

**COLD SPRING  
PLANNING & ZONING AGENDA  
September 13, 2023  
6:30 PM**

1. PLEDGE TO THE FLAG, ROLL CALL, AND EXIT INSTRUCTIONS

MICHAEL FOULKS  
SAMUEL CONNER  
STEVE POPOVICH  
GREG HIZER  
MARG TRUNICK  
MIKE FORGE

2. APPROVAL OF MINUTES

- August 9, 2023 P&Z Meeting

3. SUBDIVISION ITEMS

4. PUBLIC FACILITIES

5. PUBLIC HEARING ON SCHEDULED ITEMS

- PZ-23-033 (1) Zone Map Amendment from Residential-Rural Estate (R-RE), Residential-Rural Estate\* (R-RE\*), Residential-One C (R-1C) and Residential-Three (R-3) to Mixed-Use Planned Development (MUPD) and Highway Commercial-Two (HC-2); and (2) Approval of Stage I and Stage II plans for the development of a Mixed-Use Commercial Development.
- BA-23-018 Multiple Parcels Comprising Approximately Fifty-Three (53) Acres at the South-East corner of Alexandria Pike (US-27) and AA Highway (KY-9) in Cold Spring, KY. Approval of Variances for the following:
  1. Parking Stall Size Requirements
  2. Minimum Yard Depth for Building
  3. Minimum Yard Depth for Gas Station Canopy
  4. Sidewalk Requirements
  - The applicant for both requests is Midland Atlantic Properties

6. UNFINISHED BUSINESS

7. CORRESPONDENCE

8. PLANNING AND STAFF ITEMS

9. COMMISSION ITEMS

10. COMMENTS / REQUESTS TO THE COMMISSION

11. ADJOURN

## Planning & Zoning Minutes

August 9, 2023

The meeting of the Cold Spring Planning & Zoning Commission was called to order by Chairman Foulks at 6:30pm. The pledge was led by chairman Mike Foulks.

### *Roll Call: (00:34)*

- Present: Mike Forge, Mike Foulks, Greg Hizer, Steve Popovich, Marg Trunick, and City Clerk Robin Morency
- Excused: Sam Conner and Brandon Voelker

### *Minute Approval: (00:51)*

- July 12, 2023 meeting minutes were reviewed by all. Mike Forge made a motion to approve. Greg Hizer seconded the motion. All were in favor. **Motion passed.**

*Subdivision Items:* None.

*Public Facilities:* None.

*Public Hearing:*

*Unfinished Business:* None

*Correspondence:* None.

*Planning & Staff Items:* None.

### *Commission Items: (03:30)*

- Approval of 3 hours continuing education hours for Marg Trunick and Greg Hizer. Steve Popovich made a motion to approve. Mike Forge seconded the motion. All were in favor. **Motion passed.**

*Comments/Requests to the Commission:*

### *Adjournment: (04:09)*

- Mike Forge made a motion. Steve Popovich seconded the motion to adjourn the meeting at 6:34pm. All in favor. **Motion passed.**

Approved:

Chairman:

City Clerk:

To view the meeting agenda, visit: <https://coldspringky.gov/departments/planning-and-zoning/planning-and-zoning-agendas/>

To view the meeting video, visit: <https://coldspringky.gov/planning-and-zoning-meeting-videos/>



August 29, 2023  
Mr. Mike Foulks, Chair  
Cold Spring Planning & Zoning Commission  
5694 East Alexandria Pike  
Cold Spring, KY 41076

Mr. Foulks,

The Campbell County staff respectfully submits the attached recommendation for review. A public hearing is scheduled before the Cold Spring Planning and Zoning Commission on September 13, 2023 at 6:30 PM at 5694 East Alexandria Pike, Cold Spring, KY 41076.

FILE NUMBER: PZ-23-033  
LOCATION: Multiple Parcels Comprising Approximately Seventy (70) Acres at the South-East corner of Alexandria Pike (US-27) and AA Highway (KY-9) in Cold Spring, KY  
APPLICANT: Midland Atlantic Properties  
REQUEST: (1) Zone Map Amendment from Residential-Rural Estate (R-RE), Residential-Rural Estate\* (R-RE\*), Residential-One C (R-1C) and Residential-Three (R-3) to Mixed-Use Planned Development (MUPD) and Highway Commercial-Two (HC-2); and (2) Approval of Stage I and Stage II plans for the development of a Mixed-Use Commercial Development.

FILE NUMBER: BA-23-018  
LOCATION: Multiple Parcels Comprising Approximately Fifty-Three (53) Acres at the South-East corner of Alexandria Pike (US-27) and AA Highway (KY-9) in Cold Spring, KY  
APPLICANT: Midland Atlantic Properties  
REQUEST: Approval of Variances for the following:  
1. Parking Stall Size Requirements  
2. Minimum Yard Depth for Building  
3. Minimum Yard Depth for Gas Station Canopy  
4. Sidewalk Requirements

Legal notice was published in the August 29, 2023 edition of the Link Reader. Notices were mailed to forty-five adjoining and neighboring properties. Signs advertising the Planning and Zoning case was placed at the site on August 29, 2023.

**Overview:**

The proposed use is multi-tenant shopping complex. The northern section of the site includes a professional office building. As of this writing, only the general type and size of tenant in concept is shown on the plans and no contracts are in place with any specific tenants.

The site is located at the intersection of Alexandria Pike (US-27) and AA Highway (KY-9). The site encompasses approximately 53 acres and is situated across several zoning districts. A

zone map amendment to create a more cohesive and appropriate zoning district for the site is part of the request. The zone map amendment includes a change to Mixed-Use Planned Development (MUPD) for the majority of the site with a section along US-27 to be Highway Commercial-Two (HC-2). The development site is bordered on the north and east by AA highway. North of AA Highway is the Crossroads Shopping Center, zoned entirely as MUPD. Properties to the south are also zoned MUPD. Across from the development site is the Meijer Shopping Center, which is zoned Neighborhood Shopping Center (NSC).



Figure 1: Vicinity



Figure 2: Site Area

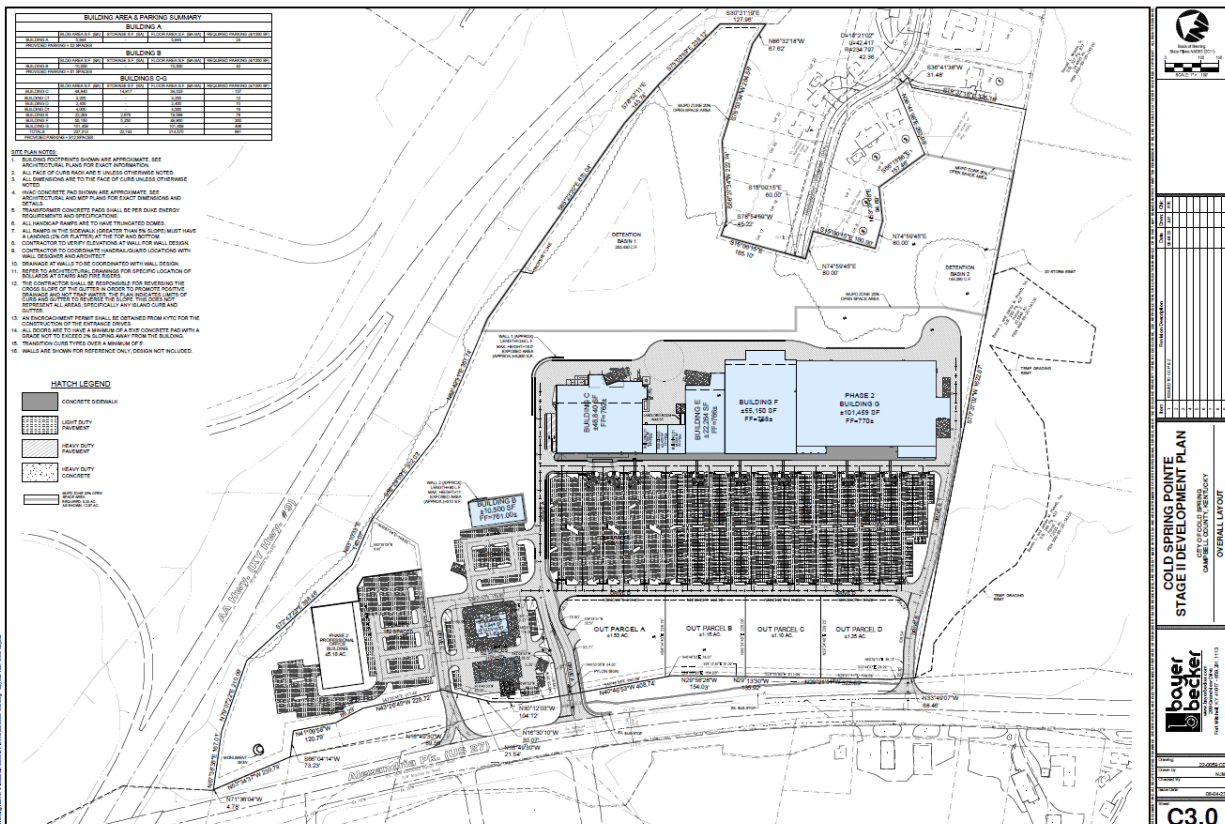


Figure 3: Site Plan ~Note orientation rotated approximately 60 degrees counter-clockwise

## I. Considerations of Zone Map Amendment

The proposed development site and associated zone map amendment includes area that is currently in the unincorporated county area. The City is in the process of annexing that unincorporated section.

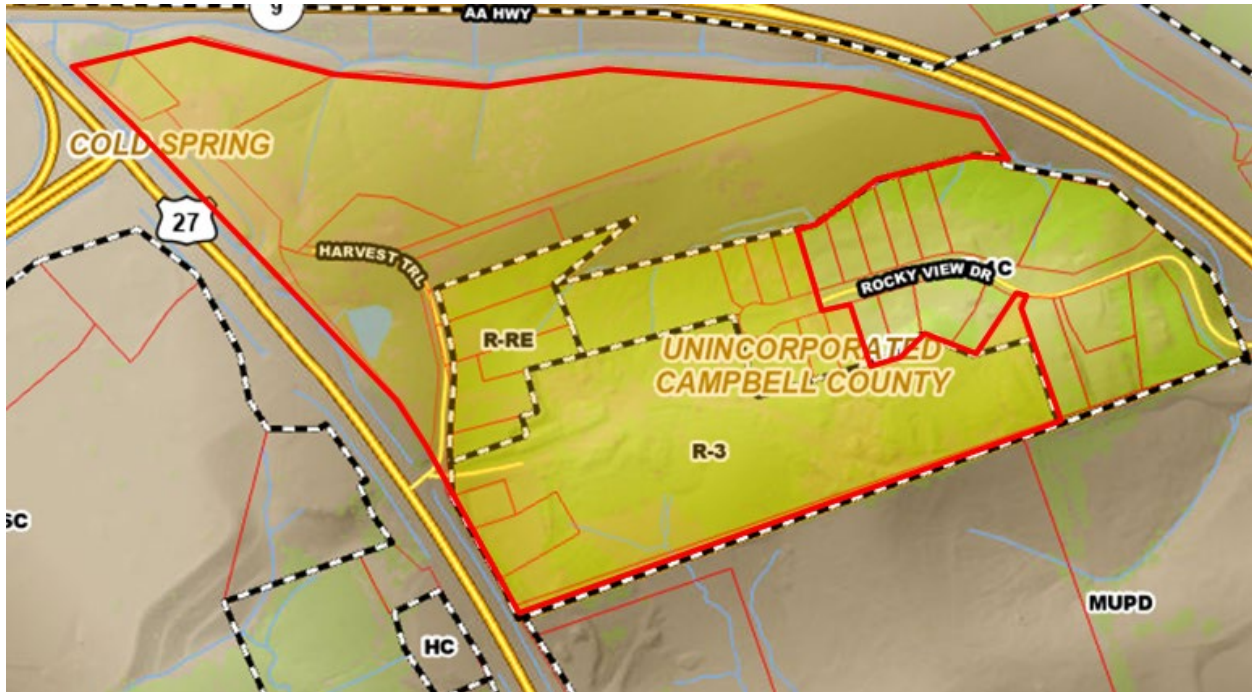


Figure 4: Site area showing proposed site and current, pre-annexation municipal boundaries

The 2018 Comprehensive Plan Future Land Use Map shows the site as "Regional Commercial".

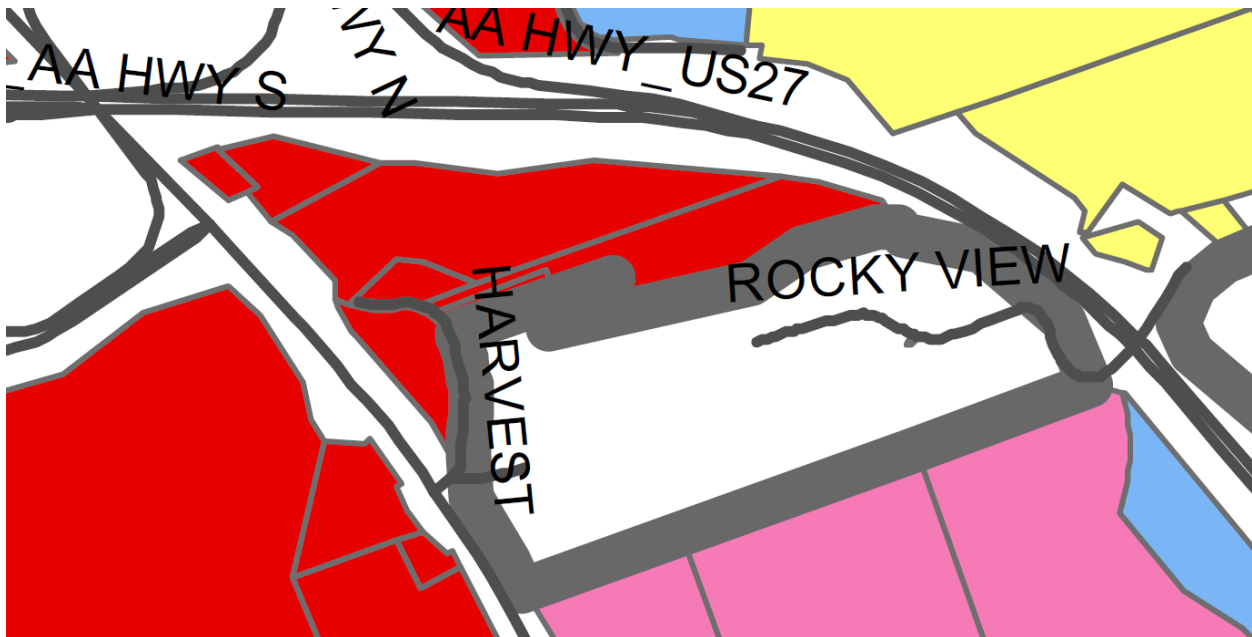


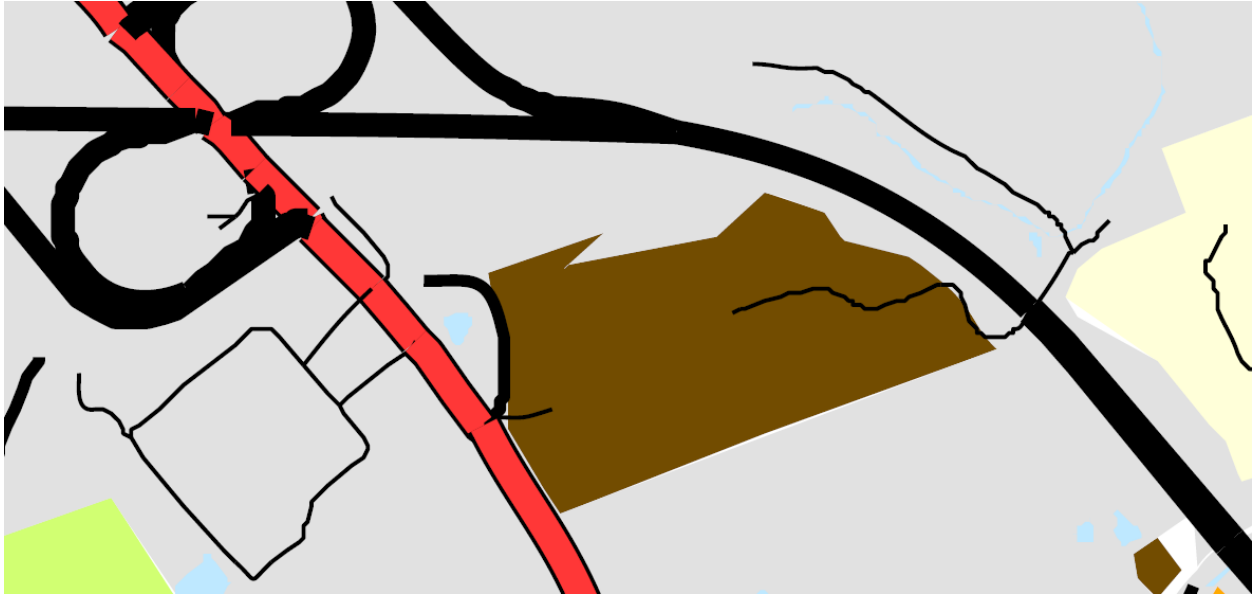
Figure 5: Site area showing the proposed future land use "Regional Commercial" shaded in red

From the Ordinance:

*SECTION 8.5 AREAS NOT INCLUDED WITHIN ZONES: Property which has not been included within a zone, either through error or omission, or when an area is annexed or proposed to be annexed by the city, the zoning to be applied to the area shall follow the procedures identified in KRS 100.209 and KRS 81A.420 (1), as amended.*

This zone map amendment request includes the unincorporated site development area that is on track for annexation.

The Future Land Use Map of Campbell County identifies that area as "Urban Mixed-Use".



*Figure 6: Excerpt from the Unincorporated Campbell County Future Land Use plan indicated the area proposed to be "Urban Mixed-Use" shaded in Brown*

From the 2018 Comprehensive Plan:

### **Regional Commercial**

The commercial activities around the AA Highway have been of a type that caters to both the residents of Cold Spring as well as the larger region. This commercial area will continue to serve as a general shopping location for the community and include, but are not limited to, grocery stores, wholesale clubs, large-scale general retail, department stores, specialty retail, restaurants, banks and gas stations. The heavy retail and office focus of these areas makes them primarily auto oriented; however, opportunities to tie in pedestrian access between buildings and surrounding residential development is strongly encouraged through the use of sidewalks and off-street trails.

- Regional Commercial Design Principles
  1. Larger-scale, auto-oriented commercial retail, office, and service uses are appropriate within this area
  2. Drive-through facilities may be appropriate if located to the side or rear of properties and screened from adjacent uses.

- Pedestrian connections to surrounding neighborhoods are important but otherwise, uses should be screened from adjacent neighborhoods with vegetation and decorative fences.

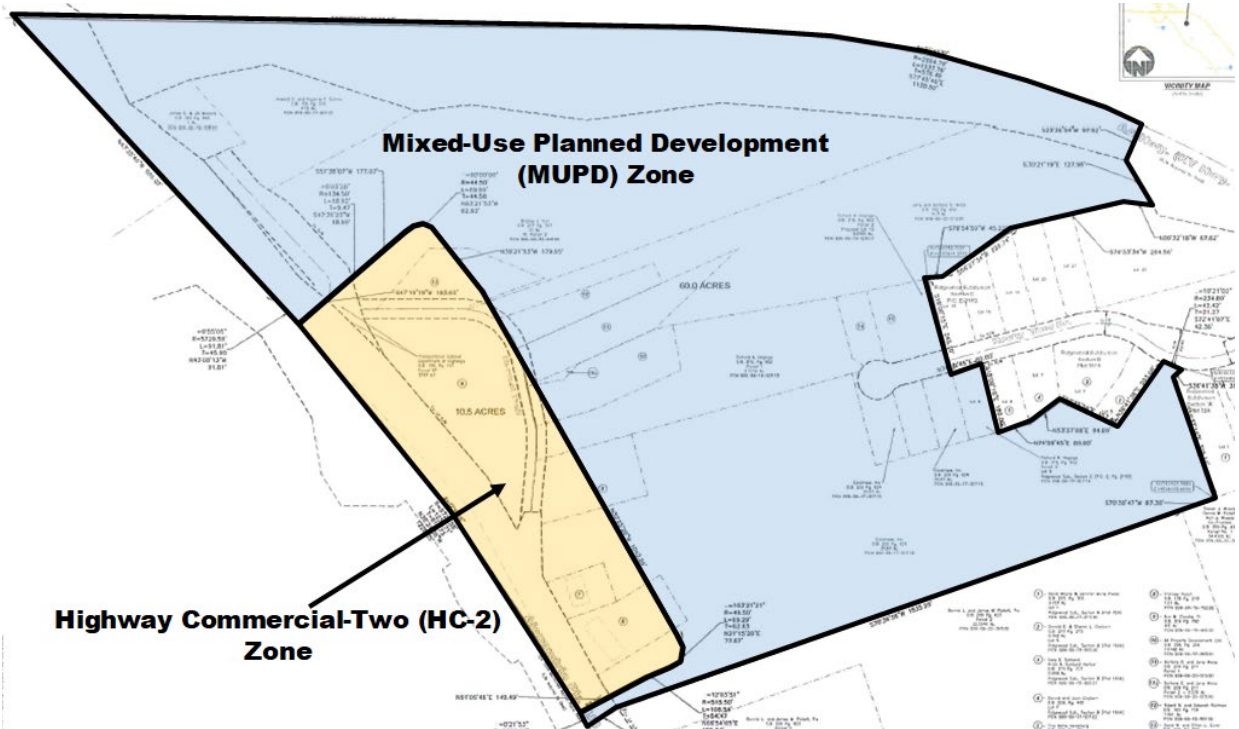


Figure 7: Proposed zone map amendments

### Dimensional Requirements for Permitted Uses.

		Minimum Lot Area	Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Setback	Maximum Building Height	Misc.	
Existing Zones	R-RE	3 Acres (130,680 ft <sup>2</sup> )	300 Feet at Setback Line	75 Feet	75 Feet	25 Feet	35 Feet	N/A	
	R-1C	12,500 Square Feet	80 Feet at Setback Line	30 Feet	10 Feet	25 Feet	35 Feet	N/A	
	R-3	20,000 Square Feet	100 Feet at Setback Line	40 Feet	15 Feet	30 Feet	40 Feet	Maximum Density - 14 dwelling units per net acre More than one principal structure may be permitted on one lot	
Proposed Zones	MUPD	1. No MUPD Zone shall be permitted on less than ten (10) acres of land. However, an area of less than ten (10) acres may be zoned MUPD provided it is adjacent to an area with an existing approved Stage I Development Plan and is currently zoned MUPD. 2. The minimum area for submission of a Stage II Development Plan shall not be less than one (1) acre.					Height, yard, and setback requirements shall be as approved on the Stage I Development Plan.		
	HC	1 Acre	100 Feet	50 Feet	15 Feet*	25 Feet	40 Feet	N/A	

\*No restrictions, except when adjacent to a dedicated street, road, highway, or other right-of-way, then the required width shall be the same as required for a minimum front yard depth in this zone. When buildings abut each other, firewall construction, as required by the building code, shall be required. In the event a side yard is provided, it shall never be less than fifteen (15) feet.

Permitted uses in current zones:

R-RE	R-1C	R-3
Single-family residential dwellings (detached)	Single-family residential dwellings (detached)	Multi-family residential dwellings
Qualified manufactured homes, subject to the compatibility standards established in Section 9.29 of this ordinance	Qualified manufactured homes, subject to the compatibility standards established in Section 9.29 of this ordinance	

Permitted uses in proposed zones:

**Mixed-Use Planned Development (MUPD):**

1. Residential Uses: Only attached single-family and multi-family residential uses are permitted in the MUPD Zone, and shall be grouped in areas as delineated on the Stage I Development Plan.
2. Office and Related Uses: Professional Office, Research Training and other related uses shall be contained in designated areas as delineated on the Stage I Development Plan and may include the following uses:
  - a. Care centers for children and/or adults
  - b. Corporate headquarters, regional and administrative offices
  - c. Professional, medical, and dental offices
  - d. Regional and metropolitan offices
  - e. Sales and marketing offices
  - f. Data and communication centers, including information processing facilities
  - g. Sales and service offices related to electronic equipment, computers, and similar office equipment
  - h. Research and development facilities
  - i. Hotels and meeting facilities
  - j. Training, educational and conference facilities
  - k. Printing and publishing facilities
  - l. Athletic and recreational facilities
  - m. Financial institutions and services
  - n. Retail and retail services in conjunction with and located within an office building, hotel, conference center, or athletic facility
  - o. Colleges, technical, and business schools
  - p. Libraries and museums
3. Commercial Uses: Areas designated for commercial and service uses may be included on the Stage I Development Plan to include the following uses:
  - a. Antique stores
  - b. Apparel stores
  - c. Art supplies
  - d. Art gallery and framing services
  - e. Bakery and bakery goods store, provided the products are sold exclusively on the premises
  - f. Barber and beauty shops
  - g. Bicycle shop
  - h. Book, stationery, or gift store
  - i. Butcher shops
  - j. Camera and photographic supplies
  - k. Candy store, soda fountain, ice cream or yogurt store, excluding those with drive-in or drive-through facilities
  - l. Card and gift shop
  - m. Carpet and flooring store



- n. Collectables store
- o. Communications and postal service center
- p. Computer store
- q. Dance studio
- r. Delicatessen and coffee shops
- s. Drug store
- t. Dry cleaning store
- u. Eating and drinking places, excluding those with drive-in or drive-through facilities
- v. Fabric store
- w. Florist shop
- x. Travel agency
- y. Glass or pottery shop
- z. Grocery or food stores
- aa. Health and fitness facility
- bb. Hobby and craft store
- cc. Home furniture store
- dd. Home improvement and garden stores, including sales and service
- ee. Interior decorator services
- ff. Jewelry store
- gg. Leather goods and luggage store
- hh. Locksmith shop
- ii. Music store, including sale of instruments and recorded material
- jj. Office supply store
- kk. Opticians and optical goods
- ll. Paint and wallpaper store
- mm. Party supply and paper goods store
- nn. Pet store and grooming, excluding boarding of animals
- oo. Photocopy establishment
- pp. Radio, television and similar or related electronics and appliance sales and service
- qq. Shoe store and shoe repair
- rr. Sporting goods store
- ss. Tailor shop
- tt. Tanning salon
- uu. Toy store
- vv. Video tape and audio products sales and rental
- ww. Wine liquor store

**Highway Commercial-Two (HC-2):**

1. Automobile, motorcycle, and truck sales, new or used
2. Automotive service and repairs, providing that all business activities shall be conducted within a completely enclosed building
3. Banks and other financial institutions, including savings, loan, and finance companies, with drive-in windows
4. Boat and other marine equipment sales and service, new and used
5. Bowling alleys
6. Car wash
7. Eating and drinking places, including drive-ins
8. Flea market
9. Floor covering warehouse and retail sales
10. Food stores/retail sales
11. Hotels and motels
12. Kennels
13. Mobile home and trailer sales, rental and service (new and used)

14. Off-street parking lots and garages
15. Police and fire stations
16. Service station
17. Skating rinks, golf driving ranges, miniature and par-3 golf courses
18. Single and two family residential uses, provided that such uses occupy the second or third floor or attached to the rear of a commercial use. In the case of this use, more than one principal use may be constructed on one lot.
19. Theater, drive-in
20. Veterinary clinics and animal hospitals
21. Sale of Consumer Fireworks, as defined by KRS 227.702 on March 16, 2011
22. Warehousing of Recyclable Materials. This does not include any manufacturing, compounding, processing, packaging, assembling, or disassembling.

**Conditional uses in current zones:**

R-RE	R-1C	R-3
Cemeteries	Cemeteries	Cemeteries
Child care centers	Child care centers	Child care centers
Churches and other buildings for the purpose of religious worship, providing they are located adjacent to an arterial street	Churches and other buildings for the purpose of religious worship, providing they are located adjacent to an arterial street	Churches and other buildings for the purpose of religious worship, providing they are located adjacent to an arterial street
Fire and police stations, providing they are located adjacent to an arterial street	Fire and police stations, providing they are located adjacent to an arterial street	Fire and police stations, providing they are located adjacent to an arterial street
		Funeral homes, providing they are located adjacent to an arterial street
Governmental buildings	Governmental buildings	Governmental offices
Institutions for higher education, providing they are located adjacent to an arterial street	Institutions for higher education, providing they are located adjacent to an arterial street	Institutions for higher education, providing they are located adjacent to an arterial street
Institutions for human medical care - clinics, congregate housing, and hospitals, providing they are located adjacent to an arterial street	Institutions for human medical care - clinics, congregate housing, and hospitals, providing they are located adjacent to an arterial street	Institutions for human medical care - clinics, congregate housing, and hospitals, providing they are located adjacent to an arterial street
Libraries	Libraries	Libraries
Nursery school	Nursery school	Nursery schools
Parks and/or recreation areas which are owned and/or operated publicly or by a non-profit organization	Parks and/or recreation areas which are owned and/or operated publicly or by a non-profit organization	Parks and/or recreation areas which are owned and/or operated publicly or by a non-profit organization
Parochial, private, and public schools, providing they are located adjacent to an arterial street	Parochial, private, and public schools, providing they are located adjacent to an arterial street	Parochial, private, and public schools, providing they are located adjacent to an arterial street
Professional offices within a structure: (a) which is at least one hundred fifty (150) years old; and (b) is recognized as a Kentucky Landmark by the Kentucky Heritage Council, and providing the site is adjacent to an arterial or collector street.		

**Conditional uses in proposed zones:**

There is only one conditional use listed in the MUPD zone:

- 1. Fuel dispensing facilities when incidental to and operated as a part of and located within 1,000 feet of a grocery store containing at least 40,000 gross square feet and when such facilities are not directly adjacent to or fronting on US 27/Alexandria Pike.

There are no conditional uses listed for the HC-2 zone.

Zone map amendments are drawn to the centerline of adjacent streets. The development site measures approximately 53 acres, however the entire zone map amendment, measured to the adjacent centerlines, encompasses approximately 70.54 acres. Approximately 60.15 acres is proposed to be rezoned to MUPD and approximately 10.39 to be rezoned to HC-2.

According to the Cold Spring Zoning Ordinance Section 17.0 Amendment Procedure, E. Findings necessary for map amendment:

Before any map amendment is granted, the Planning Commission, or legislative body, must find that the amendment is in agreement with the adopted Comprehensive Plan, or in the absence of such a finding, that one or more of the following apply, including the making of a written report, setting forth explicitly, the reasons and substantiation as to how each would apply, and such finding and report shall be recorded in the minutes and records of the Planning Commission or legislative body.

- 1. That the existing zoning classification given to the property is inappropriate and that the proposed zoning classification is appropriate; and
- 2. That there have been major changes of an economic, physical, or social nature within the area involved which were not anticipated in the adopted Comprehensive Plan and which have substantially altered the basic character of such area.

**Staff Comment – Zone Map Amendment**

The proposed zone change is in agreement with the adopted 2018 Comprehensive Plan. The existing zoning classifications at these properties are inappropriate. The proposed zoning classification of Mixed-Use Planned Development (MUPD) is appropriate for the majority of the site. Because of proposed uses on the plan, an area of Highway Commercial-Two (HC-2) is proposed to allow uses in that location not permitted within an MUPD zone.

Staff recommends that the zoning designation be changed from R-RE, R-1C and R-3 to MUPD at the 60.15 acre section designated on the site plan, and from R-RE and R-3 to HC-2 at the 10.39 acre section designated on the site plan.

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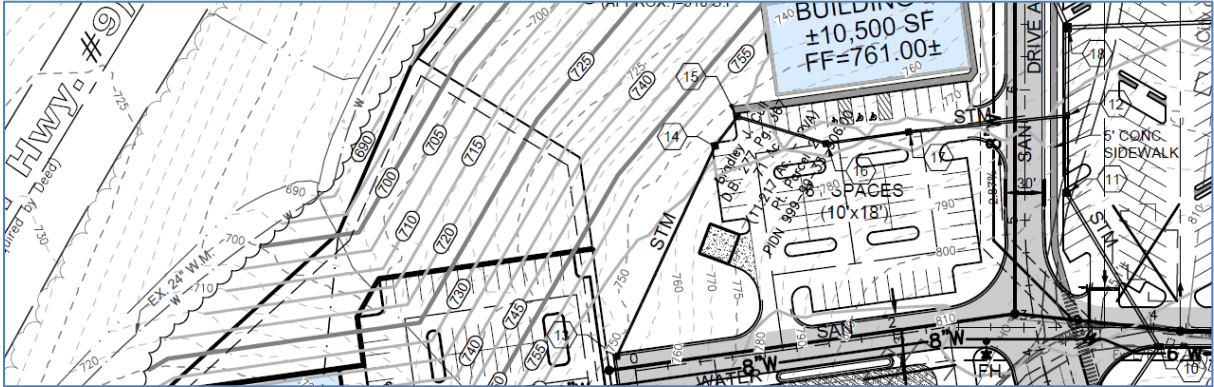
**II. Considerations of Site Development Plan**

The Applicant is submitting a combined Stage I and II Development Plan

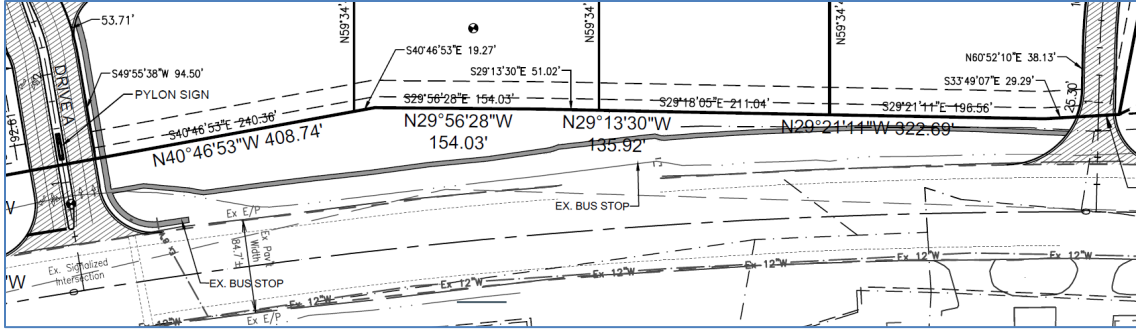
In conformance with Section 9.18 DEVELOPMENT PLAN REQUIREMENTS - STAGE I, II AND RECORD PLAT, and Section 10.15 MUPD – MIXED USE PLANNED DEVELOPMENT ZONE, paragraph(s) B., C., and D., the submitted Site Development Plan identifies and provides the following information:

Plan(s) of the subject property drawn to a scale not smaller than one (1) inch equals one hundred (100) feet showing:

- a. The existing proposed finished topography of the subject property shown by contours with intervals of five (5) feet. C1.1



- b. Location, height, arrangement and identification of all nonresidential buildings and uses on the subject property and, location and arrangement of all lots with exact lot dimensions. C3.0-C3.3
- c. Design elements, including building materials and design. See Elevation drawings
- d. Open space areas, including identification of planting areas. C3.0
- e. Landscaping features, including identification of planting areas. L1.0 – L4.0
- f. Location of signs indicating their orientation and size and height. C3.0, L3.0
- g. All utility lines and easements. C4.0-C4.2
- h. Location of all off-street parking, loading and/or unloading, and driveway areas, including typical cross sections, the type of surfacing, dimensions, and the number and arrangement of off-street parking, and loading and/or unloading spaces. C3.0-C3.2
- i. Circulation System including pedestrian walkways and drive aisles. A sidewalk along US-27 is proposed between “Drive A” and “Drive B”. This would connect the development to the existing TANK bus stops. C3.0



- j. Provisions for control of erosion, hillside slippage and sedimentation, indicating the temporary and permanent control practices and measures which will be implemented during all phases of clearing, grading, and construction C6.0
- k. A tentative schedule of development in two phases. C1.0

13. SCHEDULE: THE FOLLOWING IS A TENTATIVE SCHEDULE SUBJECT TO CHANGE WITH MARKET DEMAND/CONDITIONS. START OF CONSTRUCTION TO FOLLOW UPON PERMIT APPROVALS AND WILL BE PHASED.  
 PHASE 1 - (BUILDINGS A-F, OUT PARCELS A-D) START CONSTRUCTION JANUARY 2024  
 PHASE 2 - (BUILDING G & PROFESSIONAL OFFICE) COMPLETION EXPECTED OCTOBER 2026

No residential uses are proposed.  
 No recreational facilities are proposed.  
 No new streets are proposed.

**Comments**

1. The proposal is a mixed-use development that includes a professional office and commercial uses.
2. The development will be built in phases as designated on the plans.
3. The HC-2 section of the proposal includes a gas station and four out-parcels.
4. The development of the four out-parcels can be done individually as-needed because they are not within the planned development portion of the project.
5. The sign ordinance allows signs to be approved as part of the development plan.

**III. Considerations of Variances:**

Section 18.6 Variances; Change from One Nonconforming Use to Another; Conditions Governing Applications; Procedures:

1. The Board of Adjustment<sup>1</sup> shall make findings that the requirements of this section of this ordinance have been met by the applicant for a variance.
2. The board of adjustment shall further make a finding that reasons set forth in the application justify the granting of a variance and that the variance is the minimum



<sup>1</sup> The Planning Commission is assuming the powers of the Board of Adjustments in this case pursuant to KRS 100.231, 100.233, 100.237, 100.241, 100.243, 100.247, and 100.251.

variance that will make possible the reasonable use of the land, building, or structure.

3. In granting any variance, the board of adjustment may prescribe appropriate conditions and safeguards in conformity with this ordinance. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of this ordinance and punishable under Section 16.9 of this ordinance.
  - a. Before any variance is granted, the board of adjustment must find that the granting of the variance will not adversely affect the public health, safety, or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. In making these findings, the board shall consider whether:
    - i. The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone;
    - ii. The strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant; and
    - iii. The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.
  - b. The board shall deny any request for a variance arising from circumstances that are the result of willful violations of this ordinance by the applicant subsequent to the adoption of this ordinance from which relief is sought.
4. **VARIANCE CANNOT CONTRADICT ZONING REGULATION:** The board of adjustment shall not possess the power to grant a variance to permit a use of any land, building, or structure which is not permitted by this ordinance in the zone in question, or to alter the density of dwelling unit requirements in the zone in question.
5. **VARIANCE RUNS WITH LAND:** A variance applies to the property for which it is granted and not to the individual who applied for it. A variance runs with the land and is transferable to any future owner of the land, but it cannot be transferred by the applicant to a different site.

The applicant is requesting the following variance requests:

1. Parking stall dimensional variance of two feet from the required 10' x 20' to 10' x 18'.
2. Setback requirements in the HC-2 section of the project:

Front yard setback variance of twenty-five (25) feet from the required fifty (50) feet in order to be consistent with requested front yard setback as requested for the MUPD zoned areas of the project.

Rear yard setback variance of fifteen (15) feet from the required twenty-five (25) to be consistent with rear yard setback as requested for the MUPD zoned areas of the

project.

3. Possible gas canopy within current 50' front yard setback at us27 (8.52' inside the 50' setback required per the hc-2 zone), if HC-2 front yard variance of 25' above is approved then a variance is not required.
4. Waiver of sidewalk requirements.

### 1. Variance for Parking Stall Size Requirements

The size of off-street parking spaces is specified in **Section 11.1 Design and Layout of Off-Street Parking Areas**, paragraph A:

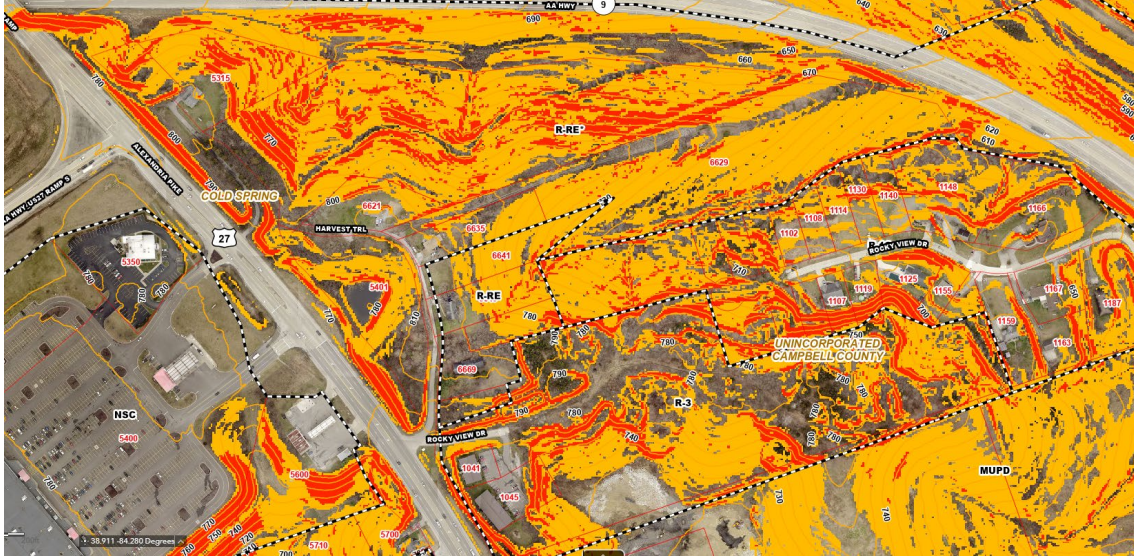
*“For the purposes of this ordinance, one (1) off-street parking space shall be a minimum of ten (10) feet in width and twenty (20) feet in length, exclusive of access drives and aisles. Such parking spaces shall have a vertical clearance of at least seven (7) feet.”*

The plans indicate a mix of 90-degree and angled parking stalls measuring ten (10) feet wide by eighteen (18) feet deep. The proposal does include fifty-two (52) 10' x 20' parking stalls at the gas station.

The applicant is requesting a variance of two (2) feet in parking stall depth.

BUILDING AREA & PARKING SUMMARY				
<b>BUILDING A</b>				
	BLDG AREA S.F. (BA)	STORAGE S.F. (SA)	FLOOR AREA S.F. (BA-SA)	REQUIRED PARKING (4/1000 SF)
BUILDING A	5,944	-	5,944	24
PROVIDED PARKING = 52 SPACES				
<b>BUILDING B</b>				
	BLDG AREA S.F. (BA)	STORAGE S.F. (SA)	FLOOR AREA S.F. (BA-SA)	REQUIRED PARKING (4/1000 SF)
BUILDING B	10,500	-	10,500	42
PROVIDED PARKING = 61 SPACES				
<b>BUILDINGS C-G</b>				
	BLDG AREA S.F. (BA)	STORAGE S.F. (SA)	FLOOR AREA S.F. (BA-SA)	REQUIRED PARKING (4/1000 SF)
BUILDING C	48,840	14,817	34,023	137
BUILDING C1	3,200	-	3,200	13
BUILDING D	2,400	-	2,400	10
BUILDING D1	4,000	-	4,000	16
BUILDING E	22,264	2,676	19,588	79
BUILDING F	55,150	5,250	49,900	200
BUILDING G	101,459	-	101,459	406
TOTALS	237,313	22,743	214,570	861
PROVIDED PARKING = 912 SPACES				

The site plan indicates a total of 1025 parking spaces distributed as shown in the table above. The ordinance would require 927 spaces based on the proposed uses at the site. The plan exceeds the requirement by 98 spaces, less than 10 percent. By increasing the size of the spaces to twenty feet deep, the developer would not be able to meet the minimum parking requirements without a separate variance. The slightly smaller parking stalls enable the developer to meet the parking regulations while maintaining the required open space requirements of the MUPD zone.



