 will be completed in such a way that the overall appearance of the distinctive Spanish tile roof is retained. Furthermore, half-round clay tile clad roof vents are compatible with the style and blend into the roof design. Therefore, Alteration 6 also adheres to Standard 5.

Minimizing the effects of Alterations 2-6 on distinctive features assures the character and integrity of the building remains intact and that it remains compatible with and a contributing property to the District. Therefore, while Alterations 2-6 do not preserve all “distinctive materials, features, finishes, and construction techniques or examples of craftsmanship,” the alterations will be minimized and made in such a way that the character of the property will be preserved. Thus, while the Project does not strictly adhere to Standard 5, it meets the ultimate goal or function of the standard. After rehabilitation, the house will retain enough of its character-defining features that convey the historical significance of the District to remain a contributing resource.

Standard 6

There are no identified deteriorated historical features that require replacement. All extant features are structurally sound and intact. Windows W14 and W15 are painted shut from past activities but remain sound and can be easily restored to their operable state without compromising their structure. Therefore, W14 and W15 are not considered beyond repair and in need of replacement. Thus, the Project adheres to Standard 6.

Standard 7

No chemical or physical treatments that might damage historic materials, or otherwise, will be undertaken. Thus, Standard 7 is not applicable to the Project.

Standard 8

The property is not in an area of high archaeological sensitivity and ground disturbing activities are not proposed. However, should any archaeological resources be uncovered, work will stop and mitigation measures will be undertaken to protect such resources.

Standard 9

Exterior alterations will not destroy character defining features. Alteration 1 will remove the small chimney stack that is not prominent or unique enough to be considered a character defining feature of the residence. The care taken in the compatible but differentiated design of Alterations 3, 4, 5, and 6 prevent them from affecting the overall craftsmanship and character of the building.

Alterations 2 and 4 will follow the window type, size, scale, proportion, materials, and massing of existing windows elsewhere on the building to remain consistent with the design of the property.

The proposed new window configuration and brick infill to transform the French doors (Alteration 3) will be compatible with existing historic materials of the existing doors and façade. The new work in Alteration 3 will also reuse part of the French door opening to avoid destruction of historic brick and limit the use of new materials. The new window will follow the window type, size, scale, proportion, and massing of existing windows elsewhere on the building to remain consistent with the design of the property. Although some historic materials will be removed, namely the French doors and part of the door frame, the new design's compatibility will retain the historical and design integrity of the District.

Alteration 5 will change the bay window, a central feature of the residence, but the new work will be completed with compatible historic materials, articulation, size, scale and proportion, and massing. The existing opening will be reused, the articulation of the bay will be preserved, and new sidelights will reference the form and size of the two extant casement windows. Although some historic materials will be removed, the minimized changes preserve the overall fenestration of the west façade and protect the character and integrity of the District.

Alteration 6 will not detract from the overall appearance of the distinctive Spanish tile roof. Some existing clay tiles may be removed, but the proposed half-round clay tile clad roof vents are compatible with the style and will blend into the roof design.

Although proposed Alterations 2-6 result in the removal of some historic material, the proposed work does meet the ultimate goal of the standard to "protect the integrity of the property and its environment." As noted in Standard 3 above, the exterior alterations follow the *Guidelines* which recommend new openings required by a new use should be made on secondary façades and compatible with the overall design of the building, although not exactly duplicate. Furthermore, after rehabilitation, the house will retain enough of its character-defining features that convey the historical significance of the District to remain a contributing resource.

The original window/character-defining feature being replaced with Alteration 2 is necessary to meet fire and safety requirements that require an egress window and locally supersede compliance with the *Standards*.

Standard 10

Alterations 2-6 will be made using existing openings to allow for their possible future removal while retaining the essential form and integrity of the District. Alteration 3 will utilize part of the existing opening of the French doors and use matching infill brick, which may be removed in the future to return the opening to a set of French doors without having to affect the essential form and integrity of the residence. The same is true of the reconfiguration of the bay window opening (Alteration 5). Alteration 4 will expand opening W01 to its original size, and thus adheres to Standard 10. Alteration 6 may remove some existing clay tile, but is a minor enough alteration that the vents could be removed and the current roof appearance could be restored.

Therefore, the proposed Project is compliant with the *Standards* for rehabilitation and is compatible with the current building and historic district. The Project does not involve major changes such as an addition. All replacement features will be made with compatible materials and cohesive with the overall original building design by using forms and styles already present elsewhere on the residence. The alterations that might be considered more than minor (Alterations 3 and 5) will not detract from the historic character of the structure, nor will the alterations be so significant as to affect the residence's status as a contributor to the Mission Street Residential Historic District under Criterion 1/1 and 3/3 or the District's own eligibility. Thus, the Project is compatible with nearly all the *Standards* and the essential form and integrity of the building will be preserved.

6.3.2 California Environmental Quality Act

The proposed Project would have a less than significant impact to the contributor (840 Winthrop Road) and the Mission Street Residential Historic District. Projects that meet the *Standards* are considered mitigated to a level of less than significant pursuant to Section 15064.5(b)(3) of the CEQA Guidelines and qualify for a Class 31 CEQA Categorical Exemption. Therefore, the proposed Project would not result in a substantial adverse impact to a historical resource as defined in Section 15064.5(b) of the CEQA Guidelines.

6.3.3 City of San Marino Design Guidelines

A-1 Architectural Style and Design

The proposed alterations retain nearly all the architectural features typical of the Spanish Revival style on the west publicly visible façade including a low-pitch roof of red tile, corner wing, one-story massing, and wood windows and accent materials. The unique features of a clay tile roof, brick exterior cladding, and the pattern of fenestration and articulation on the west façade are also retained. Preservation of these features indicate that the residence would remain easily identifiable as a Spanish Revival building, a prevalent style in the Mission Street Residential Historic District. Although the west-facing patio and the entrance to the patio from the residence is to be removed and walking paths will be added, the landscaping of the street-facing façade will avoid excessive hardscaping and retain the parklike atmosphere encouraged by the *Design Guidelines* and is typical of the neighborhood. As such, the property will also remain in-character with the District and the Project follows the guidelines from Section A-1 which encourages the retention of traditional architecture and architectural consistency with other homes in the same neighborhood.

A-2 Streetscape Compatibility

No major changes to overall form, scale, building setback, roof form, shape, fencing, and massing are proposed, keeping the residence compatible with the neighborhood and its streetscape. The changes to create a main entrance on the west-facing façade and removal of the porch do not affect the appearance of the residence to the extent that it would become out of character with the adjacent properties or neighborhood. The alterations would also not affect the visual impact on adjacent properties by creating loss of privacy, blocking light or ventilation, or obstructing views. As such, the Project follows the recommendations in Section A-2 of the *Design Guidelines*.

B-1 Site Plan Considerations

No changes to the exterior site plan are proposed and thus compatibility with the neighborhood in regard to site planning is maintained. The residence will retain its historical and compatible set back, size, mass, height, open spaces, and orientation within the landscape. Thus, the Project follows the recommendations in Section B-1.

B-2 Environmental Considerations

There are no plans to alter existing vegetation. Changes to the floorplan will result in the same number of rooms. All building materials will be of high-quality to ensure lifespan and as much original materials as possible will be preserved in completion of the proposed design. Hardscaping in the rear yard will not be altered. Human-scale walkways will be added to the front yard following Sections B-2 and D (Landscaping) of the *Design Guidelines* to prioritize the preservation of vegetation and minimize impervious ground coverage. Thus, the Project follows the recommendations in Section B-2.

C-1 Mass and scale

The Project will not alter the roofline, height, articulation, floor area, and siting of the residence. Although some windows and doors on the west façade will be altered, their decorative details, articulation, and fenestration pattern will remain intact to preserve the overall mass and scale of the residence. The inclusion of two small roof vents will be camouflaged into the existing roof design by use of materials and color. The addition of decorative accent lighting to the new primary entrance will be in scale with the size of the door and other architectural details, as indicated in the sub-section on front entries and shown in the illustration examples of appropriate front entry and front entry treatments. Other forms of ornament, including jack arches, windowsills, brackets, and wood headers, will remain unchanged. Because the design retains the mass, scale, and building volume of the residence, the Project follows the recommendations in Section C-1 of the *Design Guidelines*.

C-2 Windows and Doors

All proposed alterations of windows and doors will be completed with materials, scale, type, and style matching those already existing on west façade and the remainder of the structure. Specifically, all windows and doors will use wood, true divided-light design and utilize existing openings and articulation. Trims and surrounds will also be retained or replicated in all instances. To further encourage compatibility and complementary design, windows on the west façades will be consistent in mullion width, lite size, proportion, and type wherever possible. The only deviation to this commitment will be the proposed egress window.

The Project does not strictly follow all the recommendations of Section C-2 of the *Design Guidelines*, but the singular deviation is minor. The exception to adherence to the guidelines is the proposed egress window which will be a casement type to allow for a larger opening, following fire and safety requirements. However, the new egress window will emulate the other west façade windows in all other characteristics of design and material. Ultimately, the Project does not alter the qualities Section C-2 is meant to preserve.

C-3 Integrity of Building Materials, Color, and Texture

The exterior materials will be retained or replaced with in-kind natural materials and use of natural colors will be prioritized. Any change in accent color will be consistent across features currently accented with a contrasting color, notably windows, window frames, doors, and door frames. Accent materials, namely the wood eave brackets and headers as well as brick headers and sills, will also be preserved or replaced in-kind. The existing contrast between the tile roof, wood accents, and brick façades will be retained.

C-4 Roof Treatment

There are no plans to alter the roof in material, shape, form, height, or overhang width except for the removal of the small chimney stack that extends upward from the roof and placement of two camouflaged vents. The chimney stack is nearly invisible from public view due to its size, placement, and obstructive vegetation and trees. The chimney stack is also not large or prominent enough to be considered a key feature of the building. As such, removal of the chimney stack does not alter the aesthetic, style, form, scale, of the structure. The addition of two half-round vents with compatible building materials and design to the existing roof and Spanish style also will not alter the aesthetic, style, form, scale, of the structure. Thus, the roof will remain harmonious with itself and the surrounding neighborhood in style and feeling, and the Project does not alter the qualities Section C-4 of the *Design Guidelines* is meant to preserve.

Therefore, the proposed Project as described and represented in Appendix E is compliant with the *City of San Marino Residential Design Guidelines*. As proposed, the Project is compatible with the Mission Street Residential Historic District and the existing contributing building. All replacement features will be made with compatible materials and remain cohesive with the overall building design by using forms and styles already present elsewhere on the residence and typical of the Spanish Revival style. The alterations that

might be considered more than minor (Alterations 3 and 5) will not detract from the historic character of the structure or the District, and the alterations will be compatible with both the qualities of the existing residence and neighborhood. Furthermore, the alterations will not be so significant as to affect the residence's status as a contributor to the District under Criterion 1/1 and 3/3 or the District's own eligibility.

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7.0 CONCLUSION

After documentation and evaluation of the history of the property at 840 Winthrop Road, and careful consideration of its ability to reflect the historic contexts with which it is associated, ASM concurs with the previous finding that 840 Winthrop Road is a contributor to an eligible historic district, the Mission Street Residential Historic District, under CRHR and San Marino Criteria 1 and 3. As such, 840 Winthrop Road is part of a historical resource pursuant to Section 15064.5 of CEQA.

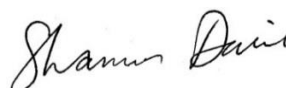
Based on the District's status as a historical resource and request by the City, ASM evaluated the Project for adherence to the *Standards* and the *City of San Marino Residential Design Guidelines*. Upon reviewing the *Standards*, *City of San Marino Residential Design Guidelines*, and four iterations of the architectural plans for the Project (revised between September 2021 and January 2022 to comply with the *Standards*), ASM has concluded that the work adheres to *Standards* and nearly all the *City of San Marino Residential Design Guidelines*. As such, ASM is able to provide the City with its support of the Project as designed in Attachment E.

Please contact our office, as needed, if you have questions or concerns.

Sincerely,



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APPENDICES

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APPENDIX A
Site Forms

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PRIMARY RECORD

Primary # _____
HRI _____

Trinomial # _____
NRHP Status Code 3S, 3CS, 5S3

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 5

*Resource Name or # (Assigned by recorder) Mission Street Residential Historic District

P1. Other Identifier: _____

*P2. Location: Not for Publication Unrestricted *a. County Los Angeles

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____

c. Address _____ City San Marino Zip 91108

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Mission Street Residential Historic District is located in western San Marino. It comprises 382 houses in the irregular area bounded roughly by Winthrop Road to the south, Euclid Avenue and Los Robles Avenue to the west, South Oak Knoll Avenue to the east, and the northern city limit. The northeastern quadrant of the district abuts the Mission Street Commercial Planning District. Residences are one or two stories and set on large lots. The area is fairly flat or gently sloping. Streets are mostly straight, and improvements vary throughout the district. The neighborhood consists of single-family residences primarily designed in a mix of Period Revival styles with some compatible Minimal Traditional infill. 306 properties contribute to the district's historic significance. Some properties have been altered, but overall, the district retains sufficient integrity to be eligible for listing in the National Register, California Register, and as a City of San Marino Historic District.

***P3b. Resource Attributes:** (List attributes and codes) HP2. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) Mission Street Historic District, Fleur Drive, view east (ARG 2020)

***P6. Date Constructed/Age and Sources:**

Historic
 Prehistoric Both
1924-1955

(sources listed on Page 3)

***P7. Owner and Address:**

Not Recorded

*P8. Recorded by: Name, affiliation, and address)

Mary Ringhoff, Rosa Lisa Fry,
Architectural Resources Group,
360 E. 2nd Street, Suite 225
Los Angeles, CA 90012

2/19/20-

*P9. Date Recorded: 2/27/20

***P10. Survey Type:** (Describe)

Intensive
 Reconnaissance

***P11. Report Citation:** (Cite survey report and other sources or enter "none.") ARG, "City of San Marino Citywide Historic Resources

Survey Report" (prepared for the City of San Marino, 2020)

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure & Object Record

Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record

Artifact Record Photographic Record Other (List) _____

DISTRICT RECORD

Page 2 of 5

*NRHP Status Code 3S, 3CS, 5S3

D1. Historic Name: _____ D2. Common Name: Mission Street Residential Historic District

*D3. **Detailed Description** (Discuss overall coherence of the district, its setting, visual characteristics, and minor features. List all elements of the district.):

The Mission Street Residential Historic District is a neighborhood of one and two-story single-family residences located on the far west side of San Marino. The neighborhood is mostly flat, though it is flanked on the east and west by channelized drainages of the Alhambra wash. The topography slopes downward towards these waterways, particularly in the northeastern and southwestern corners of the district. Streets are mostly straight, though there is no strict adherence to a grid. Improvements include concrete sidewalks and most streets feature ornamental cast stone streetlights with obscure glass lanterns. Houses retain generous setbacks with front lawns and scattered mature shade trees. Historic street trees are prevalent and can be found along many roadways throughout the district. Some streets retain consistent plantings of southern magnolia, jacaranda, or carrotwood trees. All properties have garages with driveways oriented on the side of the lot. Most garages are detached and sited at the rear of the parcels.

The Mission Street district consists of single-family residences primarily designed in a mix of Period Revival and Minimal Traditional styles. Period Revival contributors include high style examples of Spanish Colonial Revival, Tudor Revival, American Colonial Revival, Monterey Revival, and Mediterranean Revival. The Spanish Colonial Revival style predominates throughout the neighborhood with particularly consistent stretches on Fleur Drive and eastern La Mirada Avenue. Typical architectural features include complex massing and asymmetrical façades, incorporation of corbeled jetties and balconettes, a low-pitched hipped roof with clay tile roofing, open wood-bracketed eaves, stucco wall cladding, single and paired multi-paned windows (predominantly casement), and decorative chimney caps simulating turrets. Of the 382 total properties, 306 (80%) contribute to the district's historic significance. 76 of this district's properties do not contribute to its significance due to substantial alterations or construction dates after the period of significance. The district retains sufficient integrity to be eligible for listing in the National Register, California Register, and as a City of San Marino Historic District.

Of the 306 buildings that contribute to the district's significance, 6 have also been identified as individually eligible for designation (880 Winthrop Road, 1740 Ramiro Road, 2585 Monterey Road, 2385 Monterey Road, 1720 Ramiro Road, 2787 Fleur Drive).

*D4. **Boundary Description** (Describe limits of district and attach map showing boundary and district elements.):

The Mission Street Residential Historic District constitutes an irregularly shaped area in western San Marino. The district is bounded by Winthrop Road to the south, Euclid Avenue and Los Robles Avenue to the west, South Oak Knoll Avenue to the east, and the northern city limit.

*D5. **Boundary Justification:**

The boundaries of the Mission Street Residential Historic District were drawn to encompass a relatively intact area of residential development and related site features which retain sufficient integrity to convey their significance. The boundaries of the district roughly correspond to tracts subdivided in the mid-1920s, but have been modified to include only that portion of the neighborhood that retains enough integrity to convey its association with residential development from 1924-1955. Elements within the district boundaries are unified geographically and in terms of scale, style, use, and age.

*D6. **Significance:** Theme Residential Development; Architecture and Design Area San Marino
Period of Significance: 1924-1955 Applicable Criteria: A/1/1, C/3/3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Summary Statement of Significance:

The Mission Street Residential Historic District is eligible for listing in the National Register, California Register, and as a City of San Marino Historic District under Criteria A/1/1 and C/3/3. The district conveys significant patterns of residential development in San Marino from the 1920s to the 1950s and embodies the distinctive characteristics of multiple architectural styles (predominantly Period Revival and Minimal Traditional).

Residential Development and Architecture:

The Mission Street Residential Historic District is significant as one of the earlier sections of San Marino to be subdivided and developed. This westernmost corner of San Marino appears to be one of the few areas in the city not owned by railroad magnate Henry E. Huntington; instead the early ranchos were divided and sold to various developer groups. Before subdivision, orchards dominated the district and agricultural holdings in the area included Los Robles Rancho, the Pollard Ranch, and Richardson's Lemon Grove.

Similar to much of the development surrounding the Huntington Estate, the Mission Street Residential Historic District was fully subdivided and aggressively marketed in the mid-1920s. This district comprises 10 small tracts, all of which were originally subdivided between 1923-

(continued on page 3)

*D7. **References** (Give full citations including the names and addresses of any informants, where possible.): (See Page 3)

*D8. **Evaluator:** Mary Ringhoff and Rosa Lisa Fry **Date:** 2/19-2/27, 2020
Affiliation and Address: Architectural Resources Group, 360 E. 2nd Street Suite 225, Los Angeles, CA 90012

CONTINUATION SHEET

Page 3 of 5

Recorded By: Architectural Resources Group *Resource Name or # (Assigned by recorder) Mission Street Residential Historic District
Date: 2/19-2/27, 2020 Continuation Update

***D6. Significance** (continued from page 2):

1927 by different proprietors. The northwestern quadrant of the Mission Street Residential District was subdivided in 1924 and subsequently developed by the California Consolidated Building and Investment Corporation as Oak Knoll Grove. A *Los Angeles Times* article from November 16, 1924 announces the construction of 100 homes by the developer.¹ The neighborhood is noted as highly restricted with high grade improvements including macadam streets, sidewalks, and wide street frontages.² Additionally, the "balmy weather of Southern Italy" and proximity to the Huntington Hotel, Raymond Hotel, and California Institute of Technology are noted as selling points.

By 1926, many tracts in the eastern half of the district (9381, 9164, 9382, and 5529) were owned by the Evans-Lee Corporation and the area was marketed as the Old Mill Vista subdivision. A *Los Angeles Times* article from 1926 announced that the Evans-Lee Corporation and the Lincoln Mortgage Company planned to build homes in the area and lauded the desirable location near the Huntington Hotel and Old Mill. The article states, "In view of the historic background of the property, closely linked with the early mission days of Southern California, the development at Old Mill Vista will be carried out along Spanish lines."³ Many of the houses in Old Mill Vista were built in the Spanish Colonial Revival style by the subdivision developers and custom homes had to be approved by the Evans-Lee Corporation's jury of architects. Advertisements boast that "every lot has trees" and the area is "historic in its charms."⁴

The southwestern quadrant of the district does not appear to have been marketed as a unified subdivision. As such it is presumed that that most homes were custom-built and not the work of owner-developers. The three tracts in this area (7500, 7828, 8349) were subdivided between 1923-1924 and many of the earliest houses in the district appear in this area west of Los Robles Avenue. Although this section of the district was subdivided by different developers, it also features many Spanish Colonial Revival designs and maintains architectural cohesiveness with Oak Knoll Grove and Old Mill Vista. Development throughout the district was relatively swift, beginning on the west side and moving east, with scattered infill in the 1940s and 1950s. Approximately two thirds of the residences in the district were built in the 1920s and a quarter in the 1930s. The neighborhood was largely complete by the late 1930s, with compatible construction and infill continuing until the mid-1950s.

The Mission Street Residential Historic District contains a significant concentration of Period Revival and Minimal Traditional architecture, with high quality of design and craftsmanship conveyed by individual dwellings. District contributors retain the original plans, massing, and character-defining features of their respective styles. The district appears eligible for listing as a City of San Marino Historic District as an embodiment of significant patterns of residential development from the mid-1920s to the mid-1950s. It also appears eligible as a cohesive collection of intact Period Revival residential architecture, particularly the Spanish Colonial Revival style. The district retains sufficient integrity to convey its association with historic patterns of residential development, and to convey its original architectural character.

Evaluation of Significance:

The Mission Street Residential Historic District is eligible for federal, state, and local designation under Criteria A/1/1 for its association with significant patterns of events: specifically, residential development in San Marino from the 1920s to the 1950s. The district is also eligible for designation under Criteria C/3/3 for its association with the distinctive architectural character of the Period Revival (particularly Spanish Colonial Revival) and Minimal Traditional. The period of significance for the Mission Street Residential Historic District is 1924 to 1955, reflecting its major period of development and the time during which most of its buildings were constructed.

Evaluation of Integrity:

The Mission Street Residential Historic District contains a significant concentration of Period Revival and Minimal Traditional architecture, with high quality of design and craftsmanship conveyed by individual dwellings. Minimal Traditional and Period Revival styles were used concurrently throughout the period of significance. District contributors retain the original plans, massing, and character-defining features of their respective styles. As a result, the district appears eligible for listing in the National Register, California Register, and as a City of San Marino Historic District as an embodiment of significant patterns of residential development from the mid-1920s to the mid-1950s. It also appears eligible as a cohesive collection of intact Period Revival and Minimal Traditional residential architecture. The district retains sufficient integrity to convey its association with historic patterns of residential development, and to convey its original architectural character.

* **D7. References** (continued from page 2):

"\$1,000,000 To Be Spent," *Los Angeles Times*, November 16, 1924.

Architectural Resources Group, Inc. *City of San Marino Citywide Historical Resources Survey Report*. Prepared for the City of San Marino, 2020.

(continued on page 4)

¹ "Oak Knoll Grove Put on Market," *Los Angeles Times*, November 16, 1924.

² "\$1,000,000 To Be Spent," *Los Angeles Times*, November 16, 1924.

³ "New Tract Built Up," *Los Angeles Times*, June 26, 1926.

⁴ "Location is Everything," *Los Angeles Times*, June 5, 1926.

CONTINUATION SHEET

Page 4 of 5

Recorded By: Architectural Resources Group ***Resource Name or #** (Assigned by recorder) Mission Street Residential Historic District
Date: 2/19-2/27, 2020 Continuation Update

***D7. References** (continued from page 2):

- City of Los Angeles. *SurveyLA Los Angeles Citywide Historic Context Statement, Context: Architecture and Engineering, 1850-1980.* Themes prepared by multiple consultants for the City of Los Angeles Office of Historic Resources, 2018-2020.
- City of San Marino. Building permits, various dates.
- GPA Consulting, Inc. *Residential Period Revival Architecture and Development in Pasadena from 1915-1942.* Prepared for the City of Pasadena, 2004.
- "Location is Everything," *Los Angeles Times*, June 5, 1926.
- Los Angeles County Department of Public Works. Tract Maps. Accessed 2020 at <https://dpw.lacounty.gov/smpm/landrecords/TractMaps.aspx>.
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- Los Angeles Times*, various dates.
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- "New Tract Built Up," *Los Angeles Times*, June 26, 1926.
- "Oak Knoll Grove Put on Market," *Los Angeles Times*, November 16, 1924.

LOCATION MAP

*Resource Name or # (Assigned by recorder) Mission Street Residential Historic District
*Map Name: Mission Street Residential HD Location Map *Scale: See scale bar *Date of Map: 2/27/2020



State of California --- The Resources Agency
DEPARTMENT OF PARKS AND RECREATION

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code 3D, 3CD, 5D3
Other Listings _____
Review Code _____ Reviewer _____ Date _____

PRIMARY RECORD

*Resource Name or # (Assigned by recorder) 840 Winthrop Road

P1. Other Identifier: Element of Mission Street Residential Historic District

*P2. Location: Not for Publication Unrestricted

*a. County Los Angeles and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ 1/4 of _____ 1/4 of Sec _____ B.M.

c. Address 840 Winthrop Road City San Marino Zip 91108

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN 5323012026

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting and boundaries)

Evaluation: District contributor

Primary Architectural Style: Spanish Colonial Revival

Property Type: Residential—Single-family

Alterations: Other Alterations—Appears to be unaltered

*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

*P4. Resources Present: Building Structure Object Site District Element of District Other: _____

*P5a. Photograph or Drawing (Photograph required for buildings, structures, or objects)



P5b. Description of Photo: (view, date, accession #) View east, 2/24/2020

*P6. Date Constructed/Age and

Sources: Historic Prehistoric Both
1933 (Assessor)

*P7. Owner and Address:

Not Recorded

*P8. Recorded by: (Name, affiliation, and address) Mary Ringhoff, Rosa Lisa Fry, Architectural Resources Group, 360 E. 2nd Street, Suite 225 Los Angeles, CA 90012

*P9. Date Recorded: 2/24/2020

*P10. Survey Type: (Describe)

Intensive Reconnaissance

*P11. Report Citation: (Cite survey report and other sources or enter "none".) ARG, "City of San Marino Citywide Historic Resources Survey Report" (prepared for the City of San Marino, 2020).

*Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure & Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photographic Record Other (List) _____

Primary # _____

HRI # _____

Trinomial _____

Page 1 of 5

*Resource Name or # (Assigned by recorder) 840 Winthrop Road

Recorded by: Lisa Demarais, ASM Affiliates

Date: October 25, 2021

This evaluation is a continuation of the Primary Record for 840 Winthrop Road completed in 2020 by Architectural Resources Group for the City of San Marino. ASM concurs with the previous finding that the subject property is a contributor to the Mission Streets Residential Historic District. However, the citywide *San Marino Historic Resources Survey Report* did not provide an individual evaluation of eligibility for 840 Winthrop Road that considered each CRHR/San Marino Landmark criterion. As such, ASM evaluated the property individually within the context of the themes and property types in the report completed for the City. Because the City of San Marino criteria broadly parallels Criteria 1-3 of the CRHR, they are considered concurrently below. The City of San Marino Landmark Designation does not have a criterion paralleling CRHR Criterion 4, so the Criterion 4 evaluation only applies to the CRHR.

Report Citation: ASM Affiliates, Inc. 2022. *Historic Resource Assessment Report for 840 Winthrop Road, San Marino, Los Angeles County, California.*

Individual CRHR/San Marino Landmark Evaluation:

Criterion 1: The property is one of many single-family residences constructed during the period of growth after San Marino's founding. There are many such residences extant throughout the City. The residence is representative of this period of development from 1931-1945 because of its date of construction and location within a residential development of this period. However, this connection with early residential development in San Marino is not strong or apparent enough for the property to be considered individually significant for this association. It does not appear to be associated with any other events that have made a significant contribution to the broad patterns of history on the local or state level. As such, the subject property is recommended not eligible under CRHR/San Marino Criterion 1.

Criterion 2: ASM carefully considered whether the subject property is associated with any historically significant persons by reviewing owners and occupants of the residence throughout its historic era. Research did not reveal any historically significant individuals at the local, state, or national level affiliated with the property. As such, 840 Winthrop Road is recommended not eligible under CRHR/San Marino Criterion 2.

Criterion 3: To evaluate the property under CRHR/San Marino Criterion 3, ASM carefully considered whether 840 Winthrop Road embodies distinctive characteristics of a type, period, or method of construction, or whether it possesses high artistic values. The house has some character-defining features of the Spanish Revival style including a clay tile roof, wood decorative details, ceramic Mediterranean tiles, a porch with an arcade without arch framing, an asymmetrical floorplan, wood casement and double-hung windows, and decorative use of iron. However, the most recognizable and obvious characteristic of the style, stucco siding, is absent. Additionally, as the primary entrance and most notable present features of the style face the rear of the property, the residence is not visually an ideal or remarkable example of the Spanish Revival style from the public right-of-way and how the building is primarily seen. The most prominent feature facing the street, a squared bay window, is not typical of the Spanish Revival style.

To evaluate the property under CRHR/San Marino Criterion 3, ASM also considered whether the property represents the work of a master builder or architect. The residence was built by E. Vernal Clark, a prolific builder throughout southern California. Although Clark was a prolific builder with his work mentioned in building permit announcements in local newspapers, no information was found to suggest he was a master builder. Additionally, he is not a professional architect listed within the American Architectural Institute (AIA) Historic Directory of American Architects or the Pacific Coast Architecture Database (PCAD).

The residence is not a notable example of the Spanish Revival style. It does not embody the distinctive characteristics of the style, period, region, or method of construction as well as other local examples, nor is it associated with a significant architect or builder. As such, the property at 840 Winthrop Road is recommended not eligible under CRHR/San Marino Criterion 2.

Criterion 4: 840 Winthrop Road is recommended not eligible under CRHR Criterion 4. It is a common property type that does not have the potential to provide information about history or prehistory that is not available through historic research.

The subject property, 840 Winthrop Road, is recommended not individually eligible under any CRHR/San Marino Landmark criteria.



Photo 1. Northerly overview of the residence from the southwestern edge of the property.



Photo 2. Entrance to the northeastern porch which connects to the primary entry, view to the northwest.



Photo 3. Overview of northeastern porch and primary entrance (door missing) on the rear east façade of the main wing, view to the southwest.



Photo 4. Overview of northwestern façade at the northern property boundary, view to the southwest.



Photo 5. East façade of the residence, view to the northeast from the upper rear yard.



Photo 6. Southwest façade of the garage located east of the main residence building, view to the northeast.



Photo 7. Northwest façade of the garage, view to the east.



Photo 8. Northeast façade of the garage, view to the south.

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APPENDIX B
Resumés of Key Personnel

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Shannon Davis, M.A., RPH
Director/Architectural Historian/Historian



Firm Name: ASM Affiliates, Inc., Pasadena, California

Total Years of Experience: 23

Education:

M.A. 1998/Historic Preservation/George Washington University, Washington, D.C.

B.A. 1993/American History/University of Southern California, Los Angeles (Cum laude with honors)

Professional Profile:

Ms. Davis has more than 20 years of experience in the field of historic preservation. She has an MA in Historic Preservation/American Studies from George Washington University and a B.A. in American History from the University of Southern California. She has led ASM's Architectural History division since 2015. As an Architectural Historian at ASM, Ms. Davis has documented and evaluated numerous cultural resources for California Environmental Quality Act (CEQA) and National Register of Historic Places (NRHP) compliance including Historic Structures Reports (HSRs), Historic American Building Surveys (HABS), and National Register of Historic Places (NRHP) evaluations and nominations. Before joining ASM, Ms. Davis worked for the National Trust for Historic Preservation as their west-coast representative for heritage tourism. Much of Ms. Davis's professional experience is with the cultural resources programs of the National Park Service (NPS). For eight years she worked for the NRHP as an Historian.

Selected Project Experience:

Hollenbeck Park Lake Rehabilitation and Stormwater Management Project Archaeological Survey Report (ASR), Historic Property Survey Report (HPRSR), Historic Resource Evaluation Report (HREER) and Finding of No Adverse Effect (FNAE), Los Angeles County, CA

CLIENT: GDB Global for Caltrans District 7

Managed compliance documents following Caltrans guidelines for to the approval of proposed alterations and renovations to Hollenbeck Park located in the Boyle Heights neighborhood of Los Angeles. Completed research at multiple repositories and libraries within Los Angeles County, including the City of Los Angeles Department of City Planning's list of Historic-Cultural Monuments, and intensive field surveys including photographic documentation of identified resources. Reports followed Caltrans guidelines, including *Exhibit 6.2 Historic Resources Evaluation Report Format and Content Guide* and *Exhibit 6.2 Historic Property Survey Report Format and Content Guide*.

NRHP Nomination Update and HABS for Anacapa Island Light Station, Channel Islands National Park, Ventura County, CA

CLIENT: National Park Service

Conducted survey and archival research for the Anacapa Island Light Station Historic District on East Anacapa Island. Prepared HABS Level II historic report following both outline and narrative format, reviewed; approved by National Park Service staff at Channel Islands National Park and Regional HABS staff as part of a memorandum of understanding with the California State Historic Preservation Office (SHPO). Prepared the NRHP nomination update after the removal of some contributing resources to the historic district, and is awaiting signature by the Keeper of the NRHP.

Milpitas Ranch House/Hacienda Maintenance Manual, Fort Hunter Liggett, Monterey County, CA

CLIENT: Gulf South Research Corp/Army's Fort Hunter Liggett

Updated maintenance manual for 1930 ranch house designed by noted architect Julia Morgan for newspaper tycoon William Randolph Hearst, concurrent with her design of nearby Hearst's Castle. Conducted site inspection with US Army Corps of Engineers Historic Architect. Prepared manual targeted at maintenance staff audience, included background history of the property, assessment of current conditions, and specific guidance on what needs attention, how to preserve the building, where to acquire replacement materials, and recommended future restoration projects. Manual included quick reference guide to maintenance do's and don'ts and annual checklist. Developed in accordance with the SOI's *Standards* in support of Section 106 and 110 of the NHPA.

Historic Resources Survey of the Works of Architect Loch Crane, San Diego County, CA

Project Manager/Senior Architectural Historian

CLIENT: Caltrans

At the request of the California SHPO and as a mitigation measure for adverse effects for a separate Caltrans project, managed the preparation and completion of a Historic Resources Survey of the Works of Architect Loch Crane in the City of San Diego. Identified all known works of architect Loch Crane through search of records of Modern San Diego, communication with Crane's son, and searches of architectural journals and publications such as *Architectural Record* and *Southwest Builders and Contractors*. Conducted a reconnaissance-level survey of 34 buildings in conformance with NRHP and SHPO guidelines.

Cultural Resources Technical Report (CRTR) for the National Aeronautics and Space Administration's (NASA's) Ames Research Center Housing Project, Santa Clara County, CA

CLIENT: Mountain View Housing Ventures, LLC

Prepared a CRTR for a large housing developed on NASA's Ames Research Center federal property. Managed the survey of two historic properties – the U.S. Naval Air Station Sunnyvale Historic District and the individually eligible Hangar 1, as well as nearly 30 contributing resources to the historic district. Reevaluated more than 50 buildings and assessed direct and visual effects from the project. Prepared report that concluded the proposed project would not result in adverse effects to the historic district or the hangar. Conducted in compliance with Section 106 and in consultation with SHPO.

Historic Resource Assessment Report (HRAR) for the Glendale Young Women's Christian Association (YWCA), Los Angeles County, CA

CLIENT: YWCA

Prepared a HRAR for the Glendale YWCA to document and evaluate the building prior to demolition of a portion of the building. Oversaw archival research, intensive survey of the building, and development of a historical and architectural context for the property and surrounding areas. Developed recommendations and project alternatives so a determination of less-than-significant impact could be achieved.

City of Los Angeles On-Call Section 106 Historic Preservation Services Contract, Los Angeles Co., CA

CLIENT: Los Angeles Housing and Community Investment Department

Under a three-year on-call contract with the City of Los Angeles, provided Section 106 historic preservation services to advise and assist the City's Housing and Community Investment Department. Conducted survey and research, prepared all federal and state required documentation on the extent, condition, and status of potential historically significant properties, and coordinated with the SHPO, the U.S. Housing and Urban Development and the Advisory Council, and prepared a work plan and advised on updating the Programmatic Agreement to fulfill the purposes of the NHPA. Created a database to manage the work, track the status and findings of each project, and assist with the bi-annual reporting required under the PA. Completed Section 106 review approximately 50 properties throughout Los Angeles such as an apartment complex, the Old Junipero Serra Library, and the Algin Sutton Pool.

Lisa Demarais, M.H.P.
Architectural Historian/Historian



Firm Name: ASM Affiliates, Inc., Pasadena, California

Total Years of Experience: 4

Education:

M.H.P. 2018/Historic Preservation/University of Georgia, Athens, GA (Magna cum laude)

B.A. 2015/American History/Georgia State University, Atlanta, GA (Cum laude with distinction)

Professional Profile:

Ms. Demarais has four years of professional experience in historic preservation, public history, cultural resources documentation, and regulatory compliance, and meets the Secretary of the Interior's Professional Qualification Standards for Architectural History and History. Her professional background includes contributions to projects concentrating on the evaluation of individual historic properties, cultural landscapes, and historic districts under federal, state, and local criteria, including the National Register of Historic Places and California Register of Historical Resources. Ms. Demarais also has expert knowledge of interpretive and recreation planning, historic preservation design, and assessing the condition of historic structures. She has worked on projects primarily in California, with additional experience in Hawaii, Oregon, Oklahoma, Arizona, Georgia, and Florida. Ms. Demarais is experienced in archival research, developing historic contexts, assessing effects on historic properties, and in regulatory compliance under the California Environmental Quality Act, National Environmental Policy Act, and Section 106 of the National Historic Preservation Act.

Selected Project Experience:

California Department of Forestry and Fire Protection Historic Resource Inventory, statewide CA
Associate Architectural Historian

CLIENT: Department of Forestry and Fire Protection

Statewide inventory of historic-era California Department of Forestry and Fire Protection properties. Work involves the development of a historic context statement through archival and historical research, field survey of hundreds of properties, and eligibility evaluations of historic-age buildings under state and federal criteria toward the future development of a long-term preservation maintenance plan .

Historic Resource Assessment for 855 West Knoll Drive in West Hollywood, Los Angeles County, CA
Associate Architectural Historian

CLIENT: Michelle Wizman

Conducted an evaluation of a single-family residence at 855 West Knoll Drive in West Hollywood for eligibility for the California Register of Historic Resources, and as a Historic Cultural Monument in accordance with the California Environmental Quality Act. Work included archival and historical research, field survey, and preparation of the Historic Resource Assessment Report.

Cultural Resource Technical Report for the Central California Irrigation District's Orestimba Creek Recharge & Recovery Expansion Project, Stanislaus County, CA

Associate Architectural Historian/Field Supervisor

CLIENT: Provost & Pritchard

Performed cultural resource consulting services and provided a Cultural Resource Technical Report in compliance with Section 106 and the California Environmental Quality Act for a federal undertaking by

the U.S. Bureau of Reclamation, and the San Luis and Delta-Mendota Water Authority. Consulted in the definition of the project area of potential effect, conducted archival research, performed an intensive built environment field survey, evaluated cultural resources for National Register of Historic Places/California Register of Historic Resources eligibility, and recorded cultural resources using the appropriate Department of Parks and Recreation forms.

**Phase I Historic Resources Assessment 233 S. Hoover Street in Los Angeles, Los Angeles County, CA
Associate Architectural Historian**

CLIENT: Venicci Investment Group

Conducted an evaluation of a single-family residence and accessory dwelling unit at 233 S. Hoover Street in for eligibility for the California Register of Historic Resources and as a Historic Cultural Monument, in accordance with the California Environmental Quality Act. Work included archival and historical research, field survey, and preparation of the Historic Resource Assessment Report.

Historical Resources Evaluation Report for the City of Madera Lake Street/4th Street/Central Avenue Intersection Signalization Project, Madera County, CA

Associate Architectural Historian

CLIENT: Helix Environmental Planning

Conducted field survey to assist in the completion of a historical resource evaluation and an assessment of potential effects from the proposed project, in accordance with the California Environmental Quality Act and Section 106 of the National Historic Preservation Act.

On-Call Cultural Resources Services for the Cleveland National Forest Master Special Use Program and Powerline Replacement Project, San Diego, Riverside, and Orange counties, CA

Associate Architectural Historian

CLIENT: Insignia Environmental

Assisted in historic resources evaluation under Section 106 and the California Environmental Quality Act to assess the potential for effects from a proposed project. Duties included conducting archival research, field survey, preparing appropriate Department of Parks and Recreation documentation forms, and evaluating properties for National Register of Historic Places/California Register of Historic Resources eligibility.

City of Los Angeles On-Call Section 106 Historic Preservation Services, Los Angeles County, CA

Associate Architectural Historian

CLIENT: City of Los Angeles Housing + Community Investment Department

Determined areas of potential effects, completed historical background research, performed field surveys, compiled architectural documentation, and made Findings of Effect under Section 106. Prepared requisite memos to the City in accordance with an established Programmatic Agreement.

Historic Building Conditions Assessment for Point Conception Light Station Historic District, Santa Barbara County, CA

Associate Architectural Historian

CLIENT: Vandenberg Air Force Base

Conducted a review of current conditions for cultural resources within the National Register of Historic Places-listed historic district. Provided recommendations for restoring and preserving the site while adhering to the Secretary of the Interior's Standards for the Treatment of Historic Properties. Recommendations were made based on materials, location, and exposure, as well as using various National Park Service guidance documents.

APPENDIX C
Building Permits

Intentionally blank

CITY OF SAN MARINO

STREET#

840

STREET NAME

Winthrop Road

Address *840 Winthrop Road*

	Date issued	Final Insp. Date
Power Pole	_____	_____
Plumbing	_____	_____
Electrical	_____	_____
Heat/Air Cond.	_____	_____
Lathing	_____	_____
Sewer	_____	_____
Drive Approach	_____	_____
Sub. contr. list	date received	_____
Edison Co.	date released	_____
Gas Co.	date released	_____
Final Inspection		_____

Lot Area _____ sq. ft. = 30%
Lot Coverage to date _____ %

12-13-71 *Roof #16075*
2-7-72 *Final Roof*
10-19-73 *Bldg # 26944 (Roof)*
11-21-73 *Final Bldg*
2-22-77 *Bldg # 28920 - (replace wall)*
2-23-77 *Final Bldg*
9-26-80 *Bldg # 36477 Roof*
12-26-80 *Bldg # 36855 Wall + GATE*
FINAL ABOVE 13-17-81

INSPECTION RECORD

CITY OF
SAN MARINO

DESCRIPTION OF WORK ADD BATHROOM IN		
OWNER EXISTING SITTING	PHONE AREA.	
CONTRACTOR		PHONE
OCCUPANCY	TYPE OF CONSTRUCTION	USE ZONE
LEGAL DESCRIPTION LOT	BLOCK	TRACT

BUILDING	PERMIT NUMBERS 78627	
PLBG.	EJECT.	
DEMO/SEWER CAP	TPP.	

TO AVOID PENALTY FEES, THIS PROJECT COMPLETED BY: 4-4-00

EACH STAGE OF WORK SHALL BE LEFT EXPOSED FOR INSPECTION AND BE APPROVED BEFORE COVERING.

FOR INSPECTION CALL (818) 300-0711

	TYPE OF INSPECTION	DATE	INSPECTED BY
UNDERGROUND	1 SEWER CAP		
	2 TEMP. POWER POLE		
	3 UFER/SWEEPS		
	4 ELECT. IN SLAB		
	5 SANITARY PLUMBING		
	6 WATER PIPING		

ANCHORS, INSERTS, AND REINFORCEMENT TO BE ACCURATELY SECURED IN PLACE BEFORE INSPECTION IS REQUESTED.

	TYPE OF INSPECTION	DATE	INSPECTED BY
FOUNDATIONS	7 HOLD DOWNS		
	8 FOOTINGS/REBAR		
	9 RETAINING WALL FOOTING		
	10 OK - TO } 1ST LIFT		
	11 GROUT } 2ND LIFT		
	12 GRADE BEAM-SLAB		
	13		

OBTAIN INSPECTION AND APPROVAL OF WORK ITEMS THAT WILL BE OBSCURED FROM VIEW BY SURFACE COVERING.

	TYPE OF INSPECTION	DATE	INSPECTED BY
ROUGH PLBG. ELEC. MECH.	14 WASTE AND VENT		
	15 WATER PIPE		
	16 GAS PIPING		
	17 SHOWER PAN		
	18 BACKWATER VALVE		
	19 ELECTRICAL		
	20 GROUND/BOND		
21 HVAC			

FOR INSPECTION BY FIRE DEPT.

22 FIRE SPRINKLERS		
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FOR INSPECTION BY BUILDING DEPARTMENT

23 YARD ENCROACHMENT		
24 FLOOR SYSTEMS		
25 ROOF SYSTEMS		
26 SHEAR PANELS		
27 FIREPLACE		
28 STRUCTURAL STEEL		
29 FRAMING		
30 SUSPENDED CEILING		

	TYPE OF INSPECTION	DATE	INSPECTED BY
INSULATION	33 FLOORS		
	34 ROOF/CEILING		
	35 WALLS		
	36 CERTIFICATE		
OUTSIDE BLDG.	37 SEWER		
	38 WATER		
	39 GAS		
SURFACE COVERING	40		
	41 EXTERIOR LATH		
	42 INT. <input type="checkbox"/> LATH <input type="checkbox"/> DRYWALL		
	43 SHOWER/TUB LATH		
	44		
	45		

FOR INSPECTION BY FIRE DEPT. FINAL

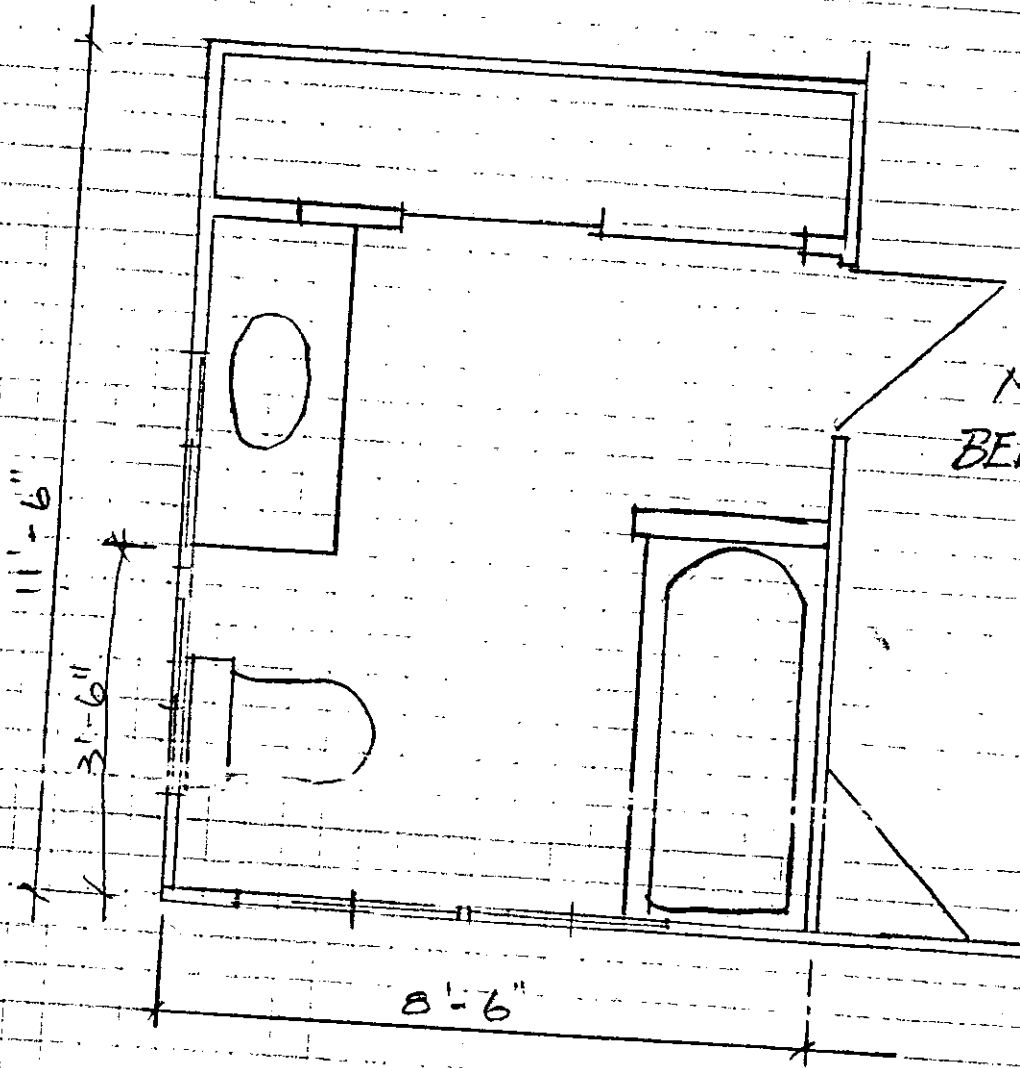
22 FIRE CONTROL SYSTEMS		
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CALL FOR FINAL INSPECTIONS WHEN APPROPRIATE PERTAINING TO THIS PROJECT HAVE BEEN APPROVED

	TYPE OF INSPECTION	DATE	INSPECTED BY	
FINAL INSPECTIONS	47			
	48			
	49			
	50 BACKWATER ACCESS			
	51 C/O TO GRADE			
	52 GAS TEST			
	53 PLUMBING			
	54 HEATING/A.C./REFRIG.			
	55 ELECTRICAL			
	56 INT. PARTITIONS			
RELEASE	57 FINAL BLDG.	10-15-99	HO	
	58 EDISON			
	59 GAS CO.			
	60 APPROVED TO OCCUPY			
	OFFICE	61 ISSUE C/O		
		62 PULL PLANS		
		63		
		64		
		65		

APPROVED PLANS MUST BE KEPT ON JOB REVERSE FOR ADDITIONAL INSPECTIONS

Job Address: 840 Winthrop, San Marino



NEW MASTER BATH FL

PROVIDE CLEANOUT MAIN L
FRONT YARD.

APPROVED PLAN

10-24-99

date

by

Alfred

FLORENS LIGHTING

SAN MARINO BUILDING DEPT

97.75 #

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier FRO Insurance Brokers Inc.
 Policy Number Binder 090199

(This section need not be completed if the permit is for one hundred dollars (\$100) or less). I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B Lic. No. 703142 Date _____

Contractor [Signature]

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code) Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law, (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

- I, as owner of the property or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.).
- I am exempt under Sec. _____, B.&P.C. for this reason _____

Owner: _____ Date _____

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, CIV. C.).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent [Signature] Date _____

JOB ADDRESS
840 Winthrop
 NUMBER _____

APPLICATION FOR
ELECTRICAL PERMIT
 PLANNING AND BUILDING DEPARTMENT
 SAN MARINO, CALIFORNIA

CONTRACTOR LSC Constr Corp STATE L
 MAILING ADDRESS 4037 Arden Dr. #5 CITY 261
 PROPERTY OWNER Mak Chik Lum
 MAILING ADDRESS 840 Winthrop, San
 NEW BLDG. EXIST. BLDG. SERVICE CHANGE REC OR F

NOTE: AN ELECTRICAL LOAD SCHEDULE MAY BE REQUIRED IF THE ADDED LOAD WILL NOT OVER _____

FEE COMPUTATION
 OUTLETS, PLUGS, SWITCHES, FIXTURES
 FIRST 20@ _____ EA.= _____ AND ADDNL@ _____

MOTORS		
QUAN	OVER	INCLUDING
	0	
	2	
	9	
	16	
OVER 50		
TOTAL AIR COND H.P.		

Please Refer to Fee Schedule NUMBER

- Temporary Power or Generator _____ @
- Range or Oven Outlets _____ @
- Service Amperes to 200 _____ @
- Service Amperes Over 200 _____ @
- Clothes Dryer Up to 1HP _____ @
- Clothes Dryer Over 1HP _____ @
- Dishwasher _____ @
- Furnace _____ @
- Garbage Disposal _____ @
- Kitchen or Bath Fan _____ @
- Signs (One @ \$15.00) _____ @
- Additional Signs _____ @
- Sub-Panel _____
- Miscellaneous _____
- Micro-Film Fee _____ per
- Permit _____

PERMIT # 78629 FEE \$ 30.50
 PERMIT APP. BY [Signature] DATE APR _____

I have carefully read and examined the above application and correct. All provisions of the Laws and ordinances governing and correct. All provisions of the Laws and ordinances governing will be complied with whether specified herein or not. No violation of the Labor Code of the State of California.

Signature of Owner or Authorized Agent [Signature]

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier FRD Insurance Broker, Inc.