**Applicant Comment:**

*“The developer/engineer discussed the parking dimension with the City and their attorney, they we’re fine with the length reduced to 18’ but wanted to maintain 10’ wide, this has been approved on recent developments within the City. If 20’ long stalls are required, 10% or approx. 100 spaces would be lost, which would prohibit the development. We are providing 10’ x 20’ stalls at the fuel station as it is a tenant requirement. All the other tenants only require 9’ x 18’ stalls but 10’ x 18” will be the minimum provided.”*

**Staff Comment:**

A parking stall depth variance of two feet will not adversely affect the public health, safety, or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations.

The requested variance arises from special circumstances due to topography, which do not generally apply to land in the general vicinity, or in the same zone;

The strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant; and

The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.

**2. Minimum Yard Depth Site-Wide (HC-2)**

Setback Requirements in the Highway Commercial-Two Zone			
Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Setback
100 Feet	50 Feet	15 Feet*	25 Feet
*No restrictions, except when adjacent to a dedicated street, road, highway, or other right-of-way, then the required width shall be the same as required for a minimum front yard depth in this zone. When buildings abut each other, firewall construction, as required by the building code, shall be required. In the event a side yard is provided, it shall never be less than fifteen (15) feet.			



The minimum yard depths (setbacks) in the MUPD zone are to be approved as part of the development plan. A portion of the development area is proposed to be re-zoned to HC-2, which has specific setback distances.

The applicant is requesting a front yard setback variance of twenty-five (25) feet from the required fifty (50) feet in order to be consistent with requested front yard setback as requested for the MUPD zoned areas of the project; and

A rear yard setback variance of fifteen (15) feet from the required twenty-five (25) to be consistent with rear yard setback as requested for the MUPD zoned areas of the project.

**Applicant Comment:**

*“Reduction in setbacks in the HC-2 zone is to be consistent with the requested setbacks for the MUPD zone and the HC-2 zone lots front along US27 where the R/W is wider than typical to allow for access to the Harvest Trails Road that will be removed as well as the drive to 5315 Alex Pike that will also be removed.”*

**Staff Comment:**

The front and rear yard setback variances will not adversely affect the public health, safety, or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. The requested setback variances will not affect visibility along adjoining streets

The requested variance arises from special circumstances resulting from the extended KYTC right-of-way width, which do not generally apply to land in the general vicinity, or in the same zone;

The strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant.

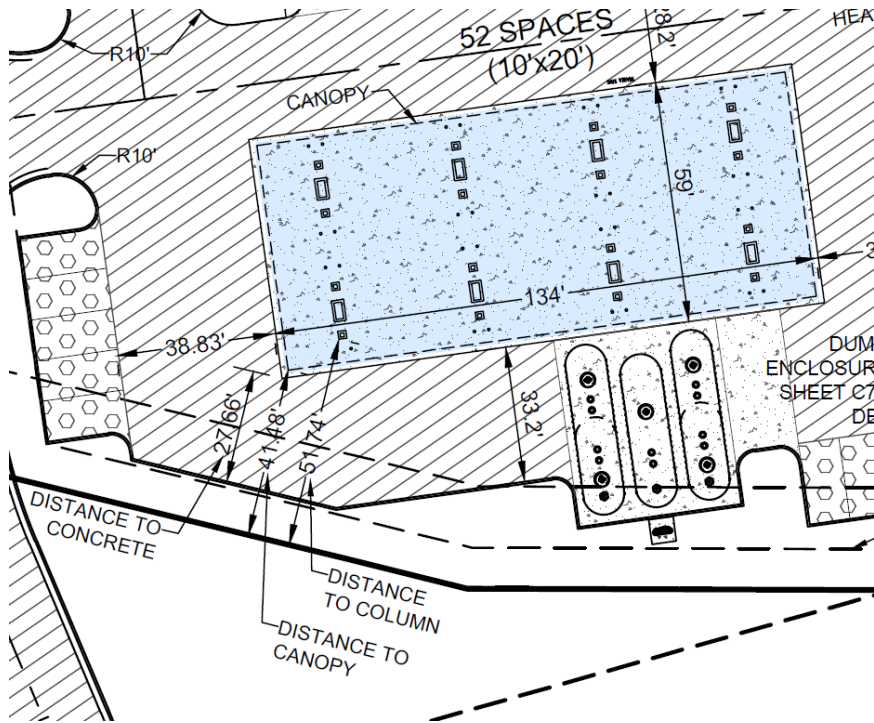
The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.

**3. Minimum Yard Depth Gas Station Canopy (if site-wide setback variances are not approved, or if conditions of approval preclude the canopy from locating as proposed)**

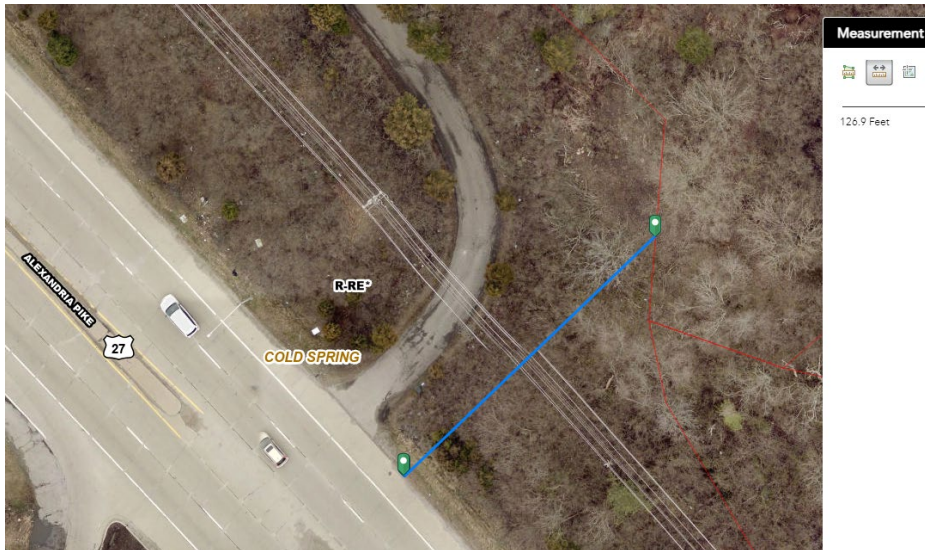
The minimum yard depths (setbacks) in the MUPD zone are to be approved as part of the development plan. A portion of the development area is proposed to be re-zoned to HC-2, which has specific setback distances.

Setback Requirements in the Highway Commercial-Two Zone			
Minimum Lot Width	Front Yard Setback	Side Yard Setback	Rear Setback
100 Feet	50 Feet	15 Feet*	25 Feet
<i>*No restrictions, except when adjacent to a dedicated street, road, highway, or other right-of-way, then the required width shall be the same as required for a minimum front yard depth in this zone. When buildings abut each other, firewall construction, as required by the building code, shall be required. In the event a side yard is provided, it shall never be less than fifteen (15) feet.</i>			

The proposed gas station canopy is 41.48 feet from the property line. A variance of 8.52 feet is requested to situate in this location.



The right-of-way width at this point includes an access drive that will be removed for this development. It is in excess of 100 feet from the edge of pavement at US-27.



The applicant is in the process of acquiring right-of-way at this location from the State (KYTC) but at this writing is not in possession of it.

**Staff Comment:**

An approximately 8-foot setback variance will not adversely affect the public health, safety, or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations.

The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone stemming from the extended state right-of-way at this location.

The strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant by pushing the gas station facility deeper into the development site, sacrificing area necessary for internal circulation.

The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.

#### **4. Sidewalk Requirements**

Section 10.15 MUPD - mixed use planned development zone, paragraph O., 9.: Other Development Controls specifies that:

*Sidewalks shall be required when any new development occurs.*

The Subdivision Regulations specify:

Sidewalks shall be required as identified in Table 7-1 of these (subdivision) regulations. The planning commission may grant a modification or waiver to the sidewalk regulation as part of a Preliminary Plat, providing the planning commission shall find:

- (a) that the plat for development, or other request, includes low densities and contains extremely large rural estate type lots;
- (b) that the development, or request, will generate low traffic volumes without adversely jeopardizing pedestrian safety; and
- (c) that the provision for sidewalks abutting existing streets or roadways, or other roadways, is impracticable, unnecessary, or will contribute to an attractive nuisance or other safety hazard.

Alternative pedestrian walkways to those identified in Table 7-1 of these regulations may be permitted by the planning commission provided such alternative(s) are determined to constitute an integral pedestrian circulation system equal to, or exceeding the requirement for sidewalks along both sides of a street. Such alternative pedestrian walkways may be within the public right-of-way, outside the public right-of-way within a public pedestrian circulation easement, or combination thereof.

#### **Applicant Comment:**

*"Midland will extend the walk further north to the right-in/right-out at the fuel station/convenience store that is not currently shown on the plan. This will connect all 3 access drives and provide walks from the south end of the property to the north for approx. 1,325' or about 2/3 of the total frontage length of 2,000'. The remaining section north of the right-in/right-out drive leads to the bridge/overpass of the AA Highway where pedestrian access is not provided, similar to the development on the north side of AA Highway. Midland will improve the bus stop areas along the provided walks adjacent to US 27."*

**Staff Comment:**

The development presents significant changes to the “essential character of the general vicinity”. The development brings with it increased activity to a once quiet corner of the City. A lack of pedestrian facilities at this location presents a potential risk to public health and safety. Sidewalks would be consistent with the new “essential character of the general vicinity”

The development proposes a sidewalk connecting two of the three driveways entering the site that turns into the development, leading pedestrians to the front of Building C. This sidewalk connects the development to two TANK bus stops on the east side of US-27.

A waiver of sidewalk requirements does adversely affect the public health, safety, or welfare and does cause a potential hazard or a nuisance to the public, and would allow an unreasonable circumvention of the requirements of the zoning regulations.

Staff does not find that the plat for development includes “low densities or contains extremely large rural estate type lots”;

Staff does not find that the development will generate “low traffic volumes without adversely jeopardizing pedestrian safety”;

The US-27/AA Highway interchange is poorly designed for pedestrian safety. Staff does find that the provision for sidewalks abutting the AA highway frontage of the development site is “impracticable, unnecessary, and will contribute to an attractive nuisance or other safety hazard”. Staff also finds that extending the sidewalk north of Drive C would only function to direct pedestrians to that dangerous interchange, hence staff finds a northern extension of of the sidewalk to also be “impractical, unnecessary and would contribute to an attractive nuisance or safety hazard” .

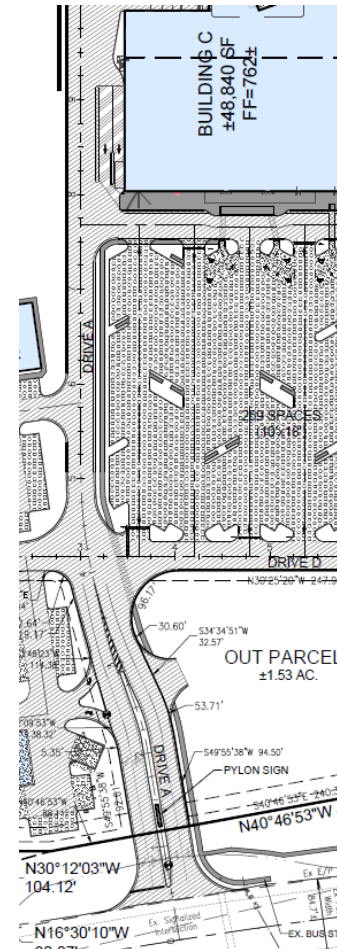
Staff finds that the Phase 2 Professional Office Building is wholly inaccessible to pedestrians.

Staff does not find that the requested waiver arises from special circumstances that do not generally apply to land in the general vicinity, or in the same zone.

Staff also does not find that the strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant.

Staff does agree that the circumstances surrounding this request are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.

From the Comprehensive plan:



*“The heavy retail and office focus of these areas makes them primarily auto oriented; however, opportunities to tie in pedestrian access between buildings and surrounding residential development is strongly encouraged through the use of sidewalks and off-street trails. . . . Pedestrian connections to surrounding neighborhoods are important but otherwise, uses should be screened from adjacent neighborhoods with vegetation and decorative fences.”*

The nature of the project is a regional shopping complex. By that nature, its design prioritizes vehicle traffic over pedestrian or bicycle traffic, which is presumably how the vast majority of its patrons will arrive at it. However, the development promises scores of new employment opportunities, and some of those new hires will be commuting to this location by means other than a car.

The applicant has proposed an updated sidewalk design subsequent to the original application submittal (see applicant comment above). Updated drawings showing the revised sidewalk are not available at the time of this writing.

### **Summary of Applicants Request:**

The applicant is requesting:

1. Parking stall dimensional variance of two feet from the required 10' x 20' to 10' x 18'.
2. Setback requirements in the HC-2 section of the project:
  - Front yard setback variance of twenty-five (25) feet from the required fifty (50) feet in order to be consistent with requested front yard setback as requested for the MUPD zoned areas of the project.
  - Rear yard setback variance of fifteen (15) feet from the required twenty-five (25) to be consistent with rear yard setback as requested for the MUPD zoned areas of the project.
3. Possible gas canopy within current 50' front yard setback at us27 (8.52' inside the 50' setback required per the hc-2 zone), if HC-2 front yard variance of 25' above is approved then a variance is not required.
4. Waiver of sidewalk requirements; and
5. Site Development plan approval.

### **Staff Recommendation:**

1. To approve:
  - a. Parking stall dimensional variance of two feet from the required 10' x 20' to 10' x 18'.
  - b. A front yard setback variance of twenty-five (25) feet from the required fifty (50) feet in the HC-2 section in order to be consistent with requested front yard setback as requested for the MUPD zoned areas of the project.
  - c. A rear yard setback variance of fifteen (15) feet from the required twenty-five (25) in the HC-2 section to be consistent with rear yard setback as requested for the MUPD zoned areas of the project.
2. If HC-2 front yard variance of twenty-five (25) feet above is not approved, or, if conditions of approval do not allow setback variance at the gas canopy location, staff recommends approval of a nine (9) foot front yard setback variance to permit the proposed location of the gas station canopy.

3. To approve the waiver of sidewalk requirements with the following condition:
  - a. That the proposed sidewalk as shown on the plans be extended to meet the Phase 2 Professional Office Building either by appropriate striping within the complex, a paved extension, or a combination of both.
4. To approve the Site Development Plan with the following conditions:
  - a. That the subject area currently in Unincorporated Campbell County be annexed in to the City of Cold Spring,
  - b. That an engineering review be completed by a City-authorized engineer.
  - c. That a traffic study be completed.

**Bases for Staff Recommendation:**

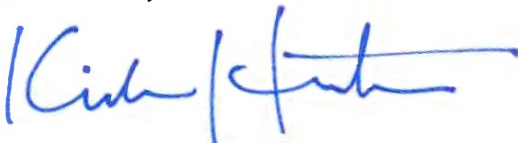
1. The submitted request is appropriate for this site since it is in compliance with the City of Cold Spring Comprehensive Plan, Subdivision Regulations and Zoning Ordinance.
2. In accordance with Section 18.2 of the Zoning Ordinance, proper notice of public hearing was given.
3. The evidence presented by the applicant and staff is such as to make a finding that:
  - a. The requirements for a variance have been met by the applicant for a variance and the variance is the minimum variance that will make possible the reasonable use of the land, building, or structure.
  - b. The variances requested will not adversely affect the public health, safety, or welfare, will not adversely alter the essential character of the general vicinity, and will not cause a hazard or nuisance to the public and will not allow an unreasonable circumvention of the requirements of the zoning regulations.

**Additional Information to the Applicant:**

1. A stormwater plan must be submitted to and approved by the City of Cold Spring

If you need additional information or clarification prior the meeting, you may contact us at 859-292-3880.

Sincerely,



Kirk Hunter, AICP  
Principal Planner

Attachments (2)



**MIDLAND ATLANTIC**  
P R O P E R T I E S

Friday, August 4, 2023

Ms. Cindy Mentor  
Campbell County Planning and Zoning  
1098 Monmouth Street, Suite 343  
Newport, KY 41071

**RE: Midland Atlantic Properties (“MAP”) zone change submittal of US-27-Alexandria Pike, Route 9-AA Highway located in Cold Spring, Campbell County, KY (“Project”) to Mixed-Use Planned Development (“MUPD”)**

Dear Ms. Mentor,

MAP is excited to present “Cold Spring Pointe” for your review and consideration – Cold Spring Pointe is a 350,000 sq. ft. mixed use development located at the highly visible corner of US-27 and the AA Highway. It is our vision that Cold Spring Pointe will serve the daily needs of Cold Spring and greater Campbell County residents for decades to come.

A little bit about Midland Atlantic Properties - MAP is a full-service developer specializing in the development, management, and leasing of grocery anchored retail. MAP has developed over 50 shopping centers and has an existing portfolio in excess of 30 centers across 18 states. We take great pride in our shopping centers, maintain them in first-class manner and are committed to serving the communities we invest in.

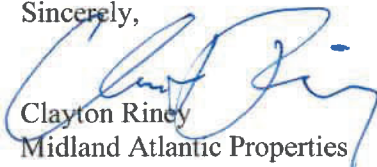
To maintain a shopping center in a first-class manner, it needs to be built with first-class design elements. As a result, Cold Spring Pointe and its associated design is intended to achieve such standards. Below is a list of the standards MAP and Cold Spring Pointe’s design aim to achieve:

- “Landscaping, landscaping, landscaping” – landscaping design and the required ongoing maintenance thereof is critical to achieving a high-quality shopping center. MAP has a history of prioritizing landscaping throughout our portfolio and Cold Spring Pointe will be no different.
- All buildings constructed at Cold Spring Pointe will be of varying design, but similar materials and colors being used throughout allowing for a singular cohesive standard of design. A design the City of Cold Spring will be proud to shop, eat and play.
- Materials will include brick, composite wood cladding, split face block, and other high-quality materials – metal siding will not be permitted.
- Internal shopping center sidewalks will be wide and have welcoming additions such as large planter boxes.

The aforementioned items are critical to any successful project – MAP understands that and will ensure we meet or achieve any such standards for Cold Spring Pointe.

Thank you for your consideration and if you have any questions or concerns, please call me at 513-792-5013 or email with your request at [criney@midlandatlantic.com](mailto:criney@midlandatlantic.com).

Sincerely,



Clayton Riney  
Midland Atlantic Properties

# Northern Kentucky Water District

July 27, 2023

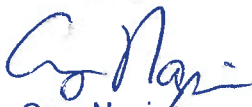
Bayer Becker  
209 Grandview Drive  
Ft. Mitchell, Ky. 41017  
Attn: Rob Keller, P.E. LEED AP

Re: Water Availability for Cold Spring Retail Site at Alexandria Pike (US 27), Cold Spring,  
Campbell County, KY

The Northern Kentucky Water District maintains a 12" water main that runs along Alexandria Pike in Cold Spring, Ky. This water main may be tapped for domestic service and/or fire protection service per the Water District Rules and Regulations. Any needs in excess of the available water at the site, is the responsibility of the developer to provide (e.g. additional domestic needs for processing or increased fire protection requirements).

If the District can be of any further assistance in this matter, please feel free to contact this office at 859-426-2720.

Cordially,



Greg Napier  
Engineering Technician

cc: file





August 1, 2023

Rob Keller  
Bayer Becker  
209 Grandview Drive  
Fort Mitchell, KY 41017

Subject: Sewer Availability for, Cold Spring Retail Site at SE Corner of US 27 and AA Highway, Campbell County.

Dear Rob Keller,

This letter is in response to your request for written confirmation of the status of sewer availability for the subject private development project.

After an internal review, public sanitary and storm sewers are in proximity to this proposed development and are available for use to serve this development upon approval of all applicable sanitary and storm water applications.

If you need additional details regarding the sanitary and or storm sewers, please do not hesitate to contact me.

Regards,



Andy Aman  
Director of Development Services  
SD1

## Memorandum of Understanding

Date: June 15, 2023

To: Linzy Brefeld, Kentucky Transportation Cabinet, District 6  
James Minckley, Kentucky Transportation Cabinet, District 6

From: Katie Dillenburg, Bayer Becker

cc: Cindy Minter, Campbell County Planning & Zoning  
Clayton Riney, Midland Atlantic Properties  
Rob Keller, Bayer Becker

Subject: Cold Spring Mixed Use Development – Alexandria Pike (US 27) & AA Highway (KY 9)  
Traffic Impact Study – Proposed Scope of Work

---

Plans for a mixed use development are proposed at the southeast corner of Alexandria Pike (US 27) & AA Highway (KY 9), in the City of Cold Spring, Campbell County, Kentucky.

Based on the attached concept plan, the proposed development is to consist of various retail, service, restaurant, and office land uses.

Access is to be provided at three locations along Alexandria Pike (U 27), opposite existing driveways, including a right-in/right-out drive approximately 450 feet south of the AA Highway (KY 9) southbound ramps, a full movement drive at the Meijer signalized intersection, approximately 320 feet south of the right-in/right-out drive, and a full movement drive approximately 960 feet south of the signal.

Based on initial communication with KYTC, a traffic impact study (TIS) for the Cold Spring mixed use proposed development is required. As such, Bayer Becker has prepared the following TIS proposed scope of work, which is submitted to KYTC for review and approval.

- The study area shall consist of the following key intersections:
  - Alexandria Pike (US 27) and the AA Highway (KY 9) Southbound Ramps
  - Alexandria Pike (US 27) and the Proposed Site Access #1
  - Alexandria Pike (US 27) and the Meijer Driveway/Proposed Site Access #2
  - Alexandria Pike (US 27) and the Speedway Driveway A/Proposed Site Access #3
  - Alexandria Pike (US 27) and the Speedway Driveway B
- Weekday 12-hour turning movement traffic counts shall be conducted on a typical Tuesday, Wednesday, or Thursday (non-holiday, with school in-session), from 6:00 AM to 6:00 PM, at the following existing study area key intersections:
  - Alexandria Pike (US 27) and the AA Highway (KY 9) Southbound Ramps
  - Alexandria Pike (US 27) and the Meijer Driveway/Proposed Site Access #2
- Weekday AM and PM peak hour turning movement traffic counts shall be conducted on a typical Tuesday, Wednesday, or Thursday (non-holiday, with school in-session), from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM, at the following remaining existing study area key intersections:
  - Alexandria Pike (US 27) and the Proposed Site Access #1
  - Alexandria Pike (US 27) and the Speedway Driveway A/Proposed Site Access #3
  - Alexandria Pike (US 27) and the Speedway Driveway B

The peak hours shall be confirmed and/or adjusted based on the data collected at the intersections of Alexandria Pike (US 27) at the AA Highway (KY 9) Southbound Ramps and at the Meijer Driveway.

- The analysis years shall consist of:
  - 2023 existing year (no build conditions)
  - 2025 opening year (no build and build conditions)
  - 2027 full build out year (no build and build conditions)
  - 2035 horizon year (no build and build conditions)
- The 2023 existing traffic volumes shall be projected to future analysis years, 2025, 2027, and 2035 no build (background) traffic volumes, using an estimated growth rate of 0.50 percent, which was determined from historic traffic data published by KYTC, attached for reference.
- Site trips for the proposed development, for the weekday AM and PM peak hours of adjacent street traffic, shall be calculated using the latest edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.
- Site trip distribution and traffic assignment for the proposed development shall be prepared for the weekday AM and PM peak hours, at the key intersections, based on the existing distribution of traffic and knowledge of the study area and of the proposed development.
- Using the existing traffic volumes and the traffic volume projections for future analysis years (existing, no build, and build scenarios), the following analysis shall be completed for each of the key intersections, in accordance with KYTC guidelines and standards:
  - Turn Lane Analysis. Completed per the KYTC Highway Design Guidance Manual and/or the KYTC Turn Lane Warrant spreadsheet. As applicable, storage length calculations shall be prepared for existing and warranted turn lanes.
  - Intersection Level of Service (LOS) Analysis. Completed using the latest version of Highway Capacity Software (HCS) and in accordance with the highway Capacity Manual (HCM).
  - Queue Analysis. Also completed using the latest version of HCS.
- Based on the results of the above analysis and review, mitigation improvements shall be identified, if any, to offset the impact of the proposed development, (i.e., construction of turn lanes, additional through lanes, modification of roadway geometrics, signalization, signal modifications, etc.).
  - As appropriate, a concept plan shall be prepared per KYTC requirements presenting such TIS improvements using GIS (geographic information system) mapping as a base.
- Complete information, calculations, and results of the analysis shall be summarized in a TIS report, which shall be submitted to KYTC and Campbell County for review and approval.

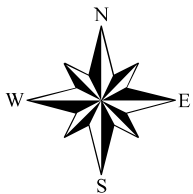
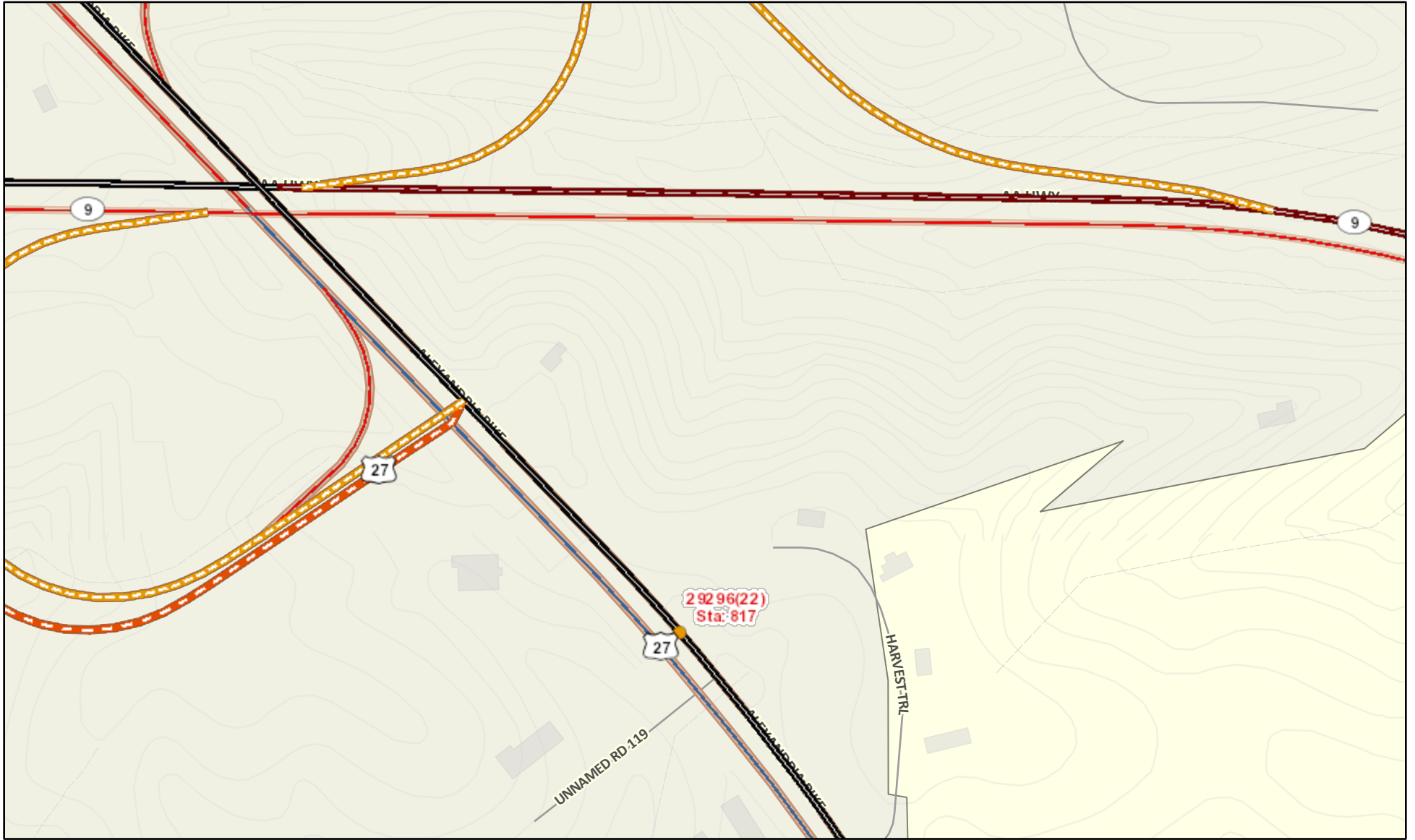
As previously indicated, this proposed TIS scope of work is submitted to KYTC and Campbell County for review. Upon approval of this MOU, Bayer Becker will proceed with TIS preparations.

## Attachments

22-0059 Cold Spring Mixed Use Development - US 27 & AA Hwy - TIS MOU 230615.docx

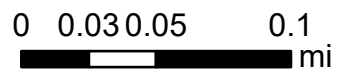


# Cold Spring KY



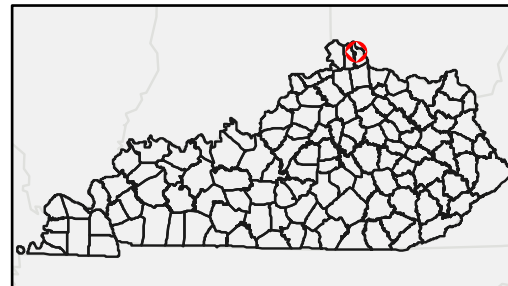
Author: Author

Date: 6/8/2023 4:50 PM



### Legend

Functional Class	
	Urban Interstate
	Urban Freeways & Expressways
	Urban Principal Arterial
	Urban Minor Arterial Street
	Urban Collector Street
	Rural Interstate
	Rural Principal Arterial
	Rural Minor Arterial
	Rural Major Collector
	Rural Minor Collector



### Historical Traffic Volume Summary

#### Station Details:

Sta ID:	019817
Sta Type:	Full Coverage
Map:	<a href="#">MapIt</a>
District:	6
County:	Campbell
Route:	019-US-0027 -000
Route Desc:	ALEXANDRIA PIKE

Begin MP:	11.8660
Begin Desc:	KY 709
End Mp:	13.7280
End Desc:	KY 9 (JOHN Y BROWN AA HWY)
Impact Year:	
Year Added:	1993

#### Newest Count:

AADT:	29296
Year:	2022
% Single:	9.7550
% Combo:	1.2010
K Factor:	9.20
D Factor:	62

#### Definitions:

Sta. ID - Three digit county number + station number

MP - milepoint

Impact Year – year of significant change to traffic pattern within station segment

AADT – Annual Average Daily Traffic – the annualized average 24-hour volume of vehicles on a segment of roadway

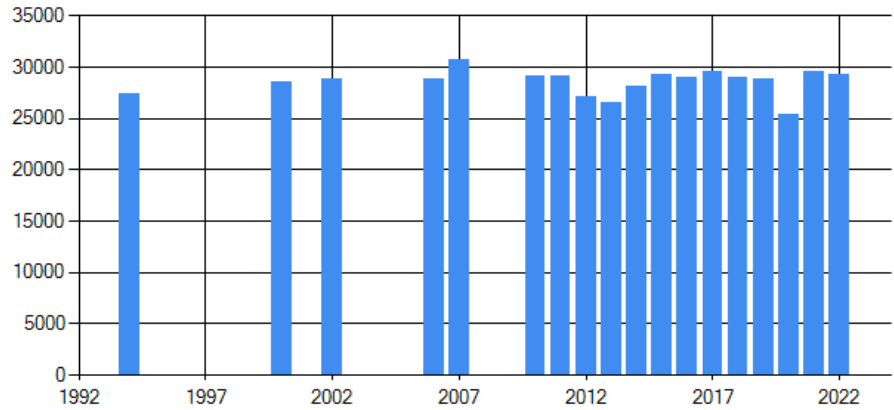
% Single – single unit truck volume as a percentage of the AADT

% Combo – combination truck volume as a percentage of the AADT

K Factor – peak hour volume as a percentage of the AADT

D Factor – percentage of peak hour volume flowing in the peak direction

Year	AADT	Year	AADT	Year	AADT
2023		2013	26480	2003	
2022	29296	2012	27154	2002	28800
2021	29639	2011	29200	2001	
2020	25359	2010	29100	2000	28500
2019	28905	2009		1999	
2018	29049	2008		1998	
2017	29598	2007	30800	1997	
2016	29059	2006	28800	1996	
2015	29303	2005		1995	
2014	28141	2004		1994	27400



# COLD SPRING POINTE STAGE I DEVELOPMENT PLAN

## CITY OF COLD SPRING CAMPBELL COUNTY, KENTUCKY

### SITE DATA

- TOTAL ACREAGE: 53.26 ACRES (See "AREA MAP")  
 PIDN: 999-99-17-908.00, 999-99-17-910.00, 999-99-19-782.00, 999-99-17-883.00, 999-99-20-515.00,  
 999-99-17-610.00, 999-99-18-860.00, 999-99-18-860.01, 999-99-17-907.02, 999-99-17-907.13,  
 999-99-19-831.00, 999-99-18-446.00, 999-99-19-993.00, 999-99-19-928.05, 999-99-19-928.06  
 BUILDING A ACREAGE: ±1.92 AC.  
 BUILDINGS B-G ACREAGE: 41.23 AC.  
 OUT PARCELS A-D ACREAGE: ±5.03 AC.  
 PROFESSIONAL OFFICE ACREAGE: ±5.18 AC.
- CURRENT ZONING: R-RE (RESIDENTIAL RURAL ESTATE) & R-3 (RESIDENTIAL -3)  
 PROPOSED ZONING: MUPD (MIXED USE PLANNED DEVELOPMENT) 46.14 AC.  
 MINIMUM FRONT YARD BUILDING SETBACK = 25'  
 MINIMUM SIDE YARD BUILDING SETBACK = 10'  
 MINIMUM REAR YARD BUILDING SETBACK = 10'  
 MAXIMUM BUILDING HEIGHT = 60' / 4 STORIES WITH PATIO ROOFTOPS  
 HC2 (HIGHWAY COMMERCIAL-2) 7.12 AC.  
 MINIMUM LOT AREA = 1 ACRE  
 MINIMUM FRONTAGE = 100'  
 MINIMUM FRONT YARD BUILDING SETBACK = 25' (SEE VARIANCE REQUEST BELOW)  
 MINIMUM SIDE YARD BUILDING SETBACK = NONE REQUIRED PER SECTION 10.16 C. 4  
 MINIMUM REAR YARD BUILDING SETBACK = 10' (SEE VARIANCE REQUEST BELOW)  
 MAXIMUM BUILDING HEIGHT = 40'

### PROPOSED USES:

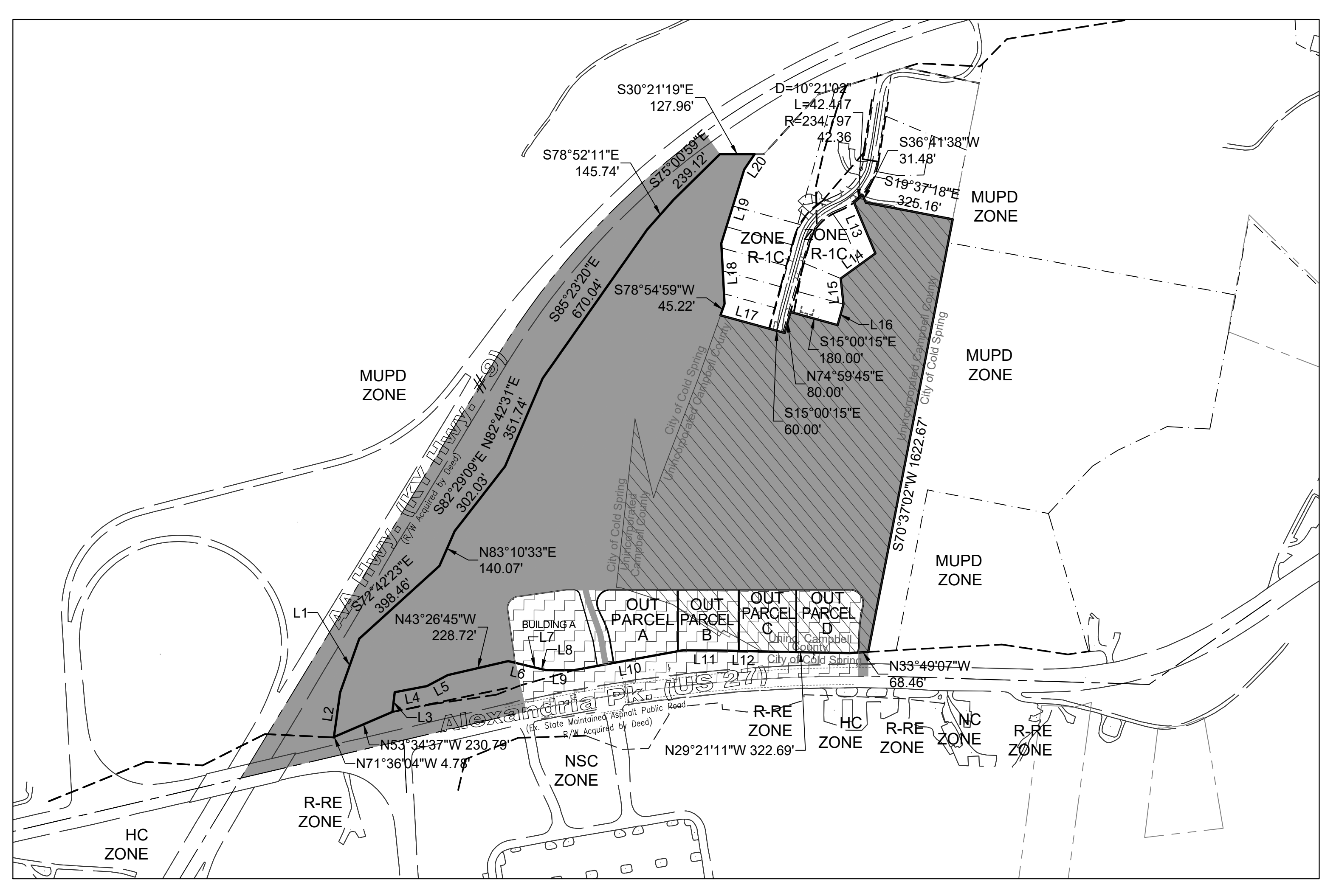
- COMMERCIAL & RETAIL USES
- NO ADDITIONAL PUBLIC RIGHT-OF-WAY IS ANTICIPATED. EASEMENTS WILL BE PROVIDED FOR ALL PUBLIC UTILITIES AS REQUIRED, OR AS SHOWN:  
 SANITARY SEWER = 20' (SD1)  
 WATERMAIN = 20' (WKWD)  
 UTILITY EASEMENT = 10' (DUKE ENERGY)  
 STORM SEWER = PER CITY OF COLD SPRING STANDARDS
- PRELIMINARY CONCEPTUAL GRADING SHOWN WITH 5' CONTOUR INTERVALS.
- MUPD ZONE REQUIRED 20% OPEN SPACE  
 REQUIRED (46.01 AC \* 2%) = 9.20 AC.  
 PROVIDED = 12.93 AC
- APPROXIMATE LOCATIONS OF PROPOSED PEDESTRIAN WALKWAYS HAVE BEEN SHOWN.  
 NO ADDITIONAL PUBLIC STREETS OR RIGHT-OF-WAY IS ANTICIPATED WITH THIS PROJECT.
- THE APPROXIMATE LOCATION OF THE UTILITY NETWORKS HAVE BEEN SHOWN FOR REFERENCE. UTILITY LOCATIONS AND SIZES TO BE CONFIRMED WITH THE SITE PLAN TO MEET THE REQUIREMENTS OF THE UTILITY COMPANY. ELECTRIC AND TELEPHONE SERVICE TO BE PROVIDED PER UTILITY COMPANY REQUIREMENTS.
- UTILITY AVAILABILITY: 18" EXISTING SANITARY SEWER AT AA HIGHWAY (KY HWY #9) AND EXISTING 12" WATER MAIN ALONG US 27 (ALEXANDRIA PIKE)
- SOIL TYPES (PER USDA SOIL CONSERVATION SERVICE MAPS):  
 EGD2 (EDEN SILTY CLAY LOAM, 12-20% SLOPES, ERODED)  
 ED2 (EDEN SILTY CLAY LOAM, 20-35% SLOPES, ERODED)  
 FC2 (RAYWOOD SILTY CLAY LOAM, 6-12% SLOPES)  
 N1B (NICHOLSON SILT LOAM, 0-6% SLOPES)
- PARKING TO BE PROVIDED PER ARTICLE XI OF THE CITY OF COLD SPRING ZONING ORDINANCE.
- MUPD ZONE HC2 ZONE SEE ARCHITECTURAL BUILDING ELEVATIONS FOR BUILDING HEIGHTS.
- SCHEDULE: THE FOLLOWING IS A TENTATIVE SCHEDULE SUBJECT TO CHANGE WITH MARKET DEMAND/CONDITIONS. START OF CONSTRUCTION TO FOLLOW UPON PERMIT APPROVALS AND WILL BE PHASED:  
 PHASE 1 - (BUILDINGS A-F, OUT PARCELS A-D) START CONSTRUCTION JANUARY 2024  
 PHASE 2 - (BUILDING G & PROFESSIONAL OFFICE) COMPLETION EXPECTED OCTOBER 2026

### GENERAL NOTES

- ALL STORM SEWER AND STORM WATER DETENTION BASINS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF COLD SPRING SUBDIVISION REGULATIONS.
- ALL SANITARY SEWER SHALL BE PUBLIC AND MAINTAINED BY THE SANITATION DISTRICT #1. ALL CONSTRUCTION AND MATERIAL SHALL BE IN CONFORMANCE WITH THE "RULES AND REGULATION OF THE SANITATION DISTRICT #1".
- ALL WATERMAIN SHALL BE PUBLIC AS NOTED AND MAINTAINED BY "NORTHERN KENTUCKY WATER DISTRICT STANDARDS AND SPECIFICATIONS FOR WATER MAIN CONSTRUCTION".
- ALL PROPOSED INTERNAL UTILITIES SHALL BE UNDERGROUND.
- GRADING AND CLEARING LIMITS AND UTILITY LAYOUT SHOWN ARE APPROXIMATE AND SUBJECT TO REVISION BASED ON COMPLETION OF THE STAGE 2 DEVELOPMENT PLAN.
- SEE ARCHITECTURAL BUILDING ELEVATIONS FOR BUILDING HEIGHTS.

### VARIANCE/WAIVER REQUESTS:

- PARKING STALL DIMENSIONAL VARIANCE - REQUIRED 10' X 20', REQUEST 10' X 18'
- HC-2 PROPOSED SETBACK REQUIREMENTS:  
 FRONT YARD - 50' REQUIRED, 25' REQUESTED TO BE CONSISTENT WITH FRONT YARD SETBACK AS REQUESTED FOR THE MUPD ZONE  
 SIDE YARD - NONE REQUIRED PER SECTION 10.16 C. 4.  
 REAR YARD - 25' REQUIRED, 10' REQUESTED TO BE CONSISTENT WITH REAR YARD SETBACK AS REQUESTED FOR THE MUPD ZONE
- POSSIBLE GAS CANOPY WITHIN CURRENT 50' FRONT YARD SETBACK AT US27 (8.52' INSIDE THE 50' SETBACK REQUIRED PER THE HC-2 ZONE), IF HC-2 FRONT YARD VARIANCE OF 25' ABOVE IS APPROVED THEN A VARIANCE IS NOT REQUIRED.



### AREA MAP

1"=300 FT

STAGE I PLAN

#### CIVIL INDEX TO SHEETS

SHEET	DRAWING TITLE	ISSUE DATE	REV. NO.	REV. DATE
C1.0	CIVIL TITLE SHEET	8-4-23		
C1.1	STAGE I CIVIL PLAN	8-4-23		
L1.0	STAGE I LANDSCAPE PLAN	8-4-23		

### LINE TABLE

Line	Direction	Dist.
L1	N79°07'22"E	210.09'
L2	N67°36'38"E	167.01'
L3	S66°04'14"W	73.23'
L4	N41°09'58"W	120.79'
L5	N58°24'18"W	86.29'
L6	N16°49'30"W	89.56'
L7	N16°49'30"W	21.54'
L8	N16°30'10"W	30.07'
L9	N30°12'03"W	104.12'
L10	N40°46'53"W	408.74'
L11	N29°56'28"W	154.03'
L12	N29°13'30"W	135.92'
L13	N36°41'38"E	203.08'
L14	S66°15'56"E	157.46'
L15	N53°37'08"E	94.89'
L16	N74°59'45"E	80.00'
L17	S15°00'15"E	185.10'
L18	S56°27'34"W	222.74'
L19	S76°53'34"W	284.56'
L20	N86°32'18"W	67.62'

### VICINITY MAP



NOT TO SCALE

### ABBREVIATION LEGEND

ABBREVIATION	DESCRIPTION
AC	ACRES
A.C.L.	AGGREGATE CHANNEL LINING
B/C	BACK OF CURB
BL	BUILDING LINE
CB	CATCH BASIN
DC	DEPRESSED CURB
DS	DOWNSPOUT
E	EAST/EASTING
ELEV	ELEVATION
E/P	EDGE OF PAVEMENT
EX	EXISTING
FF	FINISHED FLOOR
FH	FIRE HYDRANT
F.Y.	FRONT YARD
ICW	INTEGRAL CURB AND WALK
IP	IRON PIN
INV	INVERT
LF	LINEAR FEET
MH	MANHOLE
MED	MEDIUM
MON	MONUMENT
MOFE	MINIMUM OPENING FRONT ELEV
MORE	MINIMUM OPENING REAR ELEV
N	NORTH/NORTHING
PG	PERFORMANCE GRADE
PT	PART
R.Y	REAR YARD
R/W	RIGHT OF WAY
SAN	SANITARY
SF	SQUARE FEET
SL	SANITARY LATERAL
STM	STORM
S.Y	SIDE YARD
TBR	TO BE REMOVED
T/GR	TOP OF GRATE
T/RIM	TOP OF RIM
TYP	TYPICAL
VOL	VOLUME
W	WATER
WM	WATER MAIN
WS	WATER SERVICE
WSC	WATER SERVICE CONDUIT

NOTE: Sanitation District No.1 must be contacted at least 72 hours prior to any construction activity, at 859-578-6892 per Section 1108.



THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN HAVE BEEN OBTAINED BY FIELD CHECKS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES. IT IS BELIEVED THAT THEY ARE CORRECT BUT THE PREPARED DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS. THEREFORE, ALL UNDERGROUND UTILITIES SHALL BE FIELD LOCATED PRIOR TO CONSTRUCTION. FOR MORE INFORMATION USE NUMBER SHOWN.

### BURIED UTILITIES NOTE:

All above ground features have been field located. All buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.

### JOB LOG

DATE	COMMENT

### UTILITY COMPANIES

Utility	Company	Contact Info
Sanitary Sewer	Sanitation District #1	(859) 578-7467
Storm Sewer	City of Cold Spring	(859) 441-9604
Water	Northern Kentucky Water District	(859) 426-2713
Gas	Duke Energy	(859) 534-4369
Electric	Duke Energy	(859) 534-4369
Telephone	Alta Fiber	(513) 397-9848

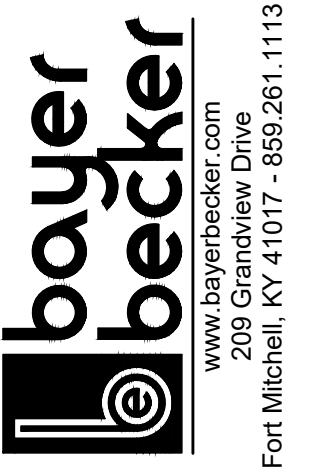
**DEVELOPER:**  
 MIDLAND ATLANTIC PROPERTIES  
 8044 MONTGOMERY RD, SUITE 370  
 CINCINNATI, OH 45236  
 513-792-5000  
 jsilverman@midlandatlantic.com  
 criney@midlandatlantic.com

**ENGINEER & SURVEYOR:**  
 BAYER BECKER  
 209 GRANDVIEW DRIVE  
 FT. MITCHELL, KY 41017  
 859-415-1605  
 robkeller@bayerbecker.com

**ARCHITECT:**  
 FREEMAN MORGAN ARCHITECTS  
 7229 FOREST AVE, SUITE 209  
 RICHMOND, VA 23226



**COLD SPRING POINTE  
STAGE I DEVELOPMENT PLAN**  
 CIVIL TITLE SHEET



Drawing: 22-0059 CD  
 Drawn by: JLR  
 Checked By: RTK  
 Issue Date: 8-4-23

Sheet: **C1.0**

BUILDING AREA & PARKING SUMMARY			
BUILDING A			
BLDG AREA S.F. (BA)	STORAGE S.F. (SA)	FLOOR AREA S.F. (BA-SA)	REQUIRED PARKING (4/1000 SF)
5,944	-	5,944	24
PROVIDED PARKING = 52 SPACES			
BUILDING B			
BLDG AREA S.F. (BA)	STORAGE S.F. (SA)	FLOOR AREA S.F. (BA-SA)	REQUIRED PARKING (4/1000 SF)
10,500	-	10,500	42
PROVIDED PARKING = 61 SPACES			
BUILDINGS C-G			
BLDG AREA S.F. (BA)	STORAGE S.F. (SA)	FLOOR AREA S.F. (BA-SA)	REQUIRED PARKING (4/1000 SF)
48,840	14,817	34,023	137
3,200	-	3,200	13
2,400	-	2,400	10
4,000	-	4,000	16
22,264	2,676	19,588	79
55,150	5,250	49,900	200
101,459	-	101,459	406
TOTALS	22,743	214,570	861
PROVIDED PARKING = 912 SPACES			

MUPD ZONE 20% OPEN SPACE AREA  
REQUIRED: 9.20 AC.  
AS SHOWN: 12.97 AC.

**HATCH LEGEND**

- HEAVY DUTY ASPHALT PAVEMENT
- ALL REMAINING PARKING STALLS AND DRIVES TO BE LIGHT DUTY ASPHALT
- EX. STRUCTURE TO BE REMOVED

**NOTES**

- ALL RIGHT-OF-WAY & EASEMENTS WITHIN THE PROPERTY LIMITS TO BE VACATED.
- ALL PAVEMENTS & STRUCTURES WITHIN THE DEVELOPMENT LIMITS TO BE REMOVED & PROPERLY DISPOSED OF.

**UTILITY LEGEND**

- EXISTING SANITARY SEWER
- EXISTING TELEPHONE
- EXISTING WATER MAIN
- EXISTING GAS MAIN
- OVERHEAD UTILITIES
- EXISTING EIP
- PROPOSED STORM SEWER
- PROPOSED SANITARY LATERAL
- PROPOSED SANITARY LATERAL
- PROPOSED CLEANOUT
- PROPOSED 8" WATER MAIN
- PROPOSED WATER SERVICE CONDUIT
- PROPOSED GAS SERVICE
- PROPOSED ELECTRIC SERVICE
- PROPOSED TELEPHONE

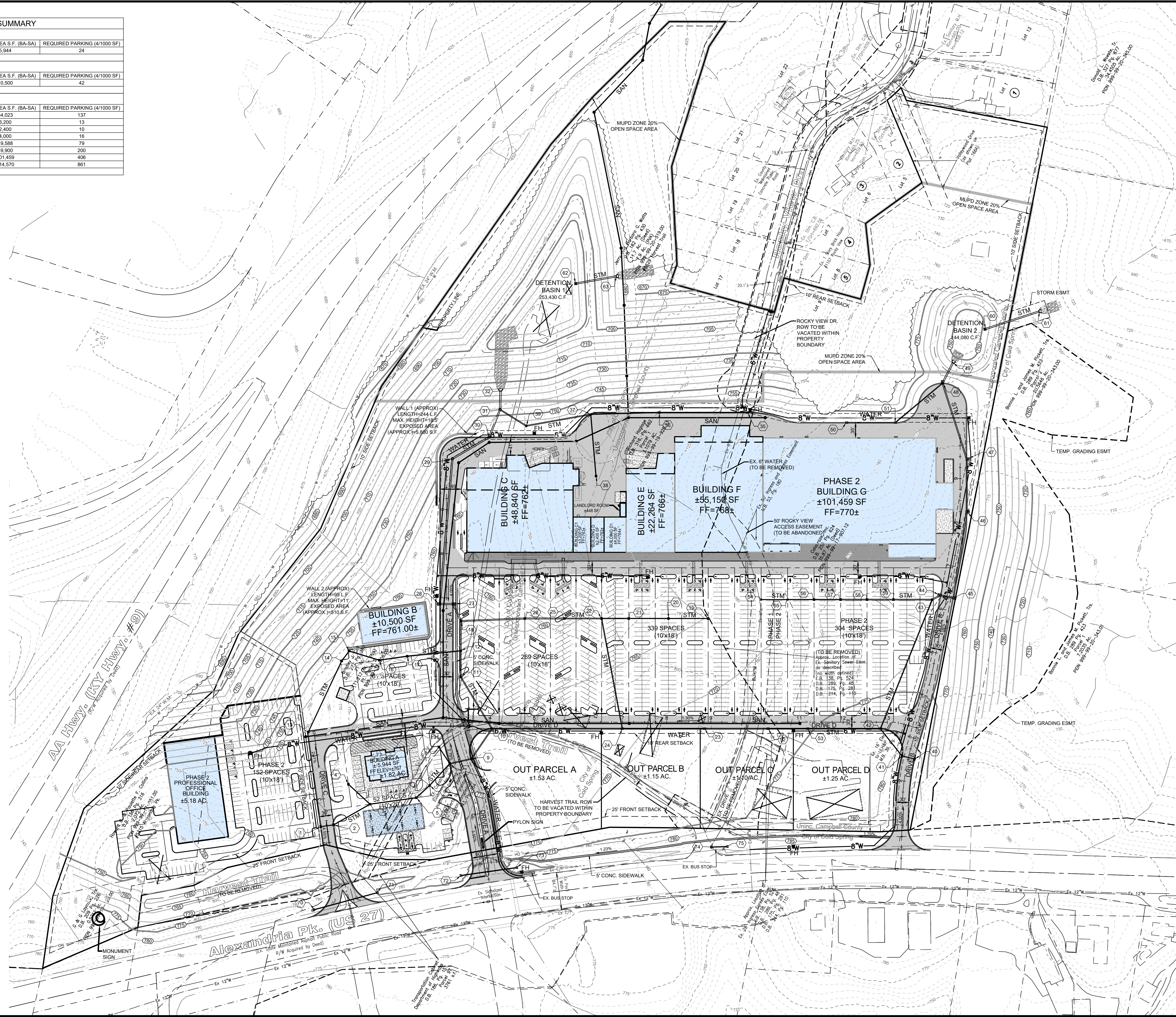
**GRADING LEGEND**

- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED DIRECTIONAL FLOW
- PROPOSED PAVEMENT SLOPE
- EXISTING TREE-LINE
- PROPOSED TREE-LINE

**LEGEND**

- Ex Sanitary M.H.
- Ex Sanitary Clean Out
- Ex Storm M.H.
- Ex Storm Catch Basin
- Ex Storm Yard Drain
- Ex Storm Down Spout
- Ex Fire Hydrant
- Ex Fire Connection
- Ex Water Valve
- Ex Water Meter
- Ex Gas Valve
- Ex Gas Meter
- Ex Elec. M.H.
- Ex Elec. Box
- Ex Light Pole
- Ex Tele. M.H.
- Ex Tele. Box
- Ex Cable Box
- Ex Sign
- Ex Post
- Ex Bollard
- Ex Deciduous Tree
- Ex Evergreen Tree
- Ex Deciduous Bush
- Ex Evergreen Bush
- R/W - Ex Right of Way
- P/L - Ex Property Line
- Ex Elec. M.H.
- Ex Elec. Box
- Ex Light Pole
- Ex Air Conditioning

- Underground Water Main
- Underground Gas Main
- Overhead Utilities
- Underground Electric
- Underground Telephone
- Fence
- Landscape Border
- Treeline
- Major Contour
- Minor Contour



**bayer becker**  
www.bayerbecker.com  
209 Grandview Drive  
Fort Mitchell, KY 41017 - 859.281.1113

Date	Drawn	Checked
08-04-23	JLF	RTK

Item	Revision Description
1	ISSUED TO CC P & Z
2	
3	
4	
5	
6	
7	
8	
9	

**COLD SPRING POINTE  
STAGE I DEVELOPMENT PLAN**  
CITY OF COLD SPRING  
CAMPBELL COUNTY, KENTUCKY  
STAGE I PLAN

**bayer becker**  
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209 Grandview Drive  
Fort Mitchell, KY 41017 - 859.281.1113

Drawing:	22-0059 CD
Drawn by:	NJM
Checked by:	
Issue Date:	08-04-23

Sheet:  
**C1.1**

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**ZONING MATRIX: LANDSCAPE REQUIREMENTS**

**CITY OF COLD SPRING, KENTUCKY, ZONING RESOLUTION**

**CURRENT ZONING:** R-RE\* (COLD SPRING) R-RE, R-3, & R-1C (UNINCORPORATED)

**PROPOSED ZONING:** MUPD (MIXED USED PLANNED DEVELOPMENT) & HC-2 (HIGHWAY COMMERCIAL 2) - 4 OUTLOTS AND GAS STATION

**ADJACENT PARCEL ZONING:**

NORTH: AA KY HWY, #9  
WEST: ALEXANDRIA PIKE (US 27)  
SOUTH: MUPD  
EAST: R-1C

**PERIMETER LANDSCAPING (SECTION 9.15-B & TABLE 9-1)**

SECTION 9.15 (B) IF ADJACENT PROPERTY HAS LANDSCAPING FULFILLING PERIMETER LANDSCAPING REQUIREMENTS, THE REQUIREMENT FOR PERIMETER LANDSCAPING ALONG THE COMMON BOUNDARY MAY BE WAIVED UPON APPEAL TO THE CITY OF COLD SPRING LANDSCAPE COMMITTEE.

**COMMERCIAL ADJACENT TO RESIDENTIAL (TABLE 9-1):**

- 20' MIN. WIDTH PLANTING STRIP

Choose one of the following:

1. List A\* (shade trees), 1 tree per 35 linear feet or fraction thereof, (1) plus double row hedge, list E (evergreen/broadleaf shrubs)
2. List B (flowering and non-flowering trees), 1 tree per 20 linear feet or fraction thereof, plus double row hedge, List E (evergreen/broadleaf shrubs)
3. 6 foot wall, fence, or earth mound, plus hedge List D and 1 tree per 40 linear feet from List A (shade trees)
4. 6 foot wall, fence, or earth mound, plus hedge List D and 1 tree per 40 linear feet from List B (flowering and non-flowering trees)
5. Double row, staggered, planting of trees from List C at 15 feet on center

**COMMERCIAL ADJACENT TO PUBLIC R.O.W. (TABLE 9-1):**

- 10% FRONT YARD MUST BE LANDSCAPED
- (3) TREES MINIMUM SHALL BE PLANTED PER 100 LF OF ROAD FRONTAGE
- THIS IS IN ADDITION TO OTHER REQUIRED LANDSCAPING EXCEPT IF THE VUA IS LOCATED IN THE FRONT, SIDE, OR REAR YARD. THE REQUIRED INTERIOR VUA AND 5' VUA PERIMETER SCREENING WILL COUNT TOWARDS FRONT YARD LANDSCAPING.

**VUA SCREENING (TABLE 9-1)**

- VEHICULAR USE AREA (VUA) ADJOINING ANY PUBLIC OR PRIVATE STREET
- 10' FT MIN. PERIMETER SCREENING EASEMENT
- (1) LIST A TREE PER 40 LF + 8 SHRUBS\* OR
- (1) LIST B TREE PER 25 LF + 8 SHRUBS\*

\*SHRUBS CAN BE ELIMINATED IF PLANTING STRIP EXCEEDS 25 LF

**INTERIOR VUA LANDSCAPING (TABLE 9-1)**

- 5% INTERIOR LANDSCAPED AREA REQUIRED
- (1) TREE PER 250SF OF INTERIOR LANDSCAPED AREA
- LANDSCAPE AREA MINIMUM SIZE 100 SF

**STREET TREES (TABLE 9-1)**

- STREET TREES PLANTED ALONG ALL PUBLIC OR PRIVATE STREETS
- 4' MINIMUM WIDTH PLANTING STRIP
- (1) TREE SPACED 60' ON CENTER MAXIMUM

**DUMPSTER SCREENING (SECTION 9.15-H4 & TABLE 9-2)**

- WHEN DUMPSTER IS LOCATED LESS THAN 10' FROM UNWINDOWED PORTION OF A BUILDING ON THE SAME PROPERTY, LANDSCAPE SCREENING MAY BE WAIVED BY THE ZONING ADMINISTRATOR
- IF VISIBLE FROM RESIDENTIAL FENCE AND HEDGE ON 3 SIDES

**SIGN LANDSCAPING (SECTION 9.15-H5)**

- 1 SF PLANTING PER 15F SIGNAGE

**OPEN SPACE REQUIREMENT (SECTION 10.15 ONLY FOR MUPD)**

- 20% TOTAL ACREAGE OF THE PROPOSED MUPD SHALL BE RETAINED AS COMMON OPEN SPACE
- COMMON OPEN SPACE EXCLUSIVE OF BUILDINGS, STREETS, PARKING AREAS, RESIDENTIAL LOTS, COMMERCIAL AREAS, ACCESS DRIVES, AND INCIDENTAL GREEN/LAWN STRIPS ALONG DRIVES AND PARKING LOTS.

**TREE PRESERVATION AND REPLACEMENT (SECTION 9.15 F)**

- MAINTAIN OR PLANT TREES TO EQUAL A DENSITY OF 15 SQUARE FEET OF BASAL AREA PER ACRE.
- TREES LOCATED OUTSIDE THE DISTURBED LIMITS WITH 50% CANOPY COVER HAVE A BASAL AREA OF 40 SQUARE FEET PER ACRE
- UNDISTURBED AREAS DO NOT NEED TO BE INCLUDED IN THE DETAILED TREE INVENTORY
- EACH 22"+ DBH TREE REMOVED TO BE REPLACED WITH (2) TREE

**PERMITTED USE AND LOCATION OF SIGNS (SECTION 14.6)**

**ZONE MUPD ALLOWED SIGNS AS APPROVED.**

**PROPOSED PYLON SIGN:**

- POLE SIGN
- DOUBLE FACED
- PROPOSED MAXIMUM AREA FOR SINGLE SIGN: 100 SF
- PROPOSED MAXIMUM HEIGHT: 40'

**PROPOSED MONUMENT SIGN:**

- GROUND SIGN
- SINGLE FACED
- PROPOSED MAXIMUM AREA FOR SINGLE SIGN: 100 SF
- PROPOSED MAXIMUM HEIGHT: 20'

**CONCEPT GRAPHICS SCHEDULE**

VEHICULAR USE AREA (VUA)  
ANY AREA USED BY (2) OR MORE MOTOR VEHICLES FOR PARKING, LOADING/UNLOADING, SALES, SERVICES, OR DRIVEWAYS.  
Takeoff: 718,467 sf

INTERIOR VUA LANDSCAPING  
MINIMUM 5% OF VUA  
(1) TREE PER 250 SF OF INTERIOR LANDSCAPE AREA  
Takeoff: 66,593 sf (9%) PROVIDED  
~150 TREES

SIGNAGE PLANTING  
(1) SF OF PLANTING PER SF OF SIGNAGE  
Takeoff: 1,958 sf

RESIDENTIAL BUFFER  
MINIMUM 20' WIDTH  
DOUBLE ROW, STAGGERED, EVERGREEN TREES (LIST C) AT 15' O.C.  
Takeoff: 2,021 lf ~105 TREES

COMMERCIAL ADJACENT TO PUBLIC R.O.W.  
10% OF FRONT YARD ADJACENT TO PUBLIC R.O.W. MUST BE LANDSCAPED  
(3) TREES PER 100 LF OF ROAD FRONTAGE  
Takeoff: 1,400 lf ~50 TREES

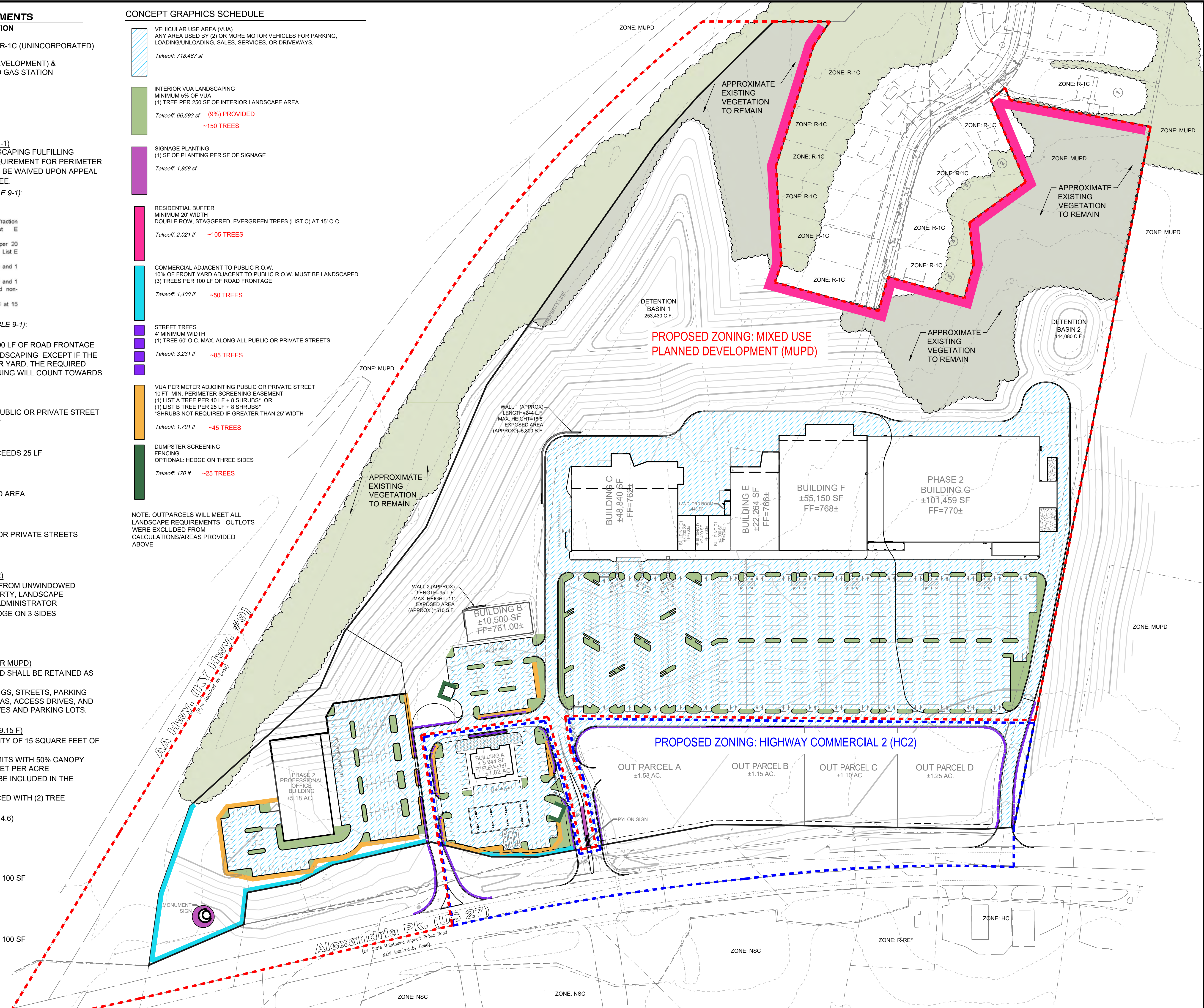
STREET TREES  
4' MINIMUM WIDTH  
(1) TREE 60' O.C. MAX. ALONG ALL PUBLIC OR PRIVATE STREETS  
Takeoff: 3,231 lf ~85 TREES


VUA PERIMETER ADJOINING PUBLIC OR PRIVATE STREET  
10' FT MIN. PERIMETER SCREENING EASEMENT  
(1) LIST A TREE PER 40 LF + 8 SHRUBS\* OR  
(1) LIST B TREE PER 25 LF + 8 SHRUBS\*  
\*SHRUBS NOT REQUIRED IF GREATER THAN 25' WIDTH  
Takeoff: 1,791 lf ~45 TREES

DUMPSTER SCREENING FENCING  
OPTIONAL: HEDGE ON THREE SIDES  
Takeoff: 170 lf ~25 TREES

NOTE: OUTPARCELS WILL MEET ALL LANDSCAPE REQUIREMENTS - OUTLOTS WERE EXCLUDED FROM CALCULATIONS/AREAS PROVIDED ABOVE

Plot time: Aug 04, 2023 - 11:04am  
Drawing name: J:\2022\22-0059\LA DWG - Layout Tab: Stage 1 LA Plan





Basis of Bearing:  
State Plane NAD83 (2011)

0 100 150  
SCALE: 1" = 100'

Date	Drawn	Chk	Revision Description
08-04-23	LEM	HMW	

Item	Issued To	CC	P	R	&	Z
1						

**COLD SPRING POINTE**  
**STAGE I DEVELOPMENT PLAN**  
CITY OF COLD SPRING  
LANDSCAPE PLAN

**bayer becker**  
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209 Grandview Drive  
Fort Mitchell, KY 41017 - 859.281.1113

Drawing:	22-0059.LA
Drawn by:	LEM
Checked by:	HMW
Issue Date:	08-04-23

L1.0

SITE DATA

- 1. TOTAL ACREAGE: 53.26± ACRES (See "AREA MAP")
PIDN: 999-99-17-908.00, 999-99-17-910.00, 999-99-17-982.00, 999-99-17-883.00, 999-99-20-515.00, 999-99-17-610.00, 999-99-18-860.00, 999-99-18-860.01, 999-99-17-907.02, 999-99-17-907.13, 999-99-19-831.00, 999-99-18-446.00, 999-99-19-993.00, 999-99-19-928.05, 999-99-19-928.06
BUILDING A ACREAGE: ±1.82 AC.
BUILDINGS B-G ACREAGE: 41.23 AC.
OUT PARCELS A-D ACREAGE: ±5.03 AC.
PROFESSIONAL OFFICE ACREAGE: ±5.18 AC.
2. CURRENT ZONING: R-RE (RESIDENTIAL RURAL ESTATE) & R-3 (RESIDENTIAL -3)
PROPOSED ZONING: MUPD (MIXED USE PLANNED DEVELOPMENT) 46.14 AC.
MINIMUM FRONT YARD BUILDING SETBACK = 25'
MINIMUM SIDE YARD BUILDING SETBACK = 10'
MINIMUM REAR YARD BUILDING SETBACK = 10'
MAXIMUM BUILDING HEIGHT = 57' 4" STORES WITH PATIO ROOFTOPS
HC2 (HIGHWAY COMMERCIAL-2) 7.12 AC.
MINIMUM LOT AREA = 1 ACRE
MINIMUM FRONTAGE = 100'
MINIMUM FRONT YARD BUILDING SETBACK = 25' (SEE VARIANCE REQUEST BELOW)
MINIMUM SIDE YARD BUILDING SETBACK = NONE REQUIRED PER SECTION 10.16 C. 4
MINIMUM REAR YARD BUILDING SETBACK = 10' (SEE VARIANCE REQUEST BELOW)
MAXIMUM BUILDING HEIGHT = 40'

- PROPOSED USES: COMMERCIAL & RETAIL USES
3. NO ADDITIONAL PUBLIC RIGHT-OF-WAY IS ANTICIPATED. EASEMENTS WILL BE PROVIDED FOR ALL PUBLIC UTILITIES AS REQUIRED, OR AS SHOWN:
SANITARY SEWER = 20" (SD1)
WATERMAIN = 20" (NKKV)
UTILITY EASEMENT = 15' (DUKE ENERGY)
STORM SEWER = PER CITY OF COLD SPRING STANDARDS
4. PRELIMINARY CONCEPTUAL GRADING SHOWN WITH 5' CONTOUR INTERVALS.
5. MUPD ZONE REQUIRED 20% OPEN SPACE
REQUIRED (46.01 AC \* 0.2) = 9.20 AC.
PROVIDED = 12.97 AC.
6. APPROXIMATE LOCATIONS OF PROPOSED PEDESTRIAN WALKWAYS HAVE BEEN SHOWN.
7. NO ADDITIONAL PUBLIC STREETS OR RIGHT-OF-WAY IS ANTICIPATED WITH THIS PROJECT.
8. THE APPROXIMATE LOCATION OF THE UTILITY NETWORKS HAVE BEEN SHOWN FOR REFERENCE. UTILITY LOCATIONS AND SIZES TO BE CONFIRMED WITH THE SITE PLAN TO MEET THE REQUIREMENTS OF THE UTILITY COMPANY. ELECTRIC AND TELEPHONE SERVICE TO BE PROVIDED PER UTILITY COMPANY REQUIREMENTS.
9. UTILITY AVAILABILITY: 18" EXISTING SANITARY SEWER AT AA HIGHWAY (HY HWY #9) AND EXISTING 12" WATER MAIN ALONG US 27 (ALEXANDRIA PIKE).
10. SOIL TYPES (PER USDA SOIL CONSERVATION SERVICE MAPS):
EdD2 (EDEN SILTY CLAY LOAM, 12-20% SLOPES, ERODED)
EEd2 (EDEN SILTY CLAY LOAM, 20-35% SLOPES, ERODED)
FcG (FAYWOOD SILTY CLAY LOAM, 6-12% SLOPES)
NIB (NICHOLSON SILT LOAM, 0-6% SLOPES)
11. PARKING TO BE PROVIDED PER ARTICLE XI OF THE CITY OF COLD SPRING ZONING ORDINANCE.
12. MUPD ZONE HC2 ZONE SEE ARCHITECTURAL BUILDING ELEVATIONS FOR BUILDING HEIGHTS.
13. SCHEDULE: THE FOLLOWING IS A TENTATIVE SCHEDULE SUBJECT TO CHANGE WITH MARKET DEMAND/CONDITIONS. START OF CONSTRUCTION TO FOLLOW UPON PERMIT APPROVALS AND WILL BE PHASED.
PHASE 1 - (BUILDINGS A-F, OUT PARCELS A-D) START CONSTRUCTION JANUARY 2024
PHASE 2 - (BUILDING G & PROFESSIONAL OFFICE) COMPLETION EXPECTED OCTOBER 2026

GENERAL NOTES

- 1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED PER THE SPECIFICATIONS OF THE FOLLOWING AGENCIES:
SANITARY SEWER - SANITATION DISTRICT NO. 1 CONTACT - ANDY AMAN 1045 EATON DRIVE, FORT WRIGHT, KY 41017
STORMWATER - CITY OF COLD SPRING 5694 EAST ALEXANDRIA PIKE, COLD SPRING, KY 41076
GAS & ELECTRIC - DUKE ENERGY 1262 COX ROAD, ERLANGER, KY 41018 www.duke-energy.com
TELEPHONE SERVICE - ALTA FIBER 221 EAST 4TH STREET, CINCINNATI, OH 45202 www.altafiber.com
WATER - NORTHERN KENTUCKY WATER DISTRICT, 2835 CRESCENT SPRINGS RD., ERLANGER, KY 41018-0640 www.nkywater.com
2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF COLD SPRING SUBDIVISION REGULATIONS, SANITATION DISTRICT NO. 1 RULES & REGULATIONS, AND KYTC SPECIFICATIONS.
3. THE CITY OF COLD SPRING SHALL BE CONTACTED 48 HOURS IN ADVANCE OF WORK STARTING AT (859) 441-9604 FOR A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO THE INSTALLATION OF THE WATER QUALITY FEATURE
4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION. SITE CONTRACTOR SHALL PROPERLY REMOVE DEBRIS AND SEDIMENT FROM BMPs AS THE PROJECT PROGRESSES.
5. SITE STABILIZATION SHALL BEGIN WITHIN 14 DAYS ON AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY (FOR 21 DAYS OR MORE) CEASED.
6. PRIOR TO ANY EARTHWORK ACTIVITY, EROSION CONTROL DEVICES WILL BE INSTALLED. AN EROSION CONTROL PLAN WILL BE PROVIDED WITH THE SITE PLANS TO MEET THE REQUIREMENTS OF THE CITY OF COLD SPRING.
7. PROPOSED EROSION CONTROL MEASURES SHOWN ARE AS A MINIMUM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY ADDITIONAL MEASURES AND/OR REVISING BMPs AS DEEMED NECESSARY TO MINIMIZE EROSION & SEDIMENTATION IN ACCORDANCE WITH THE "KENTUCKY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES".
8. ALL BMPs WILL BE INSPECTED AT A MINIMUM OF ONCE EVERY 7 DAYS AND AFTER EVERY 0.5" RAIN EVENT AND GREATER BY QUALIFIED PERSONNEL OF THE OWNER. THE INSPECTIONS SHALL ALSO BE DOCUMENTED IN A WRITTEN LOG
9. ALL STORM SEWER AND STORM WATER DETENTION BASINS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CITY OF COLD SPRING SUBDIVISION REGULATIONS.
10. THE CITY OF COLD SPRING WILL REQUIRE AN AS-BUILT SURVEY OF THE DETENTION BASIN TO VERIFY THAT ADEQUATE VOLUME IS PROVIDED AND THE DETENTION STRUCTURE IS BUILT PER THE APPROVED PLAN.
11. DISCHARGE OF ROOF DOWNSPOUTS, FOOTING, FOUNDATION DRAINS, AND SUMP PUMPS MAY BE DISCHARGED DIRECTLY TO THE STORM SEWER SYSTEM PROVIDED THAT THEY ARE DIRECTED TO THE PROPOSED DETENTION BASIN
12. ALL SANITARY SEWER SHALL BE PUBLIC AND MAINTAINED BY THE SANITATION DISTRICT #1. ALL CONSTRUCTION AND MATERIAL SHALL BE IN CONFORMANCE WITH THE "RULES AND REGULATION OF THE SANITATION DISTRICT #1".
13. ALL WATERMAIN SHALL BE PUBLIC AS NOTED AND MAINTAINED BY "NORTHERN KENTUCKY WATER DISTRICT STANDARDS AND SPECIFICATIONS FOR WATER MAIN CONSTRUCTION".
14. THE DETENTION BASIN AND ASSOCIATED STRUCTURES ARE PRIVATE AND SHALL BE PROPERLY MAINTAINED BY THE OWNER.
15. ALL PROPOSED INTERNAL UTILITIES SHALL BE UNDERGROUND.
16. GRADING AND CLEARING LIMITS AND UTILITY LAYOUT SHOWN ARE APPROXIMATE AND SUBJECT TO REVISION BASED ON COMPLETION OF SITE PLAN.
17. THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THE PLAN HAVE BEEN OBTAINED BY FIELD CHECKS AND SEARCHES OF AVAILABLE RECORDS AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON THE PREMISES. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY LOCATIONS WITH UTILITY COMPANIES BEFORE MAKING EXCAVATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS WHETHER SHOWN ON THESE PLANS OR NOT.
18. THE PLANS PREPARED BY BAYER & BECKER, DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF BAYER & BECKER'S REGISTERED PROFESSIONAL ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY U.S. OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
19. 20' PROPOSED SANITARY SEWER EASEMENT TO BE PROVIDED FOR ALL SANITARY SEWER.
20. SEE ARCHITECTURAL BUILDING ELEVATIONS FOR BUILDING HEIGHTS.

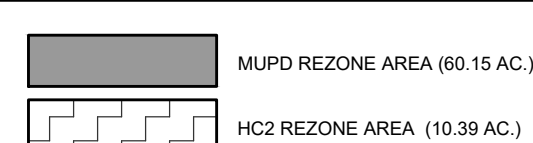
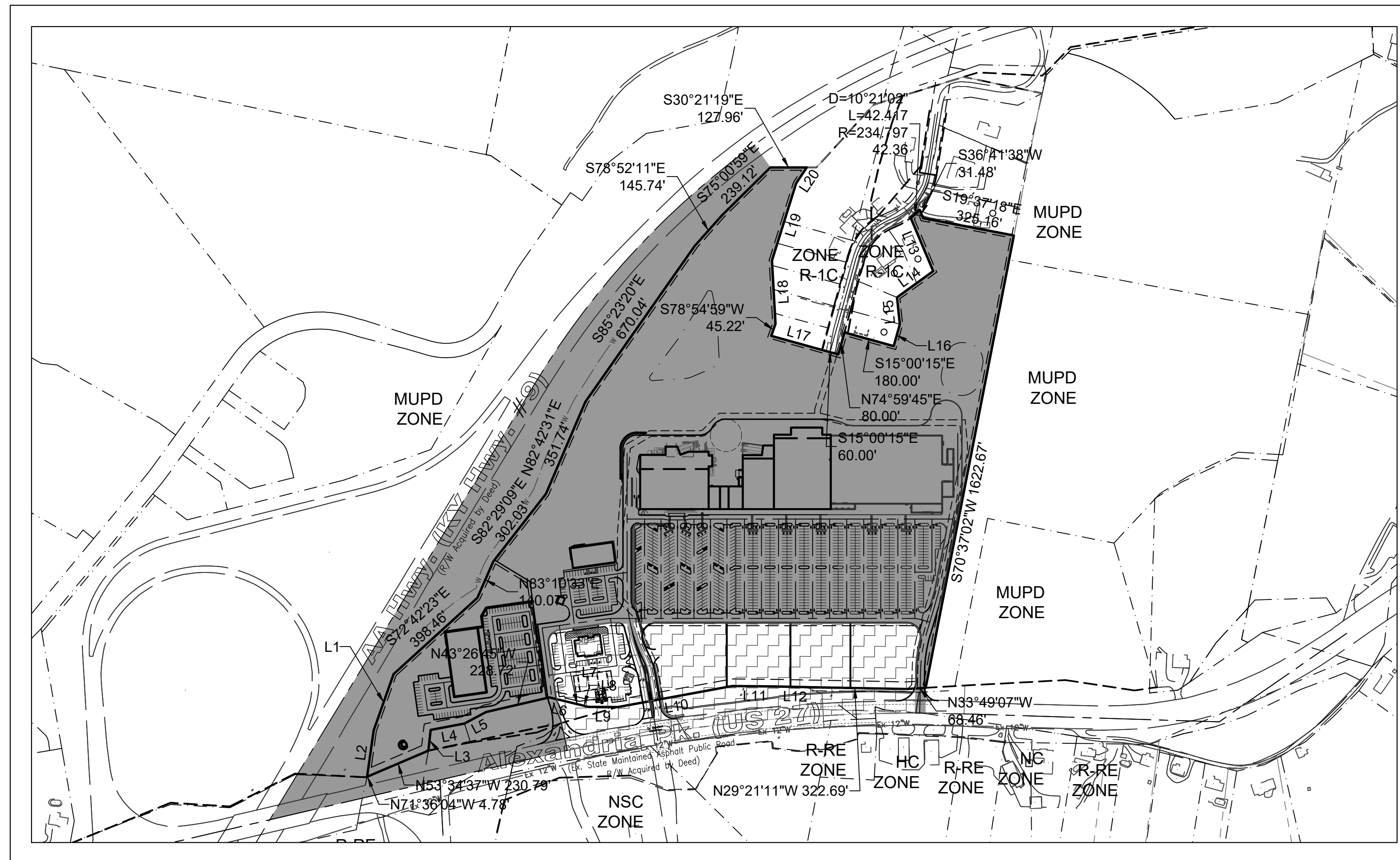
STORM WATER NOTES:

- 1. THE CITY OF COLD SPRING SHALL BE CONTACTED 48 HOURS IN ADVANCE OF WORK STARTING AT (859) 441-9604 FOR A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO THE INSTALLATION OF THE WATER QUALITY FEATURE.
2. SITE STABILIZATION SHALL BEGIN WITHIN 14 DAYS ON AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED FOR 21 DAYS OR MORE.
3. THE SITE AND EROSION CONTROL MEASURES WILL BE CHECKED AND DOCUMENTED AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A 0.5" OR GREATER RAIN EVENT.
4. THE CONTRACTOR MAY BE REQUIRED TO REVISE AND/OR PROVIDE ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS DEEMED NECESSARY TO MEET THE REQUIREMENTS OF THE CITY'S RULES AND REGULATIONS.
5. THE DETENTION BASIN AND ASSOCIATED STRUCTURES ARE PRIVATE AND SHALL BE PROPERLY MAINTAINED BY THE OWNER.
6. SILT/SEDIMENTS SHOULD BE REMOVED FROM ALL SILT FENCES AND BASINS WHEN ACCUMULATION IS AT 1/3 OF THE HEIGHT OF THE SILT FENCE OR 1/4 OF THE DETENTION BASIN VOLUME.
7. THE CITY OF COLD SPRING WILL REQUIRE AN AS-BUILT SURVEY OF THE DETENTION BASIN TO VERIFY THAT ADEQUATE VOLUME IS PROVIDED AND THE DETENTION STRUCTURE IS BUILT PER THE APPROVED PLAN

VARIANCE/WAIVER REQUESTS:

- 1. PARKING STALL DIMENSIONAL VARIANCE - REQUIRED 10' X 20', REQUEST 10' X 18'
FRONT YARD - 50' REQUIRED, 25' REQUESTED TO BE CONSISTENT WITH FRONT YARD SETBACK AS REQUESTED FOR THE MUPD ZONE
SIDE YARD - NONE REQUIRED PER SECTION 10.16 C. 4
REAR YARD - 25' REQUIRED, 10' REQUESTED TO BE CONSISTENT WITH REAR YARD SETBACK AS REQUESTED FOR THE MUPD ZONE
2. POSSIBLE GAS CANOPY WITHIN CURRENT 50' FRONT YARD SETBACK AT US27 (8.52' INSIDE THE 50' SETBACK REQUIRED PER THE HC-2 ZONE). IF HC-2 FRONT YARD VARIANCE OF 25' ABOVE IS APPROVED THEN A VARIANCE IS NOT REQUIRED.

COLD SPRING POINTE
STAGE II DEVELOPMENT PLAN
CITY OF COLD SPRING
CAMPBELL COUNTY, KENTUCKY



CIVIL INDEX TO SHEETS

Table with columns: SHEET, DRAWING TITLE, ISSUE DATE, REV. NO., REV. DATE. Lists sheets C1.0 through C1.4 and C2.0 through C2.4.

LINE TABLE

Table with columns: Line, Direction, Dist. Lists line items L1 through L20 with their respective directions and distances.

VICINITY MAP



NOT TO SCALE

ABBREVIATION LEGEND

Table with columns: ABBREVIATION, DESCRIPTION. Lists various symbols and their meanings such as AC (ACRES), B/C (BACK OF CURB), etc.

UTILITY COMPANIES

Table listing utility companies and their contact information: Sanitary Sewer, Storm Sewer, Water, Gas, Electric, Telephone.

SITE INFORMATION

Table with columns: S.F., ACRES. Lists site acreage, disturbed area, and impervious area.