Policy Number Binder 090179

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code I shall forthwith comply with those provisions.

Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEES.

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B Lic. No. 703142 Date _____

Contractor Daught Chang

OWNER - BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code). Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law, (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

I, as owner of the property or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

I am exempt under Sec. _____, B. & P.C. for this reason _____

Owner _____ Date _____

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, CIV.C.).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____ Date _____

INSTRUCTIONS: Use ball point pen, typewriter or hand written copies are legible. Erasures are not permitted. Obtain work. Penalties will be charged if work is started before

SM • 109 (REV 7/73)

JOB ADDRESS

840 Winthrop
NUMBER

APPLICATION FOR A

PLUMBING PERMIT

PLANNING AND BUILDING DEPARTMENT

(818) 300-0711

CITY OF SAN MARINO, CALIFORNIA

CONTRACTOR	<u>LAC Constr. Corp.</u>	STATE LICENSE NO.	<u>70</u>
MAILING ADDRESS	<u>4037 Aiden Dr. #5</u>	CITY	<u>SL</u>
OWNER	<u>Mak Chik Lun</u>		
MAILING ADDRESS	<u>840 Winthrop San Marino</u>		

FEE COMPUTATION

No. <u>1</u> Bathtubs	No. _____
No. <u>1</u> Water Closets	No. _____
No. <u>1</u> Lavatories	No. _____
No. _____ Sinks, Kitchen Bar, Floor, Serv.	No. _____
No. _____ Garbage Disposal	No. _____
No. _____ Water Heaters and/or Vents	No. _____
Total No. of Above Fixtures	<u>3</u> @ \$7.00
Lawn Sprinkling System Including Backflow Protection	@ \$7.00
Gas System 1-5 Outlets @ \$5.00 Added Outlets	@ \$1.00
Backflow Device Up To 2" @ \$7.00 each / Over 2"	@ \$15.00
Water Distribution System	@ \$7.00
Back Water Valve	@ \$7.00
Building Sewer	@ \$15.00
Sewer Cap or Cesspool Fill	@ \$7.00
Miscellaneous	
Issuance Fee	
Microfilming Fee	

FINALED
PERMIT APP. BY [Signature]

I have carefully read and examined the above application and find correct. All provisions of the Laws and ordinances governing building construction, and whether specified herein or not. No person shall be authorized by this permit until final building inspection has been received.

Signature of Mayor or Authorized Agent [Signature] CW# 103

PERMIT NO. 78628 FEE: \$

Top Pink - PERMANENT / Green - Pink - FINANCE / Canary - PERMIT
WHEN PROPERLY VALIDATED IN THIS SPACE CONSTITUTES A PERMIT TO DO THE WORK PRESENTED

WORKERS' COMPENSATION DECLARATION

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- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier FRO Insurance Brokers Inc.
 Policy Number #under 090199

(This section need not be completed if the permit is for one hundred dollars (\$100) or less). I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000). IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

LICENSED CONTRACTORS DECLARATION

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License Class B Lic. No. 703142 Date _____

Contractor Dwight Chang

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- I, as owner of the property or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).
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- I am exempt under Sec. _____, B.&P.C. for this reason _____

Owner: _____ Date _____

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Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Dwight Chang
 Signature of Applicant or Agent _____ Date _____

INSTRUCTIONS: Please print firmly in ink or use are legible. No erasures permitted. Separate perm Electrical, Lathing & Plastering, Heating & Air C WILL BE CHARGED IF WORK IS STARTED BE

JOB ADDRESS
840 Winthrop
 NUMBER _____ STR _____

APPLICATION FOR
BUILDING PERM
 PLANNING AND BUILDING DEPARTMENT
 2200 HUNTINGTON DR
 CITY OF SAN MARINO, CALIF

CONTRACTOR
LAC Constr. Corp.
 MAILING ADDRESS
4037 Arden Dr. #5 City SL

ARCH
 ENGR.

MAILING ADDRESS _____ CITY _____

PROPERTY OWNER _____

MAILING ADDRESS _____

DESCRIPTION OF WORK

NEW ADDN ALTER

Change sitting Area

Rm. 987

TO AVOID PENALTY FEES, THIS PERMIT MUST BE COMPLETED BY:

VALUATION	INCLUDE LABOR, MAT'L WIRING, PLUMBING, HEAT, ETC. \$
PROCESSING FEE \$	25.00
BUILDING PERMIT FEE \$	132.00
OTHER FEES OR CHARGES \$	90
MICRO FILM FEE \$	25.00
PLAN CHECK FEE \$	160.40
TOTAL FEES \$	322.40
	X 2
	320.80

I have carefully read and examined the above application and correct. All provisions of the Laws and ordinances will be complied with whether specified herein or not. N violation of the Labor Code of the State of California.

Dwight Chang
 SIGNATURE OF OWNER OR AUTHORIZED

PERMIT # 78627

CONDITIONAL USE PERMIT NO. _____

VARIANCE NO. _____

DRC. NO. _____

Pl. ch # 103
SCHOOL FACILITY

\$ _____ X _____ Sq. Ft.

WHEN PROPERLY VALIDATED IN THIS SPACE, THIS PERMIT TO DO THE WORK PRESCRIBED

White - PERMANENT / Pink - FINANCE
 Yellow - ASSESSOR / Gold - PERM

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier FRO Insurance Brokers Inc.

Policy Number 090199

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code I shall forthwith comply with those provisions.

Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B Lic. No. 703142 Date _____

Contractor [Signature]

OWNER - BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code). Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law, (Chapter 9) (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

- I, as owner of the property or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)
- I, am exempt under Sec. _____, B. & P.C. for this reason _____

Owner _____ Date _____

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, CIV.C.).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

[Signature]
Signature of Applicant or Agent Date _____

INSTRUCTIONS: Use ball point pen, typewriter or hand written copies are legible. Erasures are not permitted. Obtain work. Penalties will be charged if work is started before
SM • 109 (REV 7/73)

JOB ADDRESS

840 Winthrop
NUMBER

APPLICATION FOR A

PLUMBING PERMIT

PLANNING AND BUILDING DEPARTMENT

(818) 300-0711

CITY OF SAN MARINO, CALIFORNIA

CONTRACTOR <u>TAC Const. Corp.</u>	STATE LICENSE NO.
MAILING ADDRESS <u>4037 Aiden Dr #5</u>	CITY <u>San Marino</u>
OWNER <u>Mak Chik Lun</u>	
MAILING ADDRESS <u>840 Winthrop, San Marino</u>	

FEE COMPUTATION

No. _____ Bathtubs	No. _____
No. _____ Water Closets	No. _____
No. _____ Lavatories	No. _____
No. _____ Sinks, Kitchen Bar, Floor, Serv.	No. _____
No. _____ Garbage Disposal	No. _____
No. <u>1</u> Water Heaters and/or Vents	No. _____

Total No. of Above Fixtures	<u>1</u>	@ \$ _____
Lawn Sprinkling System Including Backflow Protection		@ \$ _____
Gas System 1-5 Outlets @ \$5.00 Added Outlets		@ \$ _____
Backflow Device Up To 2" @ \$7.00 each / Over 2"		@ \$ _____
Water Distribution System		@ \$ _____
Back Water Valve		@ \$ _____
Building Sewer		@ \$ _____
Sewer Cap or Cesspool Fill		@ \$ _____
Miscellaneous		@ \$ _____

Issuance Fee
Miscellaneous

FINALIZED

PERMIT APP. BY John

I have carefully read and examined the above application and find it correct. All provisions of the Laws and ordinances governing building construction have been complied with whether specified herein or not. No person shall be authorized by this permit until final building inspection has been completed.

[Signature]
SIGNATURE OF OWNER OR AUTHORIZED REPRESENTATIVE

PERMIT NO. 78651

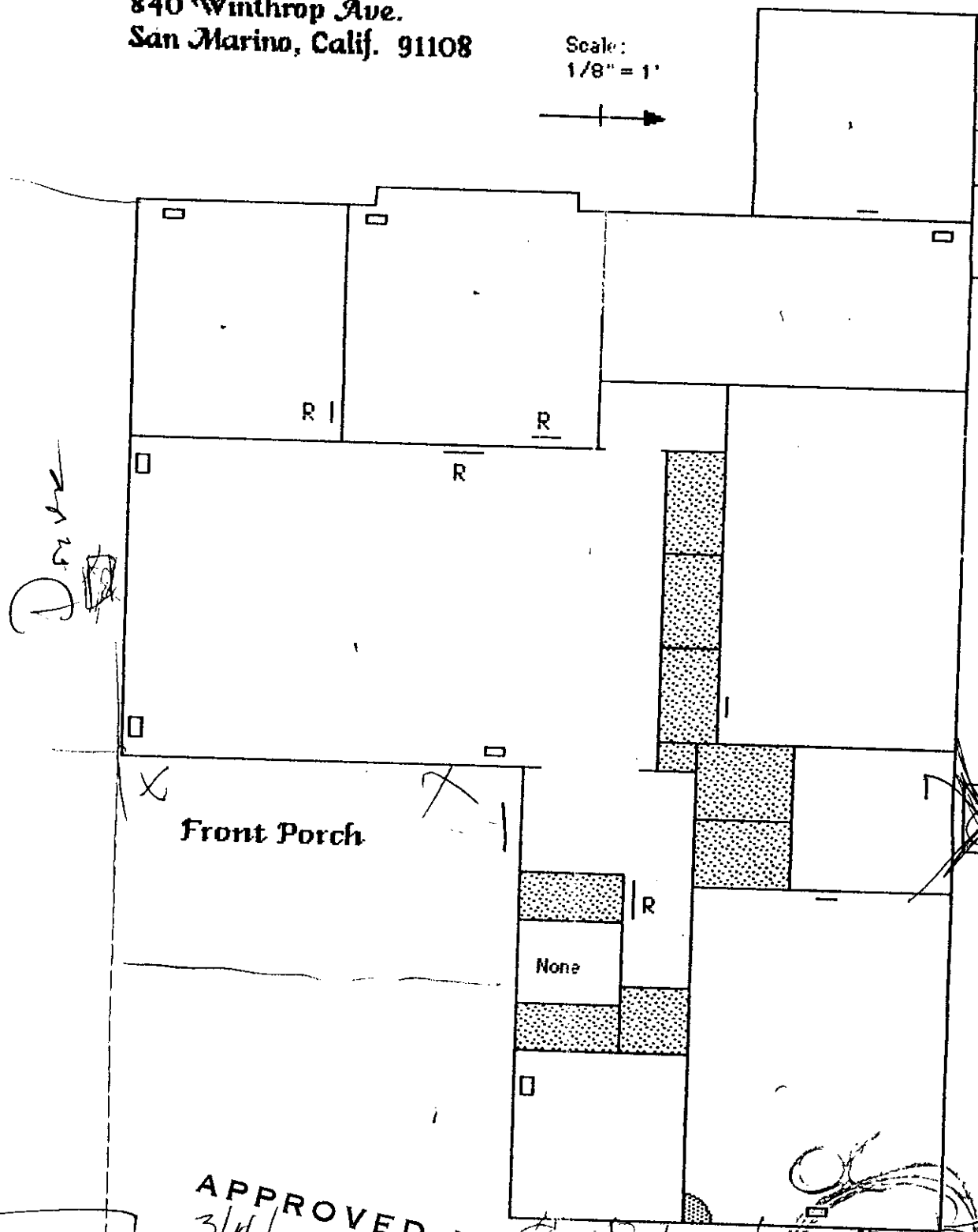
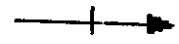
Top Pink - PERMANENT / Green
Pink - FINANCE / Canary - PERMIT

WHEN PROPERLY VALIDATED IN THIS STATE, THIS PERMIT CONSTITUTES A PERMIT TO DO THE WORK FOR WHICH IT WAS ISSUED.

Street

Mr & Mrs. H. Swenson
840 Winthrop Ave.
San Marino, Calif. 91108

Scale:
1/8" = 1'



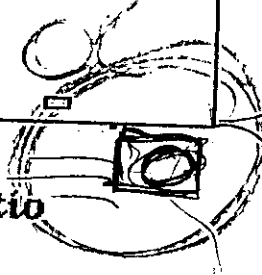
Driveway

Front Porch

None

Patio

APPROVED PLAN
3/4/55 date by *RG*
SAN MARINO BUILDING DEPT.



JOB ADDRESS

840 Winthrop
NUMBER STREET

APPLICATION FOR A PLUMBING PERMIT

BUILDING SECTION, PUBLIC WORKS DIVISION
CITY OF SAN MARINO, CALIFORNIA 91108 0020

CONTRACTOR
Gaylord K. Parker STATE LIC. NO. 293187 CITY LIC. NO. 139774

MAILING ADDRESS
9570 Inspiration W. Tujunga CITY Bisgard TEL. NO. 818 353-8426

OWNER
Bisgard TEL. NO. 441-0046

MAILING ADDRESS
840 Winthrop, San Marino

FEE COMPUTATION

No. <u> </u> Bathtubs	No. <u> </u> Clothes Washers
No. <u> </u> Water Closets	No. <u> </u> Shampoo Bowls
No. <u> </u> Lavatories	No. <u> </u> Drinking Fountains
No. <u> </u> Sinks, Kitchen Bar, Floor, Serv.	No. <u> </u> Urinals
No. <u> </u> Laundry Trays	No. <u> </u> Floor Drains
No. <u> </u> Water Heaters and/or Vents	No. <u> </u> Water Softeners
Total No. of Above Fixtures	@ \$ 4.50 ea. \$
Lawn Sprinkling System including Backflow Protection	\$ 6.00
Gas System 1-5 Outlets	@ \$ 6.00 ea. \$
Backflow Device 1-5 Devices \$6.00 Over 5 Dev.	@ \$ 9.00 ea. \$
Water Dist. System 1-2 Units \$6.00 Over 2 Units \$9.00	\$
Swimming Pool @ \$30.00 ea. Cesspool @ \$18.00 ea.	\$
Gas Dryer @ \$6.00 ea. Shower Drain @ \$6.00 ea.	\$
Garbage Disposal @ \$6.00 ea. Dishwasher @ \$6.00 ea.	\$
Building Sewer @ \$15.00 ea.	\$
Sewer Cap or Cesspool Fill @ \$6.00 ea.	\$
Private Sewer Disposal System @ \$30.00 ea.	\$
Sand Trap @ \$15.00 ea.	\$
P-Trap @ \$6.00 ea.	\$
Miscellaneous <u>Shower Pan</u>	\$ <u>6.00</u>
Permit Fee	\$ <u>26.00</u>
Investigation Fee	\$
Penalty Fee	\$
Plan Check Fee	\$
TOTAL FEE	\$ <u>32.00</u>

PERMIT APP. BY [Signature] DATE APPROVED _____

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final building inspection has been received.

Gaylord K. Parker
SIGNATURE OF OWNER OR AUTHORIZED AGENT

PERMIT # 44247 FEE: \$ 32.00

PERMANENT

WHEN PROPERLY VALIDATED IN THIS SPACE, THIS FORM CONSTITUTES A PERMIT TO DO THE WORK PRESCRIBED HEREIN

INSPECTION RECORD

BASIC INSPECTIONS

ITEM	INSPECTOR	DATE
GROUND WORK		
ROUGH GAS & PL'B'G		
SEWER, SEPTIC TANK		
SEEPAGE PIT, DRAINFIELD		
FINAL GAS		
FINAL PLUMBING	<i>Cricket</i>	<i>12/14/20</i>

PARTIAL OR MISC. INSPECTIONS

UNSUCCESSFUL TRIPS

DELINQ		

CORRECTION RECORD

**TO APPLICANT, PLEASE DO NOT WRITE
ON THIS PAGE**

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.)

Policy No. 96679-87 Company CALSTATE

Certified copy is hereby furnished.
 Certified copy is filed with the county building inspection department.

Date 3/4/88 Applicant E.L. PAYNE

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

(This section need not be completed if the work involved by the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws.

Date _____ Applicant _____

NOTICE TO APPLICANT: If, after making this certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions of this permit shall be deemed revoked.

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Number 120228 Lic. Class C20

Contractor E.L. PAYNE Date 3/4/88

I am exempt from the licensing requirements as I am a licensed architect or a registered professional capacity (Section 7051, Business and Professions Code).

Lic. or Reg. No. _____ Date _____

HOME OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Section 7031.5, Business and Professions Code):

I, as owner of the property, will do the work and the structure is not intended or offered for sale (Section 7044, Business and Professions Code).

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all City ordinances and State laws relating to building construction, and hereby authorize representatives of this City to enter upon the above-mentioned property for inspection purposes.

E.L. Payne - B. C. ODD 3/4/88
 Signature of Permittee Date

INSTRUCTIONS: Use ball point pen, type firmly. Be sure all copies are legible. Erase permit prior to commencing any work. Permit started before permit is issued.

SM - 109 (REV 7/73)

JOB ADDRESS

840 WINTHROP
 NUMBER

APPLICATION FOR
PLUMBING PERMIT

DEPARTMENT OF BUILDING AND SAFETY

(818) 300-0700

CITY OF SAN MARINO, CALIF.

43706

CONTRACTOR

E.L. PAYNE STA 12

MAILING ADDRESS

14823 CALFA ST. CITY VN

OWNER

SUSAN SWENSON

MAILING ADDRESS

840 WINTHROP RD., SAN MARINO, CALIF.

FEE COMPUTATION

- No. _____ Bathtubs No. _____
- No. _____ Water Closets No. _____
- No. _____ Lavatories No. _____
- No. _____ Sinks, Kitchen Bar, Floor, Serv. No. _____
- No. _____ Laundry Trays No. _____
- No. _____ Water Heaters and/or Vents No. _____

Total No. of Above Fixtures _____

Lawn Sprinkling System including Backflow Protection _____

Gas System 1-5 Outlets \$4.50 / Added Outlets _____

Backflow Device 1-5 Devices \$1.00 Over 5 Dev. _____

Water Dist. System 1-1 Units \$100.00 Over 3 Units _____

Swimming Pool @ \$30.00 ea. Cesspool _____

Gas Dryer @ \$6.00 ea. Shower Drain @ _____

Garbage Disposal @ \$6.00 ea. Dishwasher @ _____

Building Sewer @ \$15.00 ea. _____

Sewer Cap or Cesspool Fill @ \$6.00 ea. _____

Private Sewer Disposal System @ \$30.00 ea. _____

Sand Trap @ \$15.00 ea. _____

P-Trap @ \$6.00 ea. _____

Miscellaneous _____

Permit Fee _____

Investigation Fee _____

Penalty Fee _____

PAID
 MAR 04 1988
 City of SAN MARINO

PERMIT APP. BY RP DATE _____

I have carefully read and examined the above application and find it correct. All provisions of the Laws and ordinances governing building construction will be complied with whether specified herein or not. No person shall be held liable for any violation of the Labor Code of the State of California, if an occupancy of any building authorized by this permit until the permit has been received.

E.L. Payne - B. C. ODD
 SIGNATURE OF OWNER OR AUTHORIZED AGENT

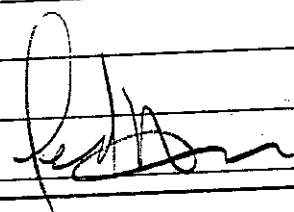
PERMIT # 56084 FEE: \$ 30.80

PERMANENT

WHEN PROPERLY VALIDATED IN THIS SPACE, THIS PERMIT CONSTITUTES A PERMIT TO DO THE WORK PRESCRIBED

INSPECTION RECORD

BASIC INSPECTIONS

ITEM	INSPECTOR	DATE
GROUND WORK		
ROUGH GAS & PLB'G		
SEWER, SEPTIC TANK		
SEEPAGE PIT, DRAINFIELD		
FINAL GAS		3/4/06
FINAL PLUMBING		

PARTIAL OR MISC. INSPECTIONS

UNSUCCESSFUL TRIPS

CORRECTION RECORD

TO APPLICANT, PLEASE DO NOT WRITE ON THIS PAGE

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier FRO Insurance Brokers Inc.
 Policy Number Binder 090199

(This section need not be completed if the permit is for one hundred dollars (\$100) or less). I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000). IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST AND ATTORNEY'S FEES.

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B Lic. No. 703142 Date _____

Contractor [Signature]

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code) Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law, (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

- I, as owner of the property or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)
- I am exempt under Sec. _____, B.&P.C. for this reason _____

Owner: _____ Date _____

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, CIV. C.).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

[Signature]
 Signature of Applicant or Agent Date _____

JOB ADDRESS
840 Winthrop
 NUMBER _____ STATE _____

APPLICATION FOR
ELECTRICAL PERMIT
 PLANNING AND BUILDING DEPARTMENT
 SAN MARINO, CALIFORNIA

CONTRACTOR L&C Constr Corp. STATE _____

MAILING ADDRESS 4037 Arden Dr. #5 CITY BL

PROPERTY OWNER Max Chik Lum

MAILING ADDRESS 840 Winthrop, San

NEW BLDG. EXIST. BLDG. SERVICE CHANGE REPAIR OR

NOTE: AN ELECTRICAL LOAD SCHEDULE MAY BE REQUIRED IF THE ADDED LOAD WILL NOT OVER

FEE COMPUTATION

OUTLETS, PLUGS, SWITCHES, FIXTURES
 FIRST 20@ _____ EA= _____ AND ADDNL@ _____

MOTORS

QUAN	OVER	INCLUDING	
	0		
	2		
	9		
	16		
	OVER 50		
TOTAL AIR COND H.P.			

Please Refer to Fee Schedule

NUMBER

- Temporary Power or Generator _____ @
- Range or Oven Outlets _____ @
- Service Amperes to 200 _____ @
- Service Amperes Over 200 _____ @
- Clothes Dryer Up to 1HP _____ @
- Clothes Dryer Over 1HP _____ @
- Dishwasher _____ @
- Furnace _____ @
- Garbage Disposal _____ @
- Kitchen or Bath Fan _____ @
- Signs (One @ \$15.00) _____ @
- Additional Signs _____ @
- Sub-Panel _____ @
- Miscellaneous _____ @
- Micro-Film Fee _____ per
- Permit _____

PERMIT # 78639 FEE \$ 30

PERMIT APP. BY [Signature] DATE _____

I have carefully read and examined the above application and correct. All provisions of the Laws and ordinances shall be complied with whether specified herein or not. I agree to be bound by the violation of the Labor Code of the State of California.

[Signature]
 SIGNATURE OF OWNER OR AUTHORIZED AGENT

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: FRO Insurance Brokers Inc

Policy Number: Finder 090199

(This section need not be completed if the permit is for one hundred dollars (\$100) or less). I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class: B Lic. No. 703142 Date _____

Contractor: Quintt Chang

OWNER - BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code) Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law, (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

- I, as owner of the property or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code). The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)

I am exempt under Sec. _____, B.&P.C. for this reason _____

Owner: _____ Date _____

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, CIV. C.).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent: Quintt Chang Date _____

INSTRUCTIONS: Please print firmly in ink or use are legible. No erasures permitted. Separate perm Electrical, Lathing & Plastering, Heating & Air C WILL BE CHARGED IF WORK IS STARTED BE

JOB ADDRESS
840 Winthrop
NUMBER _____ STR _____

APPLICATION FOR
BUILDING PERM
PLANNING AND BUILDING DEPARTMENT
2200 HUNTINGTON DR
CITY OF SAN MARINO, CALIFOR

CONTRACTOR
LAC Constr. Corp. CITY 21

MAILING ADDRESS
4037 Arden Dr. #5

ARCH
 ENGR.

MAILING ADDRESS _____ CITY _____

PROPERTY OWNER _____

MAILING ADDRESS _____

DESCRIPTION OF WORK

NEW ADD'N ALTER R

Change sitting Area

Run 987

TO AVOID PENALTY FEES, THIS MUST BE COMPLETED BY:

VALUATION		INCLUDE LABOR, MATL WIRING, PLUMBING, HEAT, ETC. \$	
PROCESSING FEE \$	<u>2250</u>	MICRO FILM FEE \$	<u>250</u>
BUILDING PERMIT FEE \$	<u>1320</u>	PLAN CHECK FEE \$	<u>1160</u>
OTHER FEES OR CHARGES \$	<u>90</u>	TOTAL FEES \$	<u>3800</u>

I have carefully read and examined the above application and correct. All provisions of the Laws and ordinances gov will be complied with whether specified herein or not. No p violation of the Labor Code of the State of California.

Signature of Owner or Authorized Agent: Quintt Chang

PERMIT NO. 1766257

CONDITIONAL USE PERMIT NO. square

VARIANCE NO. ACK

DRC. NO. _____

Pd. ch # 1039
SCHOOL FACILITY F

WHEN PROPERLY VALIDATED IN THIS SPACE, THIS F PERMIT TO DO THE WORK PRESCRIBED
White - PERMANENT / Pink - FINANCE / G
Yellow - ASSESSOR / Gold - PERMIT

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier FRD Insurance Brokers, Inc.

Policy Number Binder 090199

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code I shall forthwith comply with those provisions.

Applicant _____ Date _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000) IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B Lic. No. 703142 Date _____

Contractor Daught Chang
OWNER - BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code). Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law, (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

- I, as owner of the property or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.)
- I, am exempt under Sec. _____, B. & P.C. for this reason _____

Owner _____ Date _____

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, CIV.C.).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Daught Chang
Signature of Applicant or Agent _____ Date _____

INSTRUCTIONS: Use ball point pen, typewriter or hand-drawn copies are legible. Erasures are not permitted. Obtain work. Penalties will be charged if work is started before _____
SM • 109 (REV 7/73)

JOB ADDRESS

840 Winthrop
NUMBER

APPLICATION FOR A

PLUMBING PERMIT

PLANNING AND BUILDING DEPARTMENT

(818) 300-0711

CITY OF SAN MARINO, CALIFORNIA

CONTRACTOR <u>IAC Const. Corp.</u>	STATE LICENSE NO. <u>703142</u>
MAILING ADDRESS <u>4037 Arden Dr. #5</u>	CITY <u>San Marino</u>
OWNER <u>Mak Chik Lum</u>	
MAILING ADDRESS <u>840 Winthrop San Marino</u>	

FEE COMPUTATION

No. <u>1</u>	Bathtubs	No. _____
No. <u>1</u>	Water Closets	No. _____
No. <u>1</u>	Lavatories	No. _____
No. _____	Sinks, Kitchen Bar, Floor, Serv.	No. _____
No. _____	Garbage Disposal	No. _____
No. _____	Water Heaters and/or Vents	No. _____

Total No. of Above Fixtures	<u>3</u>	@ \$7.00
Lawn Sprinkling System Including Backflow Protection		@ \$7.00
Gas System 1-5 Outlets @ \$5.00 Added Outlets		@ \$1.00
Backflow Device Up To 2" @ \$7.00 each / Over 2"		@ \$1.00
Water Distribution System		@ \$7.00
Back Water Valve		@ \$7.00
Building Sewer		@ \$1.00
Sewer Cap or Cesspool Fill		@ \$7.00
Miscellaneous		
Issuance Fee		
Microfilming Fee		

PERMIT APP. BY John DATE _____

I have carefully read and examined the above application and find it correct. All provisions of the Laws and ordinances governing building construction, and whether specified herein or not. No person shall be authorized by this permit until final building inspection has been completed with the State of California. I agree not to occupy or use the building for the purpose of the work for which this permit is issued.

Daught Chang CW# 103
SIGNATURE OF OWNER OR AUTHORIZED AGENT

PERMIT NO. 75628 FEE: _____

Top Pink - PERMANENT / Green
Pink - FINANCE / Canary - PERM

WHEN PROPERLY VALIDATED IN THIS SPACE CONSTITUTES A PERMIT TO DO THE WORK PRIOR TO THE DATE OF EXPIRATION

840 WINTHROP RD.
NUMBER STREET

43706

APPLICATION FOR A
MECHANICAL PERMIT

BUILDING SECTION, PUBLIC WORKS DIVISION • 282-1155
 CITY OF SAN MARINO, CALIFORNIA 91108

CONTRACTOR E. L. PAYNE	STATE LIC. NO. 120228	CITY LIC. NO. 1135
MAILING ADDRESS 14823 CAUFA ST.	CITY VAN NUYS	TEL. NO. 792-8444
OWNER DAUME/SWENSON		TEL. NO. 799-0581
MAILING ADDRESS 840 WINTHROP RD., SAN MARINO 91108		

FEE COMPUTATION

Heating Installation through 100,000 BTU _____ @ \$ 12.00 ea. \$ _____

Heating Installation over 100,000 BTU 1 @ \$ 15.00 ea. \$ 15.00

Floor Furnace, Suspended Heater, Wall Heater, Floor Heater _____ @ \$ 12.00 ea. \$ _____

Appliance Vent _____ @ \$ 6.00 ea. \$ _____

Repair and Alteration _____ @ \$ 12.00 ea. \$ _____

Compressor or Absorption Unit

0 to 3HP _____ 100,000 BTU or less _____ @ \$ 12.00 ea. \$ _____

over 3HP to 15HP 1 100,000 BTU to 500,000 BTU @ \$ 22.50 ea. \$ 22.50

over 15HP to 30HP _____ 500,001 BTU to 1,000,000 BTU @ \$ 30.00 ea. \$ _____

over 30HP to 50HP _____ 1,000,001 BTU to 1,750,000 BTU @ \$ 45.00 ea. \$ _____

over 50HP _____ over 1,750,000 BTU @ \$ 75.00 ea. \$ _____

Air Handling Unit _____ 10,000 CFM or less _____ @ \$ 9.00 ea. \$ _____

_____ over 10,000 CFM _____ @ \$ 15.00 ea. \$ _____

Evaporative Coolers _____ @ \$ 9.00 ea. \$ _____

Single Duct Vent Fan _____ @ \$ 6.00 ea. \$ _____

Miscellaneous _____ @ _____ \$ _____

Permit Issuance _____ @ \$ 29.00

FINALED

Describe Exact Location of All Equip. Where Outside Bldg. MAR 04 1988

Investigation Fee _____ Penalty Fee _____ Plan Check Fee _____
 City of SAN MARINO

TOTAL FEE \$ 66.50

PERMIT APP. BY [Signature] DATE APPROVED 3/4/88

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final building inspection has been received.

E. L. Payne - [Signature]
 SIGNATURE OF OWNER OR AUTHORIZED AGENT

Permit # 57083 Fee: \$ 66.50

PERMANENT

WHEN PROPERLY VALIDATED IN THIS SPACE, THIS FORM
 CONSTITUTES A PERMIT TO DO THE WORK PRESCRIBED HEREIN.

INSPECTION RECORD

BASIC INSPECTIONS

TEAM	INSPECTOR	DATE
ROUGH HEATING		
ROUGH REFRIG. OR AIR COND.		
DUCTS		
FINAL HEATING	<i>[Signature]</i>	3/9/06
FINAL REFRIG. OR AIR COND.		

REPEATED OR CORRECTIVE INSPECTIONS

UNSUCCESSFUL TRIPS

CORRECTION RECORD

TO APPLICANT, PLEASE DO NOT WRITE
ON THIS PAGE

PROJECT LILY LI RESIDENCE 840 WINTHROP ROAD SAN MARINO, CALIFORNIA	S. PRIVETT & ASSOC CONSULTING ENGINEERS CIVIL & STRUCTURAL ENGINEERING 3579 E. Foothill Blvd., Suite 440, Pasadena, CA 91107 ph (626) 796-3593 fax (626) 351-6276	SHEET
ITEM FOUNDATION ANCHORAGE		JOB NO. DATE ENGINEER

SCOPE: Check capacity of foundation anchorage detail FD-1 (1 STORY HOUSE)

FD-1 (steel plate bolted to inside face to augment existing bolting to achieve maximum spacing of

5/8" WEDGE TYPE ANCHOR--HILTI KWIK BOLT II (ICBO ER#4627)

min edge distance for full strength--8.25" 4.125" for 50%

min center to center spacing for full strength--8" 4" for 50%

$$\text{Allowable shear--} \frac{4.125}{8.25} \cdot 3125 \cdot 1.33 = 2078.13 \text{ per anchor ----}$$

$$2 \text{ anchors @ } 72" \text{ o.c. --- } \frac{2078 \cdot 2}{6} = 692.67 \text{ plf}$$

3/8" LAG BOLTS--2 per connection

min edge distance for full strength--1.5 diameters--.56"

min center to center spacing for full strength--4 diameters--1.5"

Allowable shear-- open grain redwood-- 340 · 2 · 1.33 = 904.4

close grain redwood or douglas fir-- 480 · 2 · 1.33 = 1276.8

$$\frac{904.4}{6} = 150.73 \text{ plf}$$

SIMPSON A35s @ 32" o.c. (NER-413)

$$\frac{450}{2.67} = 168.54 \text{ plf}$$

ICBO report is with 8d common nails. 8d x 1.5" smooth shank are also acceptable.

CHECK FOR USING 6x1.25" DRYWALL SCREWS.

Using the ultimate strength and a factor of safety of 4 the allowable force of the screw in the 18

$$\frac{875}{4} = 218.75 \text{ pounds per screw. Max allowable into redwood is 62 pounds per screw}$$

$$62 \cdot 1.25 \cdot 1.333 \cdot 6 = 619.84 \text{ This is higher than the 450 pounds used in calcs therefore use o}$$

Consider ROTATION of Plate being resisted by Wedge Anchors

$$\text{Max load to ea Wedge Anchor } \sqrt{\left(150.73 \cdot \frac{6}{2}\right)^2 + \left(150.73 \cdot 6 \cdot \frac{6.75}{6}\right)^2} = 13.39 \frac{1113.4}{1772} = 0.63 \text{ 63\% of concrete}$$

ACTUAL STRENGTH OF CONCRETE IS INSIGNIFICANT AS LONG AS ANCHOR IS LOCATED 3.75" AWAY FROM ANY CRACKS THAT MAY EXIST IN FOOTING.

MINIMUM UNIFORM BUILDING CODE ANCHORAGE (sec 1806.6) & 2320.6)--5/8" diameter anch

$$\text{open grain redwood--} \frac{1}{2} \cdot 1900 \cdot \frac{1.33}{6} = 210.58$$

$$\text{close grain redwood or douglas fir--} \frac{1}{2} \cdot 1960 \cdot \frac{1.33}{6} = 217.23$$

APPROVED PL

3-22-99 by *[Signature]*
date

SAN MARINO BUILDING DE

CONCLUSION: This detail provides 113% of UBC min requirement

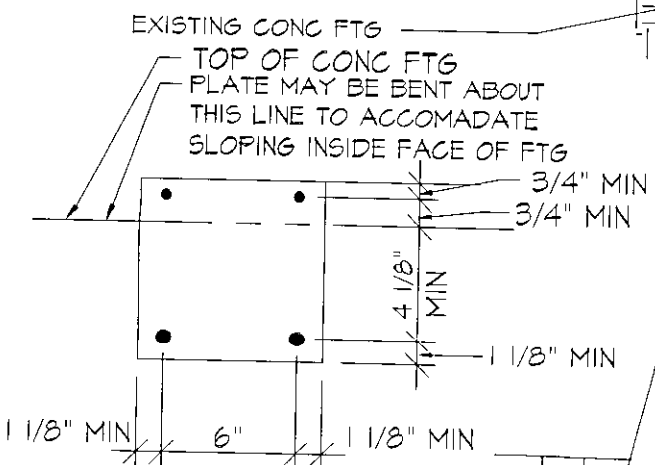
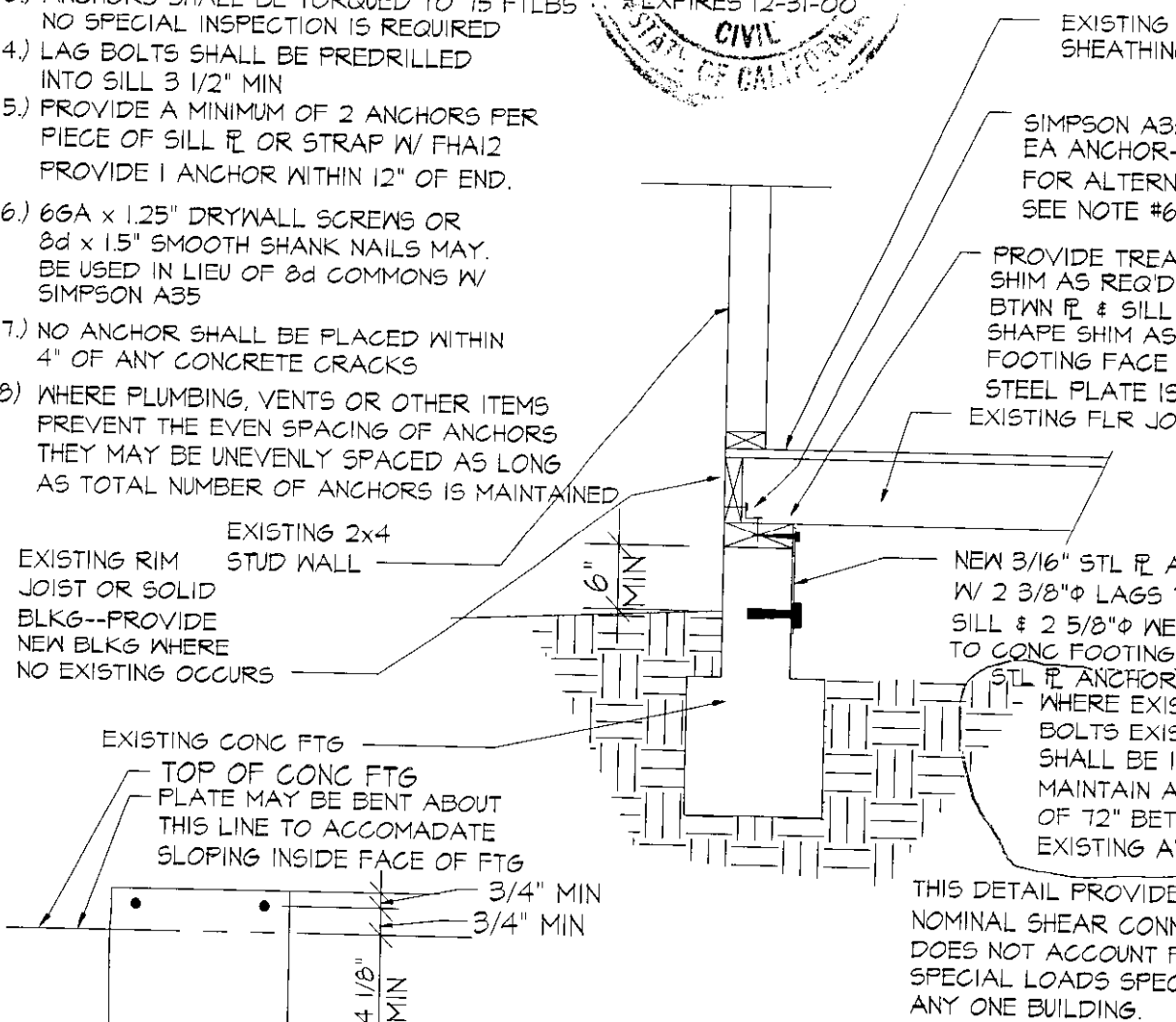
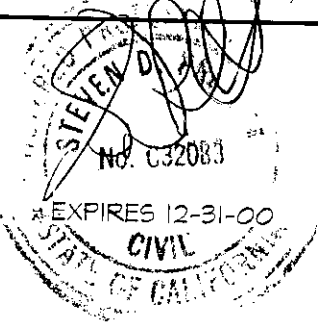
PROJECT
 LILY LI RESIDENCE
 840 WINTHROP ROAD
 SAN MARINO, CALIFORNIA
 ITEM
 FOUNDATION ANCHORAGE

S. PRIVETT & ASSOC
 CONSULTING ENGINEERS
 CIVIL & STRUCTURAL ENGINEERING
 3579 E. Foothill Blvd., Suite 440, Pasadena, CA 91107
 ph (626) 796-3593 fax (626) 351-6276

SHEET
 JOB NO.
 DATE
 ENGINEER

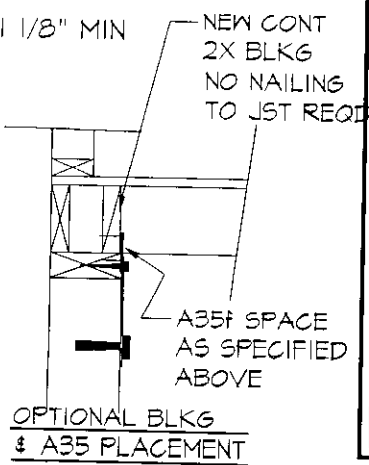
NOTES

- 1) WEDGE ANCHORS SHALL BE HILTI KWIK BOLT II OR EQUAL (ICBO #4627)
- 2) ANCHORS SHALL BE EMBEDDED 4" MIN INTO 5 1/4" x 5/8" HOLE IN CONC FTG
- 3) ANCHORS SHALL BE TORQUED TO 75 FT LBS NO SPECIAL INSPECTION IS REQUIRED
- 4) LAG BOLTS SHALL BE PREDRILLED INTO SILL 3 1/2" MIN
- 5) PROVIDE A MINIMUM OF 2 ANCHORS PER PIECE OF SILL PLATE OR STRAP W/ FHA12 PROVIDE 1 ANCHOR WITHIN 12" OF END.
- 6.) 6GA x 1.25" DRYWALL SCREWS OR 8d x 1.5" SMOOTH SHANK NAILS MAY BE USED IN LIEU OF 8d COMMONS W/ SIMPSON A35
- 7.) NO ANCHOR SHALL BE PLACED WITHIN 4" OF ANY CONCRETE CRACKS
- 8) WHERE PLUMBING, VENTS OR OTHER ITEMS PREVENT THE EVEN SPACING OF ANCHORS THEY MAY BE UNEVENLY SPACED AS LONG AS TOTAL NUMBER OF ANCHORS IS MAINTAINED



R DETAIL PLATE OPTIONS

- SIMPSON HFA6 OR HFA8 W/ 3-1/2" WEDGE ANCHORS
- HARLAN RFP OR RFS-5 W/ 2 5/8" WEDGE ANCHORS
- SIMPSON UFPI0 W/ 5 SDS 1/4x3 SCREWS & 2 1/2" WEDGE ANCHORS



THIS DETAIL PROVIDE NOMINAL SHEAR CONNECTION DOES NOT ACCOUNT FOR SPECIAL LOADS SPECIFIC TO ANY ONE BUILDING.

IT IS STRONGLY RECOMMENDED OWNER MAINTAIN POSITIVE GRADE AWAY FROM THE FOOTINGS. THE FINISH GRADE 2% DOWN FROM THE FOOTING. (1 1/4" MIN TO 5 FEET)

THE 6" MIN CLEARANCE CALL FOR BETWEEN THE EARTH & THE WALL REQUIREMENT FOR THE COMPLETION OF THIS DETAIL. IT IS RECOMMENDATION TO REDUCE THE LIKELIHOOD OF DRYROT AND SHOULD BE MAINTAINED BY THE OWNER.

217.1 STORY (FD) TYPED (AS REQ'D)

INSPECTION RECORD

**CITY OF
SAN MARINO**

DESCRIPTION OF WORK FOUNDATION ANCHORAGE		
OWNER		PHONE
CONTRACTOR		PHONE
OCCUPANCY	TYPE OF CONSTRUCTION	USE ZONE
LEGAL DESCRIPTION	BLOCK	TRACT
LOT		

BUILDING	PERMIT NUMBERS 78544
PLBG.	EJECT.
DEMO/SEWER CAP	TPP.

**TO AVOID PENALTY FEES, THIS PROJECT
COMPLETED BY: 3-22-0**

EACH STAGE OF WORK SHALL BE LEFT EXPOSED FOR INSPECTION AND BE APPROVED BEFORE COVERING.

FOR INSPECTION CALL (818) 300-0711

	TYPE OF INSPECTION	DATE	INSPECTED BY
UNDERGROUND	1 SEWER CAP		
	2 TEMP. POWER POLE		
	3 UFER/SWEEPS		
	4 ELECT. IN SLAB		
	5 SANITARY PLUMBING		
	6 WATER PIPING		

	TYPE OF INSPECTION	DATE
INSULATION	33 FLOORS	
	34 ROOF/CEILING	
	35 WALLS	
OUTSIDE BLDG.	36 CERTIFICATE	
	37 SEWER	
	38 WATER	
	39 GAS	
SURFACE COVERING	40	
	41 EXTERIOR LATH	
	42 INT. <input type="checkbox"/> LATH <input type="checkbox"/> DRYWALL	
	43 SHOWER/TUB LATH	
	44	
	45	

ANCHORS, INSERTS, AND REINFORCEMENT TO BE ACCURATELY SECURED IN PLACE BEFORE INSPECTION IS REQUESTED.

FOUNDATIONS	7 HOLD DOWNS		
	8 FOOTINGS/REBAR		
	9 RETAINING WALL FOOTING		
	10 OK - TO } 1ST LIFT		
	11 GROUT } 2ND LIFT		
	12 GRADE BEAM-SLAB		
	13		

OBTAIN INSPECTION AND APPROVAL OF WORK ITEMS THAT WILL BE OBSCURED FROM VIEW BY SURFACE COVERING.

FOR INSPECTION BY FIRE DEPT. FINAL

ROUGH PLBG. ELEC. MECH.	14 WASTE AND VENT		
	15 WATER PIPE		
	16 GAS PIPING		
	17 SHOWER PAN		
	18 BACKWATER VALVE		
	19 ELECTRICAL		
	20 GROUND/BOND		
	21 HVAC		

CALL FOR FINAL INSPECTIONS WHEN APPROPRIATE PERTAINING TO THIS PROJECT HAVE BEEN APPROVED

FOR INSPECTION BY FIRE DEPT.

22 FIRE SPRINKLERS		
--------------------	--	--

FOR INSPECTION BY BUILDING DEPARTMENT

23 YARD ENCROACHMENT		
24 FLOOR SYSTEMS		
25 ROOF SYSTEMS		
26 SHEAR PANELS		
27 FIREPLACE		
28 STRUCTURAL STEEL		
29 FRAMING		
30 SUSPENDED CEILING		

FINAL INSPECTIONS	47			
	48			
	49			
	50 BACKWATER ACCESS			
	51 C/O TO GRADE			
	52 GAS TEST			
	53 PLUMBING			
	54 HEATING/A.C./REFRIG.			
	55 ELECTRICAL			
	56 INT. PARTITIONS			
RELEASE	57 FINAL BLDG.		9-30-99	
	58 EDISON			
	59 GAS CO.			
	60 APPROVED TO OCCUPY			
	OFFICE	61 ISSUE C/O		
		62 PULL PLANS		
		63		
		64		
		65		

FINAL

APPROVED PLANS MUST BE KEPT ON JOB
REVERSE FOR ADDITIONAL INSPECTIONS

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier STATE FUND

Policy Number 0722827

(This section need not be completed if the permit is for one hundred dollars (\$100) or less). I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Applicant GREG SYLVIS Date 9-22-99

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

LICENSED CONTRACTORS DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B Lic. No. 443627 Date 9-22-99

Contractor GREG SYLVIS

OWNER - BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code) Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law, (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

- I, as owner of the property or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.).

I am exempt under Sec. _____, B.&P.C. for this reason _____

Owner: _____ Date _____

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, CIV. C.).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent [Signature] Date 9-22-99

INSTRUCTIONS: Please print firmly in ink or use a typewriter. All letters and numbers are legible. No erasures permitted. Separate permit required for Electrical, Lathing & Plastering, Heating & Air Conditioning. **WILL BE CHARGED IF WORK IS STARTED BEFORE PERMIT IS OBTAINED.**

JOB ADDRESS
840 WINTHROP
NUMBER _____ 5TH

APPLICATION FOR
BUILDING PERMIT
PLANNING AND BUILDING DEPARTMENT
2200 HUNTINGTON DRIVE
CITY OF SAN MARINO, CALIFORNIA

CONTRACTOR
GREG SYLVIS

MAILING ADDRESS
500 BELLMORE WAY CITY PA

ARCH
 ENGR. S. PRIVETT

MAILING ADDRESS
16 N WARENGO CITY PA

PROPERTY OWNER
LILLY LI

MAILING ADDRESS
SAME

DESCRIPTION OF WORK

NEW ADD'N ALTER.

BOLT PERMINGTON WAY

ENGINEER DETAILS.

VOLUNTARY UPGRADE

FINALED
9-30-99
PER TAYLOR

TO AVOID PENALTY FEES, THIS PERMIT MUST BE COMPLETED BY:

VALUATION INCLUDE LABOR, MAT'L, WIRING, PLUMBING, HEAT, ETC. \$

PROCESSING FEE \$	<u>0</u>	MICRO FILM FEE \$	
BUILDING PERMIT FEE \$	<u>0</u>	PLAN CHECK FEE \$	
OTHER FEES OR CHARGES \$	<u>0</u>	TOTAL FEES \$	<u>0</u>

I have carefully read and examined the above application and correct. All provisions of the Laws and ordinances will be complied with whether specified herein or not. violation of the Labor Code of the State of California.

Signature of Owner or Authorized Agent
[Signature]
SIGNATURE OF OWNER OR AUTHORIZED AGENT

PERMIT # 78544

CONDITIONAL USE PERMIT NO. _____

VARIANCE NO. _____

DRC. NO. _____

SCHOOL FACILITY

\$ _____ X _____ Sq.

WHEN PROPERLY VALIDATED IN THIS SPACE, THIS PERMIT TO DO THE WORK PRESCRIBED

White - PERMANENT / Pink - FINANCIAL

Yellow - ASSESSOR / Gold - PERMIT

City of San Marino

Planning & Building Department

August 27, 1999

John Fredrickson
840 Winthrop Road
San Marino, CA 91108

**SUBJECT: RESIDENTIAL CERTIFICATE OF COMPLIANCE
FOR PROPERTY LOCATED AT 840 WINTHROP ROAD**

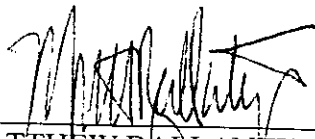
A Residential Compliance Inspection was performed for your property at 840 Winthrop Road. that the Compliance Inspector's Report identified a potentially inadequate or unsafe situation ingress and/or egress and improper installation of smoke detectors.

It appears that a Residential Certificate of Compliance cannot be issued because these deficiencies conflict with the City ordinance pertaining to compliance inspections. If you do not agree with the findings, please contact my office and we will arrange for an inspection of your home by a City official.

The other option open to you is to have this item corrected so that your compliance inspector's report, with the finding removed. Any corrective work should be performed by someone other than the inspector to avoid any potential conflict of interest.

Please contact the City of San Marino Building Department, (626) 300-0711, to notify us of your decision. If the matter had been resolved, we will follow through with prompt issuance of your Compliance Certificate.

Sincerely,



MATTHEW BALLANTYNE, Assistant Planner
Planning and Building Department

MB/ph

c:\wp61\ctf\840winthrop

COMPLIANCE ROUTE SHEET

PROPERTY ADDRESS: 840 Winthrop Rd.
DATE SUBMITTED: 8/26/99

MAIL WHEN COMPLETED

CALL WHEN COMPLETED

MAIL TO: _____

CONTACT NAME: John
PHONE NUMBER: 1793

EXPIRED PERMITS:

BUILDING PERMITS:

ELECTRICAL PERMITS:

PLUMBING PERMITS:

MECHANICAL PERMITS:

None

PROPERTY APPEARS TO HAVE PERMITS FOR ALL ADDITIONS AND/OR ALTERATIONS *MS*

UNABLE TO LOCATE PERMITS FOR THE FOLLOWING:

INSPECTOR'S REPORT

NO CORRECTIONS CORRECTIONS SIGNED OFF OUTSTANDING COR.

IF THERE ARE CORRECTIONS, PLEASE INDICATE WHAT THEY PERTAIN TO:

1. Smoke detectors
2. deadlocks
3. _____

OK'd per Dan 9/2

SEND:

CORRECTION LETTER *MS* CERTIFICATE W/ ATTACHMENT LETTER CERTIFICATE ONLY

CITY OF SAN MARINO APPLICATION FOR RESIDENTIAL COMPLIANCE CERTIFICATE

ADDRESS OF PROPERTY: 840 Winthrop Rd. SAN MARINO
OWNER: SUSAN SWENSON
PHONE: 310 589-5484
HOME

IS THE PROPERTY TO BE: SOLD WORK

TOTAL NUMBER OF DETACHED STRUCTURES ON THE PROPERTY: _____
(do not include gazebo or other architectural features) LEASED

IS THE GARAGE: ATTACHED DETACHED

LEASE LIST ALL ROOMS ON EACH FLOOR OF EVERY RESIDENTIAL BUILDING:
(do not include closets or pantries)

FIRST FLOOR

LR
DR
KIT
Breakfast Rm / BD Rm *3
BD 1
BD 2
Sitting Rm

SECOND FLOOR

BASEMENT/THIRD

15 x 20

Drawings must be submitted with the application showing the parcel and location of all buildings on the property or plans indicating the approximate dimensions of each room on each floor of all buildings. Drawings must be on 17 sheets of paper.