DEVELOPER:

MIDLAND ATLANTIC PROPERTIES
8044 MONTGOMERY RD, SUITE 370
CINCINNATI, OH 45236
513-792-5000
jsilverman@midlandatlantic.com
criney@midlandatlantic.com

ENGINEER & SURVEYOR:

BAYER BECKER
209 GRANDVIEW DRIVE
FT. MITCHELL, KY 41017
859-415-1605
robkeller@bayerbecker.com

ARCHITECT:

FREEMAN MORGAN ARCHITECTS
7229 FOREST AVE, SUITE 209
RICHMOND, VA 23226

NOTE: Sanitation District No.1 must be contacted at least 72 hours prior to any public Sewer construction, at 859-578-6749.



BURIED UTILITIES NOTE: All above ground features have been field located. All buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies.

Vertical sidebar containing: State of Kentucky seal, project title 'COLD SPRING POINTE STAGE II DEVELOPMENT PLAN', drawing title 'CIVIL TITLE SHEET', drawing information (Drawing: 22-0059.CD, Drawn by: JLR, Checked by: RTK, Issue Date: 8-4-23, Sheet: C1.0), and Bayer & Becker logo.

Plot time: Aug 04, 2023 - 12:53pm
Drawing name: J:\2022\22-0059\CVDWG\22-0059\_CD.dwg - Layout Tab: C1.0 Title



- DEMOLITION NOTES:**
1. ALL RIGHT-OF-WAY WITHIN THE PROPERTY BOUNDARY SHALL BE VACATED.
  2. REMOVAL AND/OR RELOCATION OF ANY UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
  3. ALL UTILITIES THAT ARE TO BE TERMINATED OR ABANDONED, INCLUDING BUT NOT LIMITED TO WATER, GAS, ELECTRIC, TELEPHONE, CABLE T.V., STORM AND SANITARY ARE TO BE DISCONNECTED PER THE ASSOCIATED UTILITY AGENCY REQUIREMENTS. CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN STATEMENTS FROM UTILITY COMPANIES INDICATING THAT UTILITIES HAVE BEEN TURNED OFF, DISCONNECTED, OR DO NOT EXIST ON THE PROPERTY.
  4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT ARE INTENDED TO CONTINUE TO PROVIDE SERVICE WHETHER SHOWN ON THE PLANS OR NOT.
  5. DAMAGE CAUSED TO STREETS, SIDEWALKS, OTHER STRUCTURES, AND ADJACENT AREAS CAUSED BY DEMOLITION OR SHALING OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE AN EXPENSE TO THE OWNER.
  6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING AND NEIGHBORING USERS DURING THE CONSTRUCTION PROCESS DURING THEIR TIMES OF OPERATIONS.
  7. AS SOON AS DEMOLITION WORK HAS BEEN OTHERWISE COMPLETED AND APPROVED BY THE OWNER, EARTHWORK MAY BEGIN. THE FINAL GRADE IN AREAS OUTSIDE THE AREA OF CONSTRUCTION SHALL BE SUCH AS TO PRESENT A NEAT, WELL-DRAINED APPEARANCE, AND TO PREVENT WATER FROM DRAINING UNNECESSARILY ONTO ADJACENT PROPERTIES.
  8. "ABANDON" ON THIS PLAN REFERS TO THE PLUGGING, SEALING, & GROUTING OF EXISTING UTILITY STRUCTURE AND/OR CONDUIT. THE SURROUNDING SOIL CONDITIONS & COMPACTION OF ABANDONED ITEMS SHALL BE INSPECTED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER. EXISTING SANITARY, STORM AND COMBINED SEWERS TO BE ABANDONED SHALL BE FILLED, SEALED & ABANDONED IN ACCORDANCE TO LOCAL AND STATE SPECIFICATIONS, RULES AND REGULATIONS. REMOVAL OF PORTIONS OF THE EXISTING STRUCTURE AND/OR CONDUIT MAY BE NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS.
  9. NO ATTEMPT IS MADE TO STIPULATE EVERY REQUIRED ITEM OF DEMOLITION EITHER ON DRAWINGS OR IN SPECIFICATIONS. THE CONTRACTOR SHALL VISIT AND STUDY PHYSICAL CONDITIONS AT SITE, REVIEW DRAWINGS, AND REACH CONCLUSIONS ON WORK NECESSARY TO ACCOMPLISH INTENDED RESULTS DESCRIBED BY DRAWINGS AND SPECIFICATIONS.
  10. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, UTILITY DISCONNECTIONS AND REMOVAL OF EXISTING WIRING, PIPING, DRAINAGE STRUCTURES, FENCING, POLES, CONCRETE, PAVEMENT, AND BUILDINGS AND STRUCTURES INDICATED ON DRAWINGS AND AS SPECIFIED.
  11. ALL DEMOLITION DEBRIS SHALL BE DISPOSED OF OFF-SITE, PROPERLY AND PER ALL RULES AND REGULATIONS OF THE JURISDICTION HAVING AUTHORITY.
  12. THE CONTRACTOR IS RESPONSIBLE FOR SECURING PERMITS AND PAYING FEES REQUIRED BY UTILITY COMPANIES, LOCAL AND/OR STATE AUTHORITIES.
  13. CONTACT STATE UTILITY UNDERGROUND LOCATION AGENCY (1-800-362-2764) A MINIMUM OF 48 HOURS BEFORE STARTING WORK.
  14. REMOVE MEANS TO REMOVE OR ABANDON PROPERLY AS PER THE SPECIFICATIONS OF THE UTILITY OWNER.
  15. COORDINATE ALL WORK IN THE RIGHT-OF-WAY WITH KYTC.

- SAFETY ADVISORY NOTES:**
1. Protection of Persons and Property: Provide all necessary barriers, warning lights, signage, flagman, and other measures as required to maintain public safety as designated on the plans, directed by the Owner, and as recommended by other authorities having jurisdiction.

- PROHIBITED CONSTRUCTION ACTIVITIES:**
1. Indiscriminate or arbitrary operation of equipment in any stream corridors, any surface water, or outside the clearing limits is prohibited.
  2. Pumping of sediment-laden water from trenches or other excavation directly into any surface waters, any stream corridors, or storm sewers is prohibited; all such water shall be properly filtered or settled to remove silt prior to discharging into any drain or watercourse.

- ENVIRONMENTAL IMPACT PREVENTATIVE AND MITIGATIVE MEASURES:**
1. The Contractor shall give special attention to protection of streams and riparian areas. The resident project representative will periodically and routinely verify that the appropriate measures are being followed. Areas of construction in and around stream banks and other areas subject to erosion are a particular concern. Contractor is advised to use special care within such areas to protect natural features and to provide careful restoration.
  2. Clearing and grubbing shall not commence until the Contractor is prepared to start construction, and erosion control measures are installed and in place. Contractor shall be responsible to dispose of all stumps, brush, debris, and trees in a legal and environmentally sound manner. Items shall be removed only as directed by the Owner or Engineer.

- PROTECTION OF TREES:**
1. The Contractor shall avoid any unnecessary damages to trees. clear-cutting is not permitted within temporary construction limit or easement areas without the prior approval of the Owner and Engineer. This includes work and staging areas obtained by the Contractor by means of private agreement with property owners. Tree branches which overhang the construction limits and which interfere with the operation of equipment shall be tied back to avoid damage. Where injury to branches is unavoidable, the branches shall be sawed off neatly at the trunk or main branch and the cut area shall be painted with approved tree paint immediately. Any trees damaged beyond saving shall be removed by Contractor at his own expense. In the case of trees located outside the construction limit area, restitution acceptable to the property owner shall be provided by the Contractor.

- LEGEND**
- ⊙ - Ex Sanitary M.H.
  - ⊖ - Ex Sanitary Clean Out
  - ⊕ - Ex Storm M.H.
  - ⊗ - Ex Storm Catch Basin
  - ⊘ - Ex Storm Yard Drain
  - ⊙ - Ex Storm Down Spout
  - ⊙ - Ex Fire Hydrant
  - ⊕ - Ex Fire Connection
  - ⊖ - Ex Water Valve
  - ⊗ - Ex Water Meter
  - ⊘ - Ex Gas Valve
  - ⊙ - Ex Gas Meter
  - ⊕ - Ex Elec. M.H.
  - ⊖ - Ex Elec. Box
  - ⊗ - Ex Light Pole
  - ⊘ - Ex Tele. M.H.
  - ⊙ - Ex Tele. Box
  - ⊕ - Ex Cable Box
  - ⊖ - Ex Sign
  - ⊗ - Ex Post
  - ⊘ - Ex Bollard
  - ⊙ - Ex Deciduous Tree
  - ⊕ - Ex Evergreen Tree
  - ⊖ - Ex Deciduous Bush
  - ⊗ - Ex Evergreen Bush
  - R/W - Ex Right of Way
  - P/L - Ex Property Line
  - ⊕ - Ex Utility Pole
  - ⊖ - Ex Guy Wire
  - ⊗ - Ex Air Conditioning

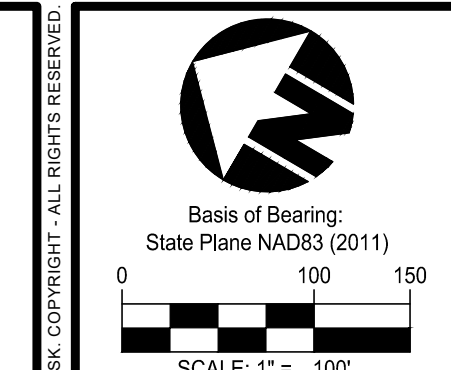
- - - - - Ex Underground Water Main
- - - - - Ex Underground Gas Main
- - - - - Ex Overhead Utilities
- - - - - Ex Underground Electric
- - - - - Ex Underground Telephone
- - - - - Ex Fence
- - - - - Ex Landscape Border
- - - - - Ex Trestline
- - - - - Ex Major Contour
- - - - - Ex Minor Contour

- EXISTING UTILITIES:**
1. The Contractor shall verify the locations and elevations of all existing utilities prior to construction. The locations and elevations of existing utilities, as indicated on the drawings, are for informational purposes only. No responsibility is assumed for the accuracy or completeness of this information. All utilities must be marked and their horizontal and vertical location field verified by the Contractor prior to starting construction. The Contractor shall not cut or disconnect any existing utilities without prior approval from the appropriate agency.
  2. Existing underground utilities and services are shown in their approximate locations according to known information available. The locations shown are intended only as guide and cannot be guaranteed to be accurate or complete. During construction the contractor shall protect from damage all existing utilities, whether shown on the contract drawings or not. If damage is caused, the contractor shall be responsible for the repair or restoration of same to the satisfaction of the Owner or Utility Owner at the contractor's sole expense. Electric service, gas service, water service, telephone and cable service, and other utility lines may be located in the proximity of the work area. The Contractor shall be responsible for:
    - a. Contacting the individual utility owners ten (10) days prior to construction and advising them of the work to take place.
    - b. Soliciting their aid in locating and protecting or relocating any utility that may interfere with construction.
    - c. Test pitting and verifying the horizontal and vertical location for each utility in the project vicinity before starting construction.
    - d. All damage to any existing utility, and repair thereof.
    - e. Contacting the Kentucky Underground Protection Inc. (KUUPI) 1-800-752-6007 48 hours minimum prior to construction.
    - f. Contractor shall perform all work necessary to restore all existing utilities whether shown or not, encountered or disturbed during construction to before construction conditions or better, as acceptable to the utility owner.
  3. Where potential elevation conflicts may occur with existing utilities, the Contractor shall uncover such utilities sufficiently in advance of construction in order that exact elevations may be determined and the necessary adjustment made. The cost of the location and adjustment work, if any, shall be included in the total cost for the project. No additional payment will be made.
  4. Contractor shall be responsible for coordinating support or temporary relocation of all existing overhead utilities affected by the proposed construction.
    - a. Any damage to electric facilities and services requiring adjustments, relocations and/or repairs will be made at the contractor's cost. Contractor shall not backfill exposed electric facilities until the company has inspected its facility or performed any adjustments and/or maintenance that may be required.

- LEGEND**
- REMOVE EXISTING CONCRETE/ASPHALT/WALK/ BUILDING/PAVERS
  - PROJECT AREA TO BE CLEARED OF TREES (443.5 ACRES)



**BURIED UTILITIES NOTE:**  
All above ground features have been field located. All buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.

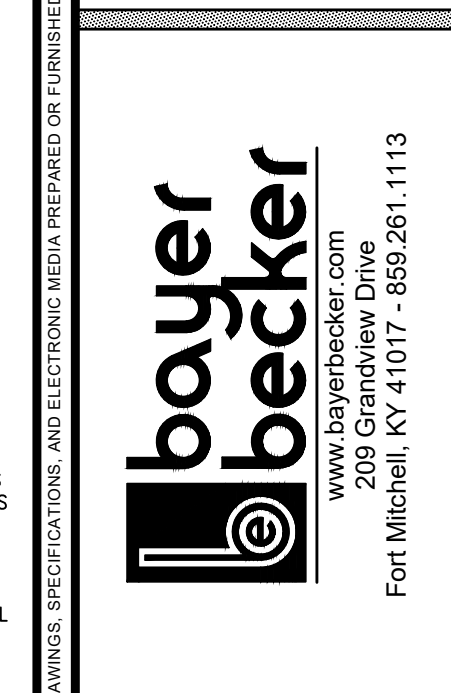


Date	Drawn	Chk	Item	Revision Description
08-04-23	JLF	RTK	1	ISSUED TO CC P & Z
			2	
			3	
			4	
			5	
			6	
			7	
			8	
			9	

**LEGEND**

- REMOVE EXISTING CONCRETE/ASPHALT/WALK/ BUILDING/PAVERS
- PROJECT AREA TO BE CLEARED OF TREES (443.5 ACRES)

**COLD SPRING POINTE  
STAGE II DEVELOPMENT PLAN  
CITY OF COLD SPRING,  
CAMPBELL COUNTY, KENTUCKY  
EXISTING BASEMAP & DEMO PLAN**



Drawing: 22-0059 CD  
 Drawn by: NJM  
 Checked By:  
 Issue Date: 08-04-23  
 Sheet:

**C2.0**

Plot time: Aug 04, 2023 - 11:17am  
 Drawing name: J:\2022\22-0059\CV\DWG\22-0059 CD.dwg - Layout Tab: C2.0 Demo

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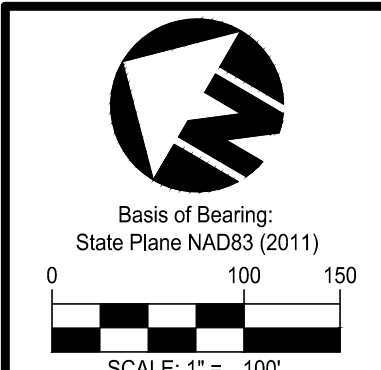
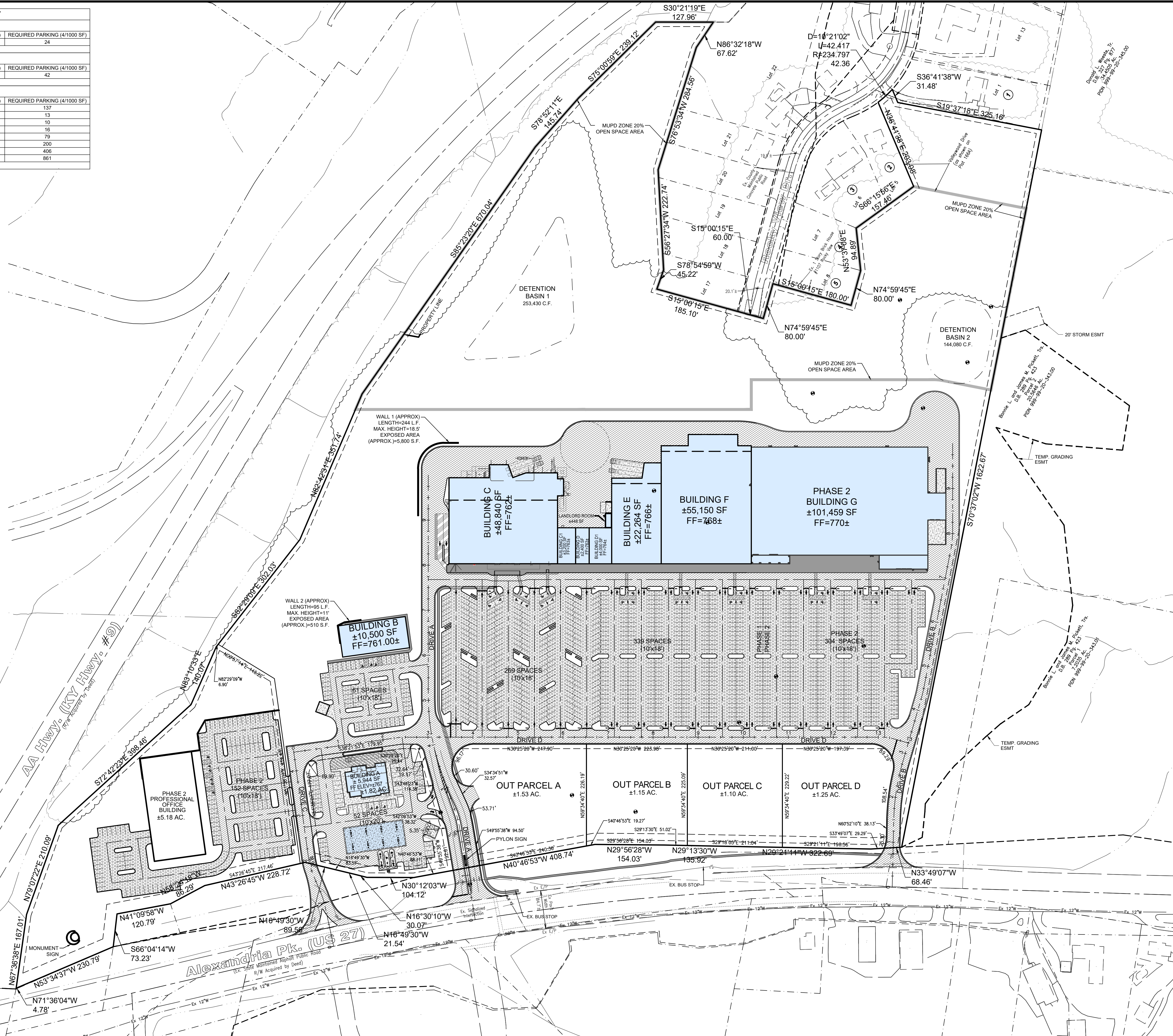
BUILDING AREA & PARKING SUMMARY				
BUILDING A				
BLDG AREA S.F. (BA)	STORAGE S.F. (SA)	FLOOR AREA S.F. (BA-SA)	REQUIRED PARKING (41/1000 SF)	
5,944	-	5,944	24	
PROVIDED PARKING = 52 SPACES				
BUILDING B				
BLDG AREA S.F. (BA)	STORAGE S.F. (SA)	FLOOR AREA S.F. (BA-SA)	REQUIRED PARKING (41/1000 SF)	
10,500	-	10,500	42	
PROVIDED PARKING = 61 SPACES				
BUILDINGS C-G				
BLDG AREA S.F. (BA)	STORAGE S.F. (SA)	FLOOR AREA S.F. (BA-SA)	REQUIRED PARKING (41/1000 SF)	
48,840	14,817	34,023	137	
3,200	-	3,200	13	
2,400	-	2,400	10	
4,000	-	4,000	16	
22,264	2,676	19,588	79	
55,150	5,250	49,900	200	
101,459	-	101,459	406	
TOTALS				
237,313	22,743	214,570	861	
PROVIDED PARKING = 912 SPACES				

**SITE PLAN NOTES:**

- BUILDING FOOTPRINTS SHOWN ARE APPROXIMATE. SEE ARCHITECTURAL PLANS FOR EXACT INFORMATION.
- ALL FACE OF CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- HVAC CONCRETE PAD SHOWN ARE APPROXIMATE. SEE ARCHITECTURAL AND MEP PLANS FOR EXACT DIMENSIONS AND DETAILS.
- TRANSFORMER CONCRETE PADS SHALL BE PER DUKE ENERGY REQUIREMENTS AND SPECIFICATIONS.
- ALL HANDICAP RAMPS ARE TO HAVE TRUNCATED DOMES.
- ALL RAMPS IN THE SIDEWALK (GREATER THAN 5% SLOPE) MUST HAVE A LANDING (2% OR FLATTER) AT THE TOP AND BOTTOM.
- CONTRACTOR TO VERIFY ELEVATIONS AT WALL FOR WALL DESIGN.
- CONTRACTOR TO COORDINATE HANDRAIL/GUARD LOCATIONS WITH WALL DESIGNER AND ARCHITECT.
- DRAINAGE AT WALLS TO BE COORDINATED WITH WALL DESIGN.
- REFER TO ARCHITECTURAL DRAWINGS FOR SPECIFIC LOCATION OF BOLLARDS AT STAIRS AND FIRE RISERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVERSING THE CROSS SLOPE OF THE GUTTER IN ORDER TO PROMOTE POSITIVE DRAINAGE AND NOT TRAP WATER. THE PLAN INDICATES LIMITS OF CURB AND GUTTER TO REVERSE THE SLOPE. THIS DOES NOT REPRESENT ALL AREAS, SPECIFICALLY ANY ISLAND CURB AND GUTTER.
- AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM KYTC FOR THE CONSTRUCTION OF THE ENTRANCE DRIVES.
- ALL DOORS ARE TO HAVE A MINIMUM OF A 5'x5' CONCRETE PAD WITH A GRADE NOT TO EXCEED 2% SLOPING AWAY FROM THE BUILDING.
- TRANSITION CURB TYPES OVER A MINIMUM OF 5'.
- WALLS ARE SHOWN FOR REFERENCE ONLY, DESIGN NOT INCLUDED.

**HATCH LEGEND**

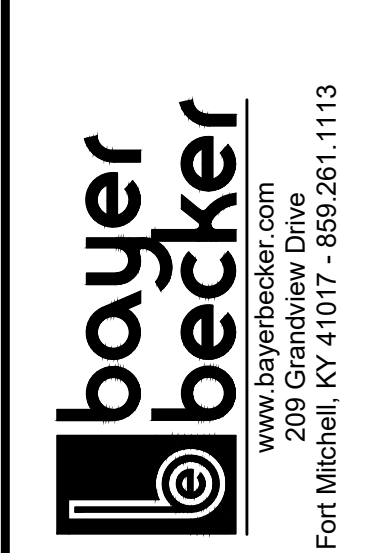
- CONCRETE SIDEWALK
- LIGHT DUTY PAVEMENT
- HEAVY DUTY PAVEMENT
- HEAVY DUTY CONCRETE
- MUPD ZONE 20% OPEN SPACE AREA  
REQUIRED: 9.20 AC.  
AS SHOWN: 12.97 AC.



Date	Drawn	Checked
08-04-23	JLT	RTK

Item	Revision Description
1	ISSUED TO C.C.P. & Z.
2	
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**COLD SPRING POINTE  
STAGE II DEVELOPMENT PLAN**  
CITY OF COLD SPRING  
CAMPELL COUNTY, KENTUCKY  
OVERALL LAYOUT


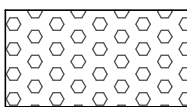

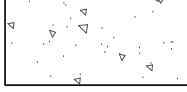



Drawing:	22-0059 CD
Drawn by:	NJM
Checked by:	
Issue Date:	08-04-23

Sheet: **C3.0**

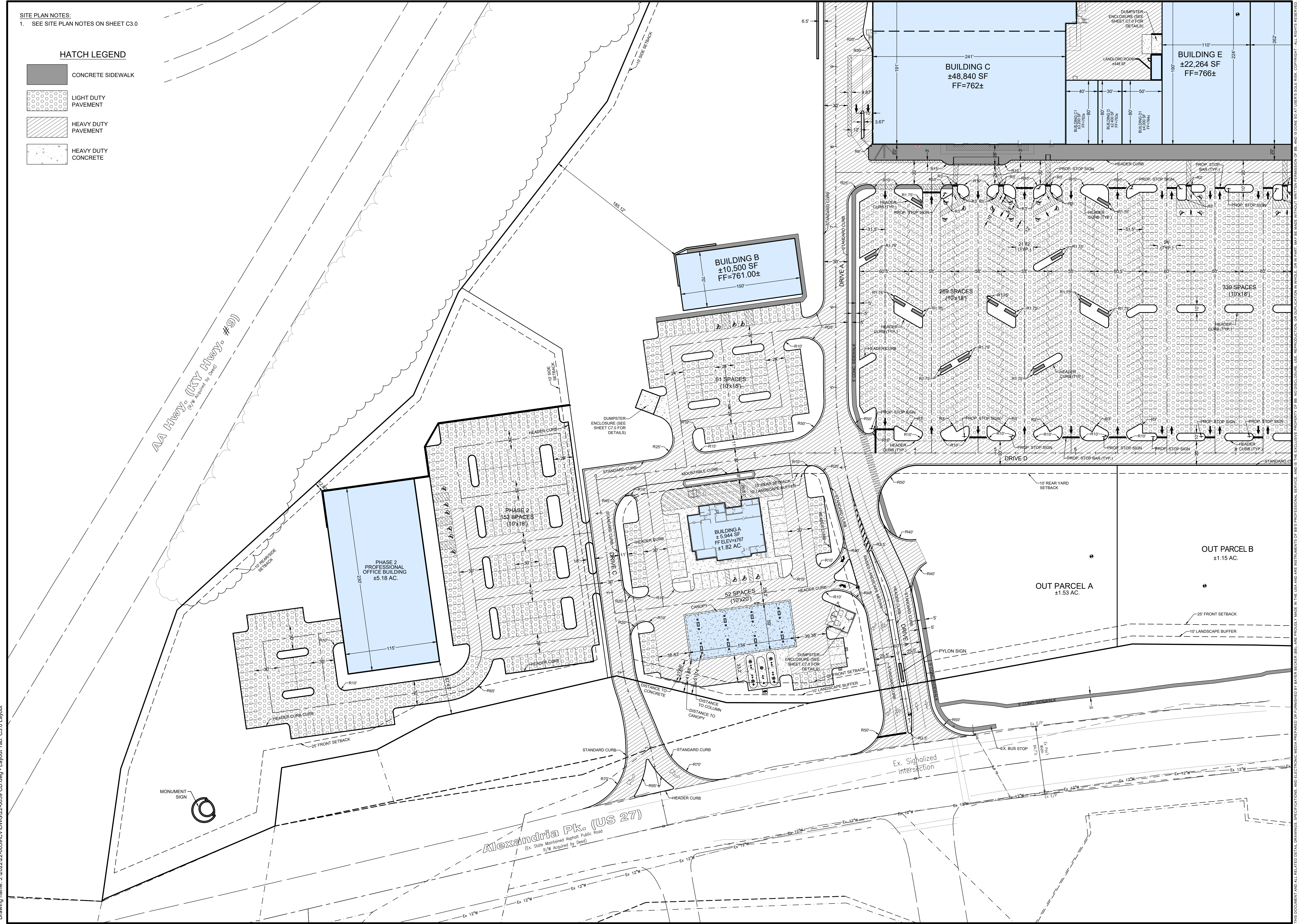
SITE PLAN NOTES:  
 1. SEE SITE PLAN NOTES ON SHEET C3.0

HATCH LEGEND

-  CONCRETE SIDEWALK
-  LIGHT DUTY PAVEMENT
-  HEAVY DUTY PAVEMENT
-  HEAVY DUTY CONCRETE




Basis of Bearing:  
 State Plane NAD83 (2011)  
 0 50 100  
 SCALE: 1" = 50'



Item	Revision Description	Date	Drawn	Chk.
1	ISSUED TO CC P & Z	08-04-23	JLR	RTK
2				
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**COLD SPRING POINTE  
 STAGE II DEVELOPMENT PLAN**  
 CITY OF COLD SPRING  
 CAMPBELL COUNTY, KENTUCKY  
 DETAILED LAYOUT



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 209 Grandview Drive  
 Fort Mitchell, KY 41017 - 859.281.1113


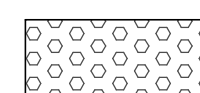


Drawing:	22-0059 CD
Drawn by:	JLR
Checked By:	
Issue Date:	06-01-23

Sheet:  
**C3.1**

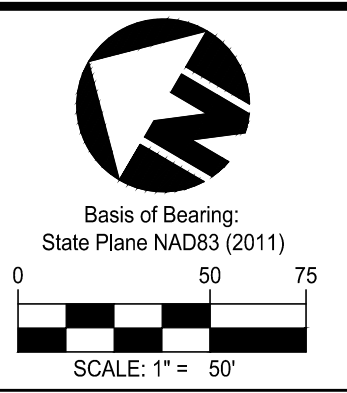
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SITE PLAN NOTES:  
1. SEE SITE PLAN NOTES ON SHEET C3.0

HATCH LEGEND

-  CONCRETE SIDEWALK
-  LIGHT DUTY PAVEMENT
-  HEAVY DUTY PAVEMENT
-  HEAVY DUTY CONCRETE

SITE PLAN NOTES:  
1. SEE SITE PLAN NOTES ON SHEET C3.0



Basis of Bearing:  
State Plane NAD83 (2011)  
0 50 75  
SCALE: 1" = 50'



Item	Revision Description	Date	Drawn	Chk.
1	ISSUED TO CC P & Z	08-04-23	JLR	RTK
2				
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**COLD SPRING POINTE  
STAGE II DEVELOPMENT PLAN**

**DETAILED LAYOUT**

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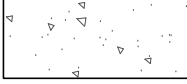
Drawing: 22-0059 CD  
Drawn by: JLR  
Checked by:  
Issue Date: 06-01-23

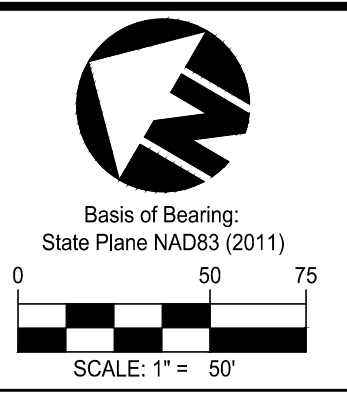
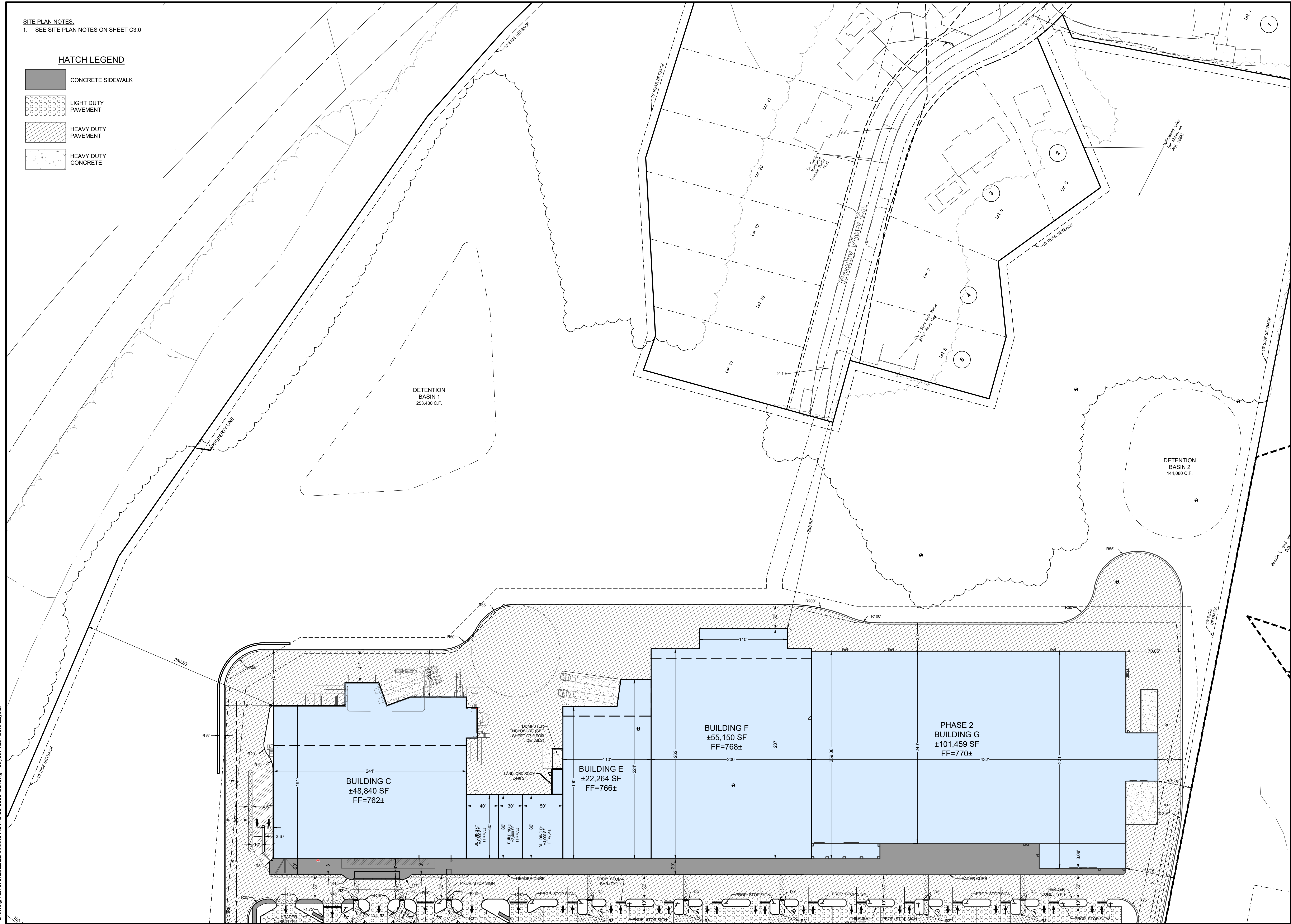
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Plot time: Aug 04, 2023 - 1:11pm  
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SITE PLAN NOTES:  
1. SEE SITE PLAN NOTES ON SHEET C3.0

HATCH LEGEND

-  CONCRETE SIDEWALK
-  LIGHT DUTY PAVEMENT
-  HEAVY DUTY PAVEMENT
-  HEAVY DUTY CONCRETE



Date	Drawn	Chk.
08-04-23	JLR	RTK

Item	Revision Description
1	ISSUED TO C.C.P. & Z.
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**COLD SPRING POINTE  
STAGE II DEVELOPMENT PLAN**  
CITY OF COLD SPRING  
CAMPBELL COUNTY, KENTUCKY  
DETAILED LAYOUT



Drawing:	22-0059 CD
Drawn by:	JLR
Checked by:	
Issue Date:	06-01-23

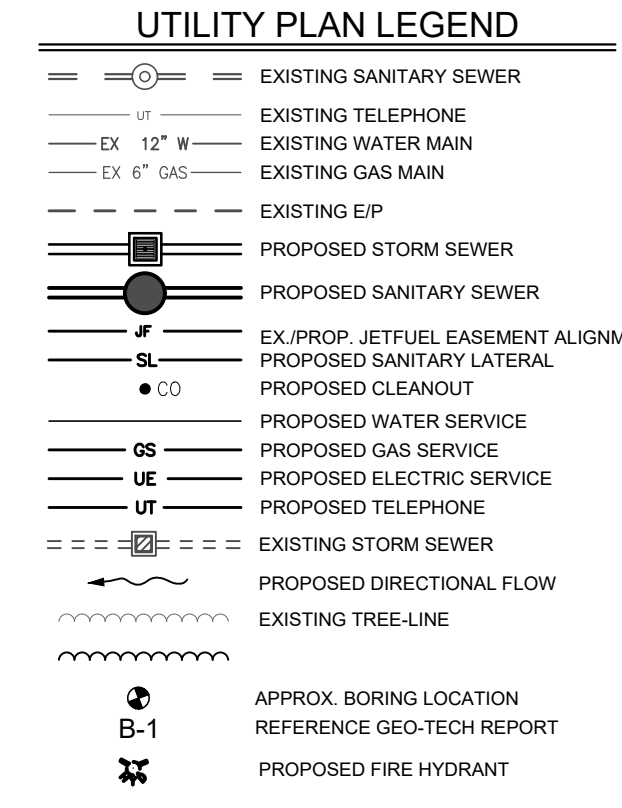
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**C3.3**

Plot time: Aug 04, 2023 - 1:13pm  
Drawing name: J:\2022\22-0059\CV\DWG\22-0059 CD.dwg - Layout Tab: C3.0 Layout

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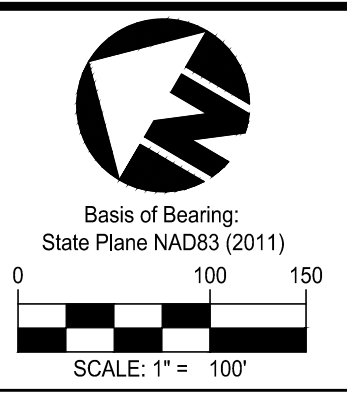
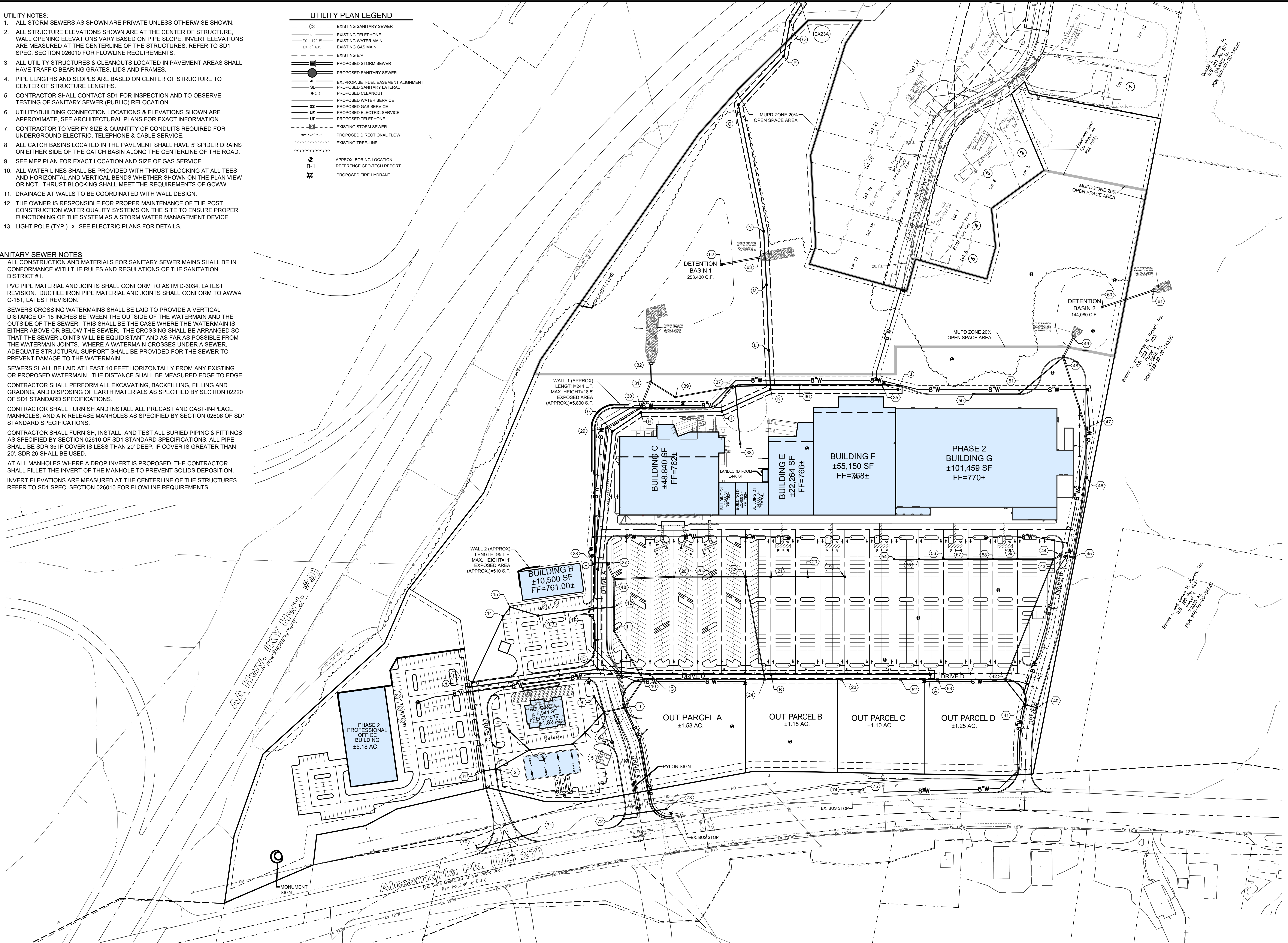


- UTILITY NOTES:**
- ALL STORM SEWERS AS SHOWN ARE PRIVATE UNLESS OTHERWISE SHOWN.
  - ALL STRUCTURE ELEVATIONS SHOWN ARE AT THE CENTER OF STRUCTURE. WALL OPENING ELEVATIONS VARY BASED ON PIPE SLOPE. INVERT ELEVATIONS ARE MEASURED AT THE CENTERLINE OF THE STRUCTURES. REFER TO SD1 SPEC. SECTION 026010 FOR FLOWLINE REQUIREMENTS.
  - ALL UTILITY STRUCTURES & CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL HAVE TRAFFIC BEARING GRATES, LIDS AND FRAMES.
  - PIPE LENGTHS AND SLOPES ARE BASED ON CENTER OF STRUCTURE TO CENTER OF STRUCTURE LENGTHS.
  - CONTRACTOR SHALL CONTACT SD1 FOR INSPECTION AND TO OBSERVE TESTING OF SANITARY SEWER (PUBLIC) RELOCATION.
  - UTILITY/BUILDING CONNECTION LOCATIONS & ELEVATIONS SHOWN ARE APPROXIMATE. SEE ARCHITECTURAL PLANS FOR EXACT INFORMATION.
  - CONTRACTOR TO VERIFY SIZE & QUANTITY OF CONDUITS REQUIRED FOR UNDERGROUND ELECTRIC, TELEPHONE & CABLE SERVICE.
  - ALL CATCH BASINS LOCATED IN THE PAVEMENT SHALL HAVE 5' SPIDER DRAINS ON EITHER SIDE OF THE CATCH BASIN ALONG THE CENTERLINE OF THE ROAD.
  - SEE MEP PLAN FOR EXACT LOCATION AND SIZE OF GAS SERVICE.
  - UTILITY/BUILDING CONNECTION LOCATIONS & ELEVATIONS SHOWN ARE APPROXIMATE. SEE ARCHITECTURAL PLANS FOR EXACT INFORMATION.
  - CONTRACTOR TO VERIFY SIZE & QUANTITY OF CONDUITS REQUIRED FOR UNDERGROUND ELECTRIC, TELEPHONE & CABLE SERVICE.
  - ALL CATCH BASINS LOCATED IN THE PAVEMENT SHALL HAVE 5' SPIDER DRAINS ON EITHER SIDE OF THE CATCH BASIN ALONG THE CENTERLINE OF THE ROAD.
  - SEE MEP PLAN FOR EXACT LOCATION AND SIZE OF GAS SERVICE.
  - ALL WATER LINES SHALL BE PROVIDED WITH THRUST BLOCKING AT ALL TEES AND HORIZONTAL AND VERTICAL BENDS WHETHER SHOWN ON THE PLAN VIEW OR NOT. THRUST BLOCKING SHALL MEET THE REQUIREMENTS OF GCWW.
  - DRAINAGE AT WALLS TO BE COORDINATED WITH WALL DESIGN.
  - THE OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE POST CONSTRUCTION WATER QUALITY SYSTEMS ON THE SITE TO ENSURE PROPER FUNCTIONING OF THE SYSTEM AS A STORM WATER MANAGEMENT DEVICE.
  - LIGHT POLE (TYP.) • SEE ELECTRIC PLANS FOR DETAILS.



- SANITARY SEWER NOTES**
- ALL CONSTRUCTION AND MATERIALS FOR SANITARY SEWER MAINS SHALL BE IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE SANITATION DISTRICT #1.
  - PVC PIPE MATERIAL AND JOINTS SHALL CONFORM TO ASTM D-3034, LATEST REVISION. DUCTILE IRON PIPE MATERIAL AND JOINTS SHALL CONFORM TO AWWA C-151, LATEST REVISION.
  - SEWERS CROSSING WATERMAINS SHALL BE LAID TO PROVIDE A VERTICAL DISTANCE OF 18 INCHES BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATERMAIN IS EITHER ABOVE OR BELOW THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATERMAIN JOINTS. WHERE A WATERMAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO THE WATERMAIN.
  - SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATERMAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
  - CONTRACTOR SHALL PERFORM ALL EXCAVATING, BACKFILLING, FILLING AND GRADING, AND DISPOSING OF EARTH MATERIALS AS SPECIFIED BY SECTION 02220 OF SD1 STANDARD SPECIFICATIONS.
  - CONTRACTOR SHALL FURNISH AND INSTALL ALL PRECAST AND CAST-IN-PLACE MANHOLES, AND AIR RELEASE MANHOLES AS SPECIFIED BY SECTION 02606 OF SD1 STANDARD SPECIFICATIONS.
  - CONTRACTOR SHALL FURNISH, INSTALL AND TEST ALL BURIED PIPING & FITTINGS AS SPECIFIED BY SECTION 02610 OF SD1 STANDARD SPECIFICATIONS. ALL PIPE SHALL BE SDR 35 IF COVER IS LESS THAN 20' DEEP. IF COVER IS GREATER THAN 20', SDR 26 SHALL BE USED.
  - AT ALL MANHOLES WHERE A DROP INVERT IS PROPOSED, THE CONTRACTOR SHALL FILLET THE INVERT OF THE MANHOLE TO PREVENT SOLIDS DEPOSITION.
  - INVERT ELEVATIONS ARE MEASURED AT THE CENTERLINE OF THE STRUCTURES. REFER TO SD1 SPEC. SECTION 026010 FOR FLOWLINE REQUIREMENTS.

Plot time: Aug 04, 2023 - 11:36am  
 Drawing name: J:\2022\22-0059\CVDWG\22-0059 CD.dwg - Layout Tab: C4.0 Utility



Date	Drawn	Checked
08-04-23	JLT	RTK

Item	Revision Description
1	ISSUED TO CC P & Z
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**COLD SPRING POINTE**  
**STAGE II DEVELOPMENT PLAN**  
 CITY OF COLD SPRING  
 CAMPBELL COUNTY, KENTUCKY  
 OVERALL UTILITIES

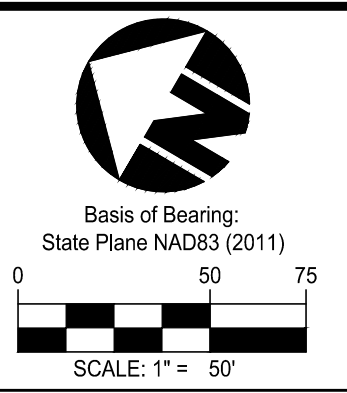
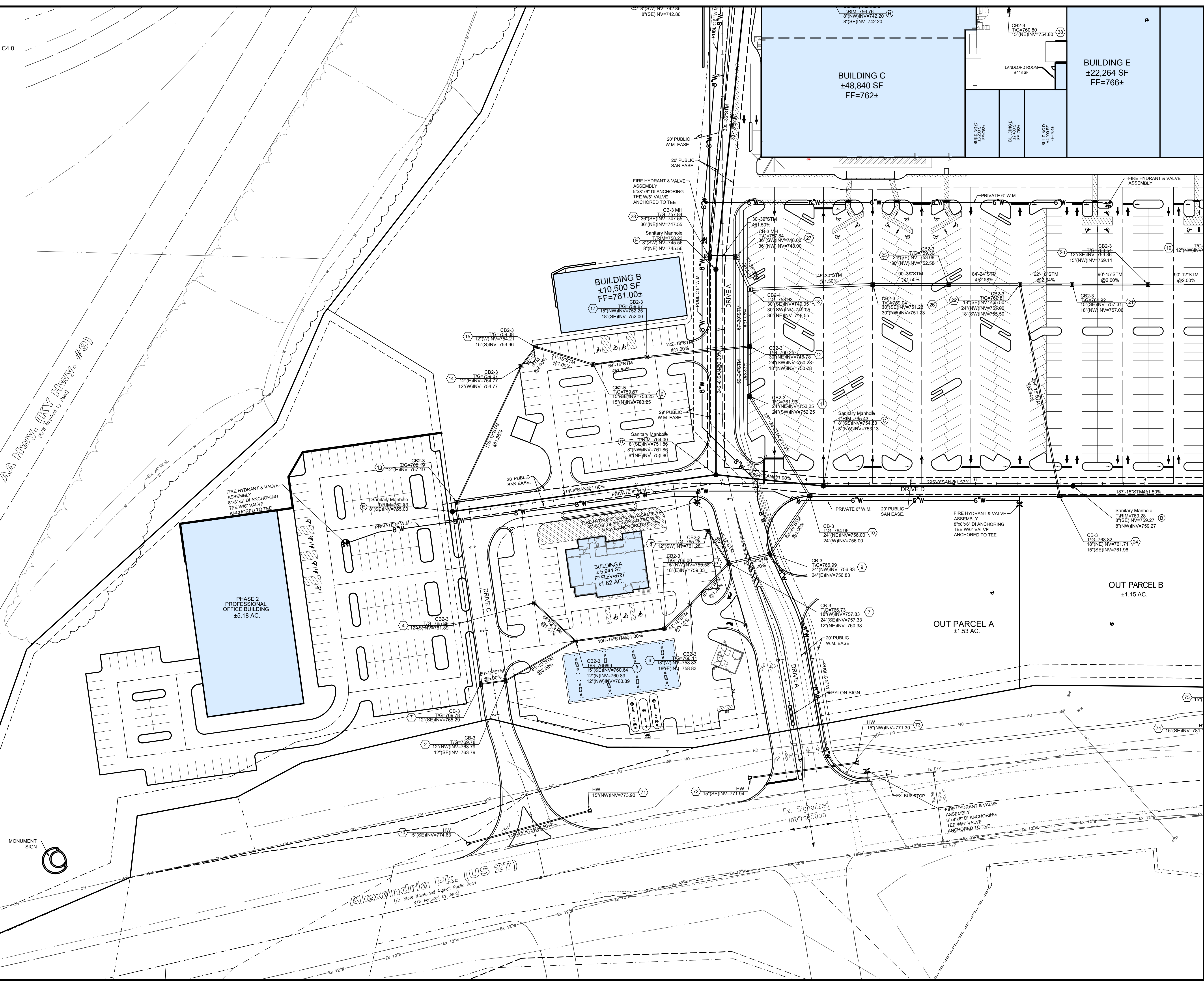
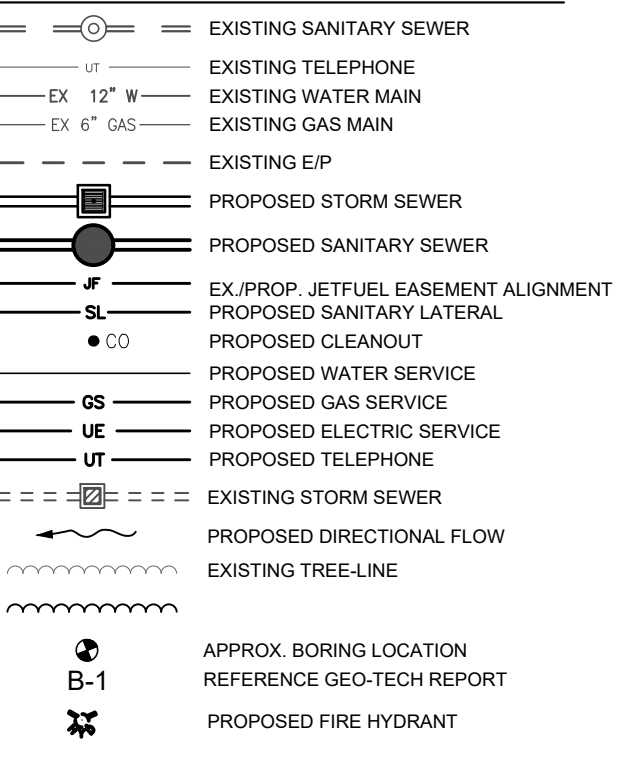
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Drawing:	22-0059 CD
Drawn by:	NJM
Checked by:	
Issue Date:	08-04-23

C4.0

**NOTES:**  
 1. SEE UTILITY NOTES ON SHEET C4.0.  
 2. SEE SANITARY SEWER NOTES ON SHEET C4.0.

**UTILITY PLAN LEGEND**



Item	Revision Description	Date	Drawn	Checked
1	ISSUED TO CC P & Z	08-04-23	JLR	RTK
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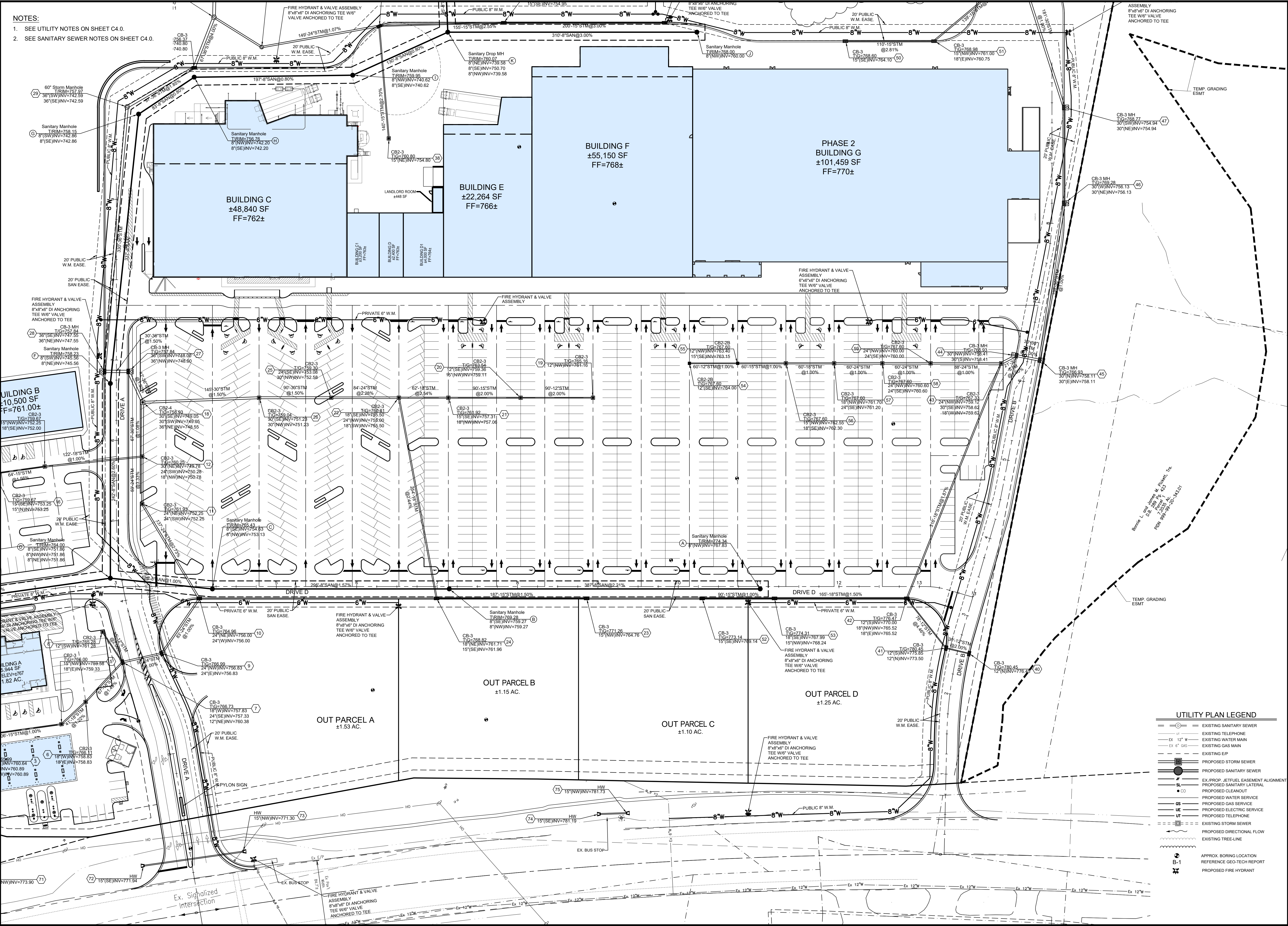
**COLD SPRING POINTE  
 STAGE II DEVELOPMENT PLAN  
 DETAILED UTILITIES**

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Drawing: 22-0059 CD  
 Drawn by: JLR  
 Checked by:  
 Issue Date: 08-04-23

Sheet:  
**C4.1**

Plot time: Aug 04, 2023 - 1:16pm  
 Drawing name: J:\2022\22-0059\CV\DWG\22-0059 CD.dwg - Layout Tab: C4.0 Utility



**NOTES:**  
 1. SEE UTILITY NOTES ON SHEET C4.0.  
 2. SEE SANITARY SEWER NOTES ON SHEET C4.0.

Basis of Bearing:  
 State Plane NAD83 (2011)

0 50 75  
 SCALE: 1" = 50'

Date	Drawn:	Chk:	Revision Description
08-04-23	JLR	RTK	

Item	Issued To	CC	PC	PC #
1	ISSUED TO CC	PC # 2		
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**COLD SPRING POINTE  
 STAGE II DEVELOPMENT PLAN**  
 CITY OF COLD SPRING,  
 CAMPBELL COUNTY, KENTUCKY

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Drawing: 22-0059 CD  
 Drawn by: JLR  
 Checked by:  
 Issue Date: 08-04-23

Sheet:  
**C4.2**

**UTILITY PLAN LEGEND**

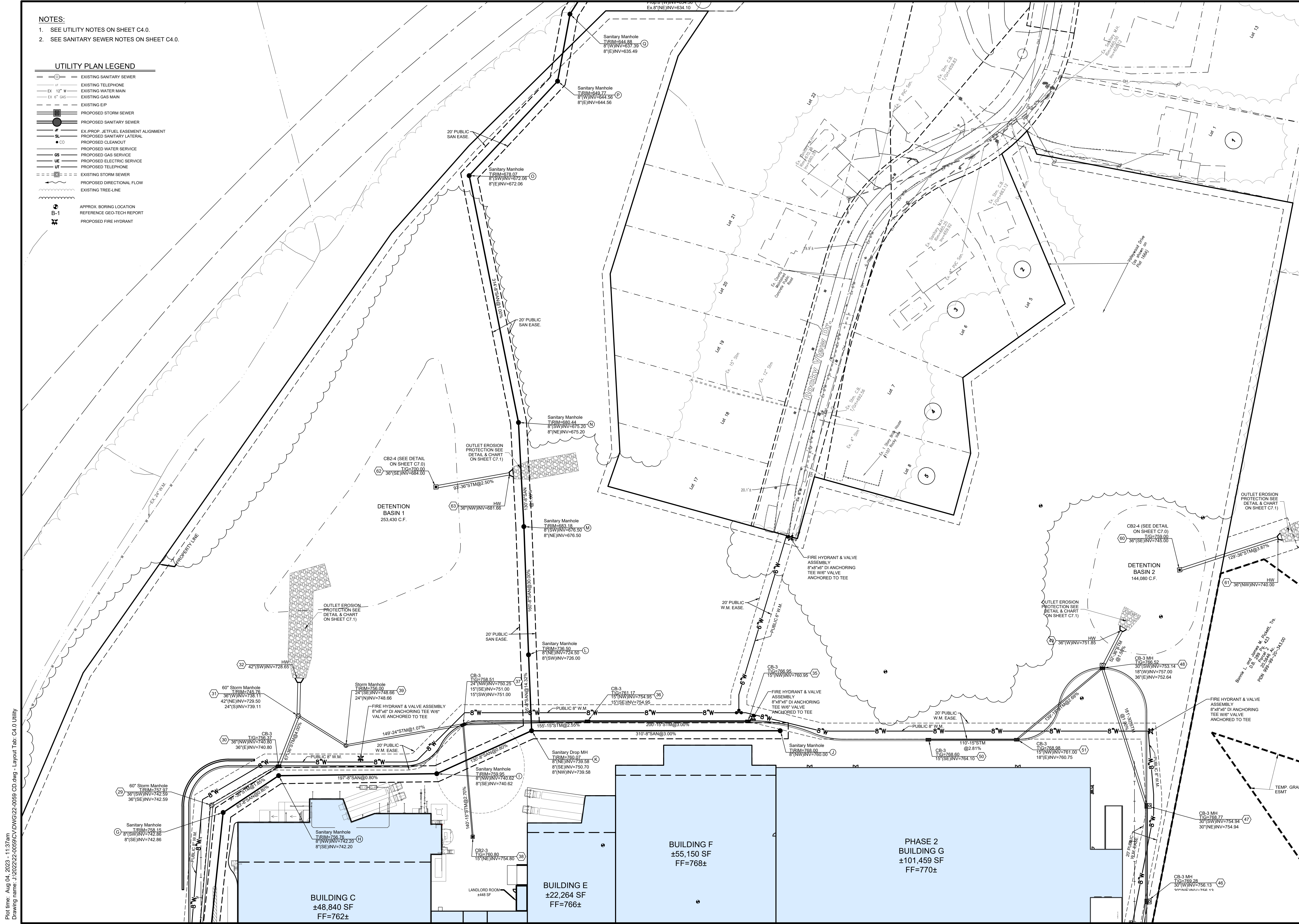
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	EXISTING TELEPHONE
	EXISTING WATER MAIN
	EXISTING GAS MAIN
	EXISTING EP
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY LATERAL ALIGNMENT
	PROPOSED CLEANOUT
	PROPOSED WATER SERVICE
	PROPOSED ELECTRIC SERVICE
	PROPOSED TELEPHONE
	EXISTING STORM SEWER
	EXISTING DIRECTIONAL FLOW
	EXISTING TREE-LINE
	APPROX. BORING LOCATION
	REFERENCE GEO-TECH REPORT
	PROPOSED FIRE HYDRANT

Plot time: Aug 04, 2023 - 1:17pm  
 Drawing name: J:\2022\22-0059\CD\DWG\22-0059 CD.dwg - Layout Tab: C4.0 Utility  
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- NOTES:**
- SEE UTILITY NOTES ON SHEET C4.0.
  - SEE SANITARY SEWER NOTES ON SHEET C4.0.

**UTILITY PLAN LEGEND**

	EXISTING SANITARY SEWER
	EXISTING TELEPHONE
	EXISTING WATER MAIN
	EXISTING GAS MAIN
	EXISTING EIP
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	EX. PROP. EASEMENT ALIGNMENT
	PROPOSED SANITARY LATERAL
	PROPOSED CLEANOUT
	PROPOSED WATER SERVICE
	PROPOSED GAS SERVICE
	PROPOSED ELECTRIC SERVICE
	PROPOSED TELEPHONE
	EXISTING STORM SEWER
	PROPOSED DIRECTION FLOW
	EXISTING TREE-LINE
	APPROX. BORING LOCATION
	REFERENCE GEO-TECH REPORT
	PROPOSED FIRE HYDRANT



Basis of Bearing: State Plane NAD83 (2011)
   
 SCALE: 1" = 50'

Date	Drawn	Checked	Revision Description
08-04-23	JLR	RTK	

**COLD SPRING POINTE**  
**STAGE II DEVELOPMENT PLAN**  
 CITY OF COLD SPRING  
 CAMPBELL COUNTY, KENTUCKY  
**DETAILED UTILITIES**

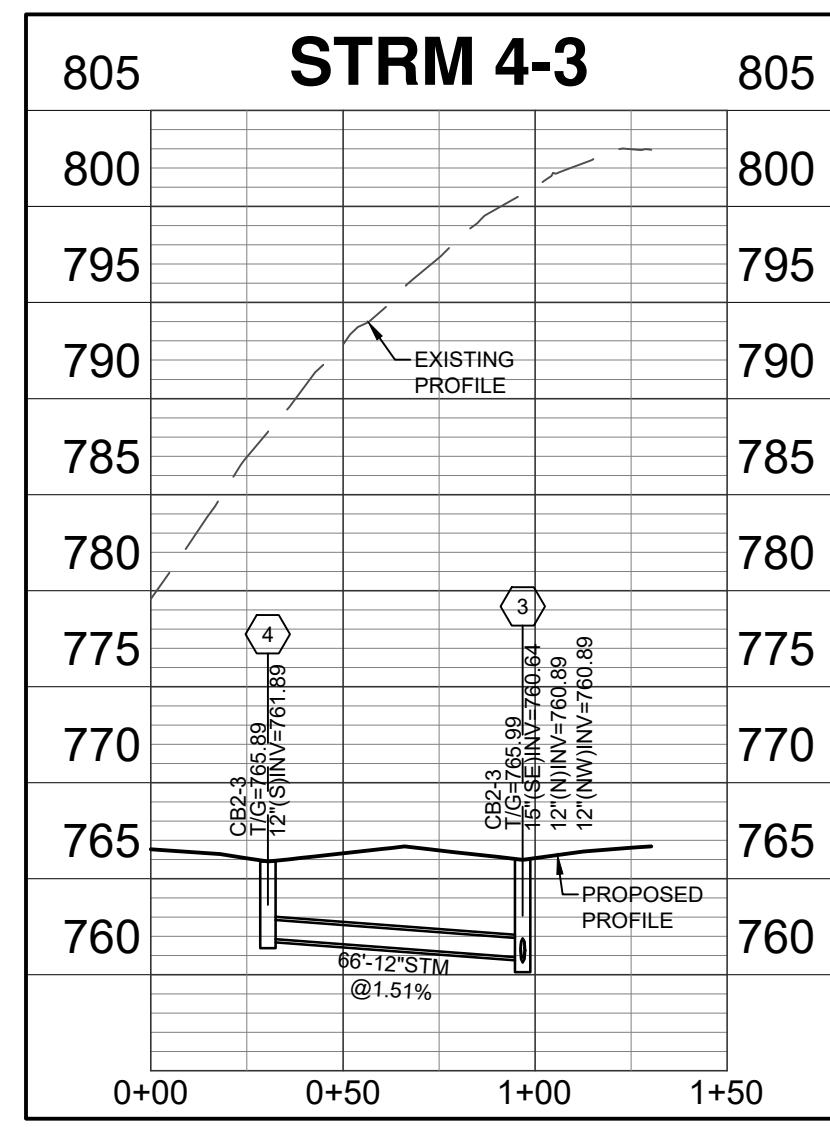
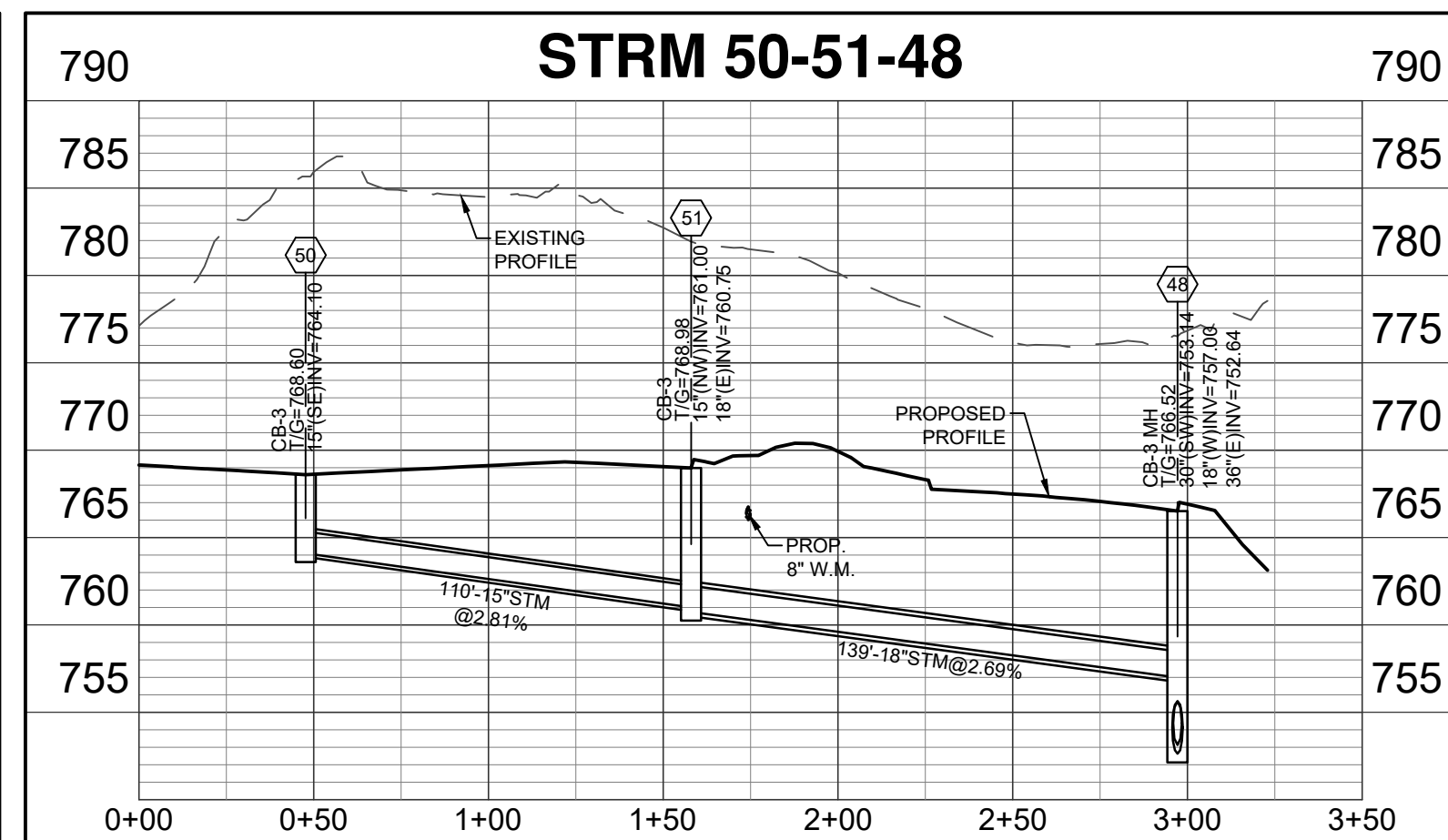
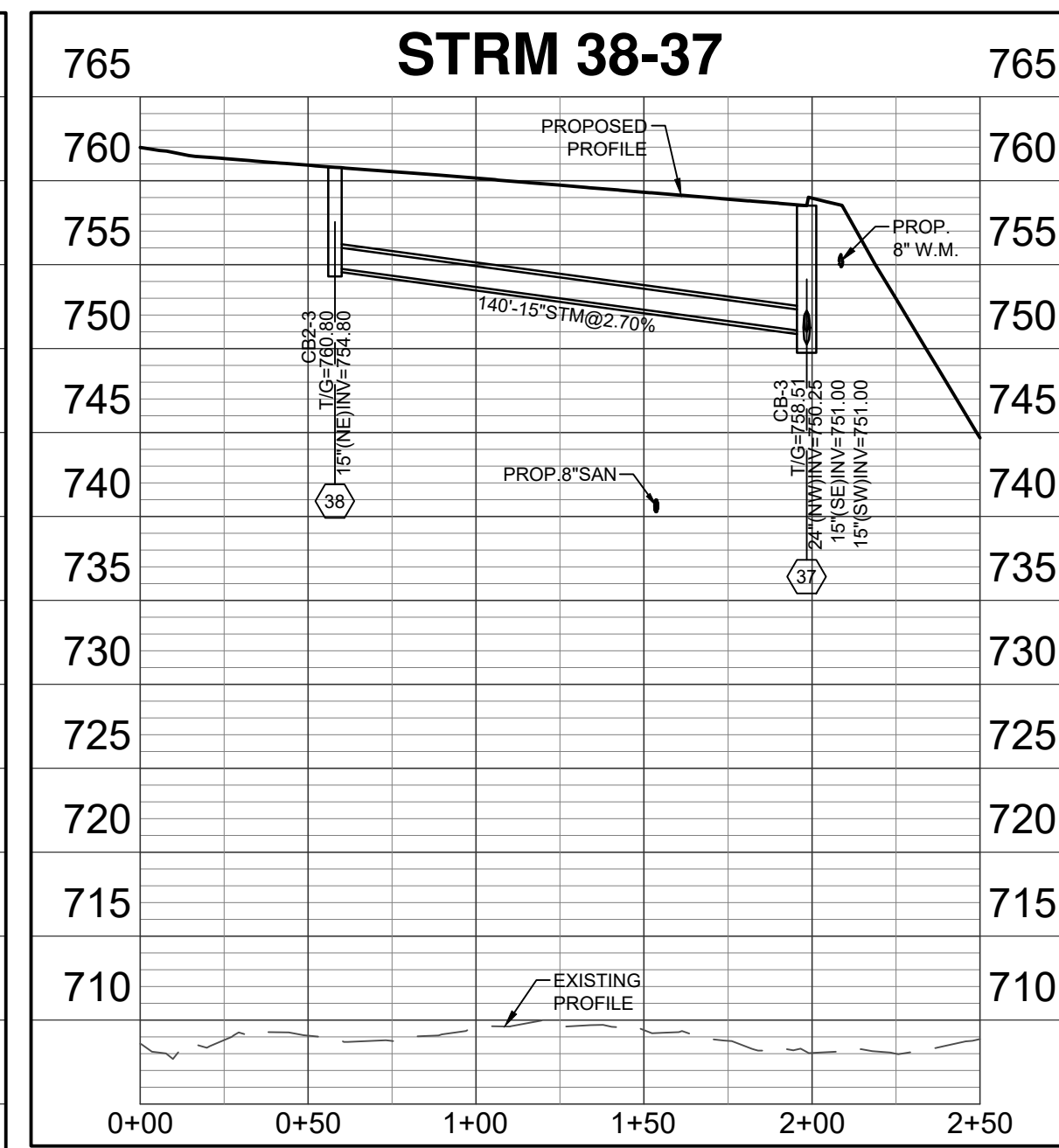
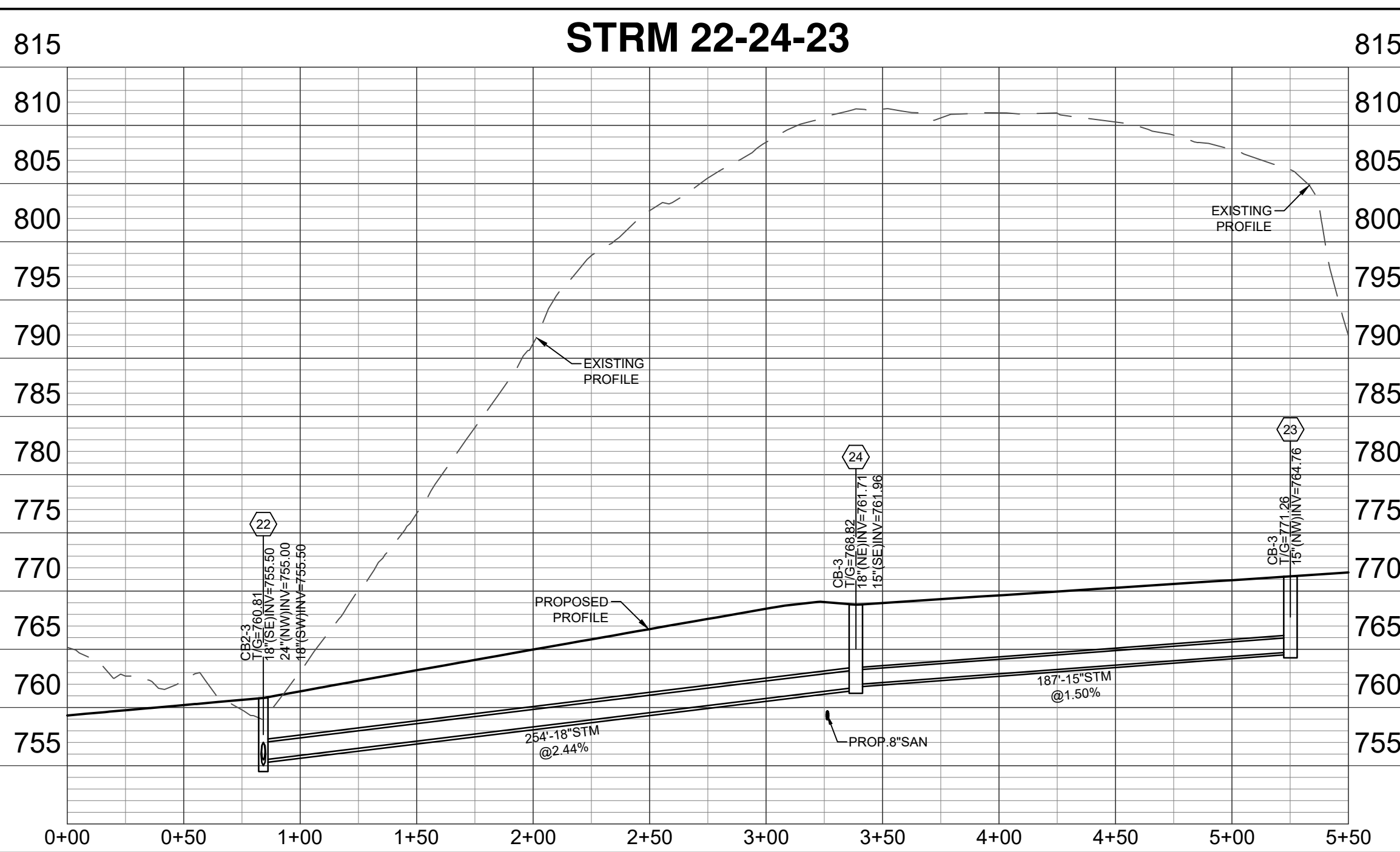
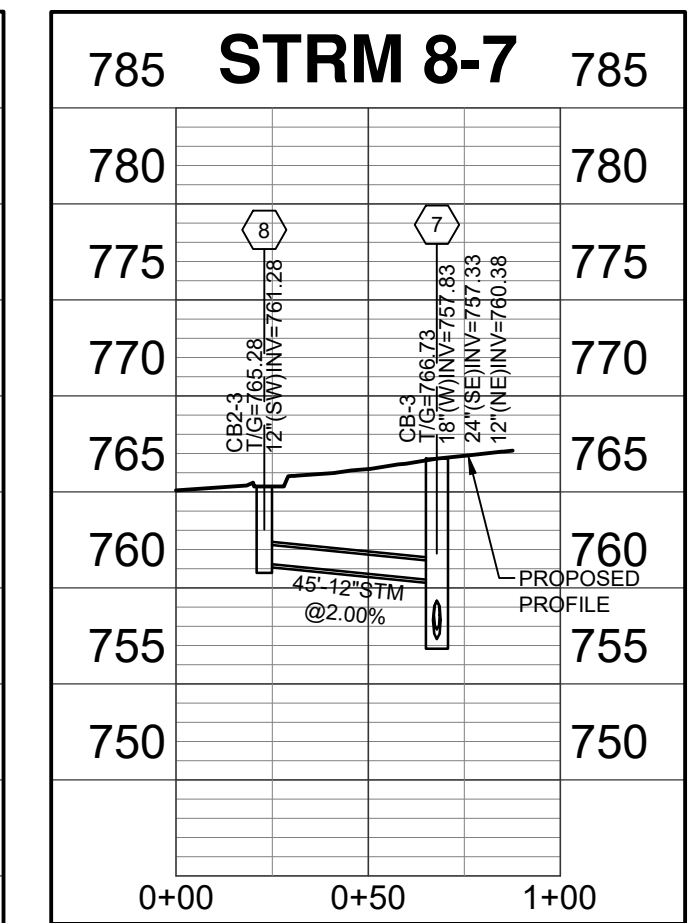
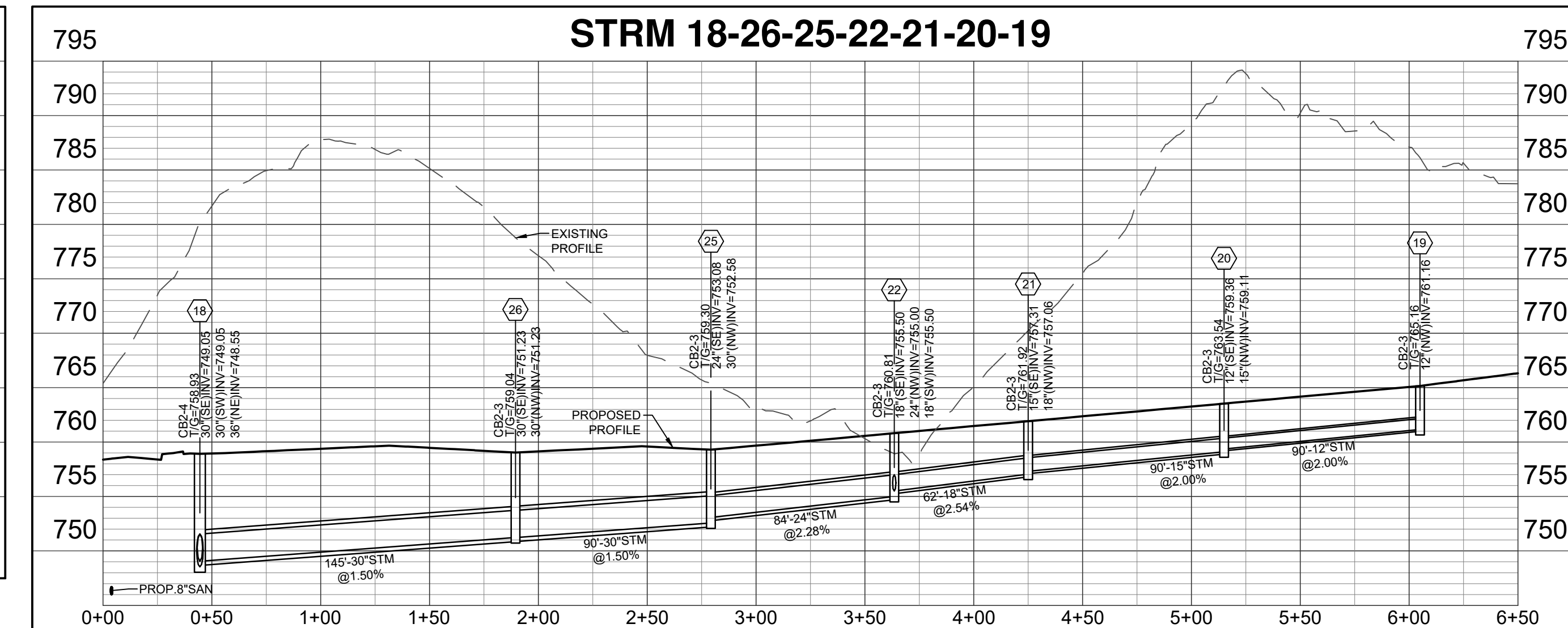
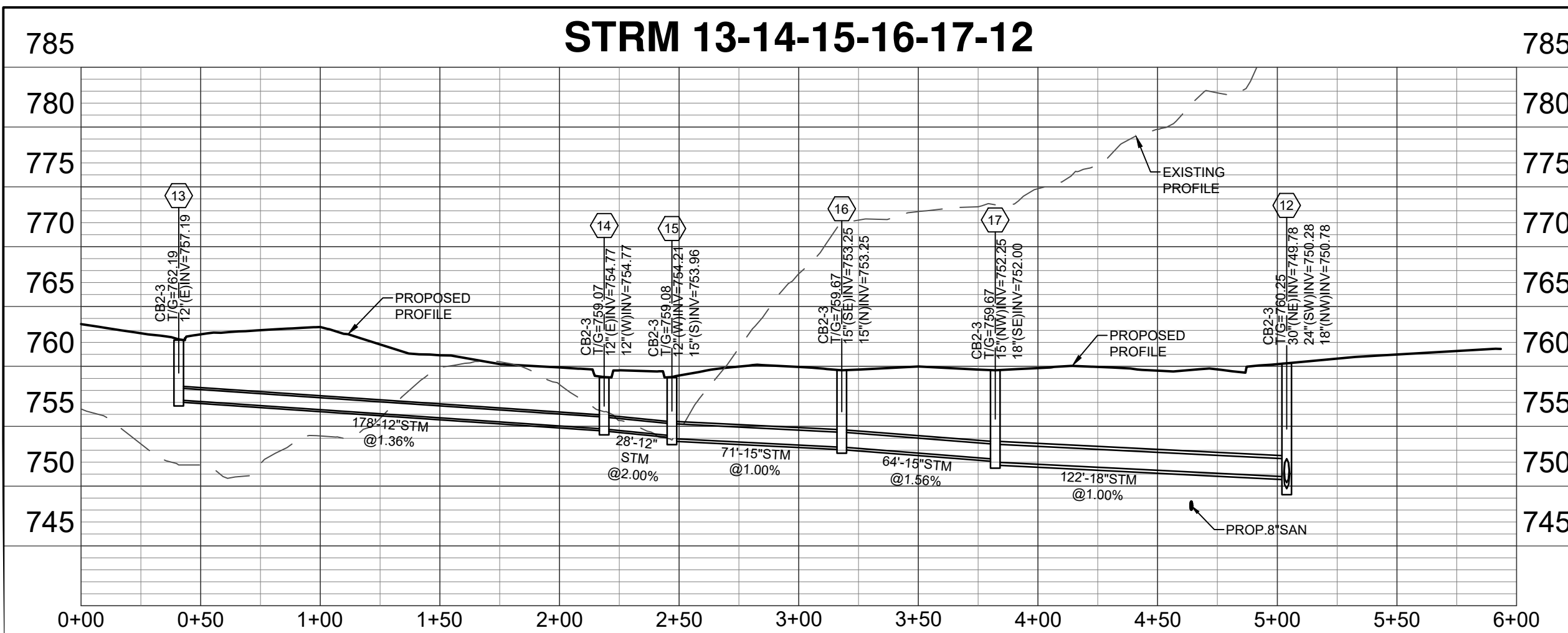
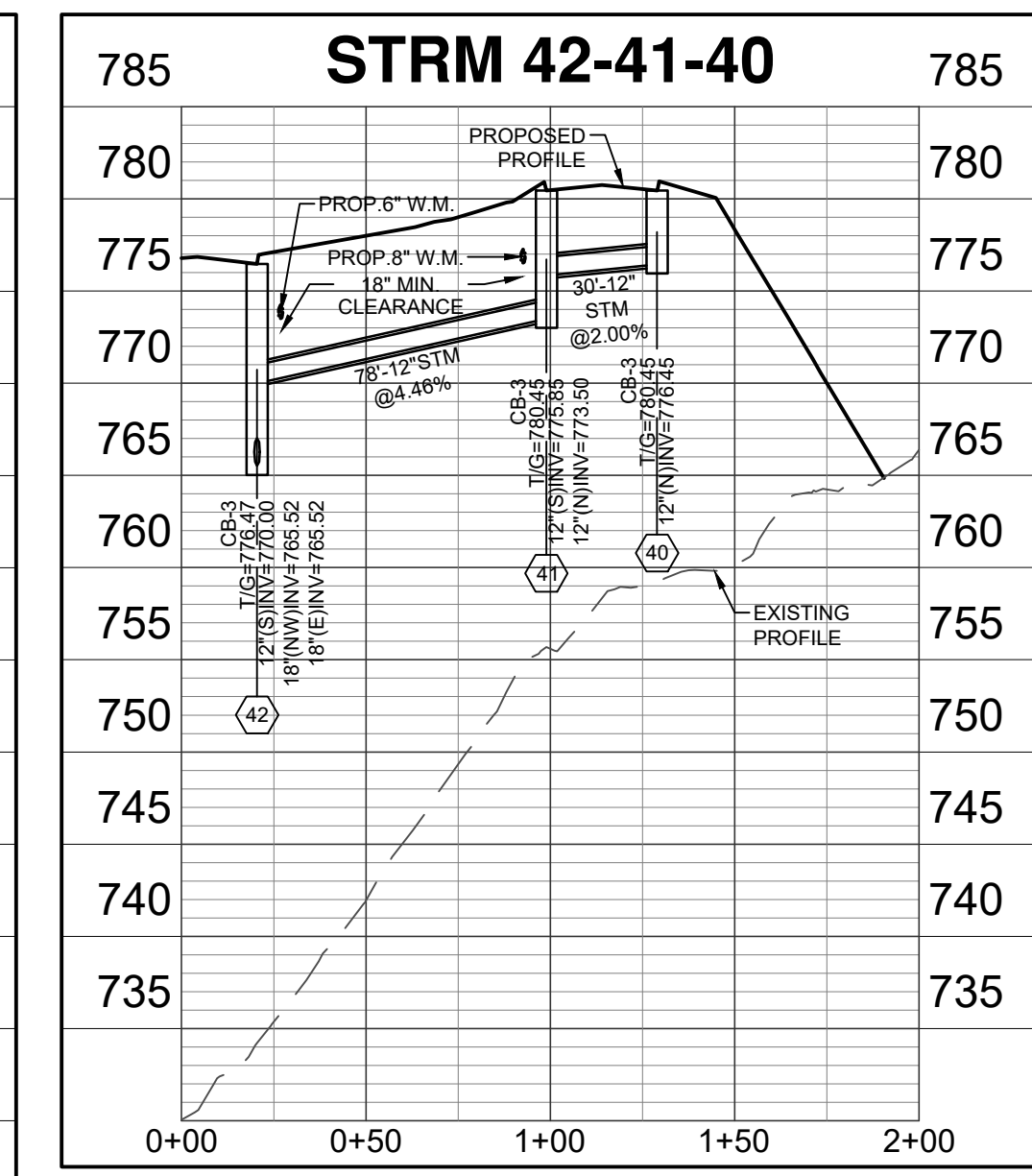
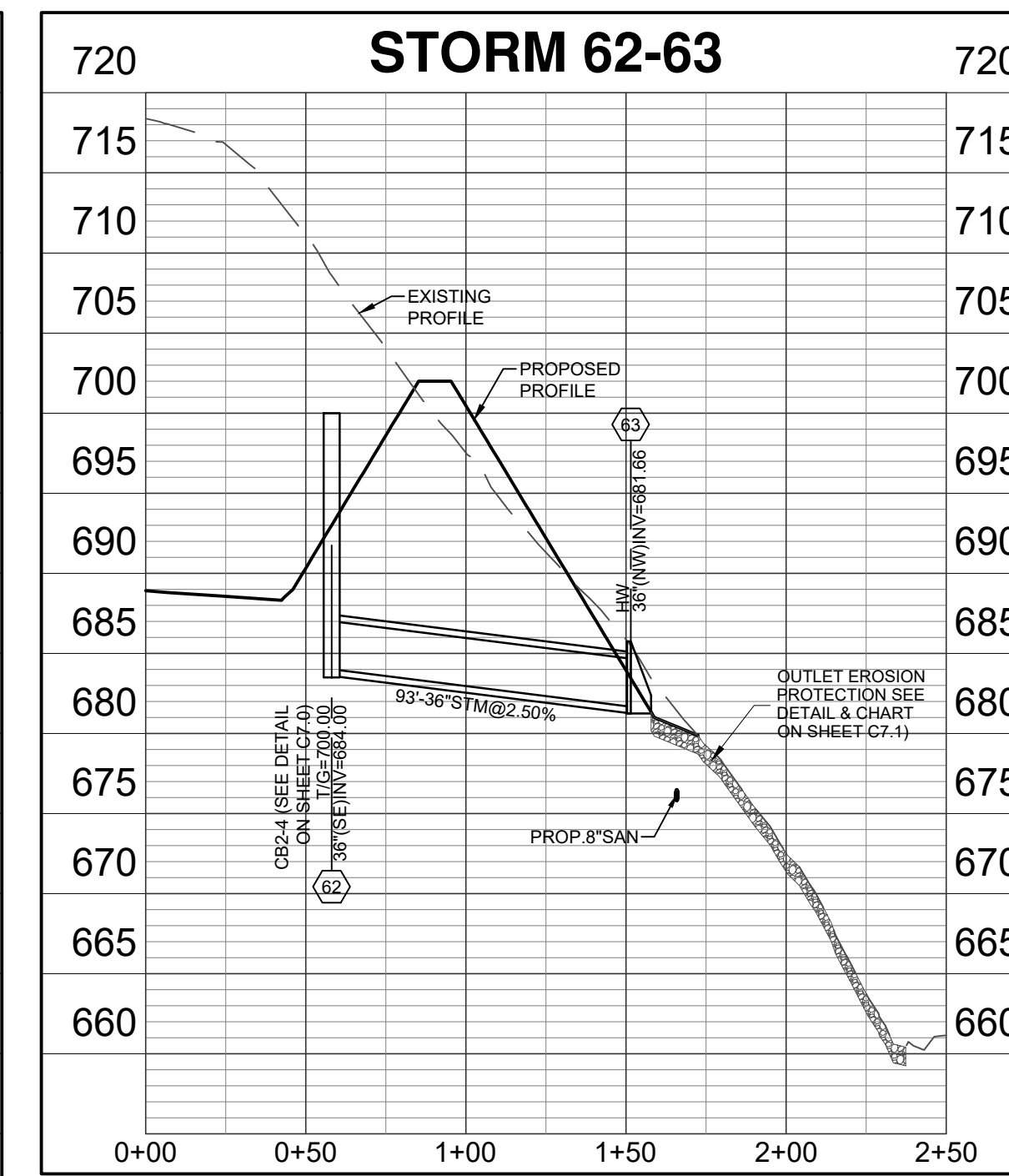
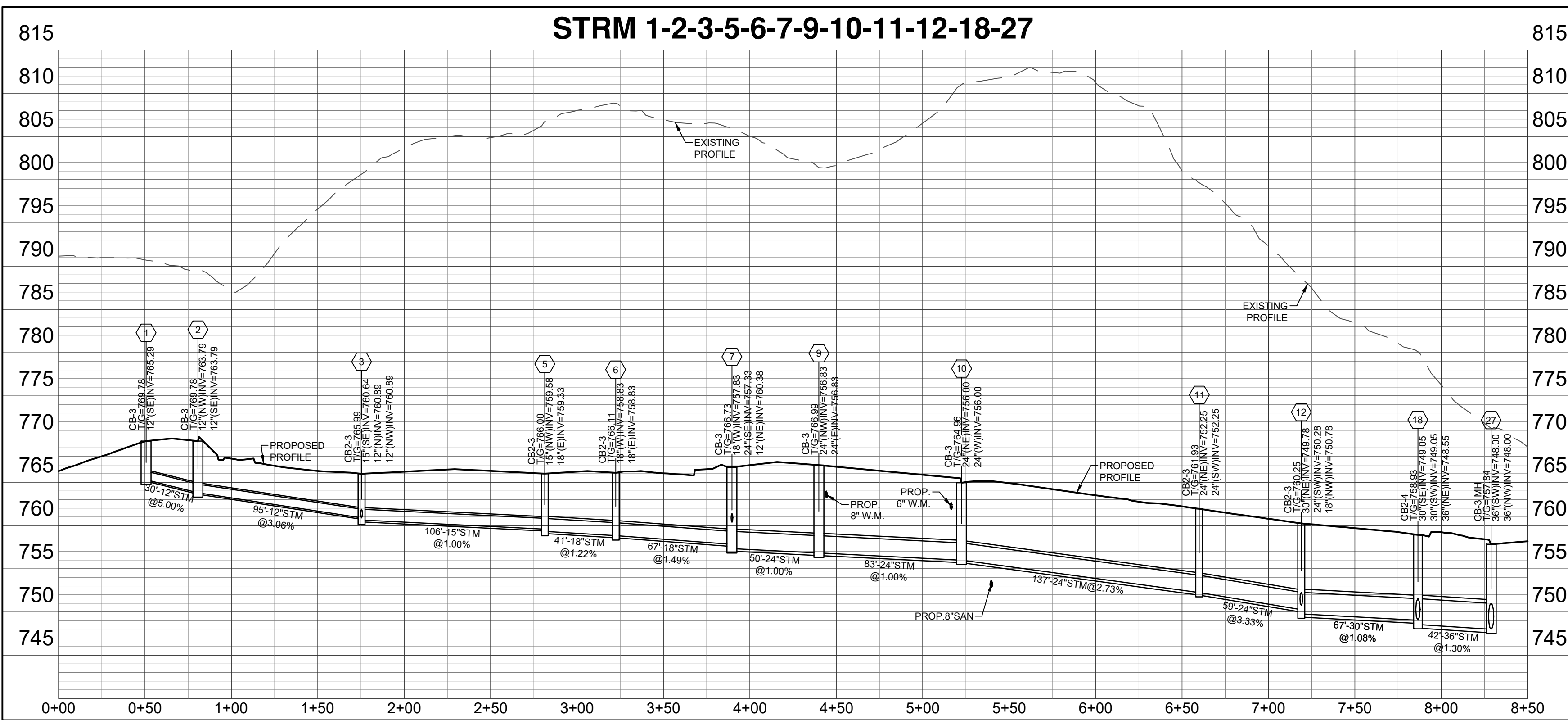
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Drawing:	22-0059 CD
Drawn by:	JLR
Checked by:	
Issue Date:	08-04-23