NAME OF PERSON/FIRM CONDUCTING INSPECTION: DAN LEECH / A-QUALITY

I, the owner of the property mentioned above, do hereby certify that the information contained on this application is complete and accurate to the best of my knowledge. I also certify that I will cause an inspection of the property as required by Section 24.02.02 of the San Marino City Code to be performed within thirty (30) days.

[Signature] OWNER 7/26/99 DATE

COMPLIANCE APPLICATION ADDRESS: 840 Winthrop

The following additional information is required. A Certificate of Compliance cannot be issued if the seller's and buyers real estate agents have a valid business license with the City of San

SELLER'S AGENT

NAME: John Fredrickson
BUSINESS ADDRESS: PROSLEY COMPANY JOHN REALTY
300 W. Colorado Blvd, PASADENA
BUSINESS PHONE: 626-793-9291
BUSINESS LICENSE NO.: 99-757

BUYER'S AGENT

NAME: Lily Li
BUSINESS ADDRESS: 1611 S. Garfield Ave. #200
Alt. CA 91801
BUSINESS PHONE: 626-289-6660
BUSINESS LICENSE NO.: _____

CITY OF SAN MARINO

REQUIRED NOTIFICATION FORM:

COMPLIANCE APPLICATION ADDRESS: 840 Winthrop Road

The following signatures are required. A Certificate of Compliance cannot be issued unless the selling agent's and buyer's signature are contained below.

The reason for this requirement is that many of our newer residents are unaware of special ordinances, some of them unique to San Marino, which have served to enhance residential qualities.

By requiring the selling agent to deliver a copy of the Information Guide to the buyer of San Marino fosters communication between the resident and the City and the disclosure process.

I, Lily Li, BEING THE SELLING AGENT OF THE ABOVE LISTED PROPERTY, DO HEREBY ACKNOWLEDGE THAT I HAVE RECEIVED AND DELIVERED TO THE BUYER A COPY OF:

"AN INFORMATIONAL GUIDE FOR RESIDENTS OF SAN MARINO"

AND

"A LETTER TO RESIDENTS REGARDING BACKWATER VALVE"


SIGNATURE OF SELLING AGENT

I, MAK Chik Lun, BEING THE BUYER OF THE ABOVE LISTED PROPERTY, DO HEREBY ACKNOWLEDGE THAT I HAVE RECEIVED A COPY OF:

"AN INFORMATIONAL GUIDE FOR RESIDENTS OF SAN MARINO"

AND

"A LETTER TO RESIDENTS REGARDING BACKWATER VALVE"


SIGNATURE OF BUYER

NOTE: If the seller is not represented by an agent, s/he may sign.

call J. Fle
793

CITY OF SAN MARINO

RESIDENTIAL COMPLIANCE INSPECTION

ADDRESS OF PROPERTY: 840 WINTHROP, SAN MARINO

PROPERTY OWNER: _____

NAME OF INSPECTOR: DAN LEECH/A QUALITY INSPECTION

DATE OF INSPECTION: 8-20-99

Number of unobstructed enclosed garage spaces: 2

Number of kitchens in main residential building: 1

Number of kitchens in other buildings: 0

Number of bedrooms in main residential buildings: 3

Number of bedrooms in other buildings: 0

For each bedroom indicate:

	<u>Approximate Size</u>	<u>Number of Windows</u>
Bedroom #1	<u>13-6x18</u>	<u>2+FRENCH DOOR</u>
Bedroom #2	<u>12-6x18-6</u>	<u>2</u>
Bedroom #3	<u>11x11</u>	<u>2</u>
Bedroom #4	_____	_____
Bedroom #5	_____	_____
Bedroom #6	_____	_____

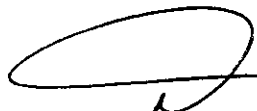
1) List any location with exposed electrical wiring: _____

2) List any interior location with exposed plumbing: _____

- 3) Are smoke detectors installed in all required areas in accordance with the Uniform Building Code requirements?
 Yes _____ No XX BASEMENT SMOKE ALARM NOT OPERATING
- 4) Is any area of roof sagging? Yes _____ No X
- 5) Do any room openings have sagging support beams? Yes _____ No X
 If yes, indicate which room(s): _____
- 6) Are there any unvented wall heaters?: Yes _____ No X
 If yes, indicate location: _____
- 7) Are there any areas of ingress or egress that are inadequate or unsafe?:
 Yes XX No _____
 If yes, indicate location and condition: IMPROPER DBL KEYED DEADBOLT LOCKS AT FRONT AND LAUNDRY EXTERIOR DOORS
- 8) Are all pools and spas properly fenced and gated?: Yes N/A No _____
 If no, indicate condition: _____

*Official
 9/1*

I hereby certify that the above inspection is a true and accurate account of the conditions at the property indicated.



 INSPECTOR'S SIGNATURE

8-20-99

 DATE

JOB ADDRESS
840 WINTHROP RD, A
 NUMBER STREET

APPLICATION FOR A
BUILDING PERMIT

BUILDING SECTION, PUBLIC WORKS DIVISION
 CITY OF SAN MARINO, CALIFORNIA 282-1155

CONTRACTOR Julian A. Catapano	STATE LIC. NO. 216128	CITY LIC. NO. 1368
MAILING ADDRESS 840 Winthrop S.M.	CITY S.M.	TEL. NO. 441-5348
<input checked="" type="checkbox"/> ARCH. <input type="checkbox"/> ENGR. OWNER		STATE LIC. NO.
MAILING ADDRESS	CITY	TEL. NO.
OWNER JULIAN A. CATAPANO		TEL. NO. 441-3348
MAILING ADDRESS 840 WINTHROP RD, SAN MARINO		

DESCRIPTION OF WORK

NEW ADD'N ALTER REPAIR DEMOLISH

SIZE OF LOT SQ. FT.	EXIST. LOT COVERAGE SQ. FT.
AREA THIS APPLICATION	TOTAL LOT COVERAGE
PRESENT BLDG. USE	PROPOSED BLDG. USE

DESCRIBE WORK TO BE DONE
REPLACE OLD WALL WITH NEW BRICK 14' LONG 6' HIGH

LOT WIDTH	LOT DEPTH	NUMBER OF EXISTING BLDG. ON LOT
-----------	-----------	---------------------------------

VALUATION INCLUDE LABOR, MAT'L, WIRING, PLUMBING, HEAT, ETC. \$ **300⁰⁰**

LOT NO.	BLOCK NO.	TRACT	AREA DIST. NO.
USE ZONE	FIRE ZONE	OCCUPANCY	VAR. NO.
REQ'D. FRONT SET BACKS	RIGHT SIDE	LEFT SIDE	REAR
DATE PLAN FILED			

BUILDING PERMIT FEE \$ 9.00	PLAN CHECK FEE \$	PERMIT APP. BY Grossly
OTHER FEES OR CHARGES \$ 9.00	TOTAL FEE \$ 18.00	DATE APPROVED 2-22-77

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final building inspection has been received.

J. Catapano
 SIGNATURE OF OWNER OR AUTHORIZED AGENT

FEB 22 1977

PERMIT # **28920** FEE: \$ **18.00**
 City of SAN MARINO

PERMANENT

WHEN PROPERLY VALIDATED IN THIS STATE CONSTITUTES A PERMIT TO DO THE WORK

JOB ADDRESS
840 Winthrop Rd
 NUMBER STREET

APPLICATION FOR A
BUILDING PERMIT

BUILDING SECTION, PUBLIC WORKS DIVISION
 CITY OF SAN MARINO, CALIFORNIA 282-1155

CONTRACTOR Pacific Installers	STATE LIC. NO. 211898	CITY LIC. NO. 7181
MAILING ADDRESS 10920 E. Grand	CITY Temple City	TEL. NO. 442-7070
<input type="checkbox"/> ARCH. <input type="checkbox"/> ENGR.	STATE LIC. NO.	
MAILING ADDRESS	CITY	TEL. NO.

OWNER D. Hecton	TEL. NO. 444-4132
MAILING ADDRESS 840 Winthrop Rd	

DESCRIPTION OF WORK

NEW ADD'N ALTER. REPAIR DEMOLISH

SIZE OF LOT SQ. FT.	EXIST. LOT COVERAGE SQ. FT.
------------------------	--------------------------------

AREA THIS APPLICATION	TOTAL LOT COVERAGE	30% OF LOT COVERAGE
-----------------------	--------------------	---------------------

PRESENT BLDG. USE	PROPOSED BLDG. USE (CHAIN LINK)
-------------------	---

DESCRIBE WORK TO BE DONE
54' of 72" x 48" fabric (FENCE)
36 x 72 walk gate

LOT WIDTH	LOT DEPTH	NUMBER OF EXISTING BLDG. ON LOT
-----------	-----------	---------------------------------

VALUATION INCLUDE LABOR, MAT'L, WIRING, PLUMBING, HEAT, ETC. \$ **480.30**

LOT NO.	BLOCK NO.	TRACT	AREA DIST. NO.
USE ZONE	FIRE ZONE	OCCUPANCY	VAR. NO.

REQ'D. FRONT SET BACKS	RIGHT SIDE	LEFT SIDE	REAR	DATE PLAN FILED
BUILDING PERMIT FEE \$ 54.00	PLAN CHECK FEE \$	PERMIT FEE BY		DATE APPROVED
OTHER FEES OR CHARGES \$ -	TOTAL FEE \$ 54.00	- <i>[Signature]</i>		12-29-80

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and ordinances governing building construction will be complied with whether specified herein or not. NO person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final building inspection has been received.

[Signature]
 SIGNATURE OF OWNER OR AUTHORIZED AGENT

PERMIT # **36855** FEE: \$ **54.00**

PAID
DEC 29 1980

PERMANENT City of SAN MARINO
 PROPERLY VALIDATED IN THIS SPACE, THIS FORM PERMIT TO DO THE WORK PRESCRIBED HEREIN.

8110

JOB ADDRESS

840 Winthrop Rd

NUMBER STREET

APPLICATION FOR A BUILDING PERMIT

BUILDING SECTION, PUBLIC WORKS DIVISION
CITY OF SAN MARINO, CALIFORNIA 282-1155

CONTRACTOR	STATE LIC. NO.	CITY LIC. NO.
Howard J. Randol Co. Inc.	186086	7170
MAILING ADDRESS	CITY	TEL. NO.
529 E. Valley Blvd.	San Gabr.	288-4040
<input type="checkbox"/> ARCH.	STATE LIC. NO.	
<input type="checkbox"/> ENGR.		
MAILING ADDRESS	CITY	TEL. NO.
OWNER	TEL. NO.	
Albert Hecton	441-4132	
MAILING ADDRESS		
840 Winthrop Rd. San Marino		

DESCRIPTION OF WORK

<input type="checkbox"/> NEW	<input type="checkbox"/> ADD'N	<input type="checkbox"/> ALTER.	<input checked="" type="checkbox"/> REPAIR	<input type="checkbox"/> DEMOLISH
SIZE OF LOT SQ. FT.	EXIST. LOT COVERAGE SQ. FT.			
AREA THIS APPLICATION	TOTAL LOT COVERAGE	30% OF LOT COVERAGE		
PRESENT BLDG. USE	PROPOSED BLDG. USE			
DESCRIBE WORK TO BE DONE.				
Remove tiles, install industrial felt and reinstall tiles.				

LOT WIDTH	LOT DEPTH	NUMBER OF EXISTING BLDG. ON LOT		
VALUATION INCLUDE LABOR, MAT'L, WIRING, PLUMBING, HEAT, ETC. \$ 5682.00				
LOT NO.	BLOCK NO.	TRACT	AREA DIST. NO.	
USE ZONE	FIRE ZONE	OCCUPANCY	VAR. NO.	
REQ'D. FRONT SET BACKS	RIGHT SIDE	LEFT SIDE	REAR	DATE PLAN FILED
BUILDING PERMIT FEE \$ 105.00	PLAN CHECK FEE \$		PERMIT APP. BY	
OTHER FEES OR CHARGES \$	TOTAL FEE \$ 105.00		DATE APPROVED 9/26/80	

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final building inspection has been received.

Albert Hecton
SIGNATURE OF OWNER OR AUTHORIZED AGENT

PERMIT # 36471 FEE: \$ 105.00

PAID
SEP 26 1980

CITY OF SAN MARINO PERMANENT

WHEN PROPERLY VALIDATED IN THIS SPACE, THIS FORM CONSTITUTES A PERMIT TO DO THE WORK PRESCRIBED HEREIN.

JOB ADDRESS

840 Winthrop Road
NUMBER STREET

873

APPLICATION FOR A
LATHING PERMIT or ROOFING PERMIT

BUILDING SECTION, PUBLIC WORKS DIVISION
 CITY OF SAN MARINO, CALIFORNIA

CONTRACTOR		STATE LIC. NO.	CITY LIC. NO.
Virgin Roof Co.		160650	17213
MAILING ADDRESS		TEL. NO.	
600 S. San Gabriel Blvd. S.G.		287-0507	
OWNER		TEL. NO.	
Mr. T/ N. Hay			
MAILING ADDRESS			
Same			

ROOFING DETAILS

TYPE OF ROOFING 235 # Comp. Shingles NO. OF SQUARES _____

DESCRIPTION Reroof garage only

(INCLUDE WEIGHTS, NO. OF LAYERS, TYPE OF SHINGLES, ROCK, ETC.)

VALUATION (INCLUDE ALL LABOR AND MATERIAL) \$ 277.00 FEE 5.00

LATHING DETAIL

0-5 SQUARE YARDS NO FEE

AT 5-200 SQUARE YARDS \$ 3.00

OVER 200 SQUARE YARDS \$1.00 EA. FRACTION OF 100 YARDS \$ _____

TOTAL FEE \$ _____

PERMIT APPROVED BY Crossley DATE 12-13-71

INFORMATION PROVIDED BY BUILDING SECTION

USE	FIRE	CHECKERS
ZONE	ZONE	APPROVAL
	OCCUPANCY	

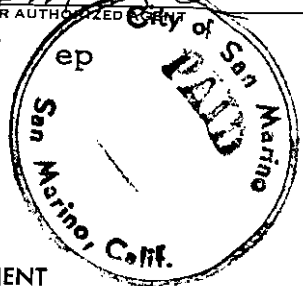
I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final building inspection has been received.

SIGNATURE OF OWNER OR AUTHORIZED AGENT
Lana M. Lee

PERMIT NO. 16,075

FEE PAID: \$ 5.00

DATE: 12/13/71



PERMANENT

WHEN PROPERLY VALIDATED IN THIS SPACE, THIS FORM CONSTITUTES A PERMIT TO DO THE WORK PRESCRIBED HEREIN.

INSPECTION RECORD

LATHING

ITEM	INSPECTOR	DATE

PARTIAL OR MISC. INSPECTIONS

ITEM	INSPECTOR	DATE

UNSUCCESSFUL TRIPS

ROOFING

ITEM	INSPECTOR	DATE
SHEATHING (COMMERCIAL)		
FINAL	<i>Crosby</i>	27.72

PARTIAL OR MISC. INSPECTIONS

ITEM	INSPECTOR	DATE

UNSUCCESSFUL TRIPS

JOB ADDRESS

840 Winthrop Rd.
NUMBER STREET

APPLICATION FOR A
BUILDING PERMIT

BUILDING SECTION, PUBLIC WORKS DIVISION
CITY OF SAN MARINO, CALIFORNIA 282-1155

CONTRACTOR Alhambra Roofing STATE LIC. NO. 253163 CITY LIC. NO. 27295

MAILING ADDRESS 712 So. Marengo, Alhambra TEL. NO. 282-1958

ARCH. STATE LIC. NO.
 ENGR. TEL. NO.

OWNER Mr. Hay TEL. NO. 799-5480

MAILING ADDRESS 840 Winthrop Rd., San Marino

DESCRIPTION OF WORK

NEW ADD'N ALTER. REPAIR DEMOLISH

SIZE OF LOT SQ. FT. EXIST. LOT COVERAGE SQ. FT.

AREA THIS APPLICATION TOTAL LOT COVERAGE 30% OF LOT COVERAGE

PRESENT BLDG. USE Garage PROPOSED BLDG. USE Garage

DESCRIBE WORK TO BE DONE

Re-roof Flat Garage & Red Shingle Sec Front of Garage W/ 30# BS & 90# C S & Hot Asphalt.

LOT WIDTH LOT DEPTH NUMBER OF EXISTING BLDG. ON LOT

VALUATION INCLUDE LABOR, MAT'L, WIRING, PLUMBING, HEAT, ETC. \$ 165.00

LOT NO. BLOCK NO. TRACT AREA DIST. NO.

USE ZONE FIRE ZONE OCCUPANCY VAR. NO.

REQ'D. FRONT SET BACKS RIGHT SIDE LEFT SIDE REAR DATE PLAN FILED

BUILDING PERMIT FEE \$ 6.00 PLAN CHECK FEE \$ PERMIT APP. BY [Signature]

OTHER FEES OR CHARGES \$ TOTAL FEE \$ 6.00 DATE APPROVED 10-19-73

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final building inspection has been received.

[Signature]
SIGNATURE OF OWNER OR AUTHORIZED AGENT
Frank Foulk

Permit #20944 Fee: \$6.00

P A I D
OCT 19 1973

PERMANENT City of SAN MARINO

WHEN PROPERLY VALIDATED IN THIS SPACE, THIS FORM CONSTITUTES A PERMIT TO DO THE WORK PRESCRIBED HEREIN.

INSPECTION RECORD

BASIC INSPECTION

ITEM	INSPECTOR	DATE
FRONT _____ SIDE _____		
REAR _____ SIDE _____		
TRENCHES		
WIDTH _____ DEPTH _____		
SUB FRAME		
FIRE PLACE		
FRAMING		
EXTERIOR LATH		
INTERIOR LATH		
PARKING		
FINAL	<i>Crossley</i>	11-21-73

PARTIAL OR MISC. INSPECTION

ITEM	INSPECTOR	DATE

UNSUCCESSFUL TRIPS

ITEM	INSP.	DATE	ITEM	INSP.	DATE

CORRECTION RECORD

TO APPLICANT: PLEASE DO NOT WRITE ON THIS PAGE

Permit No. 4460

Date Issued May 25, 1941

Application must be filled out by Applicant with ink or indelible pencil. Plans, specifications and other data must also be filed.

OFFICE OF BUILDING INSPECTOR SAN MARINO, CALIF.

APPLICATION FOR BUILDING PERMIT

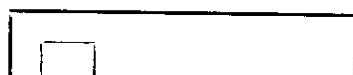
Application is hereby made for a permit to construct the building hereinafter specified at the point hereinafter specified.

Date

(Sign here)

(Applicant)

1. Building to be erected on Lot No. Block Tract Z
2. No. 840 Wintthrop Rd Street. Purpose of Building Re-A
3. Entire cost of proposed building 50 00
4. Owner 1st Trust & Savings Bank Address
5. Architect Address
6. Contractor Monahan Roofing Co. Address
7. Size of lot Size of Building
8. Type of Architecture
9. Number of rooms Will building be erected on front or rear of lot
10. NUMBER OF STORIES IN HEIGHT Height to highest point of roof
11. Height of first floor joist above curb level, or sur.
12. Character of ground; rock, clay, sand, filled, etc.
13. Of what material will FOUNDATION and cellar walls be built?
14. GIVE depth of FOUNDATION below surface of ground
15. GIVE dimensions of FOUNDATION and cellar wall FOOTINGS
16. GIVE width of FOUNDATION and cellar walls at top
17. NUMBER and kind of chimneys Number of flues
18. Number of inlets to each flue Interior size of flues
19. Of what material will upper walls be constructed?
20. Are there any buildings within 30 feet of the proposed structure?



The figures on this chart show your set-back lines.

21. GIVE THICKNESS OF EXTERIOR WALLS:

Basement..... 5th story.....
 1st story..... 6th story.....
 2nd story..... 7th story.....
 3rd story..... 8th story.....
 4th story..... Fire Wall.....

22. GIVE MATERIAL, SIZE AND DISTANCE ON CENTERS OF FLOOR JOISTS:

1st story—material	; Size.....	x.....	; distance on centers
2nd “ “	; “.....	x.....	; “ “ “
3rd “ “	; “.....	x.....	; “ “ “
4th “ “	; “.....	x.....	; “ “ “
5th “ “	; “.....	x.....	; “ “ “
6th “ “	; “.....	x.....	; “ “ “
7th “ “	; “.....	x.....	; “ “ “
8th “ “	; “.....	x.....	; “ “ “
Ceiling Joists	; “.....	x.....	; “ “ “
Roof Rafters	; “.....	x.....	; “ “ “

23. Will any wall be supported on iron or steel girders or columns?.....

24. Specify material of beams, girders or columns?

25. Specify material and construction of floors

26. Specify material of partitions

27. Specify material of roofing

28. Specify material of stairways

29. Specify material of elevator shaft, other shafts and chutes

30. Specify material and construction of cornices

31. Specify number of fire escapes, where placed

32. Specify means of access to the roof

33. Specify size of vent shafts to water closet compartments.....

34. Specify how halls will be lighted and ventilated

35. Will metal lath be used? Specify where.....

36. Will freight elevators be inclosed or provided with doors and fusible links?.....

REMARKS

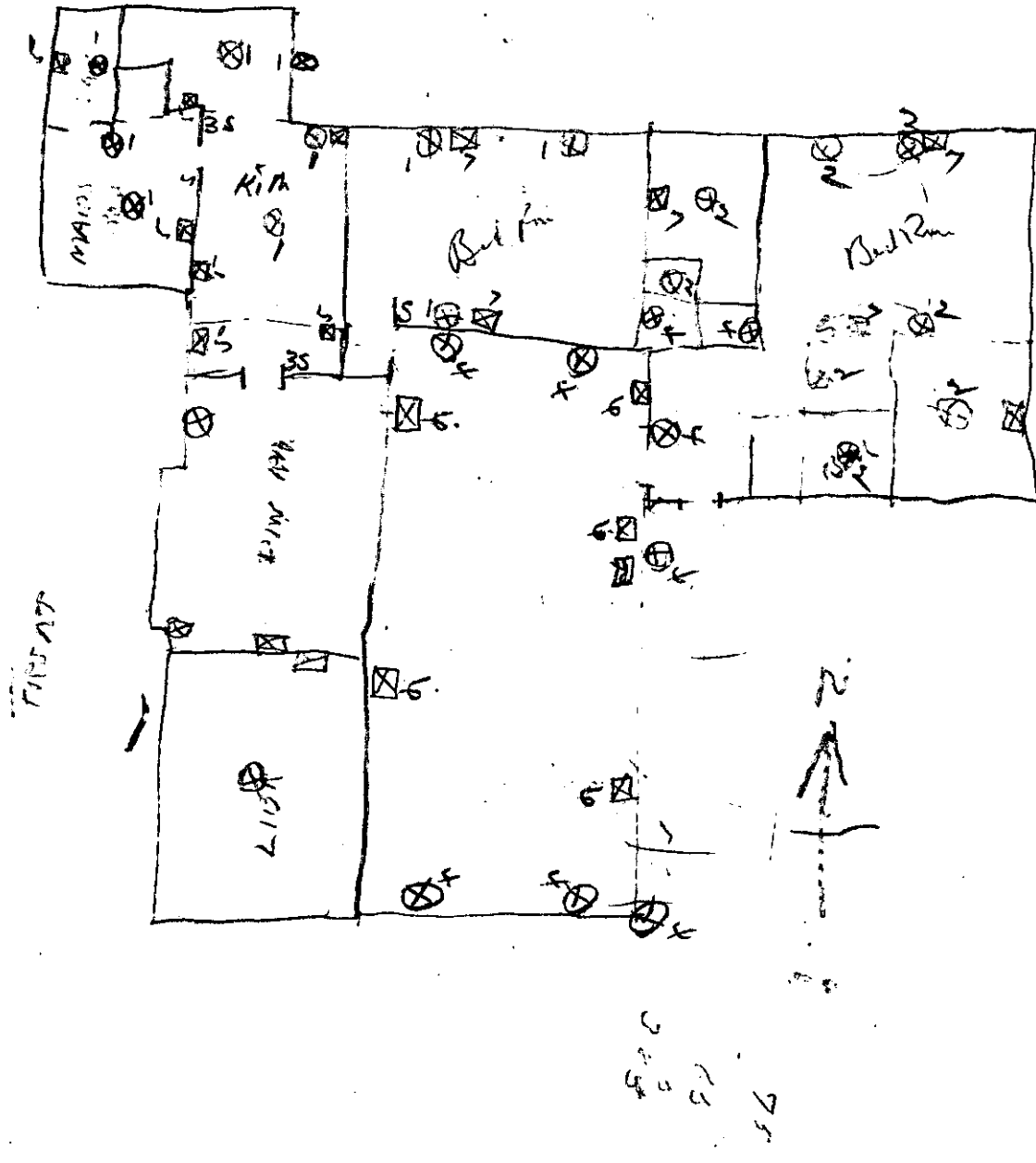
.....

.....

WIRING INSTALLATION

Size of Light Feeds _____ Length of Light Feeds _____ ft. No. of Circuits _____ No. of
 Size of Power Feeds _____ Length of Power Feeds _____ ft. No. of Sockets _____ No. of

LOCATION <small>{ LIST EACH OUTLET SEPARATELY ONLY 12 SOCKETS ON A CIRCUIT }</small>	CIRCUIT NO.	NUMBER OF		Switches	C	B	P
		Outlets	Sockets				
Kitchen ✓	1	2	120	2	1	1	
front bed room ✓	2	3	120	1		3	
maids ✓	1	1	80	1	1		
bath ✓	1	1	80	1	1		
SC Porch & Rear Porch ✓	1	2	120	1	1	1	
rear bed room ✓	2	3	120	1		3	
2nd bath ✓	2	3	240	3	3		
garage ✓	2	1	40	1	1		
sun room ✓	2	1	80	1	1		
closet & basement ✓	2	3	120	1	2	1	
Kitchen ✓	3	1	100				
brk room ✓	3	1	80		1		
dining ✓	3	3	120	1		3	
library ✓	3	1	120	1	1		
living room ✓	4	4	160	2		4	
front porch ✓	4	2	80	1		2	
Entry hall ✓	4	1	80			1	
2 elbows ✓	4	2	80			2	
maids room & bath #2 ✓	5	2	200				
SC porch ✓	5	1	100				
Kitchen ✓	5	2	200				
brk room ✓	5	1	100	100			
dining & den ✓	6	2	200				
living ✓	6	5	560	700			
2 bed rooms ✓	7	4	400				
1 bath ✓	7	1	100				
sun room ✓	7	1	100				
Kitchen ✓	7	1	100				
TRANS ✓	8	1	100				



Certificate No.

OFFICE OF BUILDING INSPECTOR
SAN MARINO, CALIF.

APPLICATION FOR
ELECTRIC WIRING INSPECTION

Permit No. 1483

License No.

Owner

FRANCIS DRAKE

Location

840 WINTHROP

Contractor

AUSTIN SHIVELY

Con't. Address ARCADIA Phone 416

Permit Granted

Plan Received

Approved { Rough Wiring OK 000 8/8/33
Final

No. of Outlets

No. of Sockets

Date

Rec't No.

Amount \$

2.75 Pa

Issue
legs

Permit No. 11993

Date Issued 8-17-59

Application must be filled out by Applicant with ink or indelible pencil. Plans, specifications and other data must also be filed.

OFFICE OF BUILDING INSPECTOR
SAN MARINO, CALIF.

APPLICATION FOR BUILDING PERMIT

Application is hereby made for a permit to construct the building hereafter at the point hereinafter specified.

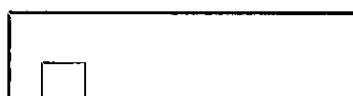
Date Aug 17 59

Telephone

Number: 54 83862 (Sign here)

Charles H. Siegel
(Applicant)

1. Building to be erected on Lot No. _____ Block _____ Tract _____ Zone _____
2. No. 840 Winthrop Street. Purpose of Building Residential
3. Entire cost of proposed building \$ 500.00
4. Owner T. HAY Address 840 Winthrop
5. Architect _____ Address _____
6. Contractor Charles H. Siegel Address 3219 Fairpoint
7. Size of lot _____ Size of building _____
8. Type of Architecture Enclosed Existing porch - Glass
9. Number of rooms _____ Will building be erected on front or rear of lot _____
10. NUMBER OF STORIES IN HEIGHT _____ Height to highest point of roof _____
11. Height of first floor joist above curb level, or surface _____
12. Character of ground; rock, clay, sand, filled, etc. _____
13. Of what material will FOUNDATION and cellar walls be built? _____
14. GIVE depth of FOUNDATION below surface of ground _____
15. GIVE dimensions of FOUNDATION and cellar wall FOOTINGS _____
16. GIVE width of FOUNDATION and cellar walls at top _____
17. NUMBER and kind of chimneys _____ Number of _____
18. Number of inlets to each flue _____ Interior size of flues _____
19. Of what material will upper walls be constructed? _____
20. Are there any buildings within 30 feet of the proposed structure? _____



The figures on this chart show your set-back lines.

840 Winthrop

21. GIVE THICKNESS OF EXTERIOR WALLS:

1st story Basement

2nd story Firewall

22. GIVE MATERIAL, SIZE AND DISTANCE ON CENTERS OF FLOOR JOISTS:

1st story—material; Size x; distance on centers

2nd " "; " x; " " "

Ceiling Joists; " x; " " "

Roof Rafters; " x; " " "

23. Will any wall be supported on iron or steel girders or columns?

24. Specify material of beams, girders or columns

25. Specify material and construction of floors

26. Specify material of partitions

27. Specify material of roofing

28. Specify material of stairways

29. Specify material of elevator shaft, other shafts and chutes

30. Specify material and construction of cornices

31. Specify number of fire escapes, where placed

32. Specify means of access to the roof

33. Specify size of vent shafts to water closet compartments

34. Specify how halls will be lighted and ventilated

35. Will metal lath be used? Specify where

36. Will freight elevators be inclosed or provided with doors and fusible links?

REMARKS

*Cont. Signl certifies that room
connected to proposed porch enclosure
has 1/8 % of room in open window space.*

Permit No. 1483

Date Issued July 15

Application must be filled out by Applicant with ink or indelible pencil. Plans, specifications and other data must also be filed.

OFFICE OF BUILDING INSPECTOR
SAN MARINO, CALIF.

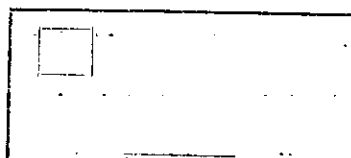
APPLICATION FOR BUILDING PERMIT

Application is hereby made for a permit to construct the building hereinafter specified at the point hereinafter specified.

Date July 7 1933

(Sign here) E. Vernal Clark
(Applicant)

1. Building to be erected on Lot No. 1 Block _____ Tract 10166 Z
2. No. 840 Winthrop Rd Street. Purpose of Building Dwelling
3. Entire cost of proposed building Seven Thousand
4. Owner Francis Drake Address _____
5. Architect E. Vernal Clark Address 818 Harbor
6. Contractor _____ Address _____
7. Size of lot 69 1/2 x 17.5 Size of building 53 x 74
8. Number of rooms 7 Will building be erected on front or rear of lot _____
9. NUMBER OF STORIES IN HEIGHT one Height to highest point of _____
10. Height of first floor joist above curb level, or sur. 12"
11. Character of ground; rock, clay, sand, filled, etc. Clay
12. Of what material will FOUNDATION and cellar walls be built? Concrete
13. GIVE depth of FOUNDATION below surface of ground 10"
14. GIVE dimensions of FOUNDATION and cellar wall FOOTINGS 8 x
15. GIVE width of FOUNDATION and cellar walls at top 7" and 1
16. NUMBER and kind of chimneys Two Number of flues 0
17. Number of inlets to each flue one Interior size of flues 12 x 1
18. Of what material will upper walls be constructed? Frame + Plaster
19. Are there any buildings within 30 feet of the proposed structure? No



The figures on this chart show your set-back lines.
There must be a clear air space of at least twenty-four inches between the first floor joists of all dwellings.

FIXTURE INSTALLATION

LOCATION List Each Fixture Separately	Quantity	LIGHTS		REMARKS
		GAS	ELEC.	
Front porch	2			
rear "	1			
Se "	1			
Kitchen	2			
Pantry	1			
Dining room	3			
living "	4			
3 bed " 's	7			
2 bath " 's	4			
3 closets	3			
Hall	1			
sun "	1			
den	1			
basement	2			
Garage	1			
	34			

APPLICATION FOR
Electric Fixtures Inspection

Permit No.

Owner

T. Francis Drake

Location

840 Winthrop Rd

Contractor

A. Shively

Con't Address

Phone

Permit Granted

Plan Received

Approved

No. of Fixtures

34

No. of Add. Fixtures

Total

REMARKS

*50
1.00
1.20
2.70*

Date

Rec't No.

Amount \$

371
4.71

Permit No. 11963

Date Issued 7-29-59

Application must be filled out by Applicant with ink or indelible pencil. Plans, specifications and other data must also be filed.

OFFICE OF BUILDING INSPECTOR
SAN MARINO, CALIF.

APPLICATION FOR BUILDING PERMIT

Application is hereby made for a permit to construct the building hereinafter specified at the point hereinafter specified.

Date July 27 - 59

Telephone Number: SY 83862

(Sign here) Charles H. Siegel
(Applicant)

1. Building to be erected on Lot No. _____ Block 90 Tract _____ Zone _____
2. No. _____ Street. Purpose of Building A.H.T.
3. Entire cost of proposed building \$1500.00
4. Owner T. HAY Address 840 Winth...
5. Architect _____ Address _____
6. Contractor Charles H. Siegel Address 3219 Fair point
7. Size of lot _____ Size of building _____
8. Type of Architecture _____
9. Number of rooms _____ Will building be erected on front or rear of lot _____
10. NUMBER OF STORIES IN HEIGHT _____ Height to highest point of roof _____
11. Height of first floor joist above curb level, or surface _____
12. Character of ground; rock, clay, sand, filled, etc. _____
13. Of what material will FOUNDATION and cellar walls be built? _____
14. GIVE depth of FOUNDATION below surface of ground _____
15. GIVE dimensions of FOUNDATION and cellar wall FOOTINGS _____
16. GIVE width of FOUNDATION and cellar walls at top _____
17. NUMBER and kind of chimneys _____ Number of _____
18. Number of inlets to each flue _____ Interior size of flues _____
19. Of what material will upper walls be constructed? _____
20. Are there any buildings within 30 feet of the proposed structure? _____



The figures on this chart show your set-back lines.

21. GIVE THICKNESS OF EXTERIOR WALLS:

1st story Basement
2nd story Firewall

22. GIVE MATERIAL, SIZE AND DISTANCE ON CENTERS OF FLOOR JOISTS:

1st story—material; Size **x**; distance on centers.....
2nd “ “; “ **x**; “ “ “
Ceiling Joists.....; “ **x**; “ “ “
Roof Rafters.....; “ **x**; “ “ “

23. Will any wall be supported on iron or steel girders or columns?
24. Specify material of beams, girders or columns
25. Specify material and construction of floors
26. Specify material of partitions
27. Specify material of roofing
28. Specify material of stairways
29. Specify material of elevator shaft, other shafts and chutes
30. Specify material and construction of cornices
31. Specify number of fire escapes, where placed
32. Specify means of access to the roof
33. Specify size of vent shafts to water closet compartments
34. Specify how halls will be lighted and ventilated
35. Will metal lath be used? Specify where
36. Will freight elevators be inclosed or provided with doors and fusible links?

REMARKS

New Cabinets ELEC. Wiring Change
Windows To Louvers.

Permit No. 8758

Date Issued 4-9-53

Application must be filled out by Applicant with ink or indelible pencil. Plans, specifications and other data must also be filed.

OFFICE OF BUILDING INSPECTOR SAN MARINO, CALIF.

APPLICATION FOR BUILDING PERMIT

Application is hereby made for a permit to construct the building hereafter at the point hereinafter specified.

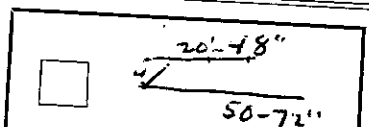
Date 4/7/53

Telephone Number: 5x 91173

(Sign here)

Allan Anderson
(Applicant)

1. Building to be erected on Lot No. _____ Block _____ Tract _____ Zone _____
2. No. _____ Street. _____ Purpose of Building _____
3. Entire cost of proposed building 160⁰⁰
4. Owner T. N. Hay Address 840 Winthrop
5. Architect _____ Address _____
6. Contractor Crown Fence & Supply Co. Ltd Address 939 So. Fair Oaks Ave
7. Size of lot _____ Size of building _____
8. Type of Architecture Wire Fence
9. Number of rooms _____ Will building be erected on front or rear of lot. _____
10. NUMBER OF STORIES IN HEIGHT _____ Height to highest point of roof _____
11. Height of first floor joist above curb level, or sur _____
12. Character of ground; rock, clay, sand, filled, etc. _____
13. Of what material will FOUNDATION and cellar walls be built? _____
14. GIVE depth of FOUNDATION below surface of ground _____
15. GIVE dimensions of FOUNDATION and cellar wall FOOTINGS _____
16. GIVE width of FOUNDATION and cellar walls at top _____
17. NUMBER and kind of chimneys _____ Number of flues _____
18. Number of inlets to each flue _____ Interior size of flues _____
19. Of what material will upper walls be constructed? _____
20. Are there any buildings within 30 feet of the proposed structure? _____



The figures on this chart show your set-back lines.
Square Feet in House

21. GIVE THICKNESS OF EXTERIOR WALLS:

1st story..... Basement.....

2nd story..... Firewall.....

22. GIVE MATERIAL, SIZE AND DISTANCE ON CENTERS OF FLOOR JOISTS:

1st story—material.....; Size x.....; distance on centers.....

2nd “ “.....; “ x.....; “ “ “.....

Ceiling Joists.....; “ x.....; “ “ “.....

Roof Rafters.....; “ x.....; “ “ “.....

23. Will any wall be supported on iron or steel girders or columns?.....

24. Specify material of beams, girders or columns.....

25. Specify material and construction of floors.....

26. Specify material of partitions.....

27. Specify material of roofing.....

28. Specify material of stairways.....

29. Specify material of elevator shaft, other shafts and chutes.....

30. Specify material and construction of cornices.....

31. Specify number of fire escapes, where placed.....

32. Specify means of access to the roof.....

33. Specify size of vent shafts to water closet compartments.....

34. Specify how halls will be lighted and ventilated.....

35. Will metal lath be used? Specify where.....

36. Will freight elevators be inclosed or provided with doors and fusible links?.....

REMARKS.....

BUYER'S NAME

PACIFIC INSTALLERS #1

187-32/38764

Fencing CHAIN LINK Store P-SADENA

1920 E. GRAND AVE

Customer's Name DEE HECTON

EMPLE CITY, CA. 91780

Address 840 WINTHROP RD

MERCHANDISE SHIPPED FROM: FLOOR WHSE. RETAIL DIST. CENTER

City SAN MORINO State CALIF.

POOL SOURCE INSTALLER INSTALLER PICKUP

Installation Address SAME AS ABOVE

CHECK NO(S.) RECAD# 9749552

Nearest Cross Street EL MOLINO

40724 118 6401072 LO 828191

Phone Home 441-4132 Business

Permit # # No's. # #

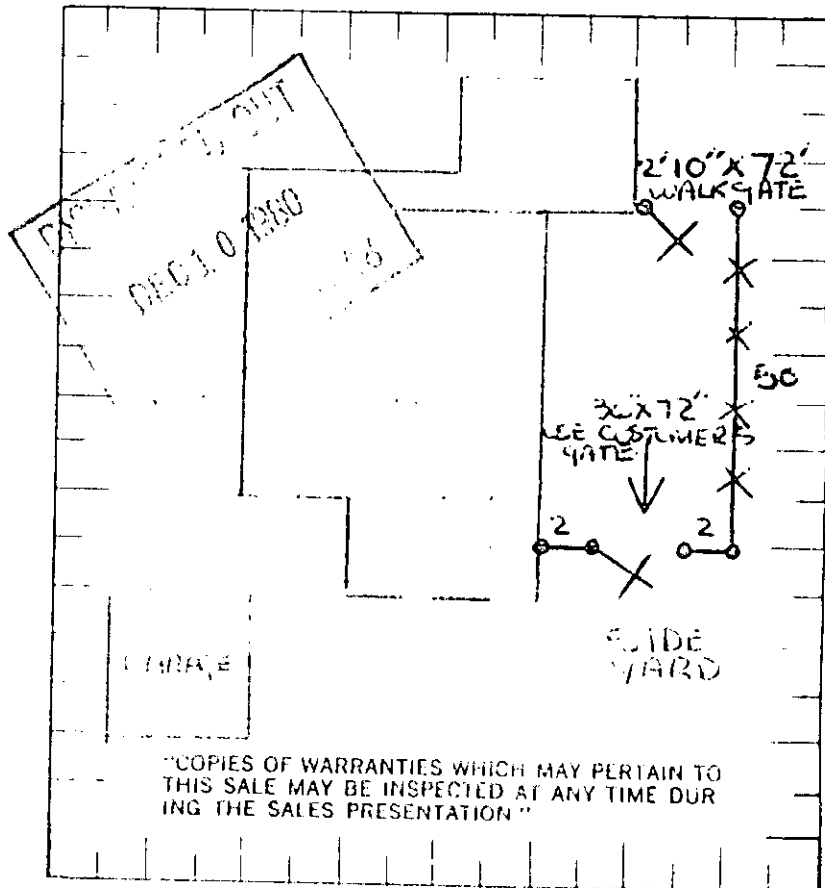
SPECIFICATIONS

DIAGRAM

SPECIFICATIONS

RAIL LENGTH	OVERALL HEIGHT
4 FT	72 & 48
WALK GATE	DRIVE GATE
2' X 72" NONE	
OR: 72	
LEVEL	<input checked="" type="checkbox"/>
ROLLING	<input type="checkbox"/>
HILLSIDE	<input type="checkbox"/>
TERRACED	<input type="checkbox"/>
FENCE:	
AIRLINE	<input type="checkbox"/>
HORIZONTAL	<input type="checkbox"/>
FOLLOW CONTOUR	<input checked="" type="checkbox"/>
POSTS SET	
ATOMER	<input checked="" type="checkbox"/>
DOWN EXISTING	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
WAY EXISTING	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
WAY EXCAVATION	
YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
CHAIN LINK	
POST DIAMETER	TERMINAL POST
1/2" DIA	2 1/2"
POST DIAMETER	TOP RAIL
1/2" DIA	1 5/8"

DIAMETER GATE FRAME	LINE POST SPACING
1 3/8"	10 FT
KNUCKLE UP	BARB UP
<input checked="" type="checkbox"/>	<input type="checkbox"/>
FENCE TO HAVE:	
HORIZONTAL BRACES	<input type="checkbox"/>
DIAGONAL BRACES	<input type="checkbox"/>
TOP RAIL	<input checked="" type="checkbox"/>
WOOD -38764	
TYPE OF WOOD	STYLE OF FENCE
CEMENT BLOCK	
WIDTH OF CAP	COLOR OF CAP
GRILLE BLOCK NO	COLOR OF GRILLE BLOCK
COLOR OF PILASTERS	PILASTER GRILLE BLOCK NO 103
GATE PATTERN NO	GATE BOLTS ONLY
COLOR & SIZE OF B. BLOCK	NUMBER OF COURSES HIGH



"COPIES OF WARRANTIES WHICH MAY PERTAIN TO THIS SALE MAY BE INSPECTED AT ANY TIME DURING THE SALES PRESENTATION"

CUSTOMER HEREBY ASSUMES FULL RESPONSIBILITY FOR THE LOCATION OF THE LINE UPON WHICH SAID FENCE MATERIALS ARE TO BE INSTALLED AND AGREES TO BE RESPONSIBLE FOR ALL ADDITIONAL LABOR AND/OR MATERIALS NECESSARY TO REMOVE OR RELOCATE ANY PLUMBING, ELECTRICAL CABLES OR ANY OTHER UNDER GROUND INSTALLATION.

CUSTOMER AGREES TO DEFEND, HOLD HARMLESS AND INDEMNIFY SEARS FROM AND AGAINST ALL CLAIMS, LIABILITIES AND EXPENSES FOR INJURY, DEATH OR DAMAGE TO PERSONS, PROPERTY DAMAGE, TRESPASS AND ALL OTHER DAMAGE OR LOSS ARISING OUT OF THE INSTALLATION OR LOCATION OF SAID FENCE MATERIALS.

SEARS RESERVES THE RIGHT TO MAKE ADDITIONAL CHARGES TO THE CUSTOMER IN THE EVENT UNUSUAL GROUND CONDITIONS SUCH AS ROCK FORMATION IMPIDE THE INSTALLATION HEREIN DESCRIBED. SUCH ADDITIONAL CHARGES SHALL BE BASED ON ACTUAL ADDITIONAL LABOR REQUIRED TO COMPLETE INSTALLATION UNDER THE CIRCUMSTANCES.

CONTRACT IS IN EXCESS OF \$500, "YOU AS OWNER OR TENANT HAVE THE RIGHT TO REQUIRE THE CONTRACTOR TO HAVE A PERFORMANCE AND PAYMENT BOND OR FUNDING CONTROL."

TERMS AND CONDITIONS ARE STATED ON REVERSE

Approved and Accepted (Customer) Dee Hecton

PLACE: IN STORE ELSEWHERE

MESSAGE APPLIES TO IN-HOME SALES ONLY.

CUSTOMER MAY CANCEL THIS TRANSACTION AT ANY TIME UP TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION. SEE THE ATTACHED NOTICE FOR FULL EXPLANATION OF THIS RIGHT.

DATE OF SALE

12	6	80
Mo.	Day	Year

Cash Price: 480.30

By SEARS, ROEBUCK AND CO. Cal. Lic. 25455
 900 S. FREMONT AVE., ALHAMBRA, CALIFORNIA 91802

By PAUL STERNICH AAD2469
 Representative Cal. Lic. No.

[Signature]
 Regional Division Mgr.

Warranty Delivered X P.O.C.

Cash E.P. S.R.C. M.C.P.

Work will begin within approximately 60 days from the date of sale shown herein and will be substantially completed within 90 days thereafter unless different estimated starting and/or completion dates are shown herein:

Approximate starting date: X 1/6/81

Approximate completion date: _____

CITY OF SAN MARINO
11963 BUILDING DEPARTMENT

ELECTRIC
APPLICATION FOR PERMIT

SERVICE WIRE 21 SER. COND. _____
SER. SWITCH _____ NO. CIR. _____

ELECTRICAL PERMIT <u>41993</u>	GROUP
DATE ISSUED <u>9-14-79</u>	READY FOR INSPECTION

JOB ADDRESS 840 Winthrop Rd

OWNER	NAME <u>Asy</u>
	ADDRESS
	CITY PHONE

ELECTRICIAN	NAME <u>Smith Electric</u>
	ADDRESS <u>8230 Raven Dale Dr</u>
	CITY <u>San Gabriel</u> PHONE <u>AF 1-4804</u>

DESCRIPTION OF WORK		NO.	FEE
OUTLETS		5	50
RANGE	<u>Cook Top</u>	1	50
ELECTRIC HEATER			
FIXTURES		1	50
NEON SIGN			
SERVICE EQUIP'T	<u>Panel only</u>	1	50
MOTORS	<u>Disp. Fan. Dish w.</u>	3	1.75
DRYER			
Oven		1	50
FIXTURE PERMIT			50
ELECTRIC PERMIT			50
TOTAL FEE			<u>4.75</u>

	CHECK		LIGHTS				PLUGS								SWITCH	FIXT.	
	RGH.	FIN.	1	2	3	4	1	2	3	4	5	6	7	8			
FRONT PORCH																	
ENTRY HALL																	
LIVING ROOM																	
DINING ROOM																	
BREAKFAST ROOM																	
KITCHEN								3									
SERVICE PORCH																	
REAR PORCH																	
HALL																	
BEDROOM 1																	
BEDROOM 2																	
BEDROOM 3																	
DEN																	
CLOSETS																	
BATHROOM 1																	
BATHROOM 2																	
MAID'S ROOM																	
SHOWER																	
PATIO																	
GARAGE																	
BASEMENT																	
TRANSFORMER																	
Yard			1													1	1

I HEREBY AGREE TO INSTALL ALL OF THE ABOVE WORK ACCORDING TO SAN MARINO ORDINANCES.

SAN MARINO, CALIF.
APPLICATION FOR PLUMBING PERMIT
 OFFICE OF BUILDING INSPECTOR

Date..... 7/25/53

Applicant..... Coory & Wanta

Contractor.....

Owner..... FRANCIS - DRAKE License No.....

Location..... 840 - WINTNROP - ROAD

Description of Building..... FRAME No. of stories.....

For what purpose is the building to be used?.....

Front or rear of lot.....

New or old building..... Additions to new or old building.....

Is it proposed to connect the work asked for in this application with the present system installed?.....

Does the plumbing and house draining of this building conform to Ordinance No. 87 as an entirety?.....

In what manner does it differ?.....

Has the work of this building been condemned by the Health Department in part or as an entirety?.....

If other than a public sewer, how will the sewage of the building be disposed of?.....

Is there a sewer already upon the lot?..... New or old?.....

<u>2</u> Bath Tubs	<u>1</u> Shower	<u>1</u> Sinks	<u>1</u> Heater
<u>3</u> Water Closets	..... Slop Sinks	..... Urinals	..... Cesspool
<u>1</u> Wash Trays	..... Soda Fountain	..... Sand Traps	..... Sewer
<u>3</u> Lavatories	..... Dental Cuspidors	..... Boiler	<u>6</u> Gas..... Fuel

COSTS \$ 450.00

835-0

This application is subject to the rules and regulations of Ordinance No. 87 and is to conform to...

APPLICATION FOR PLUMBING PERMIT

OFFICE OF BUILDING INSPECTOR

Date **JUL 31 1933**

3582

Applicant **PAYNE FURNACE & SUPPLY CO., Inc.**

98 EAST UNION STREET

Contractor **Francis Drake**

Owner **Francis Drake**

License No.

Location **840 Winthrop**

Description of Building No. of Stories

For what purpose is the building to be used?

Front or rear of lot

New or old building Additions to new or old building

Is it proposed to connect the work asked for in this application with the present system installed?

Does the plumbing and house draining of this building conform to Ordinance No. 87 as an entirety?

In what manner does it differ?

Has the work of this building been condemned by the Health Department in part or as an entirety?

If other than by a public sewer, how will the sewage of the building be disposed of?

Is there a sewer already upon the lot? New or old?

- | | | | |
|---------------------|------------------------|------------------|---------------------|
| Bath Tubs | Shower | Sinks | Heater |
| Water Closets | Slop Sinks | Urinals | Cesspool |
| Wash Trays | Soda Fountain | Sand Traps | Sewer |
| Lavatories | Dental Cuspidors | Boiler | Gas..... Fuel |

COSTS \$ **250**

2510
Permit

SAN MARINO, CALIF.
APPLICATION FOR PLUMBING PERMIT
OFFICE OF BUILDING INSPECTOR

1483

Date 7-6, 1937

Applicant

Contractor Garrett Co.

Owner F. M. Drake License No. I56

Location 840 Winthrop Rd.

Description of Building No. of Stories

For what purpose is the building to be used?

Front or rear of lot

New or old building Additions to new or old building

Is it proposed to connect the work asked for in this application with the present system installed?

Does the plumbing and house draining of this building conform to Ordinance No. 87 as an entirety?

In what manner does it differ?

Has the work of this building been condemned by the Health Department in part or as an entirety?

If other than a public sewer, how will the sewage of the building be disposed of?

Is there a sewer already upon the lot? New or old?

.....Bath Tubs	.....Shower	.....Sinks	.....Heater
.....Wash Trays	.....Slop Sinks	.....Urinals	.....Cesspool
.....Lavatories	.....Soda Fountain	.....Sand Traps	.....Sewer
.....Water Closets	.....Dental Cuspidors	.....Boiler	.....Gas.....Fuel

COSTS \$ 80.00

This application is subject to the rules and regulations of Ordinance No. 87 and is to conform therewith

No. of Permit 1483

San Marino, Calif. 7-8 1937

Please inspect the following rough finish finish

Plumbing at No. 840 New Therap

- Bath Tubs
- Shower
- Laundry Trays
- Lavatories
- Water Closets
- Slop Sinks
- Drink Fountain
- Dental Cuspidor
- Sinks
- Urinal
- Sand Traps
- Boiler
- Heater
- Cess Pool
- Sewer
- Gas

Lot _____

Owned By _____

on 7-9 at 8:20 9. M. o'clock

B. D. Sarrett Plumber

Remarks: _____

Clean Out _____ Ft. from Curb _____

Permit No. 11963

SAN MARINO, CALIF.