**C4.3**

Plot time: Aug 04, 2023 - 11:37am  
 Drawing name: J:\2022\22-0059\CD\DWG\22-0059 CD.dwg - Layout Tab: C4.0 Utility

Plot time: Aug 04, 2023 - 12:03pm  
 Drawing name: J:\2022\22-0059\CAD\DWG\22-0059 CD.dwg - Layout Tab: C5.0 Profiles



- UTILITY & GRADING NOTES:**
- ALL STRUCTURE ELEVATIONS SHOWN ARE AT THE CENTER OF STRUCTURE, WALL OPENING ELEVATIONS VARY BASED ON PIPE SLOPE.
  - PIPE LENGTHS AND SLOPES ARE BASED ON CENTER OF STRUCTURE TO CENTER OF STRUCTURE LENGTHS.
  - ALL MATERIALS SHALL MEET MANUFACTURER SPECIFICATIONS FOR WALL THICKNESS (GAGE) BASED ON COVER AND SURCHARGE.
  - ALL FILL PLACED BENEATH THE PUBLICLY DEDICATED SANITARY SEWER SHALL BE COMPLETED PER SD1 SPECIFICATIONS. TESTING VERIFICATION FOR THIS AREA SHALL BE PROVIDED TO SD1 PRIOR TO ACCEPTANCE OF THE SANITARY SEWER.

**PROPOSED STORM SEWER LEGEND**

DuroMaxx = STEEL REINFORCED THERMOPLASTIC RIBBED PIPE PER ODOT S888 (n=0.012)

RPC = REINFORCED CONCRETE PIPE, CLASS IV (n=0.009 OR LESS)

PVC = POLYVINYL CHLORIDE TYPE B PIPE (n=0.009 OR LESS)

ADS=ADVANCED DRAINAGE SYSTEMS OR APPROVED EQUAL

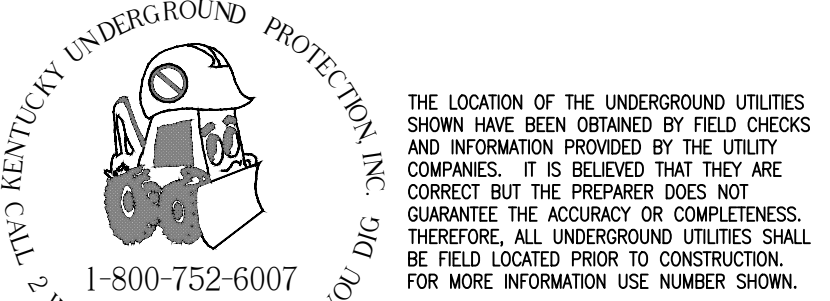
HDPE = HIGH DENSITY POLYETHYLENE PIPE (HDPE) CORRUGATED SMOOTH LINED PIPE, ODOT TYPE B CONDUIT (n=0.012 OR LESS)

ULTRA = ALUMINIZED STEEL TYPE II ULTRA-FLO PIPE (n=0.012 OR LESS)

STM = HDPE or PVC or ULTRA-FLO PIPE (n=0.012 OR LESS)

ALL MATERIALS SHALL MEET MANUFACTURER'S SPECIFICATIONS FOR WALL THICKNESS (GAGE) BASED ON COVER AND SURCHARGE.

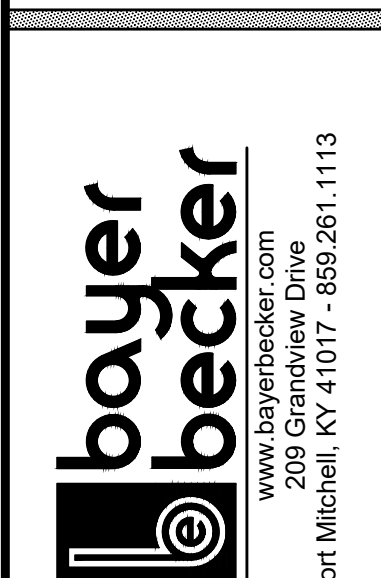
**BURIED UTILITIES NOTE:**  
 All above ground features have been field located. All buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.



SCALES:  
 1"=50' HOR  
 1"=10' VER

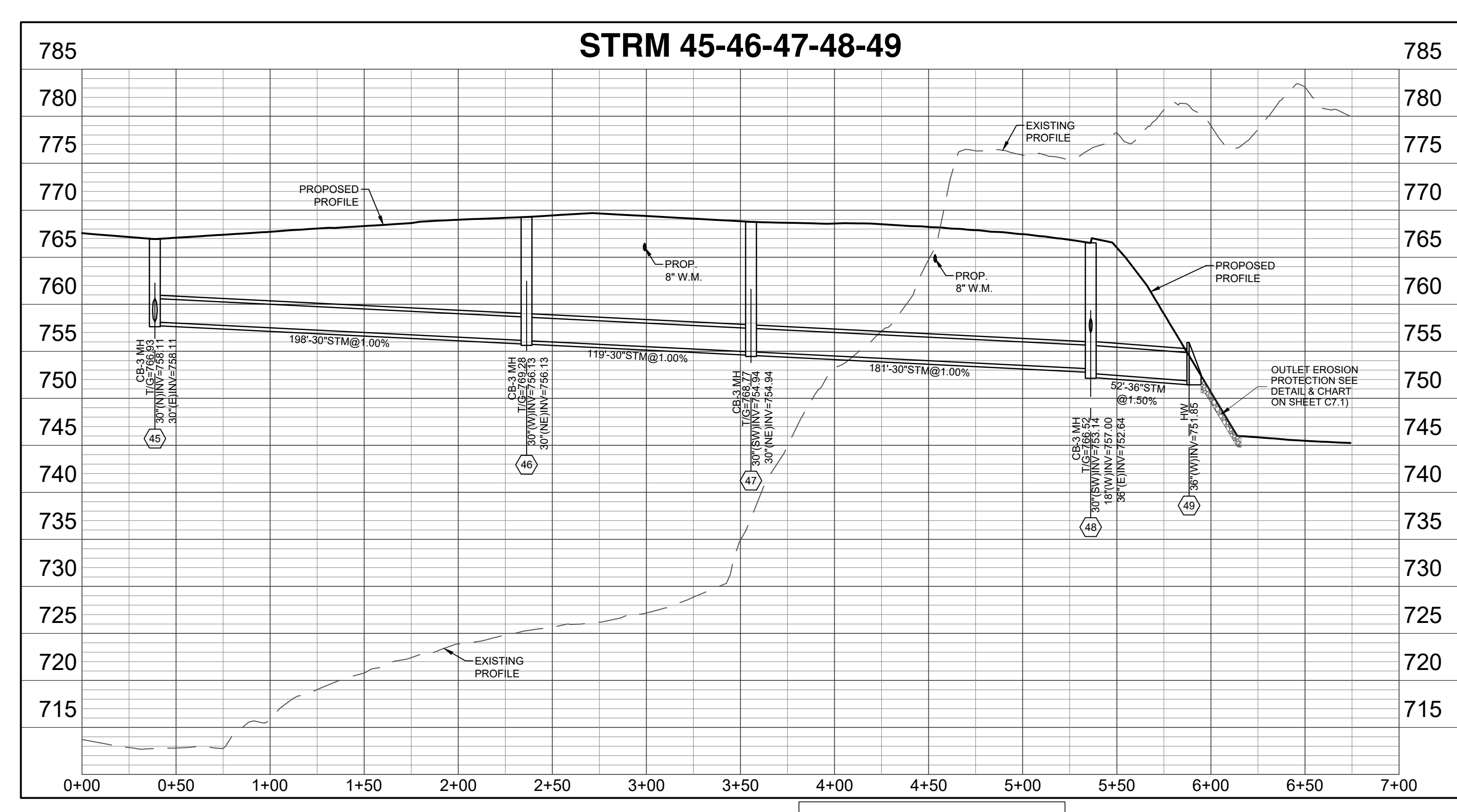
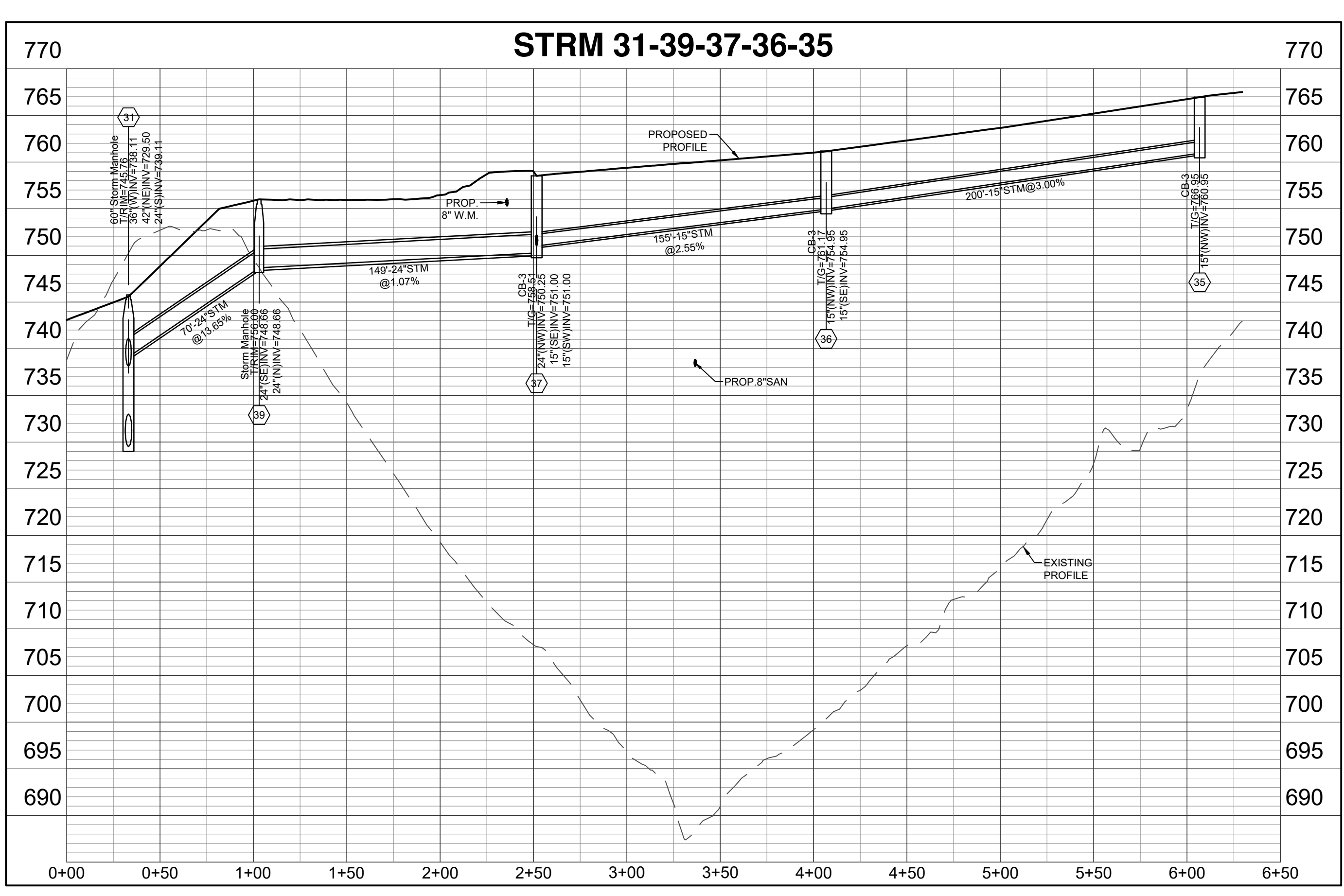
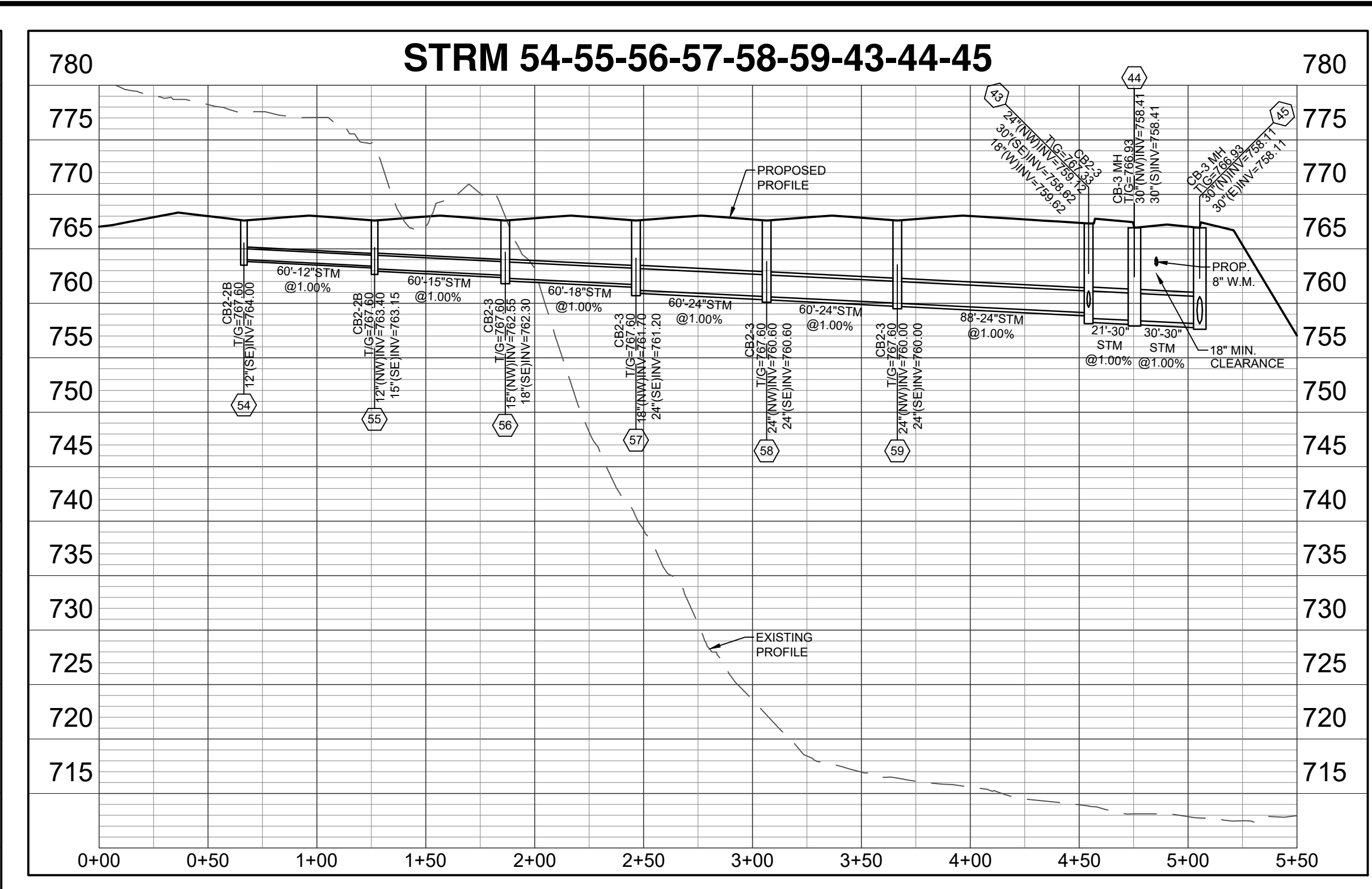
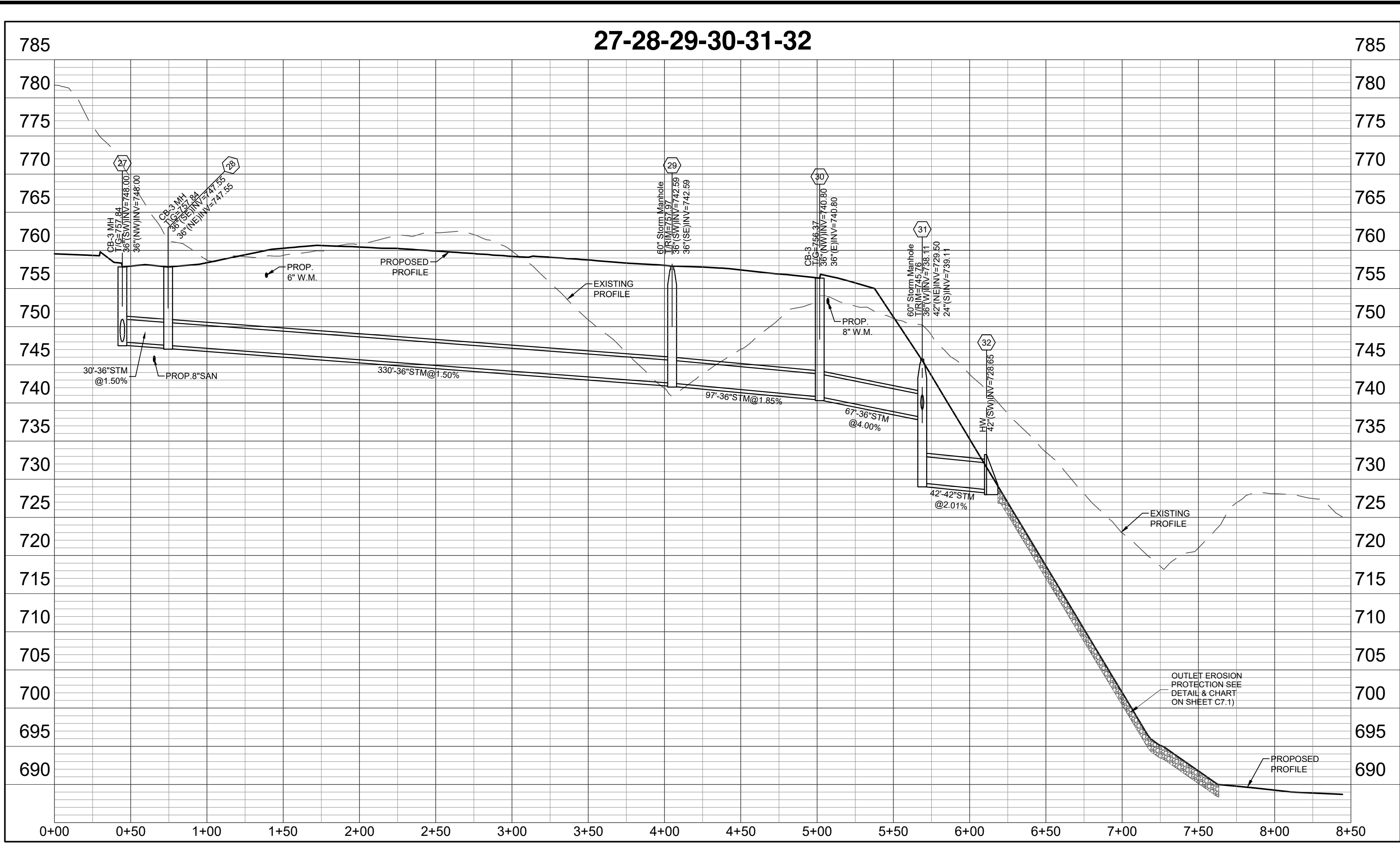
Date	Chk:	Revision Description
08-04-23	JLR	1 ISSUED TO C.C.P. & Z.
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**COLD SPRING POINTE  
 STAGE II DEVELOPMENT PLAN**  
 CITY OF COLD SPRING  
 CAMPBELL COUNTY, KENTUCKY



Drawing: 22-0059 CD  
 Drawn by: JLR  
 Checked by:  
 Issue Date: 08-04-23

Sheet: **C5.0**



- UTILITY NOTES:**
- ALL STORM SEWERS AS SHOWN ARE PRIVATE UNLESS OTHERWISE SHOWN.
  - ALL STRUCTURE ELEVATIONS SHOWN ARE AT THE CENTER OF STRUCTURE, WALL OPENING ELEVATIONS VARY BASED ON PIPE SLOPE.
  - PIPE LENGTHS AND SLOPES ARE BASED ON CENTER OF STRUCTURE TO CENTER OF STRUCTURE LENGTHS.

**BURIED UTILITIES NOTE:**  
All above ground features have been field located. All buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.

**PROPOSED STORM SEWER LEGEND**

DuroMax = STEEL REINFORCED THERMOPLASTIC RIBBED PIPE PER CDDT 53938. (n=0.012)

RCP = REINFORCED CONCRETE PIPE, CLASS IV (n=0.012 OR LESS)

PVC = POLYVINYL CHLORIDE TYPE B PIPE. (n=0.009 OR LESS)

ADS = ADVANCED DRAINAGE SYSTEMS™ OR APPROVED EQUAL

HDPE = HIGH DENSITY POLYETHYLENE PIPE (HDPE) CORRUGATED SMOOTH LINED PIPE. CDDT TYPE B CONDUIT. (n=0.012 OR LESS)

ULTRA = ALUMINIZED STEEL TYPE II ULTRA-FLO PIPE. (n=0.012 OR LESS)

STM = HDPE or PVC or ULTRA-FLO PIPE. (n=0.012 OR LESS)

ALL MATERIALS SHALL MEET MANUFACTURERS' SPECIFICATIONS FOR WALL THICKNESS (GAGE) BASED ON COVER AND SURCHARGE.



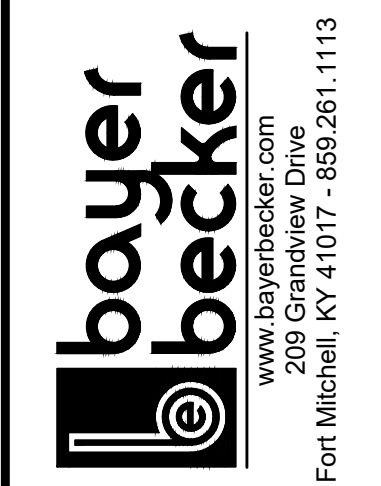
THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN HAVE BEEN OBTAINED BY FIELD CHECKS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES. IT IS BELIEVED THAT THEY ARE CORRECT BUT THE PREPARER DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS. THEREFORE, ALL UNDERGROUND UTILITIES SHALL BE FIELD LOCATED PRIOR TO CONSTRUCTION. FOR MORE INFORMATION USE NUMBER SHOWN.

SCALES:  
1"=50' HOR  
1"=10' VER

Date	Drawn	Chk.	RTK
08-04-23	JLR		

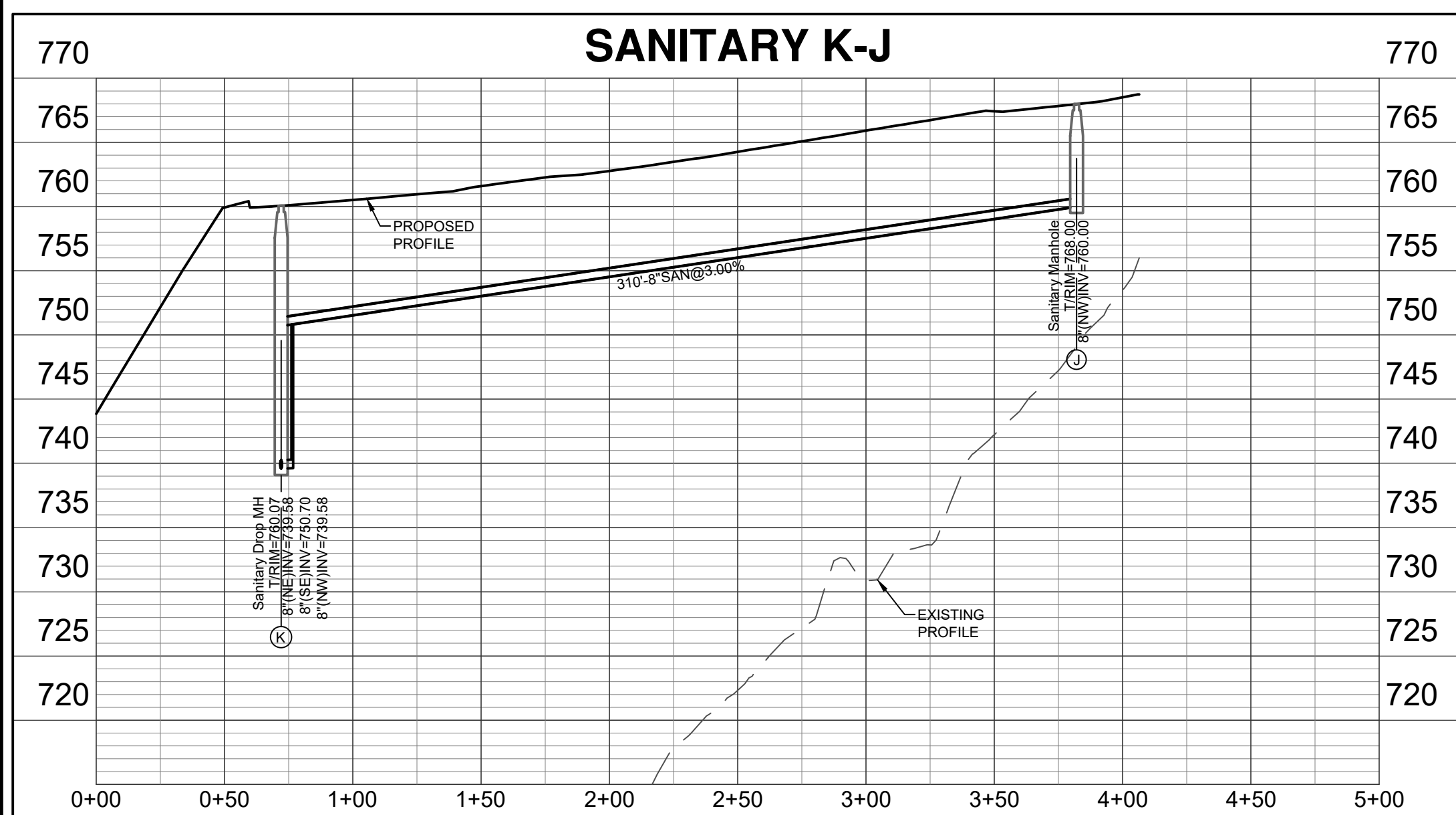
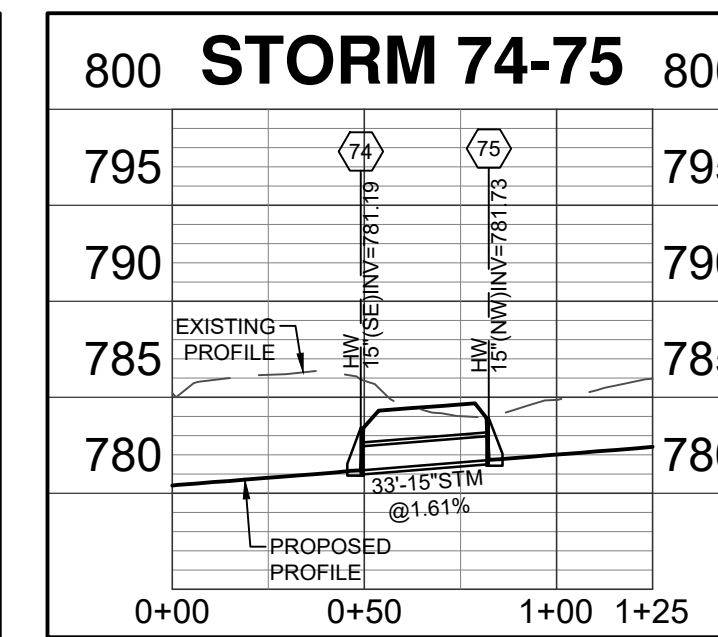
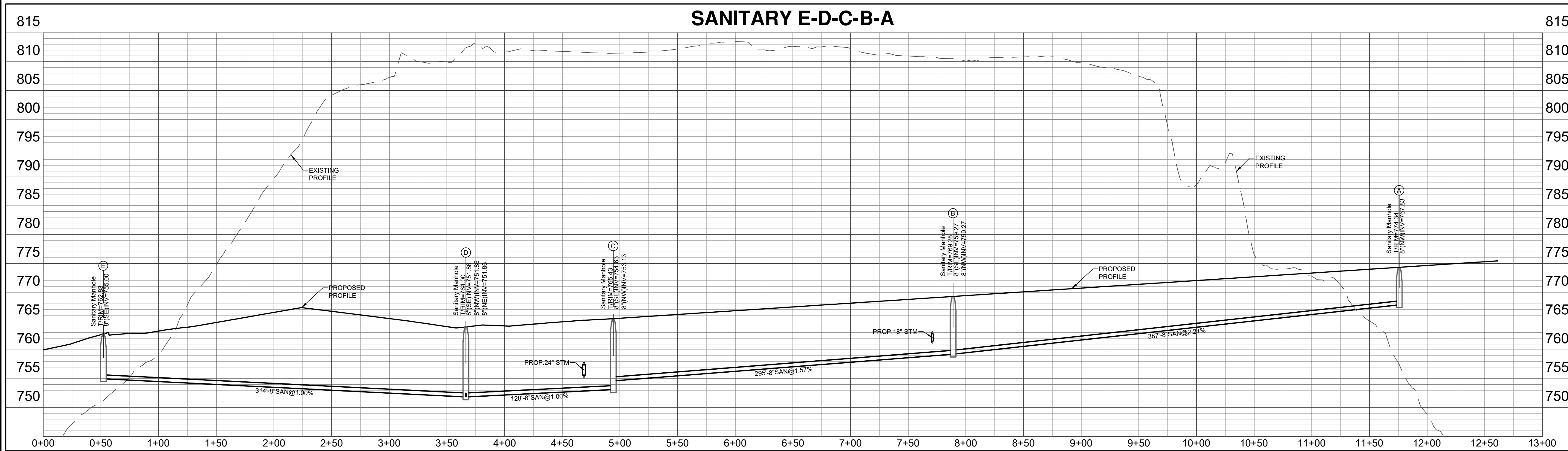
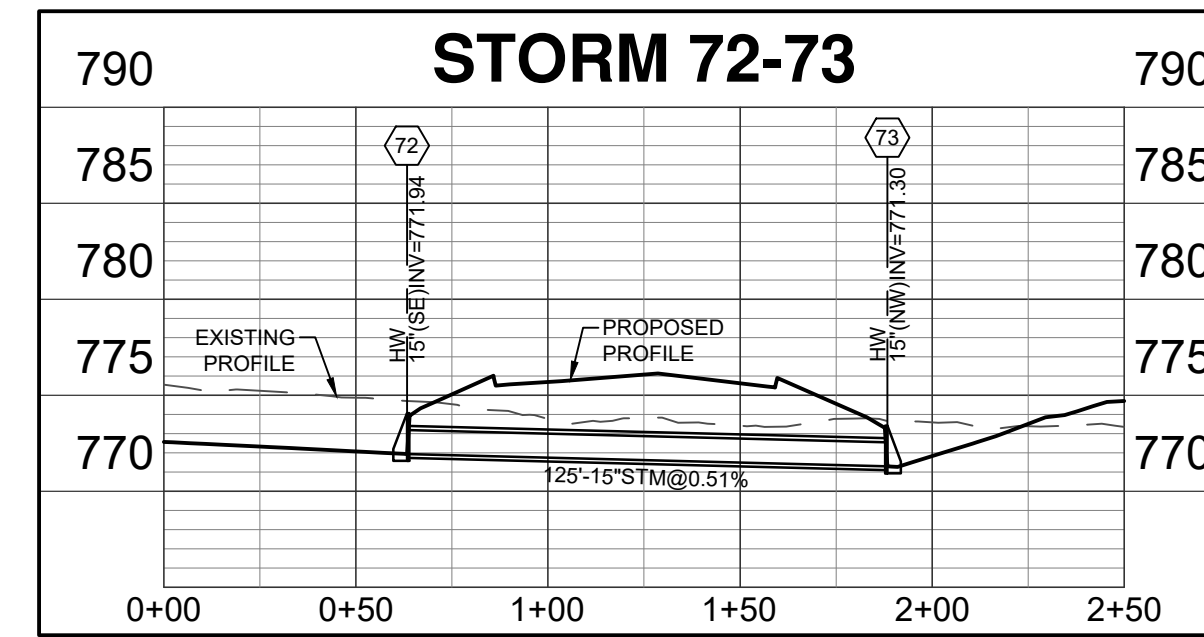
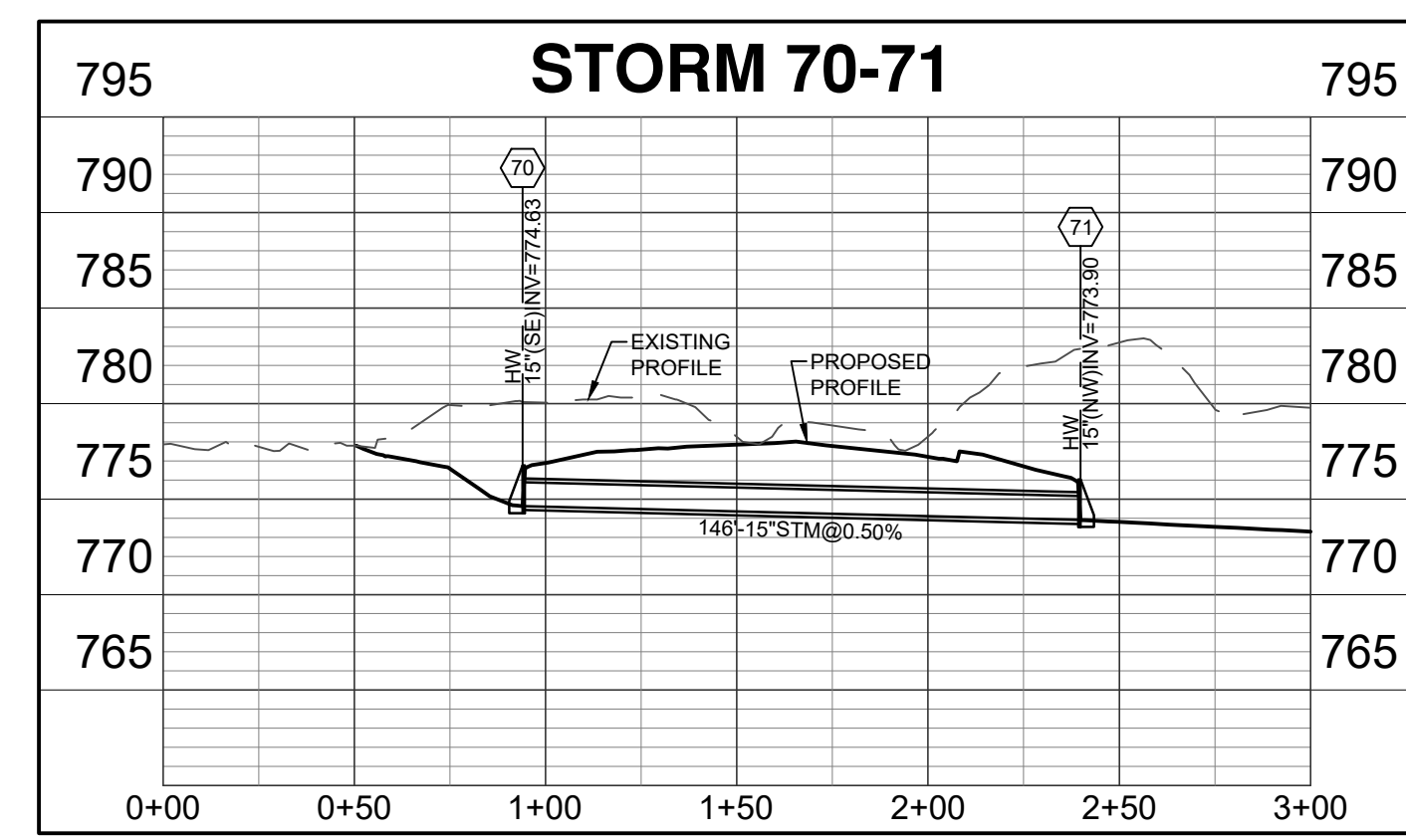
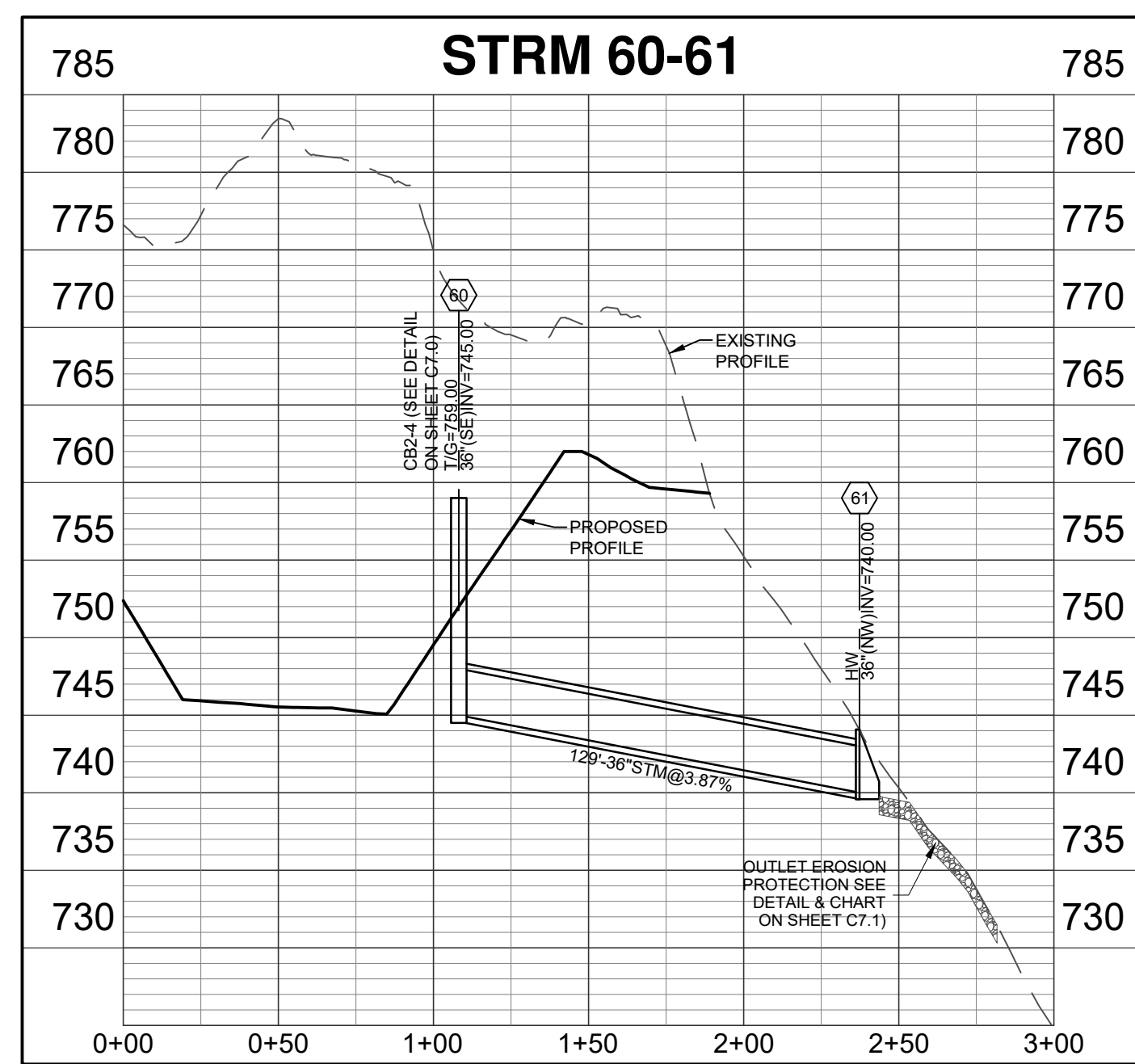
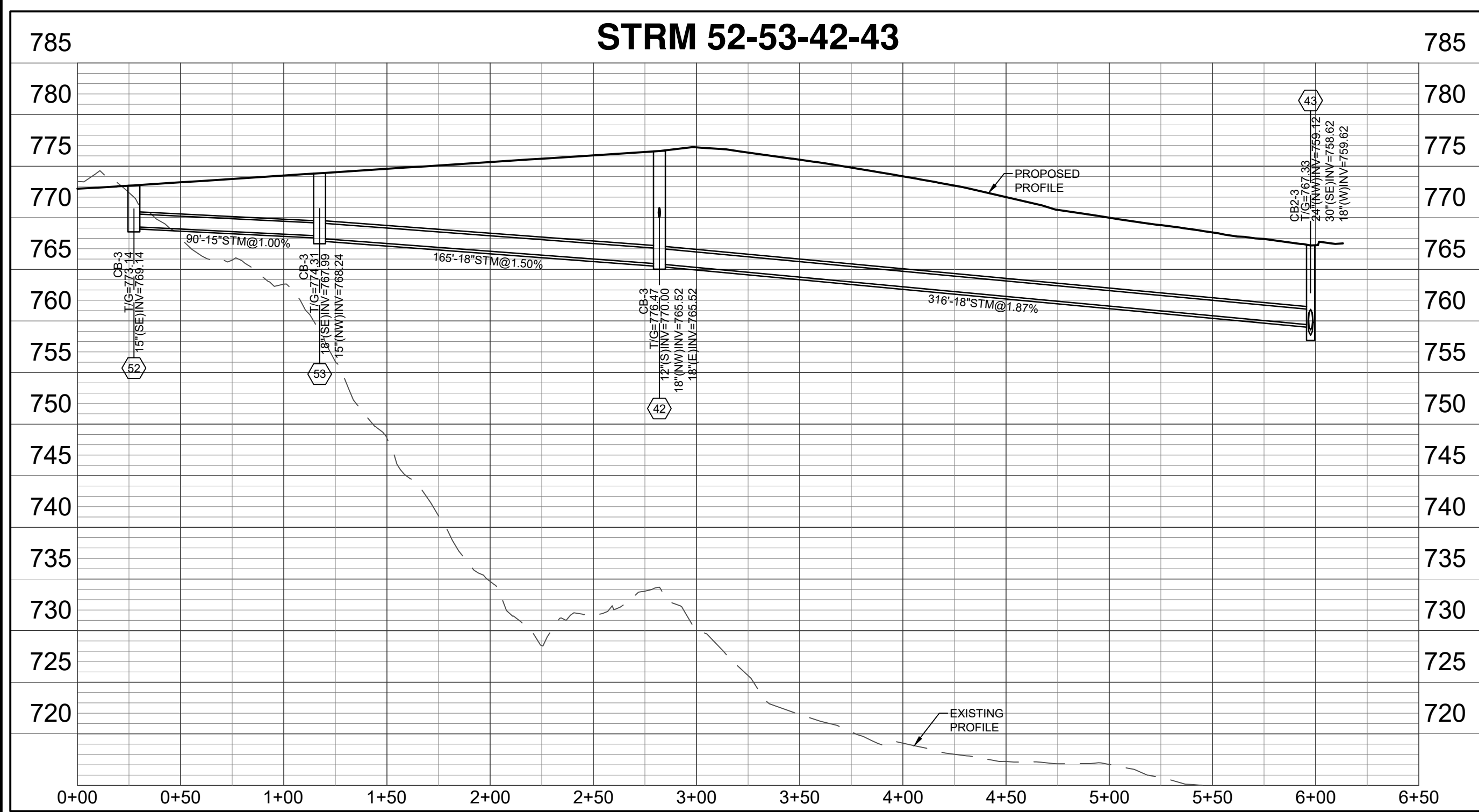
Item	Revision Description
1	ISSUED TO C.C.P. & Z.
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**COLD SPRING POINTE  
STAGE II DEVELOPMENT PLAN  
CITY OF COLD SPRING,  
CAMPBELL COUNTY, KENTUCKY**



Drawing:	22-0059 CD
Drawn by:	JLR
Checked by:	
Issue Date:	08-04-23

Sheet:  
**C5.1**



SCALES:  
 1"=50' HOR  
 1"=10' VER

Date	Drawn	Chk	RTK
08-04-23	JLR		

Item	Revision Description
1	ISSUED TO C.C.P. & Z.
2	
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**COLD SPRING POINTE  
 STAGE II DEVELOPMENT PLAN  
 CITY OF COLD SPRING  
 CAMPBELL COUNTY, KENTUCKY  
 UTILITY PROFILES**

www.bayerbecker.com  
 209 Grandview Drive  
 Fort Mitchell, KY 41017 - 859.281.1113

Drawing: 22-0059 CD  
 Drawn by: JLR  
 Checked by:  
 Issue Date: 08-04-23  
 Sheet: **C5.2**

- UTILITY NOTES:**
- ALL STORM SEWERS AS SHOWN ARE PRIVATE UNLESS OTHERWISE SHOWN.
  - ALL STRUCTURE ELEVATIONS SHOWN ARE AT THE CENTER OF STRUCTURE. WALL OPENING ELEVATIONS VARY BASED ON PIPE SLOPE.
  - PIPE LENGTHS AND SLOPES ARE BASED ON CENTER OF STRUCTURE TO CENTER OF STRUCTURE LENGTHS.
  - SEE SHEET C4.0 FOR SANITARY SEWER NOTES.

**BURIED UTILITIES NOTE:**  
 All above ground features have been field located. All buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.

**PROPOSED STORM SEWER LEGEND**

DuroMax = STEEL REINFORCED THERMOPLASTIC RIBBED PIPE per CDOT 53938. (n=0.012)

RCP = REINFORCED CONCRETE PIPE, CLASS IV (n=0.012 OR LESS)

PVC = POLYVINYL CHLORIDE TYPE B PIPE. (n=0.009 OR LESS)

ADS=ADVANCED DRAINAGE SYSTEMS™ OR APPROVED EQUAL.

HDPE = HIGH DENSITY POLYETHYLENE PIPE (HDPE) CORRUGATED SMOOTH LINED PIPE. (n=0.012 OR LESS)

ULTRA = ALUMINIZED STEEL TYPE II ULTRA-FLO PIPE. (n=0.012 OR LESS)

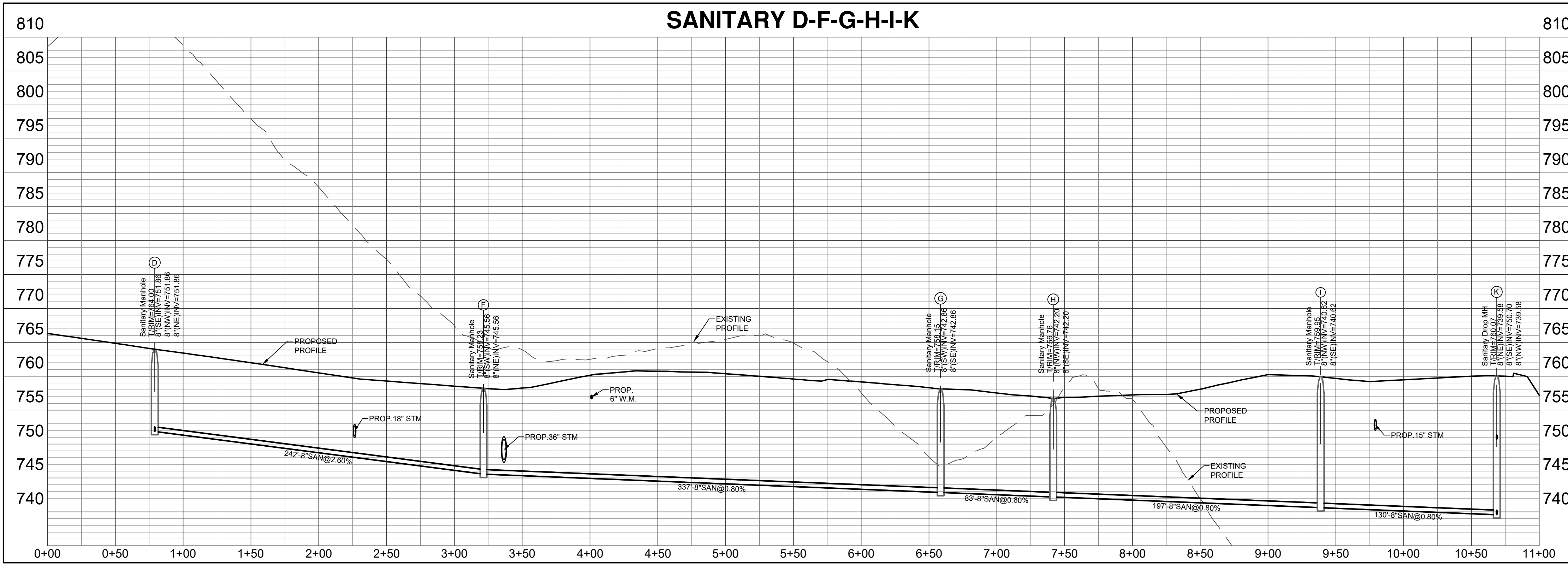
STM = HDPE OR PVC OR ULTRA-FLO PIPE. (n=0.012 OR LESS)

ALL MATERIALS SHALL MEET MANUFACTURERS SPECIFICATIONS FOR WALL THICKNESS (GAGE) BASED ON COVER AND SURCHARGE.

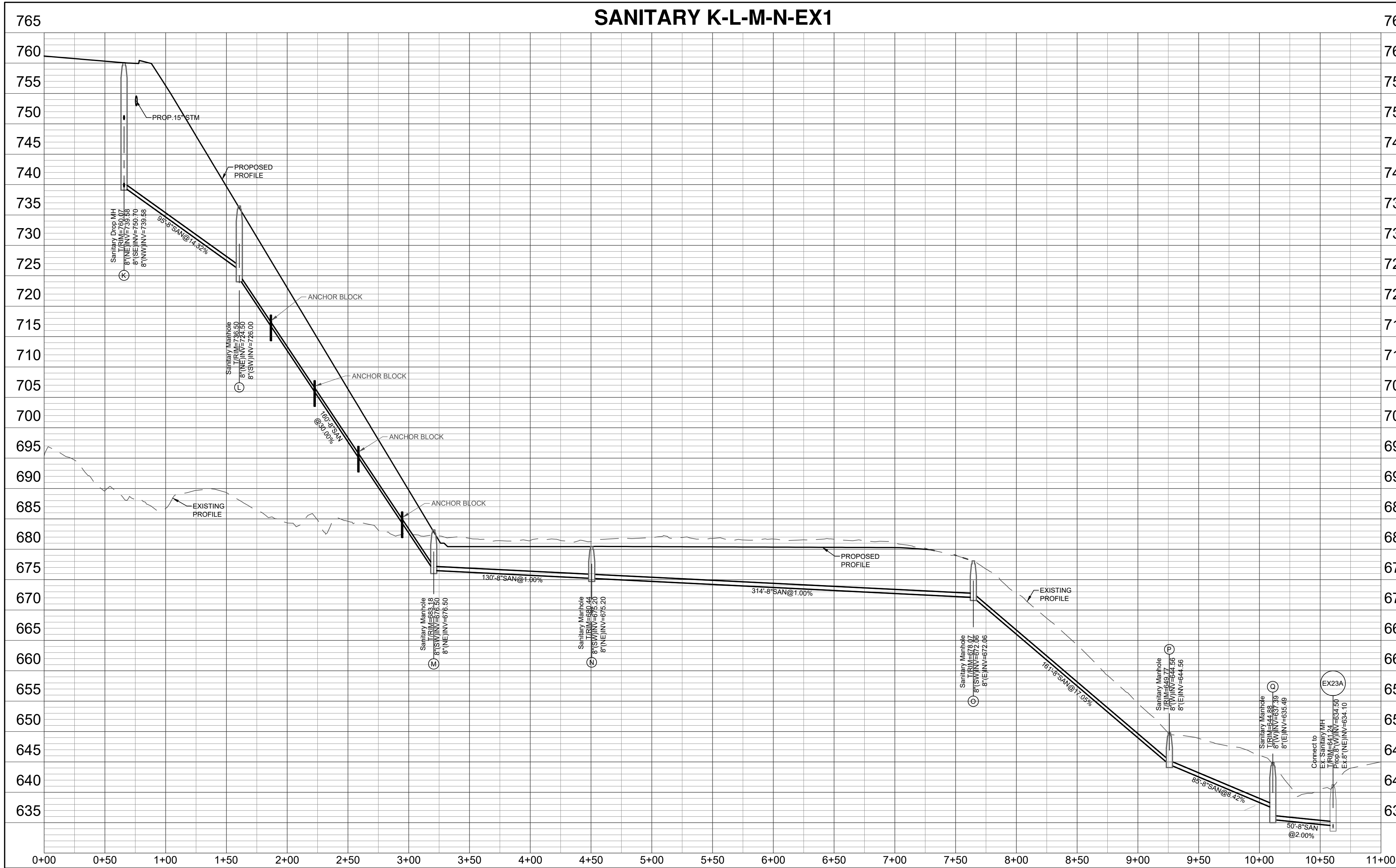


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### SANITARY D-F-G-H-I-K



### SANITARY K-L-M-N-EX1



- UTILITY NOTES:**
1. ALL STORM SEWERS AS SHOWN ARE PRIVATE UNLESS OTHERWISE SHOWN.
  2. ALL STRUCTURE ELEVATIONS SHOWN ARE AT THE CENTER OF STRUCTURE, WALL OPENING ELEVATIONS VARY BASED ON PIPE SLOPE.
  3. PIPE LENGTHS AND SLOPES ARE BASED ON CENTER OF STRUCTURE TO CENTER OF STRUCTURE LENGTHS.
  4. SEE SHEET C4.0 FOR SANITARY SEWER NOTES.

**BURIED UTILITIES NOTE:**  
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1"=50' HOR  
1"=10' VER

Date	Drawn	Checked	Revision Description
08-04-23	JLR	RTK	

**COLD SPRING POINTE  
STAGE II DEVELOPMENT PLAN**  
CITY OF COLD SPRING  
CAMPELL COUNTY, KENTUCKY  
UTILITY PROFILES



Drawing:	22-0059 CD
Drawn by:	JLR
Checked by:	
Issue Date:	08-04-23

Sheet:  
**C5.3**



- GRADING NOTES:**
1. ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
  2. ALL CUT AND FILL SLOPES SHALL HAVE A MAXIMUM 3:1 SLOPE UNLESS OTHERWISE SHOWN ON PLANS OR AS RECOMMENDED BY THE PROJECT GEOTECHNICAL ENGINEER.
  3. PROPOSED EROSION CONTROL MEASURES SHOWN ARE AS A MINIMUM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY ADDITIONAL MEASURES AND/OR REVISING BMP'S AS DEEMED NECESSARY TO MINIMIZE EROSION & SEDIMENTATION IN ACCORDANCE WITH THE "KENTUCKY BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES".
  4. ALL BMP'S WILL BE INSPECTED AT A MINIMUM OF ONCE EVERY 7 DAYS AND AFTER EVERY 0.5" RAIN EVENT AND GREATER BY QUALIFIED PERSONNEL OF THE OWNER. THE INSPECTIONS SHALL ALSO BE DOCUMENTED IN A WRITTEN LOG.
  5. SITE STABILIZATION SHALL BEGIN WITHIN 14 DAYS ON AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY (FOR 21 DAYS OR MORE) CEASED.
  6. PRIOR TO CONSTRUCTION OF THE EMBANKMENTS, THE SITE SHOULD BE STRIPPED OF ALL VEGETATION, TOPSOIL, AND OTHER ORGANIC MATERIAL IN EMBANKMENT AREAS.
  7. SEDIMENT BASINS SHALL BE CLEANED WHEN THEIR VOLUME HAS BEEN REDUCED BY 1/3.
  8. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION. SITE CONTRACTOR SHALL PROPERLY REMOVE DEBRIS AND SEDIMENT FROM BMP'S AS THE PROJECT PROGRESSES.
  9. SITE CONTRACTOR SHALL REMOVE DEBRIS AND SEDIMENT FROM DETENTION BASINS AFTER SITE IMPROVEMENTS AND PERMANENT SOIL STABILIZATION ARE COMPLETED.
  10. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS ARE INTENDED TO BE FINAL GRADES AND REFLECT PAVEMENT, FINISH FLOOR OR TOP SOIL PLACEMENT UNLESS OTHERWISE SPECIFIED.
  11. ANY AREAS THAT APPEAR AS FUTURE BUILDING OR PARKING LOTS SHALL BE GRADED TO DRAIN TO THE NEAREST SWALE, CATCH BASIN, OR OTHER DRAINAGE FEATURE OR PROVISIONS SHALL BE INSTALLED TO DRAIN THE AREAS TO THE NEAREST DRAINAGE FEATURE.
  12. ALL RAMPS IN THE SIDEWALK (GREATER THAN 5% SLOPE) MUST HAVE A LANDING (2% OR FLATTER) AT THE TOP AND BOTTOM.
  13. DRAINAGE AT WALLS TO BE COORDINATED WITH WALL DESIGN.
  14. TOP OF WALL AND BOTTOM OF WALL ELEVATIONS SHOWN ON THE PLAN REFER TO THE SURFACE ELEVATION AT THE WALL AND ARE APPROXIMATE. REFER TO WALL PLANS FOR ACTUAL DIMENSIONS.
  15. A MINIMUM OF 6" OF TOPSOIL SHALL BE PLACED ON ALL GRASS AREAS UNLESS SPECIFIED OTHERWISE IN THE LANDSCAPE DRAWINGS.
  16. WALLS ARE SHOWN FOR REFERENCE ONLY AND TO DENOTE THE TOP AND BASE OF WALL ELEVATIONS. DESIGN OF THE WALL IS NOT INCLUDED.

- CONSTRUCTION SEQUENCE AND EROSION CONTROL NOTES**
1. CLEARING AND GRUBBING FOR THOSE AREAS NECESSARY FOR THE INSTALLATION OF EROSION AND SEDIMENT PERIMETER CONTROL MEASURES.
  2. INSTALL CONSTRUCTION ENTRANCE.
  3. INSTALL EROSION AND SEDIMENT CONTROL MEASURES.
  4. GRADING AND STRIPPING OF THE REMAINING AREAS OF THE DEVELOPMENT SITE OR PROJECT AREA.
  5. INSTALL SEDIMENT CONTROL BASINS & STORMWATER MANAGEMENT SYSTEMS.
  6. TEMPORARY VEGETATIVE STABILIZATION OF EROSION AND SEDIMENT CONTROL MEASURES.
  7. MASS GRADING OF BUILDING PAD, DRIVES OR PARKING AREAS, ETC.
  8. TOPSOIL RESPREADING, FINAL GRADING & STABILIZATION.
  9. AFTER THE VEGETATION HAS BECOME WELL ESTABLISHED, REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.
  10. THE CONTRACTOR MUST INSPECT ALL EROSION AND SEDIMENT CONTROLS ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER EACH RAINFALL OF 1/2 INCH OR GREATER.
  11. THE CONTRACTOR MUST CONDUCT NECESSARY REPAIRS WITHIN 72 HOURS.
  12. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ADJACENT ROADWAYS FREE OF SEDIMENT. PERIODIC STREET SWEEPING MAY BE REQUIRED.
  13. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO THE DISTURBED AREAS ON ANY PORTION OF THE SITE WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED OR WHERE AREAS WILL BE LEFT IDLE FOR 21 DAYS OR LONGER.
  14. AFTER THE VEGETATION HAS BECOME WELL ESTABLISHED, REMOVE TEMPORARY EROSION OR SEDIMENT CONTROL PRACTICES.
  15. DUST CONTROL SHALL BE PROVIDED.
  16. ANY STOCKPILED SOILS SHALL HAVE A SILT FENCE PLACED AROUND THE BASE OF THE PILE TO PREVENT SOIL EROSION. ANY STOCKPILES LEFT AFTER THE PROJECT IS COMPLETED SHALL BE SEED TO PROVIDE ADDITIONAL PROTECTION.

**GRADING & SWPPP PLAN LEGEND**

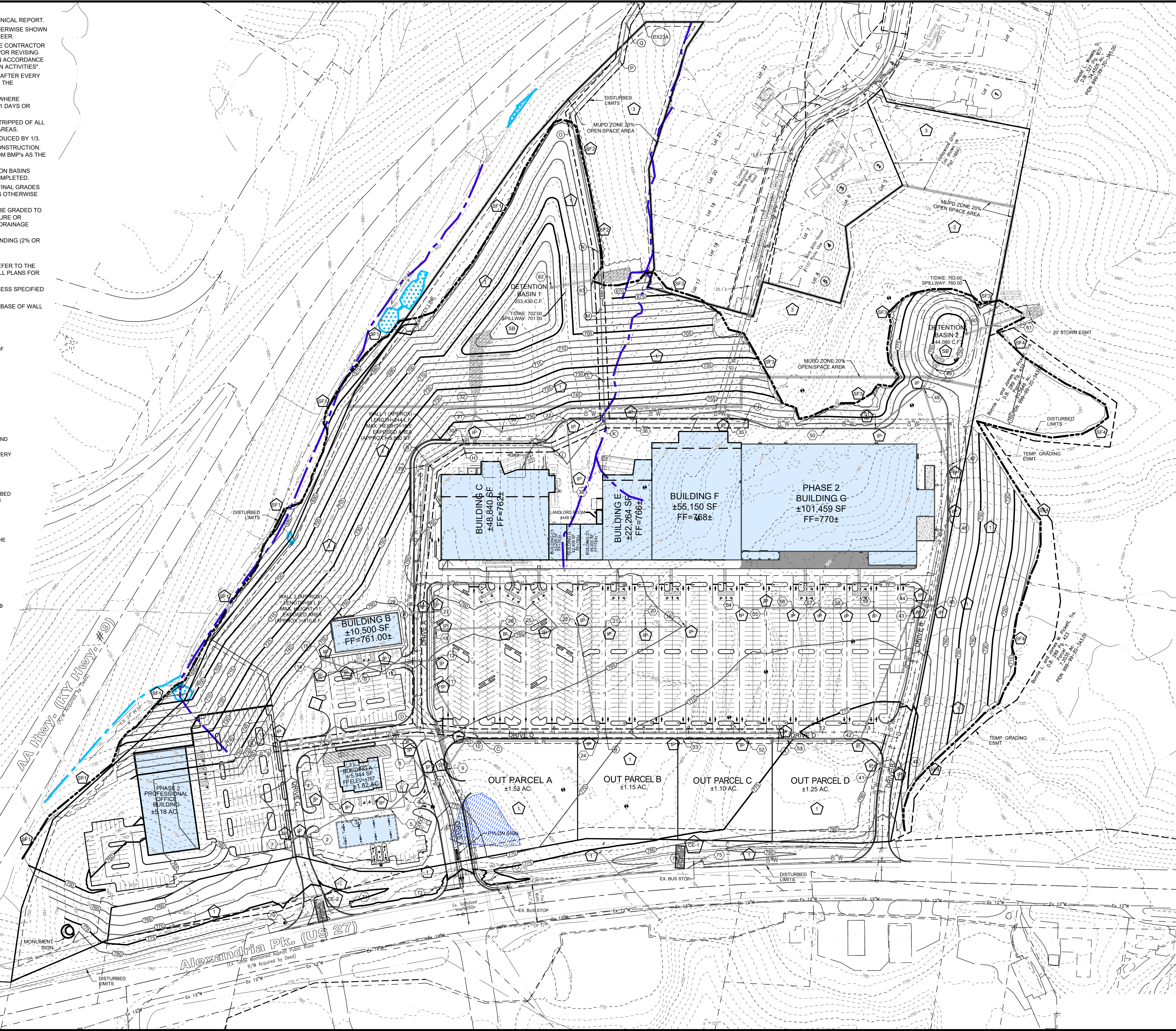
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED DIRECTIONAL FLOW
- PROPOSED PAVEMENT SLOPE
- EXISTING TREE-LINE
- PROPOSED TREE-LINE
- PROPERLY PLACED SILT FENCE OR WOOD CHIP SILT BARRIER
- PROPERLY PLACED TURF REINFORCED MATTING (TRM) PERMANENT (RETENTION POND)
- APPROX. BORING LOCATION
- REFERENCE GEO-TECH REPORT

**SPOT ELEVATION LEGEND**

- EX = EXISTING
- HP = HIGH POINT
- LP = LOW POINT
- GS = GROUND SHOT
- FC = FACE OF CURB
- TC = TOP OF CURB
- TS = TOP OF STEP
- BS = BOTTOM OF STEP
- EP = EDGE OF PAVEMENT
- BW = BOTTOM OF WALL
- TW = TOP OF WALL
- PAVT = PAVEMENT
- PH 1 = PHASE 1

**SWPPP LEGEND**

- SEDIMENT BASIN
- STAND PIPE
- CONSTRUCTION ENTRANCE
- CHECK DAM
- SILT FENCE / WOOD CHIP BARRIER
- INLET PROTECTION
- SEEDING & MULCHING
- PRESERVE EXISTING VEGETATION
- SILT BARRIER
- DISTURBED LIMITS



Basis of Bearing: State Plane NAD83 (2011)  
 SCALE: 1" = 100'

Date	Drawn	Chk	RTK
08-04-23	JLT		

Item	Revision Description
1	ISSUED TO CC P & Z
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**COLD SPRING POINTE  
 STAGE II DEVELOPMENT PLAN**  
 CITY OF COLD SPRING,  
 CAMPBELL COUNTY, KENTUCKY  
 OVERALL GRADING PLAN & SWPPP

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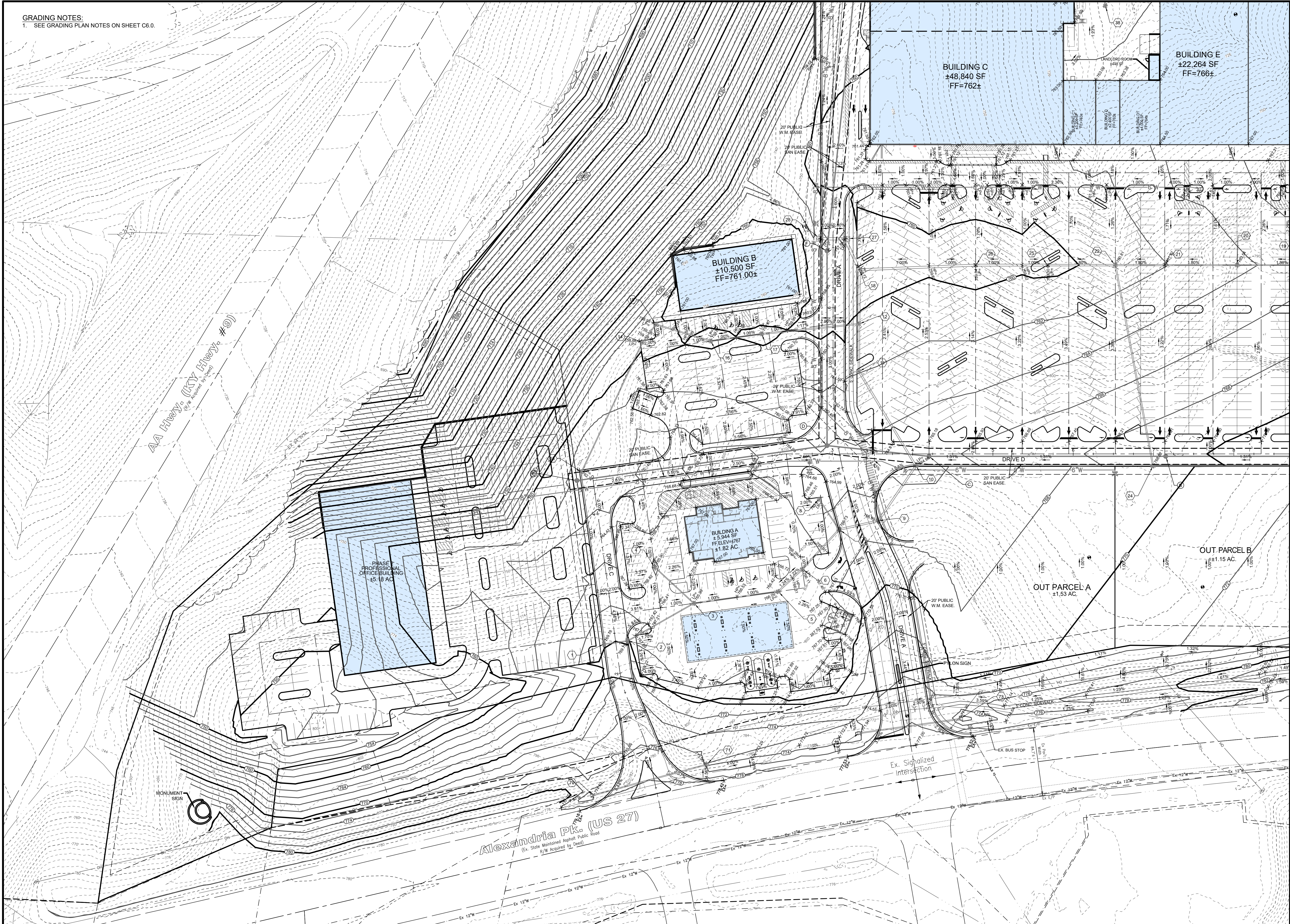
Drawing:	22-0059 CD
Drawn by:	NJM
Checked by:	
Issue Date:	08-04-23

Sheet:  
**C6.0**

Plot time: Aug 04, 2023 - 1:21pm  
 Drawing name: J:\2022\22-0059\CD\DWG\22-0059 CD.dwg - Layout Tab, C6.0 Grading

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GRADING NOTES:  
1. SEE GRADING PLAN NOTES ON SHEET C6.0.



Basis of Bearing:  
State Plane NAD83 (2011)

0 50 75

SCALE: 1" = 50'

Item	Revision Description	Date	Drawn	Chk
1	ISSUED TO CC P & Z	08-04-23	JLR	RTK
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**COLD SPRING POINTE  
STAGE II DEVELOPMENT PLAN**

CITY OF COLD SPRING  
CAMPBELL COUNTY, KENTUCKY

DETAILED GRADING

**bayer  
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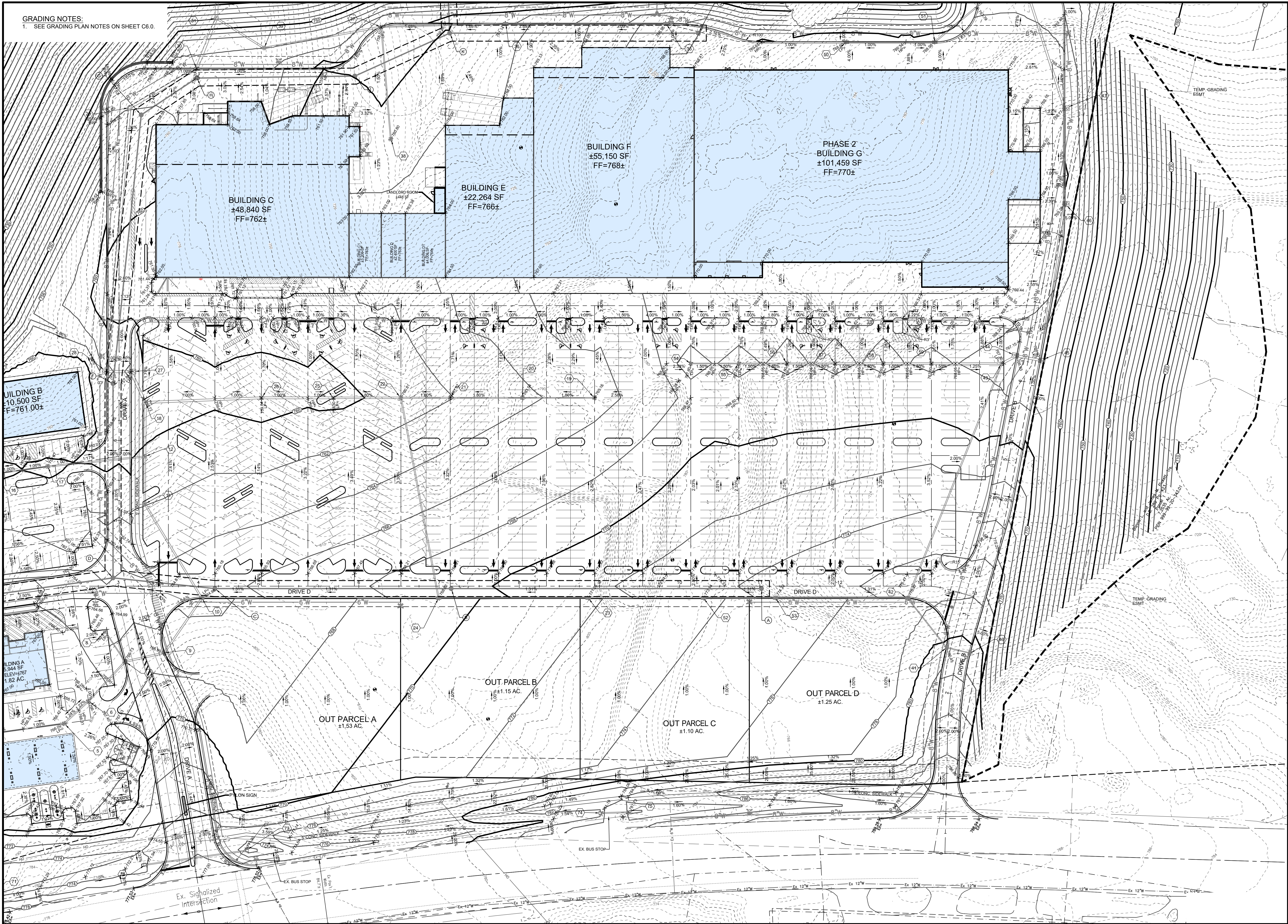
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Checked By:  
Issue Date: 08-04-23


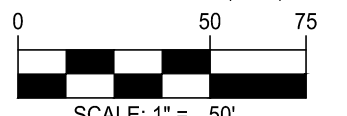
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GRADING NOTES:  
 1. SEE GRADING PLAN NOTES ON SHEET C6.0.



  
 Basis of Bearing:  
 State Plane NAD83 (2011)  
  
 SCALE: 1" = 50'

Date	Drawn	Chk	RTK
08-04-23	JLR		

Item	Revision Description
1	ISSUED TO C.C.P. & Z.
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**COLD SPRING POINTE**  
**STAGE II DEVELOPMENT PLAN**  
 CITY OF COLD SPRING  
 CAMPBELL COUNTY, KENTUCKY  
**DETAILED GRADING**

  
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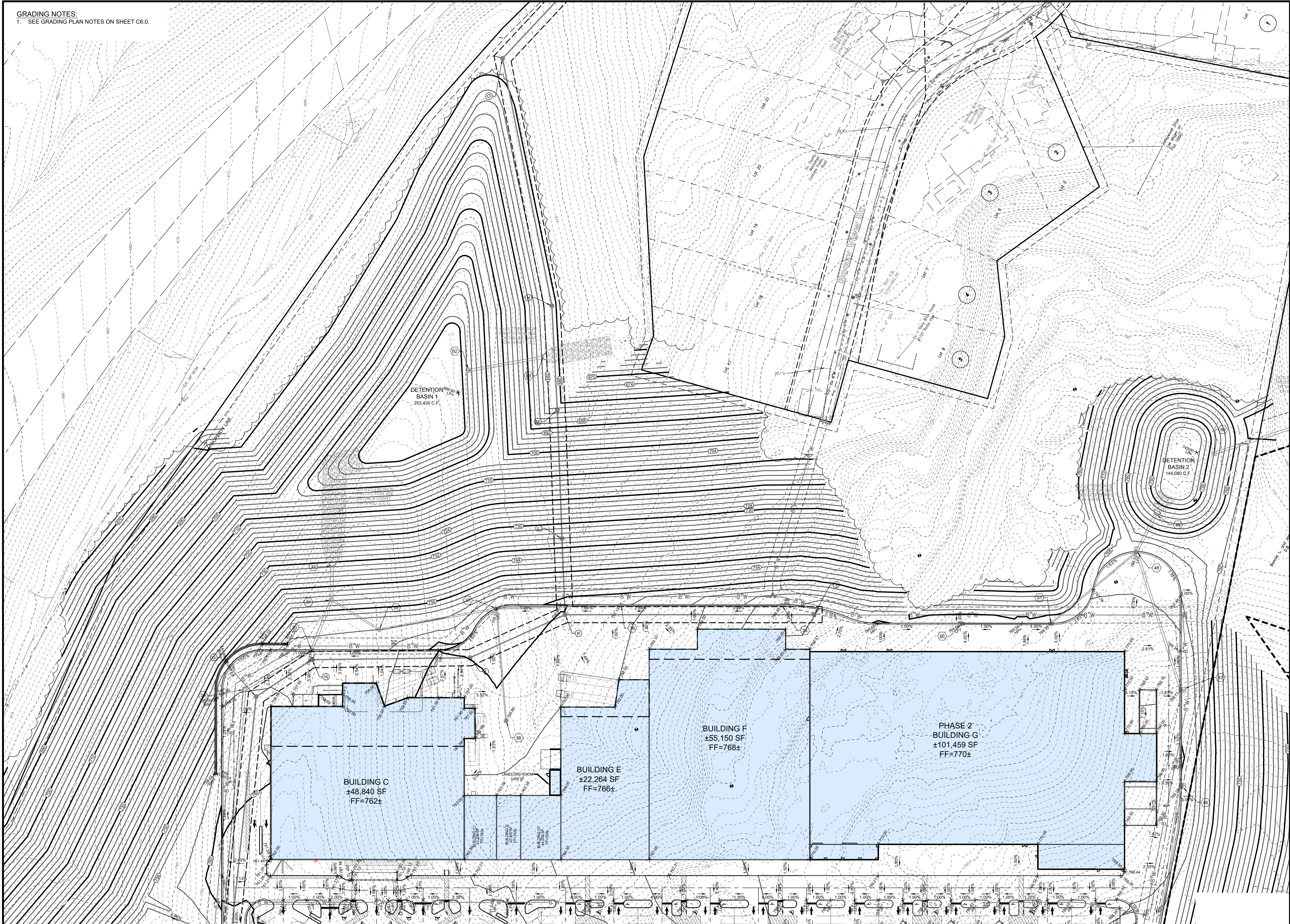
Drawing:	22-0059 CD
Drawn by:	JLR
Checked By:	
Issue Date:	08-04-23


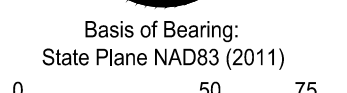
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GRADING NOTES:  
 1. SEE GRADING PLAN NOTES ON SHEET C6.0.