APPLICATION FOR PLUMBING PERMIT

OFFICE OF BUILDING INSPECTOR

will call

Date Aug 5/59

Applicant Joseph W. Wood

Contractor Same

Owner Hay R License No. San Marino 2742

Location San Marino 840 Wenching

Description of Building Res. No. of Stories _____

For what purpose is the building to be used? _____

Front or rear of lot _____

New or old building _____ Additions to new or old building Remodel

Is it proposed to connect the work asked for in this application with the present system installed? _____

If other than a public sewer, how will the sewage of the building be disposed of? _____

Is there a sewer already on the lot? _____ New or old? _____

- | | | | |
|----------------------|------------------------|------------------|---------------------------|
| _____ Bath Tubs | _____ Slop Sinks | <u>1</u> Sinks | <u>1</u> W. Heater |
| _____ Laundry Trays | _____ Drink Fountain | _____ Shower | _____ Sewer |
| _____ Lavatories | _____ Dental Cuspidor | _____ Urinal | _____ Gas |
| _____ Water Closets | _____ Cess Pool | _____ Sand Traps | _____ Gas Dryer |
| <u>1</u> Dish Washer | <u>1</u> Garbage Disp. | _____ Auto C. W. | <u>3</u> Sprinkler System |

JOB COST \$ 600.00

FEE \$ 4.50

JOB ADDRESS

840 WINTHROP RD.
NUMBER STREET

APPLICATION FOR AN
ELECTRICAL PERMIT

BUILDING DIVISION - PUBLIC WORKS DEPARTMENT
 CITY OF SAN MARINO, CALIFORNIA

CONTRACTOR DELTA ELECTRIC STATE LIC. NO. 472664 CITY LIC. NO. 1908
 MAILING ADDRESS 601 MERIDIAN AVE. CITY SAN MARINO CA ZIP 91764 TEL. NO. 799-3202
 OWNER HAROLD DAUME TEL. NO. 799-0581
 MAILING ADDRESS 840 WINTHROP RD.

NEW BLDG. EXIST. BLDG. NO SERV. CHANGE RECONNECT OR RESÉAL TEMPORARY POWER POLE

NOTE: AN ELECTRICAL LOAD SCHEDULE MUST BE SUBMITTED TO DETERMINE THAT THE ADDED LOAD WILL NOT OVERLOAD THE EXISTING SYSTEM.

FEE COMPUTATION (MIN. \$3.00)

NUMBER OUTLETS, BASE PLUGS, SWITCHES, FIXTURES 20/200
 FIRST 20 @ 60¢ EA. 12.00 ADDITIONAL @ 30¢ EA. 18.00

QUAN	OVER	HP	RATE	FEE
0	0	HP	@ 3.00 EA.	
1	1	3 HP	4.50	
3	3	8 HP	@ 6.00	
8	8	15 HP	7.50	
15	15	50 HP	@ 9.00	
50	50	100 HP	15.00	

TOTAL Air Cond. H.P. _____ SUB TOTAL → _____

TEMPORARY, PERMANENT OR CONSTRUCTION POLES @ \$6.00 \$ _____
 RANGE OR OVEN OUTLETS @ \$3.00 RES. \$6.00 COMM. EA. \$ _____
 SERVICE AMPERES _____ \$ _____
 CLOTHES DRYER 1 @ \$6.00 EACH \$ 6.00
 DISHWASHER @ \$3.00 EA. FURNACE @ \$3.00 EA. \$ _____
 GARBAGE DISP. @ \$3.00 EA. \$ _____
 KITCH. OR BATH FAN @ \$3.00 EA. \$ _____
 MISCELLANEOUS \$ 11
 PERMIT FEE \$ 26.00
 BLANKET PERMIT FEE @ \$9.00 EACH \$ _____
 PENALTY FEE INVESTIGATION FEE \$ 24.00
TOTAL FEE \$ 114.00

PERMIT APP. BY _____ DATE APPROVED _____

I have carefully read and examined the above application and find the same to be true and correct. All provisions of the Laws and ordinances governing building construction will be complied with whether specified herein or not. No person shall be employed in violation of the Labor Code of the State of California. I agree not to occupy or allow occupancy of any building authorized by this permit until final building inspection has been received.

[Signature]
 SIGNATURE OF OWNER OR AUTHORIZED AGENT

PERMIT # 55030 FEE: \$ 114.00

PERMANENT

WHEN PROPERLY VALIDATED IN THIS SPACE, THIS FORM CONSTITUTES A PERMIT TO DO THE WORK PRESCRIBED HEREIN.

INSPECTION RECORD

BASIC INSPECTIONS

ITEM	INSPECTOR	DATE
GROUND WORK		
ROUGH		
FINISH		
FIXTURES		
FINAL Release to Public Serv.	<i>[Signature]</i>	6/30/87

PARTIAL OR MISC. INSPECTIONS

<i>[Signature]</i>		
<i>[Signature]</i>		
<i>[Signature]</i>		
<i>[Signature]</i>		
<i>[Signature]</i>		
<i>[Signature]</i>		

UNSUCCESSFUL TRIPS

CORRECTION RECORD

[Handwritten mark]

TO APPLICANT: PLEASE DO NOT WRITE
ON THIS PAGE

APPENDIX D
Historical Map

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THOMAS BROS.
 MAP OF
PASADENA
 ALTADENA
 SOUTH PASADENA
 AND
 SAN MARINO



State and Local Realty Associations
 RT A. SWINK CO.
 EXCHANGES—MORTGAGE LOANS
 ANCE—NOTARY PUBLIC
 me Terrace 5186
 24 N. LOS ROBLES AVE.
 PASADENA, CAL.

M. H. PETERS CO.
 ESTATE BROKERS
 PASADENA, CALIF.

THOMAS BROS
 MAP OF
ALTADENA



ALTADENA and Vicinity

1	2	3	4	5	6	7	8	9	10	11
A	B	C	D	E	F	G	H	I	J	K

PASADENA and Vicinity

1	2	3	4	5	6	7	8	9	10	11
A	B	C	D	E	F	G	H	I	J	K

SOUTH PASADENA and Vicinity

1	2	3	4	5	6	7	8	9	10	11
A	B	C	D	E	F	G	H	I	J	K

SAN MARINO and Vicinity

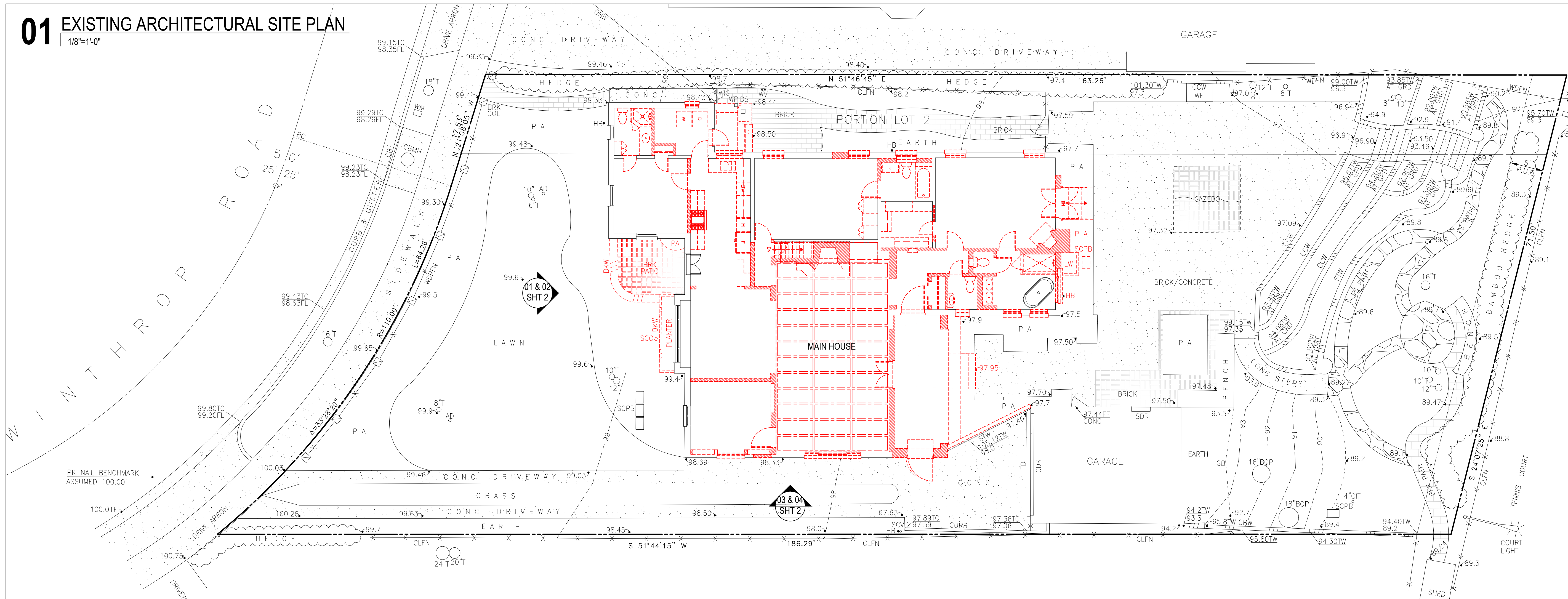
1	2	3	4	5	6	7	8	9	10	11
A	B	C	D	E	F	G	H	I	J	K

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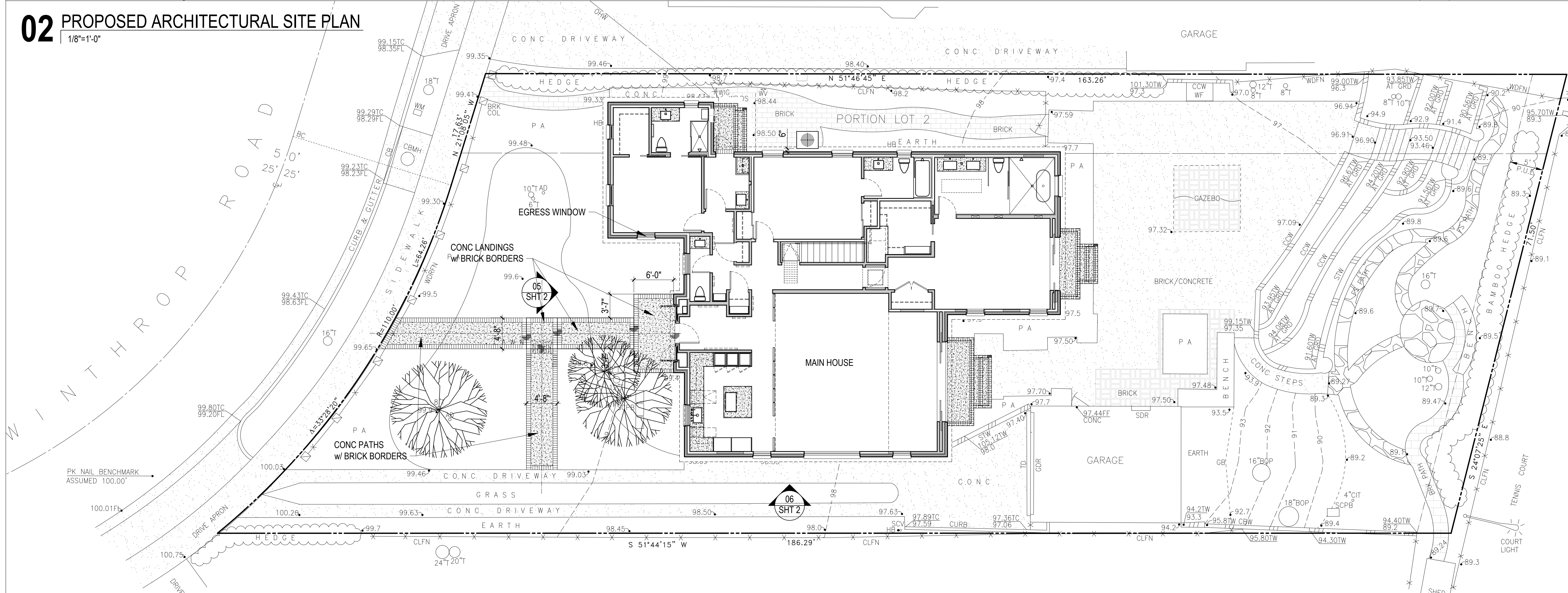
APPENDIX E
Design Plans

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01 EXISTING ARCHITECTURAL SITE PLAN
1/8"=1'-0"



02 PROPOSED ARCHITECTURAL SITE PLAN
1/8"=1'-0"



**CALISHERSTUDIO
ARCHITECTURE LA**

ALAN GLENN CALISHER AIA
2632 REYNIER AVE
LOS ANGELES, CA 90034
T: 310-968-8272

"THESE DRAWINGS, DESIGN CONCEPTS AND IDEAS ARE THE PROPERTY OF CALISHERSTUDIO ARCHITECTURE AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT INDICATED HEREIN, AND SHALL NOT BE USED UNLESS PERSONALLY ENDORSED ON EACH DRAWING."



DRAWING ISSUE

SHT 1
EXISTING, NEW ARCHITECTURAL SITE PLANS

2016 01-14-22

WINTHROP

840 WINTHROP RD
SAN MARINO

SHEET NUMBER: [24 x 36]

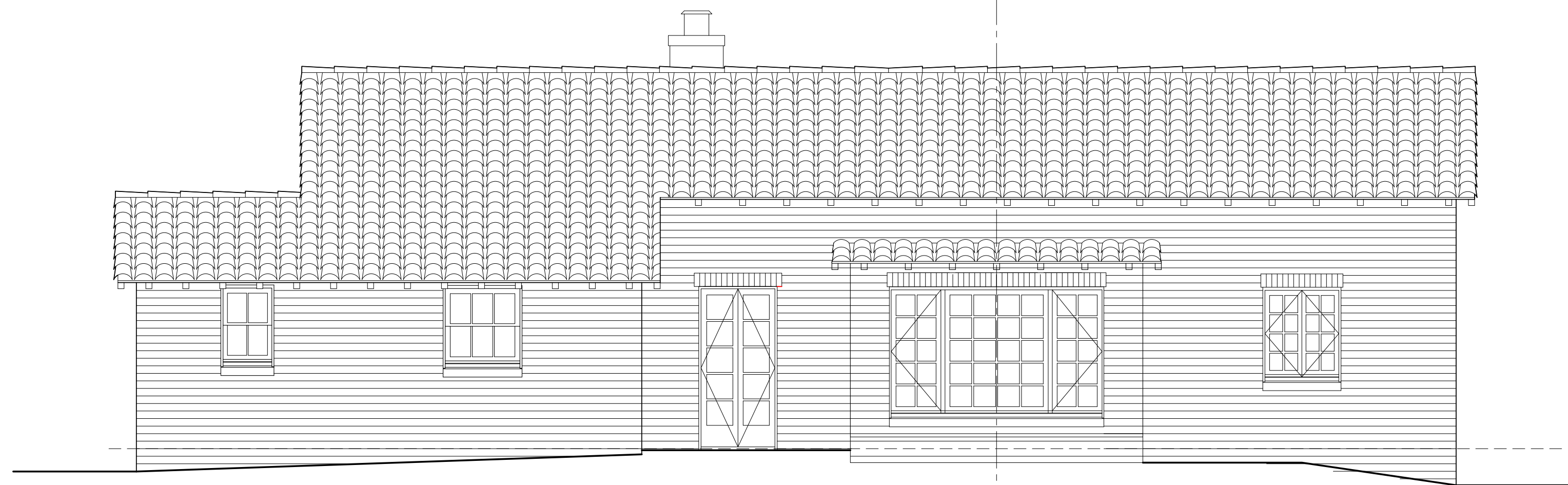
SHT 1

ARCH SITE PLANS

"THESE DRAWINGS, DESIGN CONCEPTS AND IDEAS ARE THE PROPERTY OF CALISHERSTUDIO ARCHITECTURE AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT INDICATED HEREIN, AND SHALL NOT BE USED UNLESS PERSONALLY ENDORSED ON EACH DRAWING."



DRAWING ISSUE



01 EXISTING FRONT (WEST) ELEVATION
1/4"=1'-0"

EXISTING ROOF TILES TO REMAIN

CONTRACTOR SHALL DETERMINE CONDITION OF ROOFING UNDERLAYMENT. IF UNDERLAYMENT IS DETERMINED TO BE REPLACED, CONTRACTOR SHALL CAREFULLY REMOVE AND STORE SPANISH TILE ROOF FOR REINSTALLATION AFTER UNDERLAYMENT REPLACEMENT.

CONTRACTOR SHALL PHOTODOCUMENT ROOF PRIOR TO REMOVAL OF SPANISH TILE

(E) SPANISH TILE TO REMAIN, TYP. SEE NOTE REGARDING UNDERLAYMENT

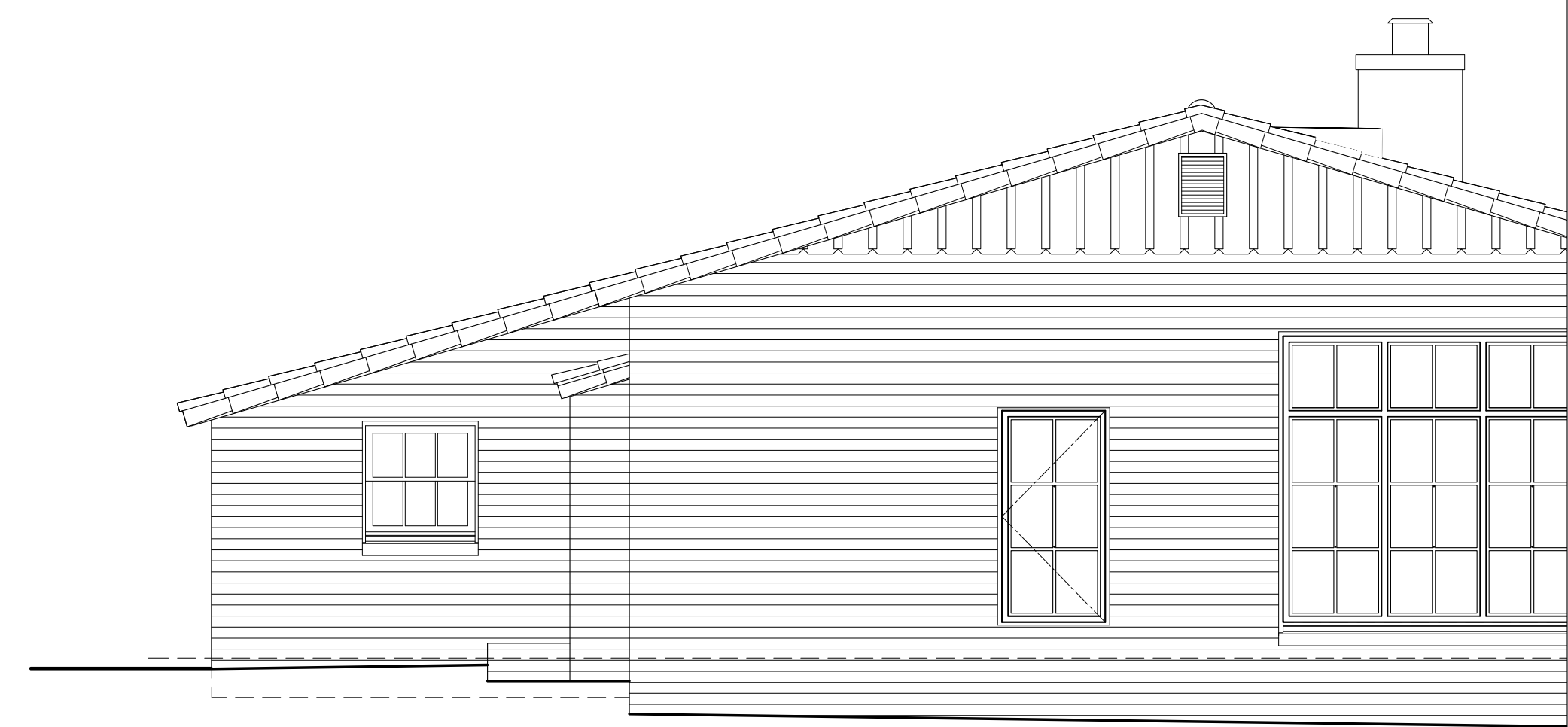
(E) BRICK TO REMAIN

DEMOING (E) CASEMENT WINDOW AND REPLACING WITH NEW CASEMENT WINDOW APPROX SAME SIZE THAT MATCHES W2 ON SOUTH ELEVATION (SAME ROOM)

DEMOING SKINNY FRENCH DOORS HERE, DUE TO:
1. POWDER ROOM BEYOND. WILL BE REPLACED WITH A WINDOW IN THE EXISTING MASONRY OPENING.
2. ONLY DESIRE ONE DOOR ON FRONT FACADE.

1. DEMOING FIXED WINDOW WITH OPERABLE CASEMENT SIDELITES TO MAKE ROOM FOR NEW FRONT DOOR WITH SIDELITES.

(E) WINDOWS TO REMAIN.



02 EXISTING SIDE (SOUTH) ELEVATION
1/4"=1'-0"

THIS WINDOW IS AN EGRESS WINDOW FOR THE BEDROOM #3.

CODE REQUIRES SILL < 44" ABOVE FINISH FLOOR, AND A CLEAR AREA THRU WINDOW MIN. 20" WIDE X 24" TALL.

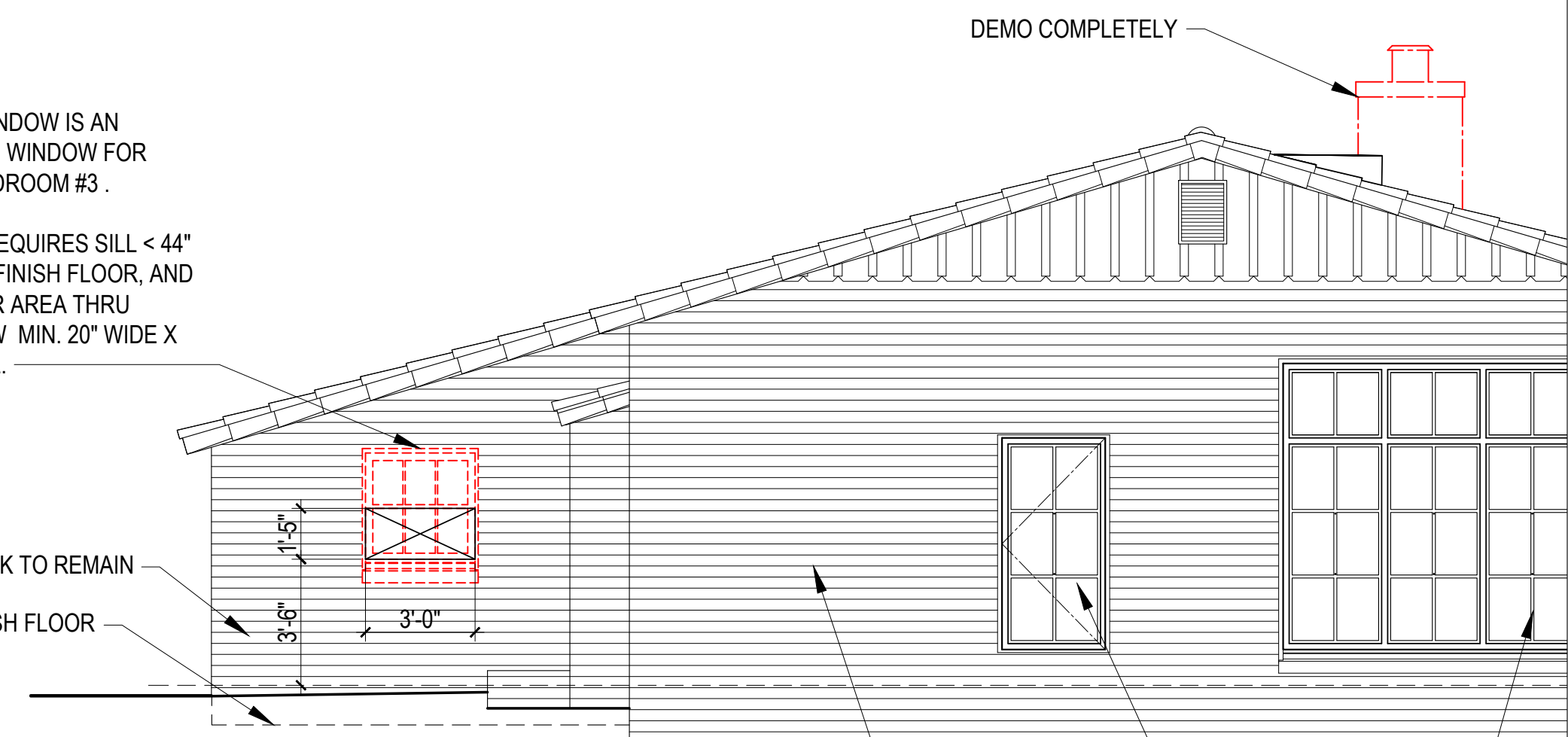
DEMO COMPLETELY

(E) BRICK TO REMAIN

(E) FINISH FLOOR

(N) WINDOWS

(E) BRICK TO REMAIN UNLESS NOTED OTHERWISE



04 EXISTING SIDE (SOUTH) ELEVATION - SHOWING DEMO
1/4"=1'-0"

03 EXISTING FRONT (WEST) ELEVATION - SHOWING DEMO
1/4"=1'-0"

(N) 16x21 COPPER GABLE WALL VENT (ATTIC VENT), TYP.

(E) SPANISH TILE ROOFING TO REMAIN, TYP.

(N) DOOR & (N) DOOR SURROUND

HALF ROUND COPPER ROOF VENTS, TYP.

3" x 14" EAVE VENT, TYP.

EXISTING BRICK CLADDING TO REMAIN IN PLACE

PATCH AROUND NEW WINDOW & DOOR OPENINGS TO MATCH COURSING & DETAILS, TYP.

17'-0"

T.O. WDW

F.F. LEVEL 1

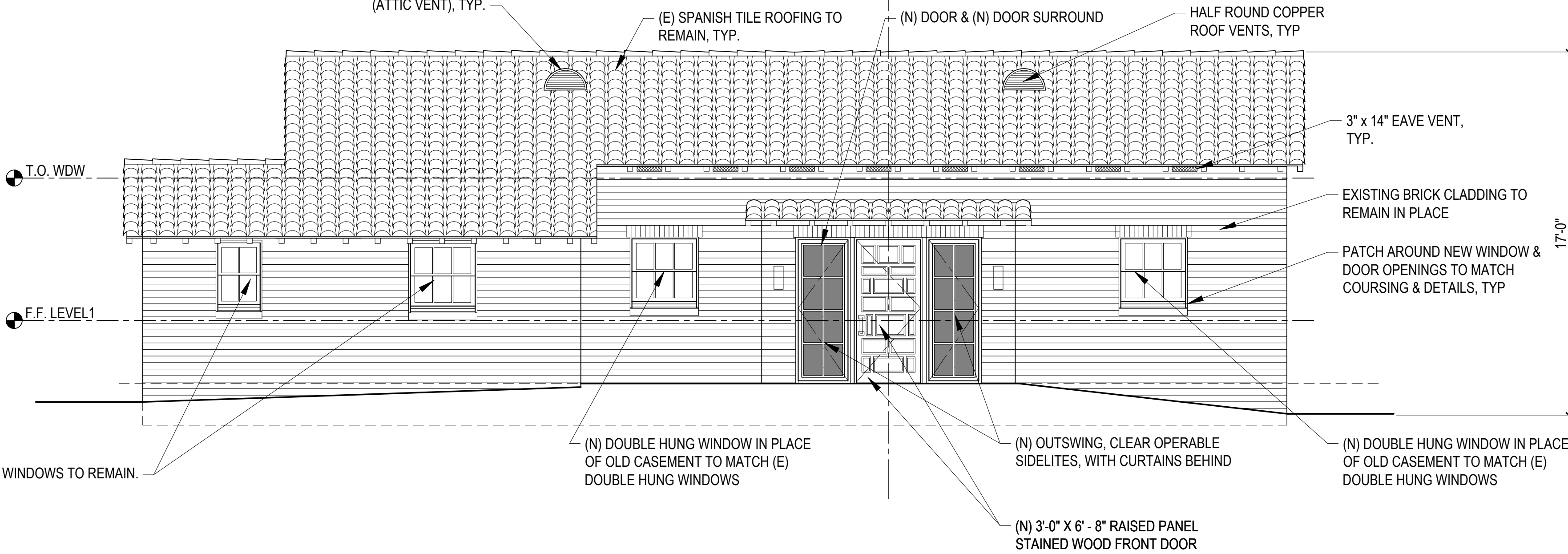
(E) WINDOWS TO REMAIN.

(N) DOUBLE HUNG WINDOW IN PLACE OF OLD CASEMENT TO MATCH (E) DOUBLE HUNG WINDOWS

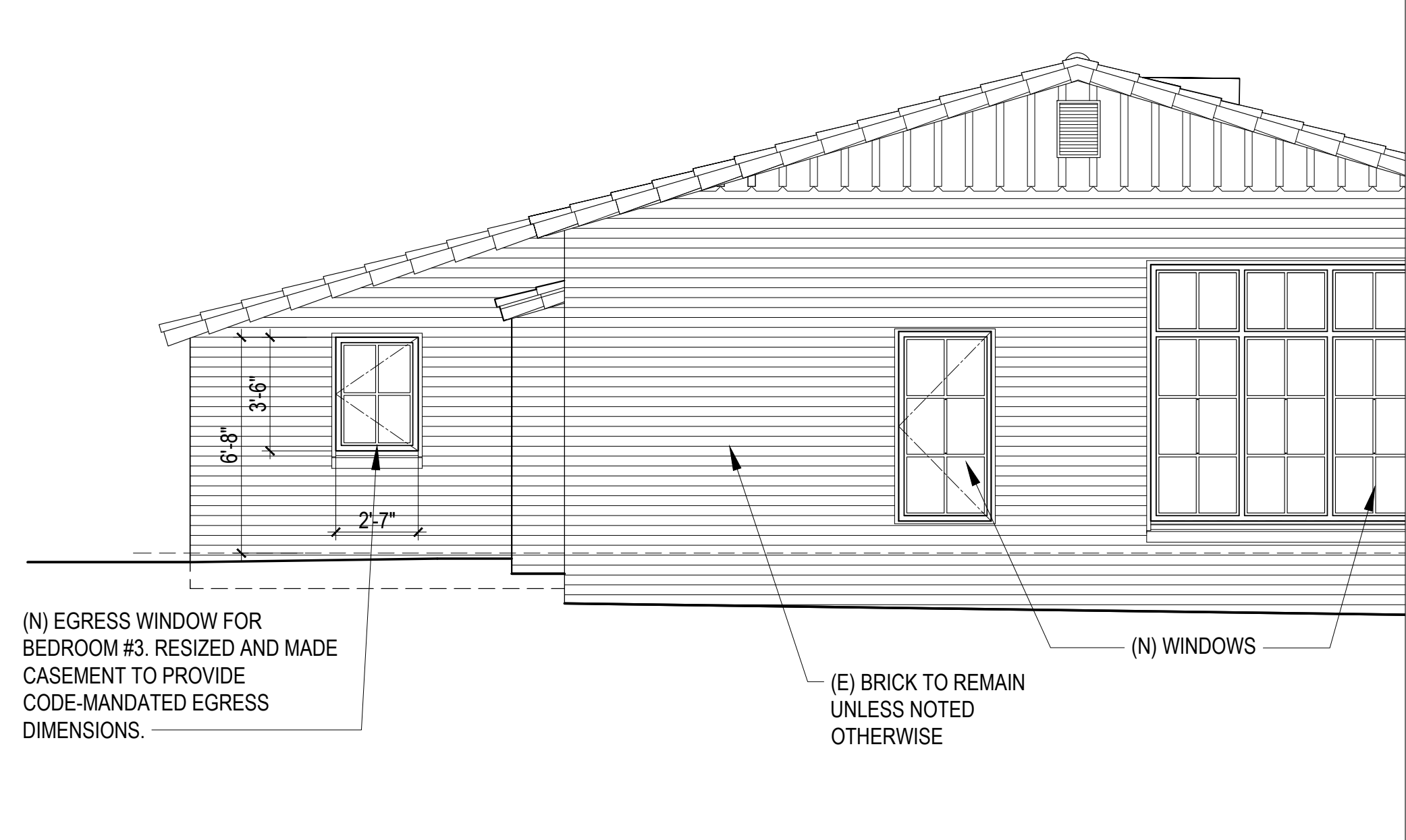
(N) OUTSWING, CLEAR OPERABLE SIDELITES, WITH CURTAINS BEHIND

(N) DOUBLE HUNG WINDOW IN PLACE OF OLD CASEMENT TO MATCH (E) DOUBLE HUNG WINDOWS

(N) 3'-0" X 6' - 8" RAISED PANEL STAINED WOOD FRONT DOOR



05 PROPOSED FRONT (WEST) ELEVATION
1/4"=1'-0"



(N) EGRESS WINDOW FOR BEDROOM #3. RESIZED AND MADE CASEMENT TO PROVIDE CODE-MANDATED EGRESS DIMENSIONS.

(E) BRICK TO REMAIN UNLESS NOTED OTHERWISE

(N) WINDOWS

06 PROPOSED SIDE (SOUTH) ELEVATION
1/4"=1'-0"

SHT 2
EXTERIOR ELEVATIONS - EXISTING, DEMO, NEW

2016 01-14-22

WINTHROP

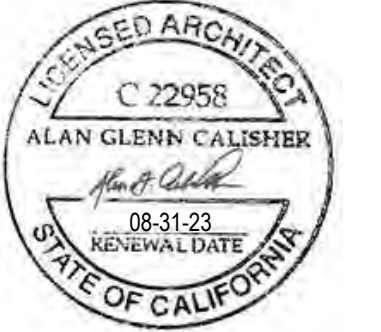
**840 WINTHROP RD
SAN MARINO**

SHEET NUMBER: [24 x 36]

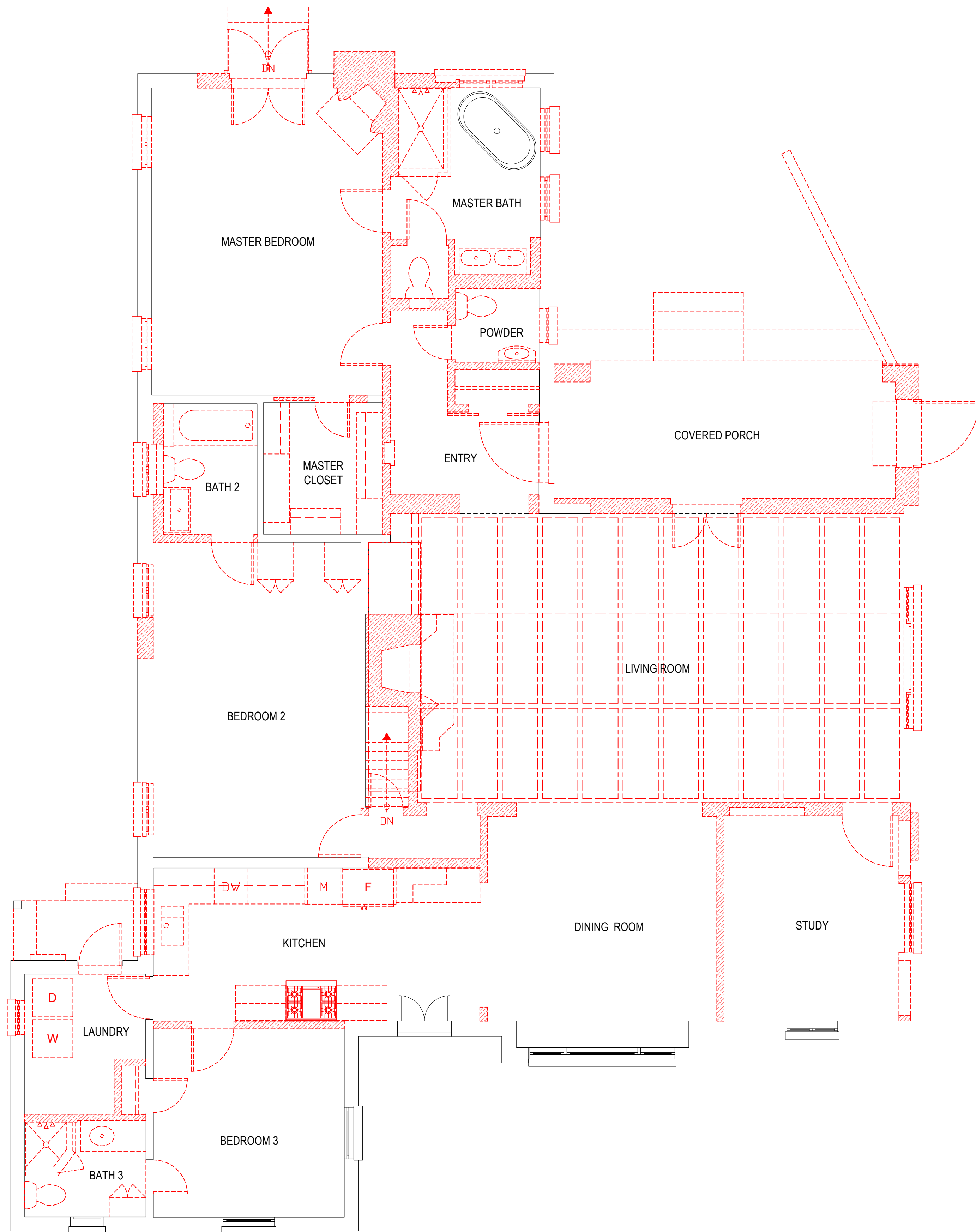
SHT 2

EXTERIOR ELEVATIONS

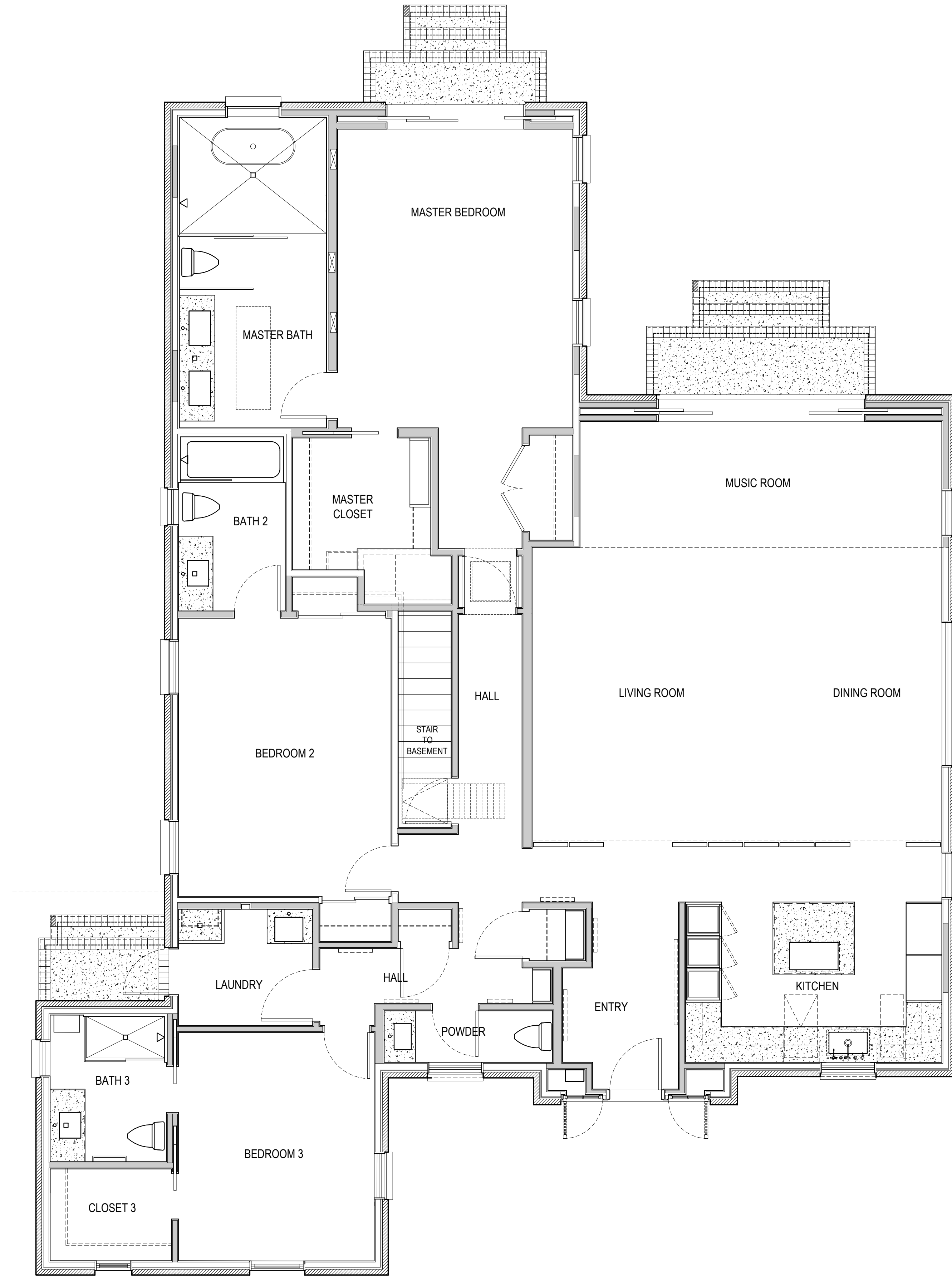
"THESE DRAWINGS, DESIGN CONCEPTS AND IDEAS ARE THE PROPERTY OF CALISHERSTUDIO ARCHITECTURE AND SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT INDICATED HEREIN, AND SHALL NOT BE USED UNLESS PERSONALLY ENDORSED ON EACH DRAWING."



DRAWING ISSUE
UPDATED 12-29-21



01 EXISTING FRONT (WEST) ELEVATION
1/4"=1'-0"



INTERIOR DRYWALL WILL NOT BE ATTACHED TO WINDOWS OR WINDOW FRAMES

02 NEW FLOOR PLAN
1/4"=1'-0"

SHT 3
EXISTING/DEMO FLOOR PLAN, PROPOSED FLOOR PLAN

2016 01-14-22

WINTHROP

840 WINTHROP RD
SAN MARINO

SHEET NUMBER: [24 x 36]

SHT 3

FLOOR PLANS

*Christa Lakon, Chair
Sharon Mequet, Vice-Chair
Joyce Gatsoulis Batnij
Raymond Cheng
Rick Chou
Tony Chou, Alternate
Suzanne Torgeson, Alternate*



City of San Marino

Staff Report

TO: Chair Lakon and Members of the Design Review Committee
FROM: Camillia Martinez, Associate Planner
DATE: September 21, 2022
SUBJECT: **DESIGN REVIEW CASE NO. DR 22-36
840 WINTHROP ROAD, (CALISHER)**

PROJECT DESCRIPTION

The applicant proposes to redesign the front elevation of the subject residence with a new concrete landing with brick borders, a redesign of the existing front bay window into a new 3'-0" by 6'-8" stained wood front door and casement sidelites to the new foyer, the removal of the existing French door to a double hung window in place for the proposed powder room, and the replacement of a double hung window with a casement window in bedroom 3 for egress purposes, all of which are visible from the street. As such, it requires one design review action pursuant to City Code Sections 23.15.03(A1). The project sits on an approximately 2,454 square-foot residence. in the R-I zone, Area District VII.

TREE PRESERVATION

The project does not propose the removal or relocation of any trees.

HISTORICAL PRESERVATION

The Historic Resources Assessment Report provided by ASM Affiliates determined in their finding that the single-family residence at 840 Winthrop Road will retain its historical use as a residence. Original distinctive materials and features will be retained wherever possible, except where the new use requires it. All alterations will be made with repurposed or in-kind materials and match existing and retained features on the building to preserve its historic character.

The subject property is identified on the Citywide Historic Resources Survey Report as a potential district contributor. The City's consultants, Architectural Resources Group, identified the structure as a potential district contributor to a potential Mission Street Residential Historic District. The potential district consists of single-family residences primarily designed in a mix of

Minimal Traditional and Period Revival homes including Tudor Revival, Spanish Colonial Revival, American Colonial Revival, Monterey Revival, and Mediterranean Revival built between 1924 and 1955. The Department of Parks and Recreation (DPR) 523A form (Primary Record) provides additional comments from the City’s historic consultants (Attachment 7). The existing structure was constructed in a Spanish Colonial Revival style in 1933; the original building permit lists E Vernal Clark as the architect.

ENVIRONMENTAL FINDING

Under CEQA, a project that follows the Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings, qualifies for a categorical exemption under Section 15331.

Pursuant to Section 21084 of the California Public Resources Code, the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines, Article 19, Sections 15331, Class 31, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

NEIGHBOR APPROVAL/OBJECTION LETTERS

Approve – 8
Object – 0
No response – 3

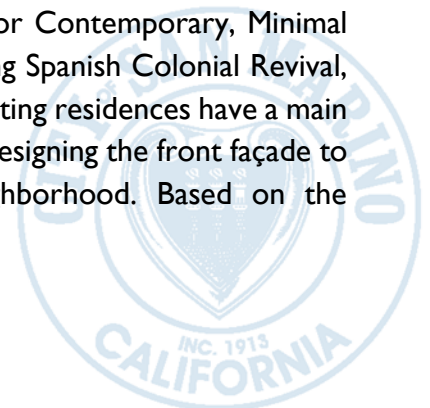
DESIGN REVIEW FINDINGS

Pursuant to Section 23.15.08, the San Marino City Code states that the DRC shall approve the application if it finds all of the following to be true:

I. That the proposed structure is compatible with the neighborhood.

Staff can make this finding: YES NO NOT APPLICABLE

Comments: The proposed front façade changes consisting of double-hung wood windows and a wood door with sidelights, are compatible with the neighborhood as the neighborhood is composed of single-story and two-story Tudor Contemporary, Minimal Traditional, Period Revival homes in a variety of styles, including Spanish Colonial Revival, American Colonial Revival, and Ranch Traditional. All of the existing residences have a main entry facing Winthrop Road and Plymouth Road, therefore, redesigning the front façade to include a main entrance will be compatible with the neighborhood. Based on the aftermentioned, this project meets this finding.



- 2. That the proposed structure is designed and will be developed in a manner which balances the reasonable expectation of privacy of persons residing on contiguous properties with the reasonable expectations of the applicants to develop their property within the restrictions of this code.**

Staff can make this finding: YES NO NOT APPLICABLE

Comments: Per the plans submitted, the proposed change to the layout will replace the windows and door facing the front elevation and will not provide a direct sightline into the adjacent home to balance the reasonable expectation of privacy of the neighboring resident. Therefore, this project meets this finding.

- 3. In the case of a building addition, the proposal is compatible with the existing building which includes the rooflines.**

Staff can make this finding: YES NO NOT APPLICABLE

Comments: The plan proposes no addition to the existing residence.

- 4. That the colors and materials are consistent and match the existing building or structure.**

Staff can make this finding: YES NO NOT APPLICABLE

Comments: The new front facade will feature double-hung wood windows and a wood door with sidelights, all of which are consistent with the color and materials of the existing building which has existing wood windows. As such, this project meets this finding.

RECOMMENDATION

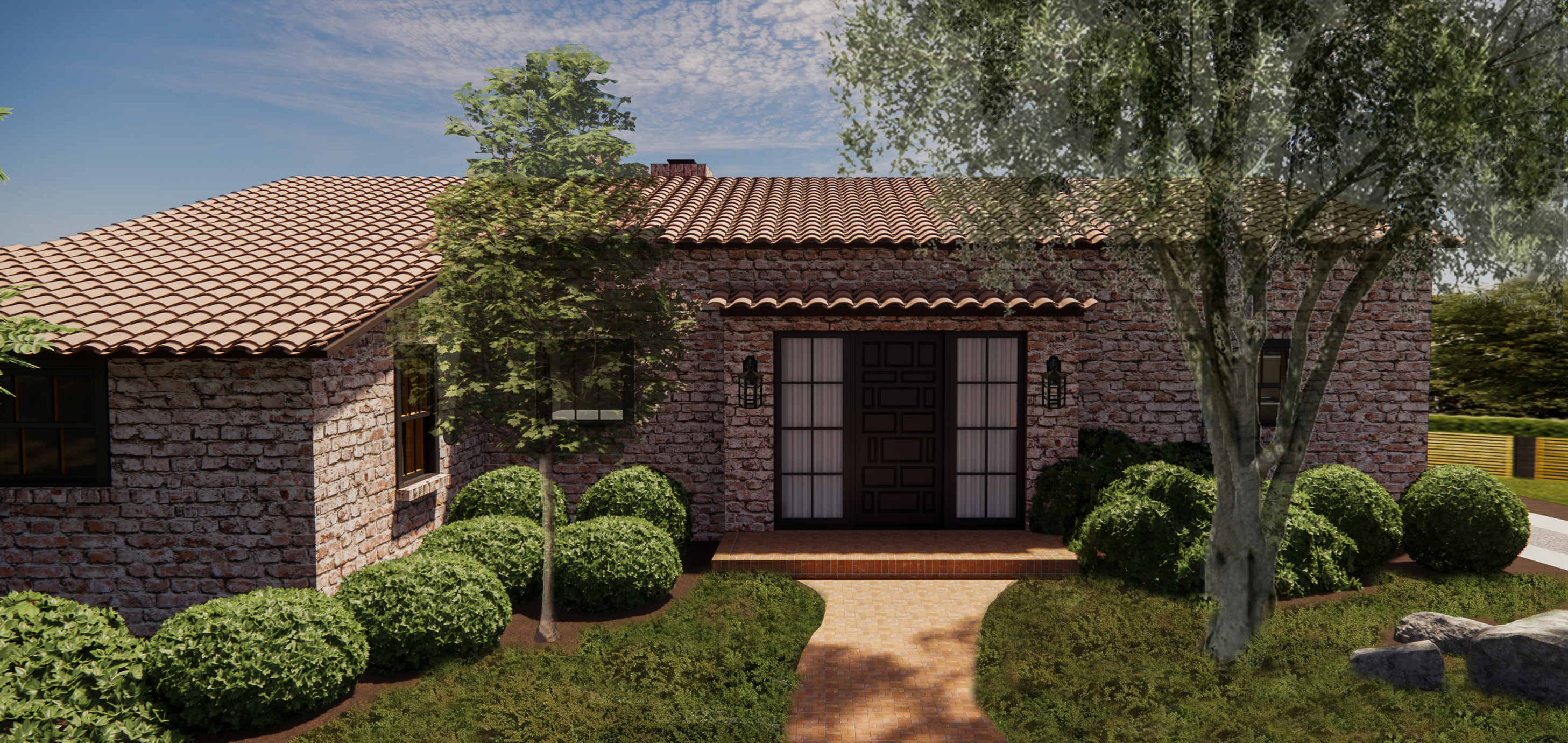
Based on the information submitted to the record, staff recommends that the Design Review Committee 1) determine that based on the whole of the administrative record, that the proposed addition is exempt from CEQA pursuant to State CEQA Guidelines, Article 19, Sections 15331, and there is no substantial evidence demonstrating an exception to the categorical exemption pursuant to CEQA Guidelines Section 15300.2 applies; and 2) find that the proposed project is compatible with the legal neighborhood and with the existing structure itself, and 3) staff recommends approval of the project.



ATTACHMENTS

1. Submitted Plans
2. DRC Application
3. DRC Neighborhood Map
4. DPR 523A Form (840 Winthrop Rd.) by Architectural Resources Group
5. DPR 523A Form (Mission Street Residential Historic District) by Architectural Resources Group
6. Neighborhood Input Letters
7. Historic Resources Assessment Report







DABBAH 840 WINTHROP RD

EXTERIOR PAINT BY
SHERWIN WILLIAMS
COLOR: SW 6991 BLACK MAGIC
FINISH: EXTERIOR SATIN

FRONT DOOR ENTRY
HARDWARE BY

BALDWIN HARDWARE
MODEL: SANTA CRUZ
EGRESS HANDLESET WITH
SQUARE LEVER
#EE.SANXSQU.CQE.112
COLOR: VENETIAN BRONZE
SIDELIGHT HARDWARE:
CONCEALED TOUCH
LATCHES



FRONT ENTRY LANTERNS
LANTERNS OF TUSCANY
COLOR: ANTIQUE BRONZE
GLASS: LOW GLARE SEEDED
GLASS