  
 Basis of Bearing:  
 State Plane NAD83 (2011)  
  
 SCALE: 1" = 50'

Date	Drawn	Checked	Revision Description
08-04-23	JLR	RTK	

**COLD SPRING POINTE**  
**STAGE II DEVELOPMENT PLAN**  
 CITY OF COLD SPRING  
 CAMPBELL COUNTY, KENTUCKY  
**DETAILED GRADING**

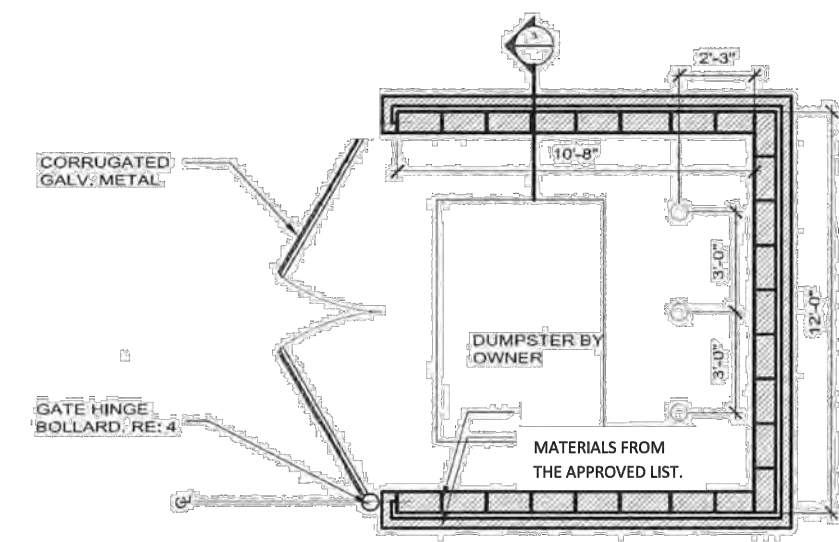
  
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 Fort Mitchell, KY 41017-8592811113

Item	Revision Description
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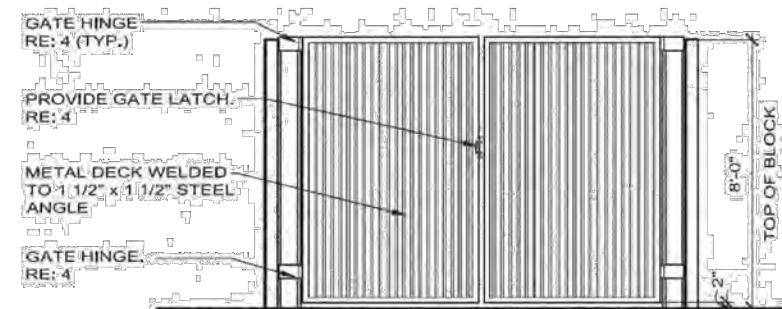
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 Drawn by: JLR  
 Checked By:  
 Issue Date: 08-04-23  
**C6.3**

Plot time: Aug 04, 2023 - 11:53 am  
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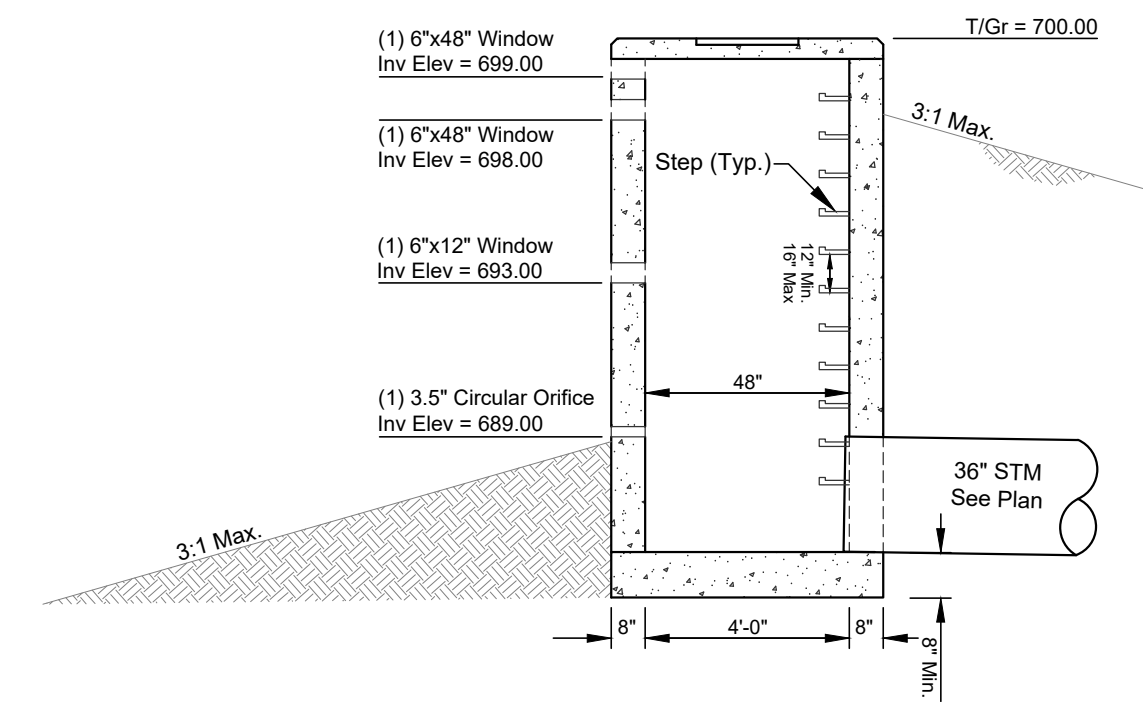


**1 DUMPSTER ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0"

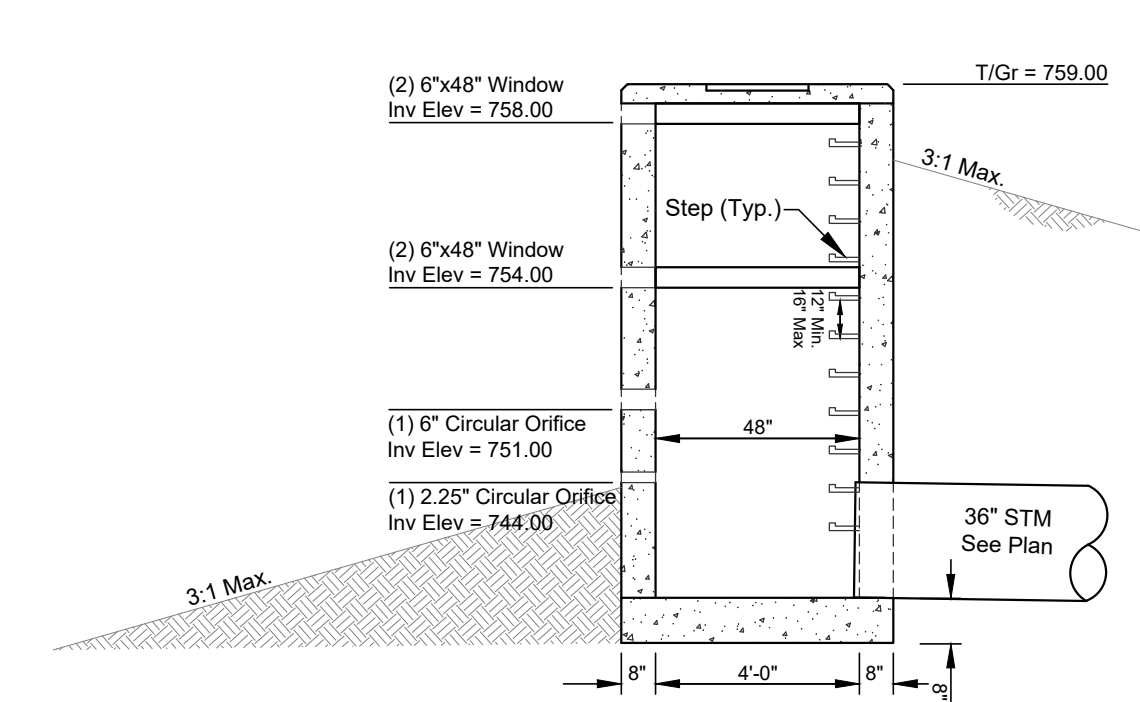


**2 DUMPSTER ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0"

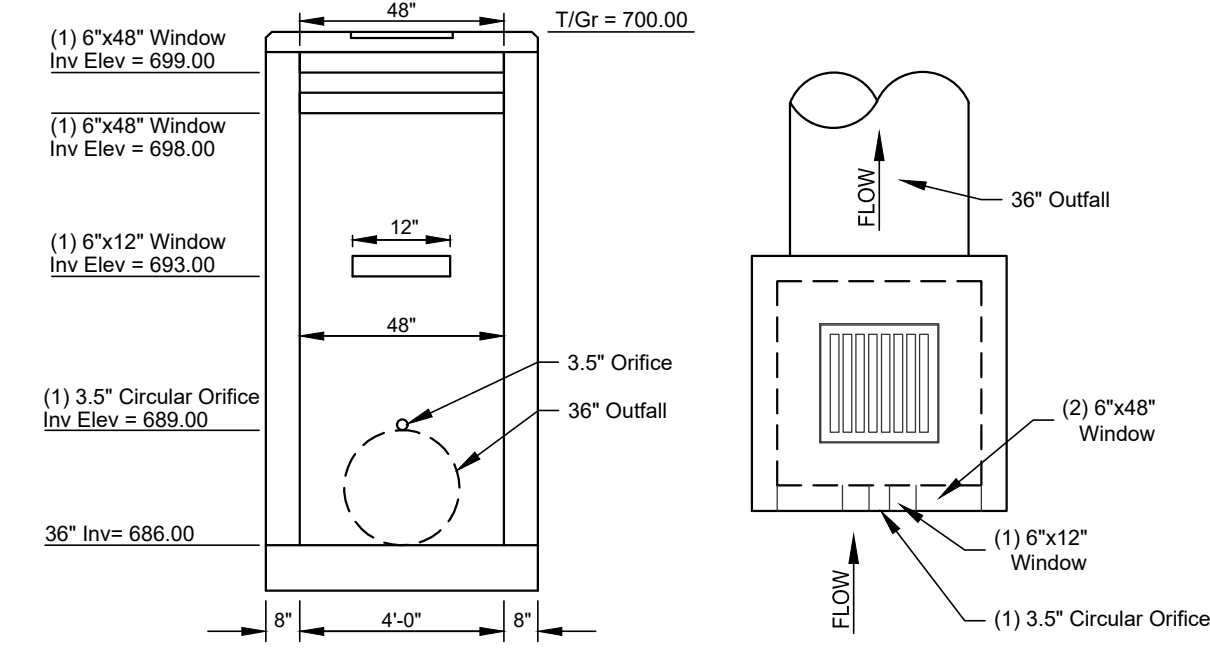
NOTE: DUMPSTER AND ENCLOSURES TO BE SIZED PER INDIVIDUAL BUILDINGS  
**DUMPSTER ENCLOSURE DETAIL**



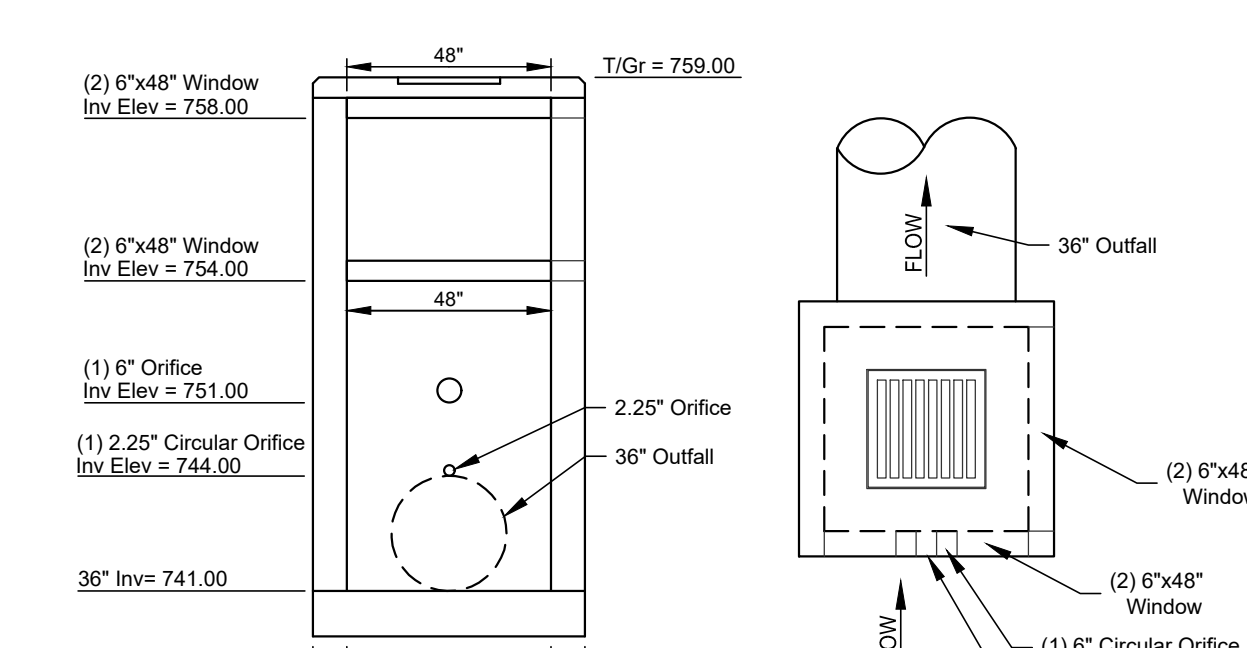
Note: A watertight seal is required between riser joints on detention structure.



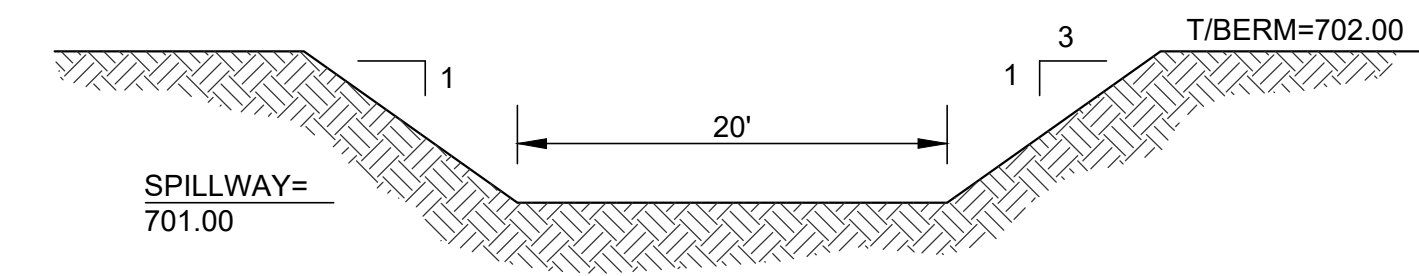
Note: A watertight seal is required between riser joints on detention structure.



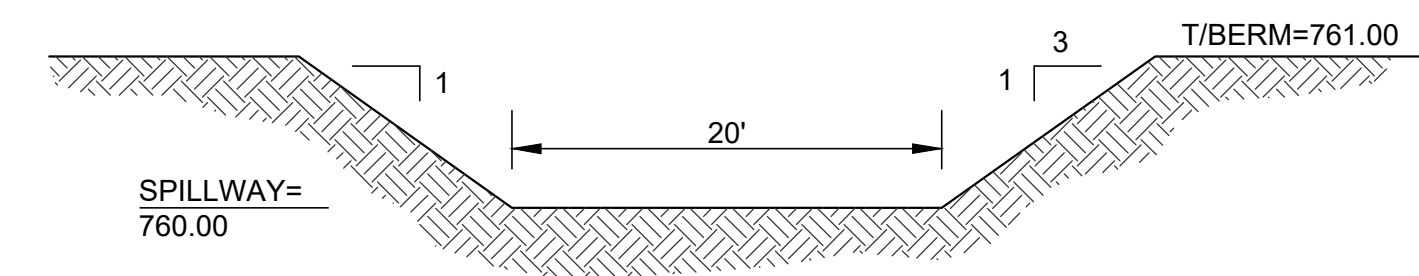
MODIFIED CB2-4  
**DETENTION BASIN 1 CONTROL STRUCTURE DETAIL**  
NOT TO SCALE



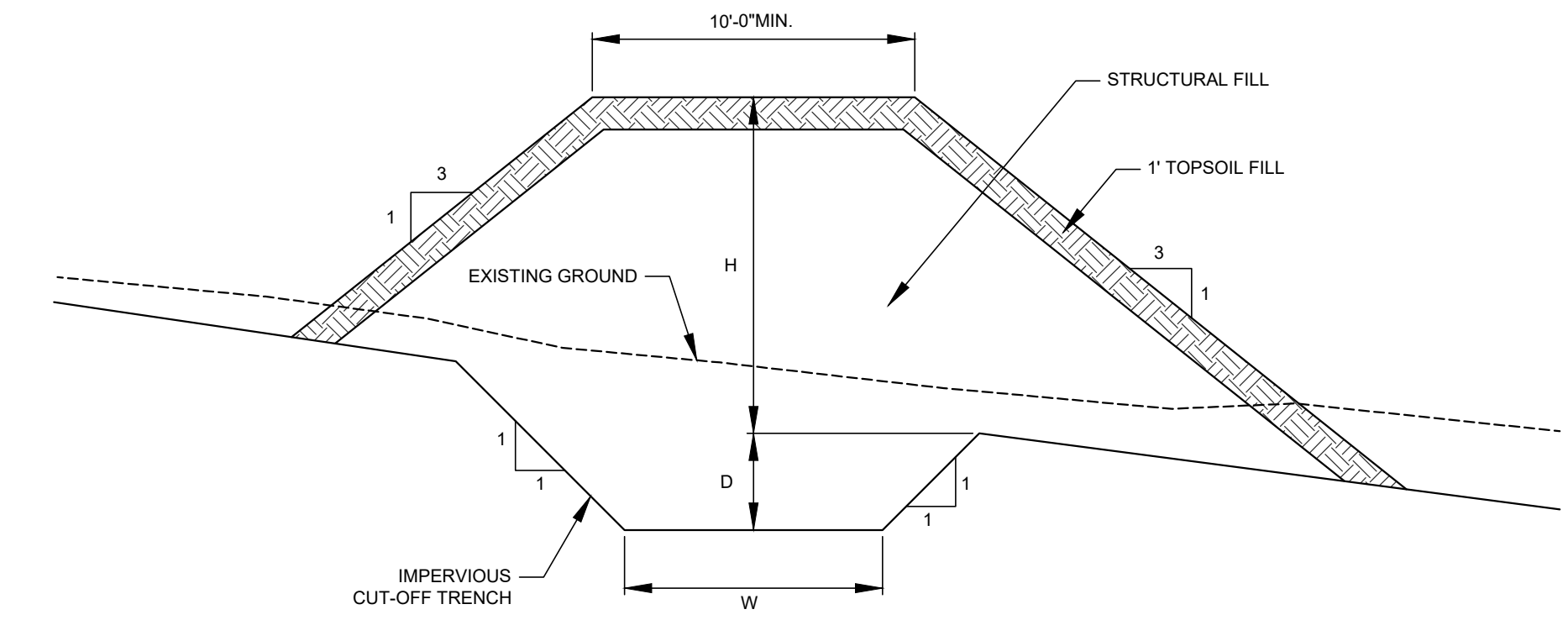
MODIFIED CB2-4  
**DETENTION BASIN 2 CONTROL STRUCTURE DETAIL**  
NOT TO SCALE



**DETENTION BASIN 1 EMERGENCY SPILLWAY**  
(NOT TO SCALE)

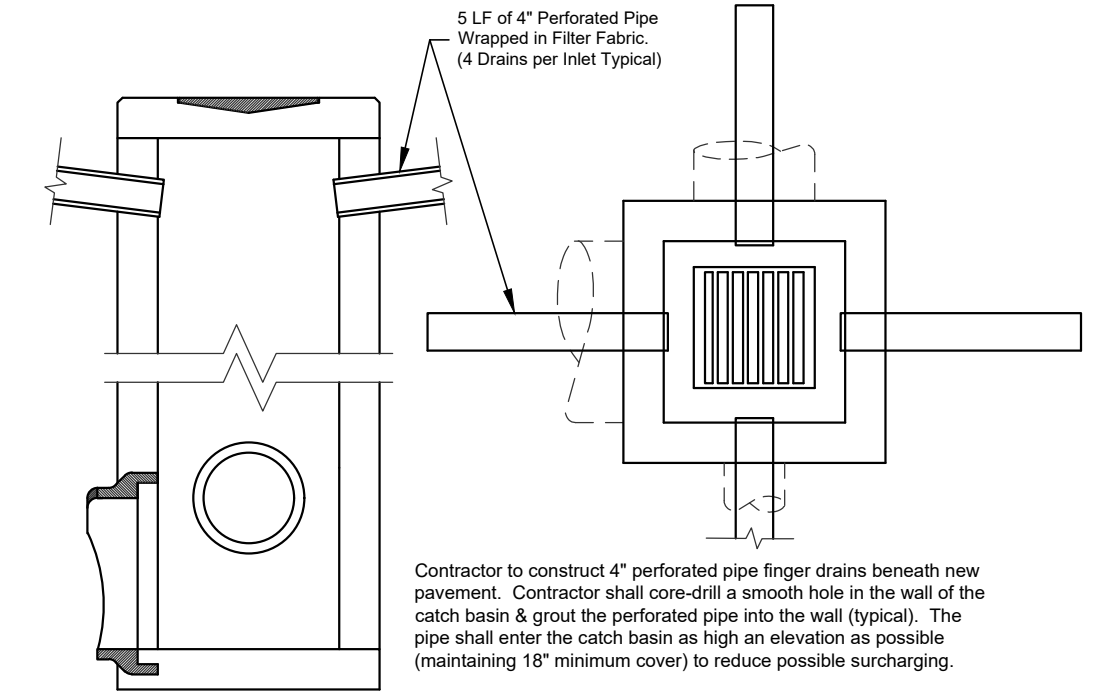


**DETENTION BASIN 2 EMERGENCY SPILLWAY**  
(NOT TO SCALE)



NOTES:  
1. STRUCTURAL FILLS TO BE COMPACTED TO BE AT LEAST 95 PERCENT OF THE MAXIMUM STANDARD PROCTOR DRY DENSITY.  
2. STRUCTURAL FILLS TO BE COMPACTED IN MAXIMUM OF 6 IN. LIFTS.

**TYPICAL EARTHEN DAM SECTION**



Contractor to construct 4" perforated pipe finger drains beneath new pavement. Contractor shall core-drill a smooth hole in the wall of the catch basin & grout the perforated pipe into the wall (typical). The pipe shall enter the catch basin as high an elevation as possible (maintaining 18" minimum cover) to reduce possible surcharging.

ALL MATERIALS SHALL BE PER ODOT SPECIFICATIONS  
**TYPICAL PAVEMENT AREA CATCH BASINS W/SPIDER DRAINS**  
NOT TO SCALE



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Revision Description		Date	Drawn:	Chk:
Item	Revision Description	Date	JLT	RTK
1	ISSUED TO C.C.P. & Z.	08-04-23	JLT	RTK
2				
3				
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7				
8				
9				

**COLD SPRING POINTE  
STAGE II DEVELOPMENT PLAN**  
CITY OF COLD SPRING  
CAMPBELL COUNTY, KENTUCKY  
STANDARD DETAILS

**bayer becker**  
www.bayerbecker.com  
209 Grandview Drive  
Fort Mitchell, KY 41017 - 859.281.1113

Drawing: 22-0059 CD DETAILS  
Drawn by: JLR  
Checked by: RTK  
Issue Date: 08-04-23

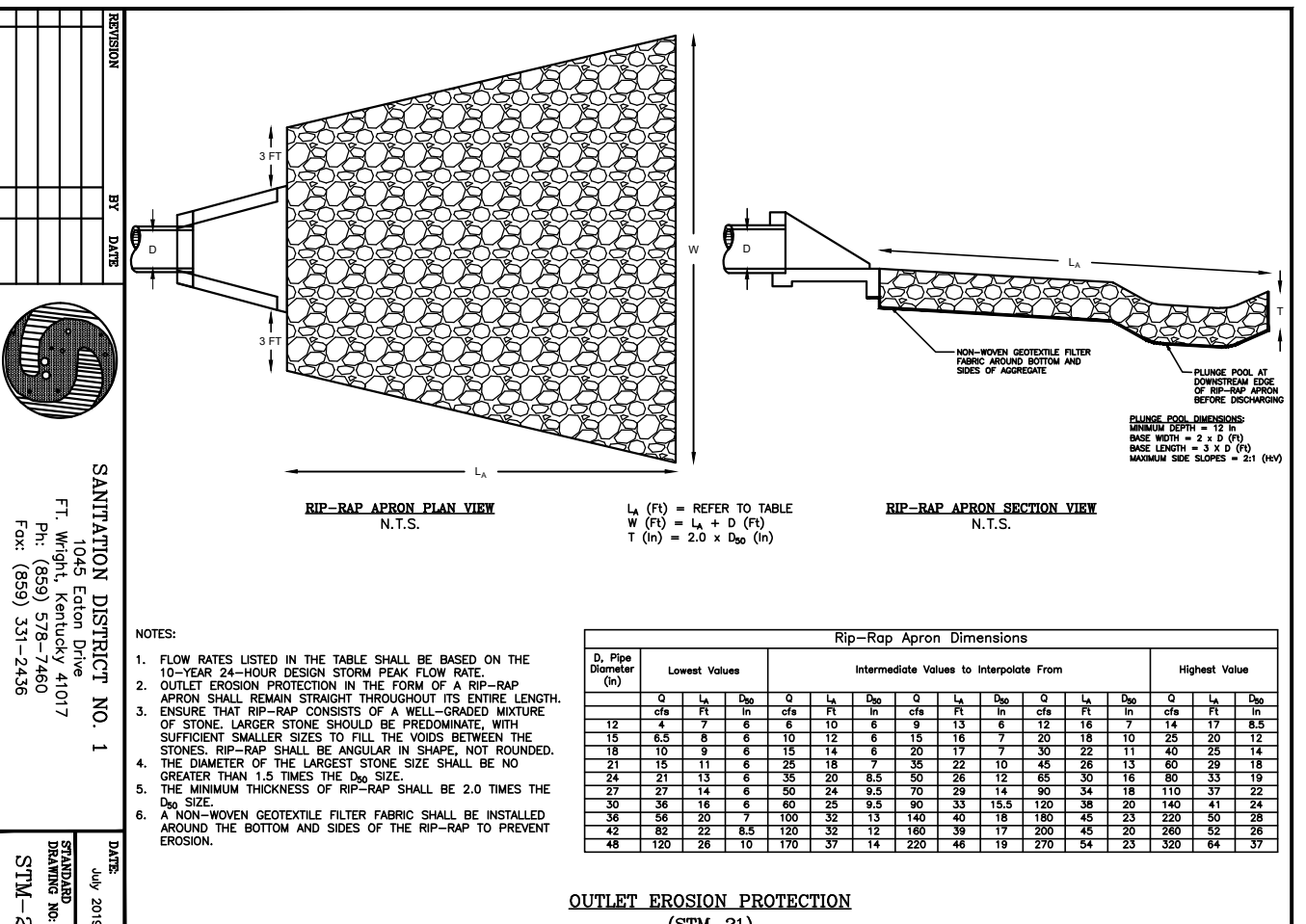
Sheet: **C7.0**

DIAMETER OF PIPE	30"	36"	42"	48"	54"	60"	66"	72"	78"	84"	90"	96"	102"	108"	DIAMETER
A	3'-9"	4'-4"	4'-11"	5'-6"	6'-1"	6'-8"	7'-5"	8'-0"	8'-7"	9'-2"	9'-9"	10'-4"	10'-11"	11'-6"	A
B	1'-3"	1'-8"	1'-3"	2'-0"	2'-3"	2'-8"	2'-3"	3'-0"	3'-7"	4'-2"	4'-7"	4'-2"	4'-9"	4'-4"	B
C	3'-6"	4'-0"	4'-7"	5'-1"	5'-8"	6'-2"	7'-0"	7'-5"	8'-0"	8'-6"	9'-1"	9'-7"	10'-2"	10'-8"	C
E	3'-1"	3'-8"	4'-3"	4'-10"	5'-5"	6'-0"	6'-7"	7'-2"	7'-9"	8'-4"	8-11"	8'-6"	9'-1"	10'-8"	E
F	4'-4"	5'-0"	5'-8"	6'-4"	7'-0"	7'-8"	8'-7"	9'-1"	11'-1"	11'-11"	12'-7"	13'-3"			F
G	7'-4"	8'-0"	10'-0"	11'-2"	12'-4"	13'-5"	15'-2"	17'-4"	19'-7"	22'-0"	24'-0"	26'-0"			G
J	3'-9"	4'-4"	5'-0"	5'-7"	6'-3"	6'-10"	7'-7"	8'-3"	8'-10"	9'-6"	10'-1"	10'-9"	11'-4"	12'-0"	J
M	0'-5"			0'-6"											M
T	0'-3.5"	0'-4.0"	0'-4.5"	0'-5.0"	0'-5.5"	0'-6.0"	0'-6.5"	0'-7.0"	0'-7.5"	0'-8.0"	0'-8.5"	0'-9.0"	0'-9.5"	0'-10.0"	T
Z	0'-8"														Z
X								2'-6"							X
Y								2'-6"							Y
Z								1'-9"							Z

**DIAMETERS & QUANTITIES HEADWALLS OF SKEW (30" - 108" CIRCULAR PIPE)**  
N.T.S.  
(REFERENCE KYTC STANDARD DRAWING RWH-10)

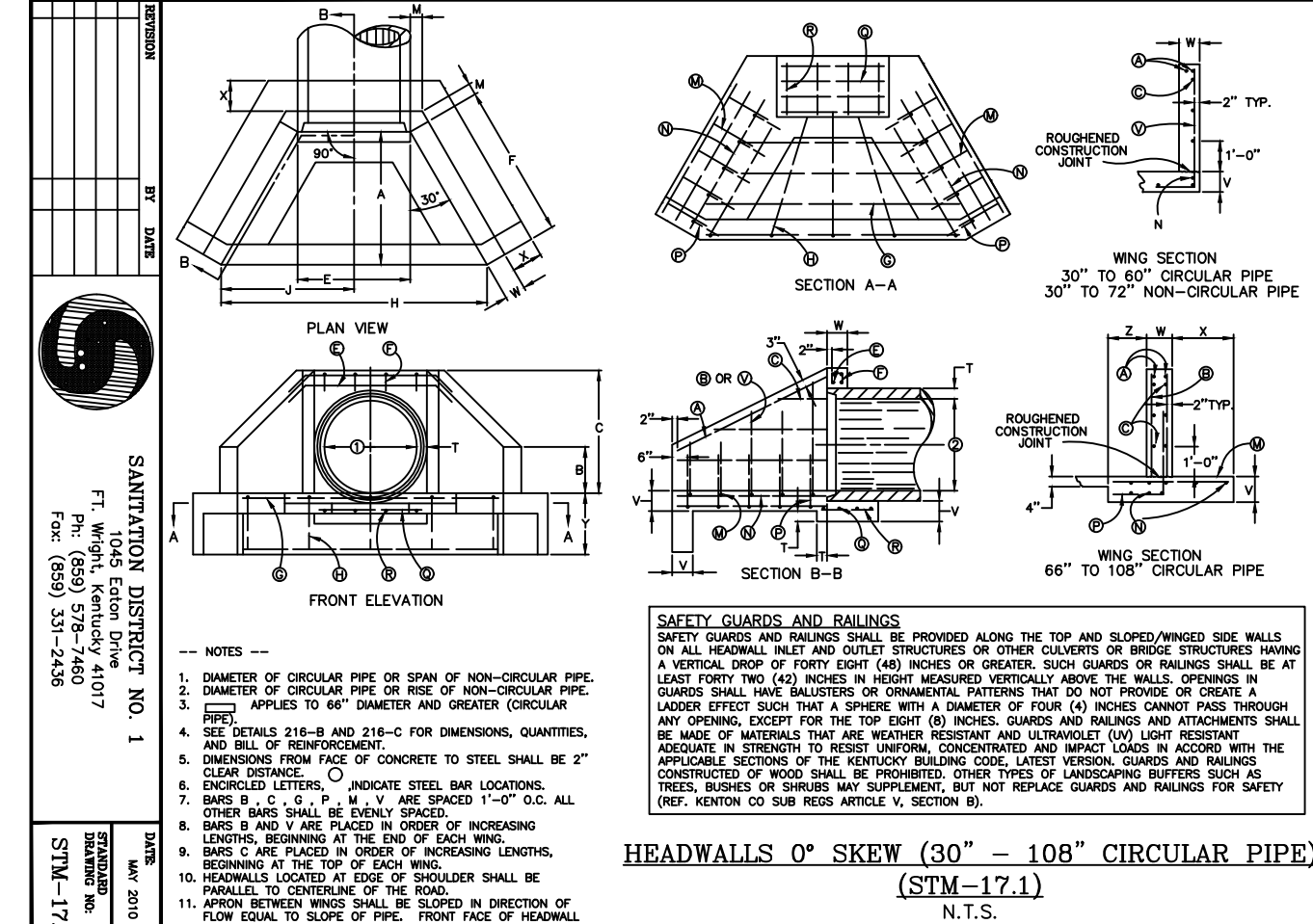
DIAMETER OF PIPE	N	W	K	W				K				V	S	Z	C	C	C	C	C												
				1	2	3	4	1	2	3	4																				
30"	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...										
	36"	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...									
		42"	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...								
			48"	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...							
				60"	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...						
					72"	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...					
						84"	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...				
							90"	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...			
								96"	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...		
									102"	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	
										108"	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...	...

**BILL OF REINFORCEMENT HEADWALLS (30"-80" DIAMETER CIRCULAR PIPE) - 0" SKEW**  
N.T.S.  
(REFERENCE KYTC STANDARD DRAWING RWH-10)



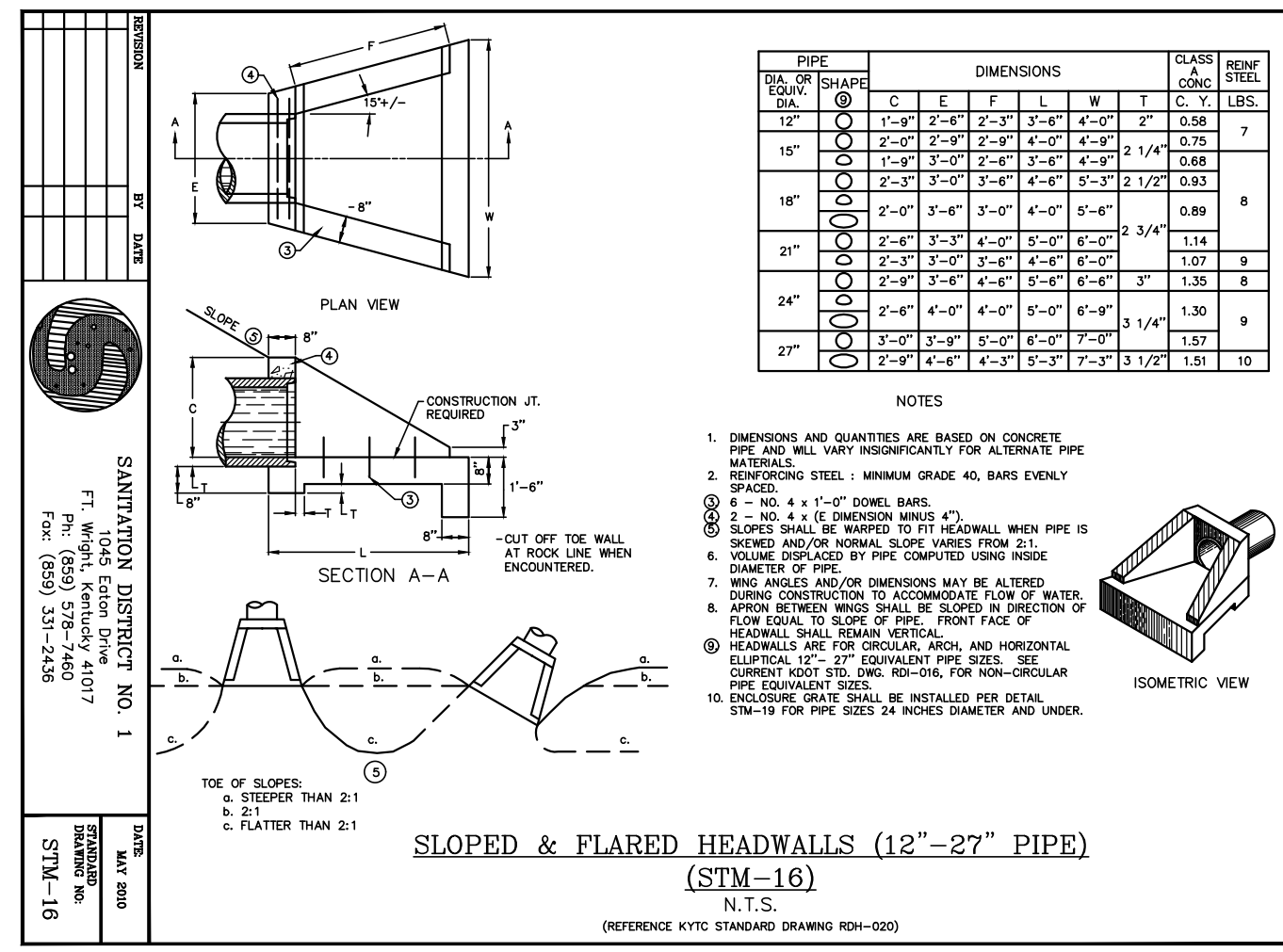
PIPE DIAMETER	30"	36"	42"	48"	54"	60"	66"	72"	78"	84"	90"	96"	102"	108"
Channel Bed Width	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"
Rip-Rap Apron Width	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"	24"

**OUTLET EROSION PROTECTION (STM-22)**  
N.T.S.



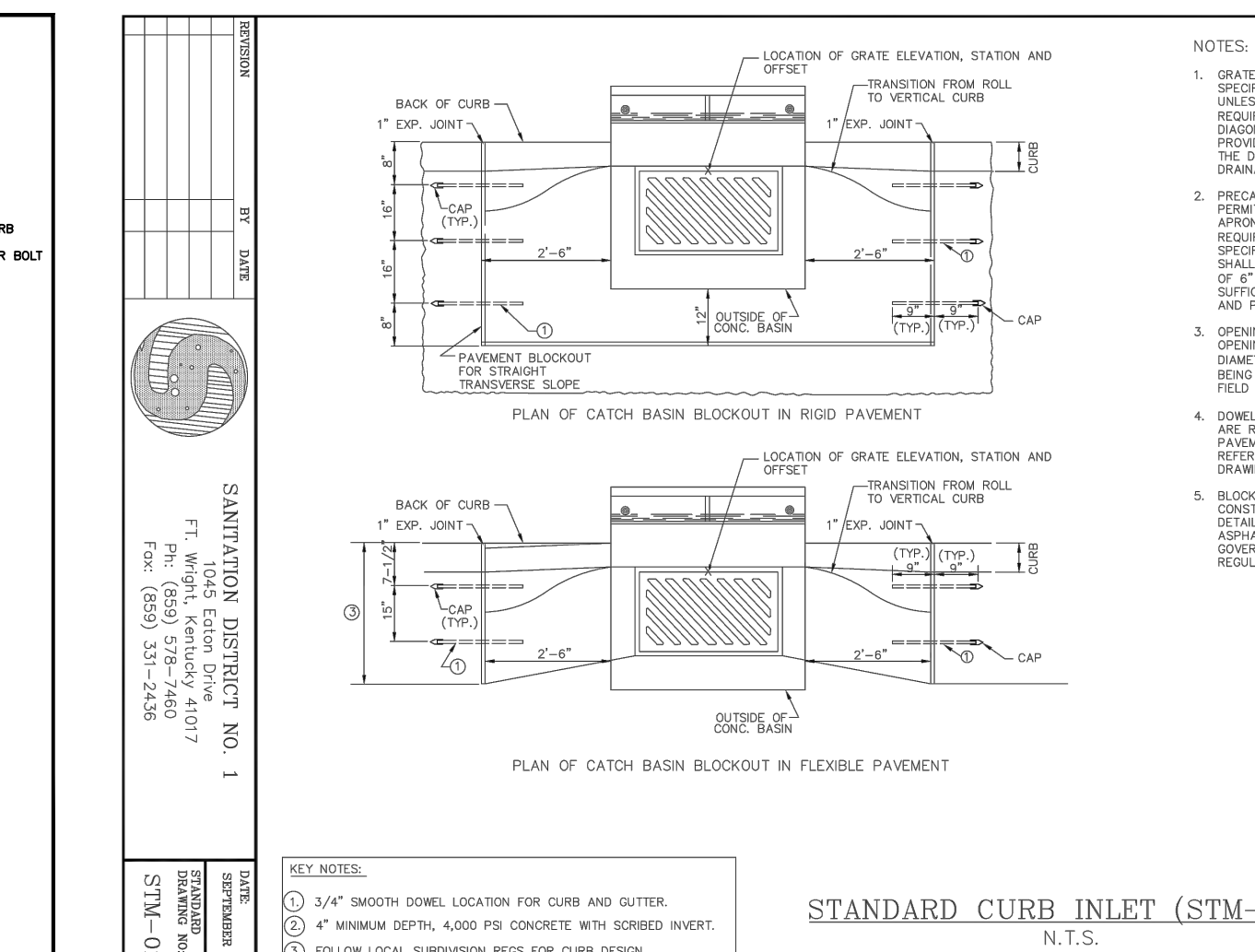
PIPE DIAMETER	12"	15"	18"	21"	24"	27"
Headwall Height	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"
Headwall Top Width	12"	12"	12"	12"	12"	12"
Headwall Base Width	27"	27"	27"	27"	27"	27"

**SLOPED & FLARED HEADWALLS (12"-27" PIPE) (STM-16)**  
N.T.S.

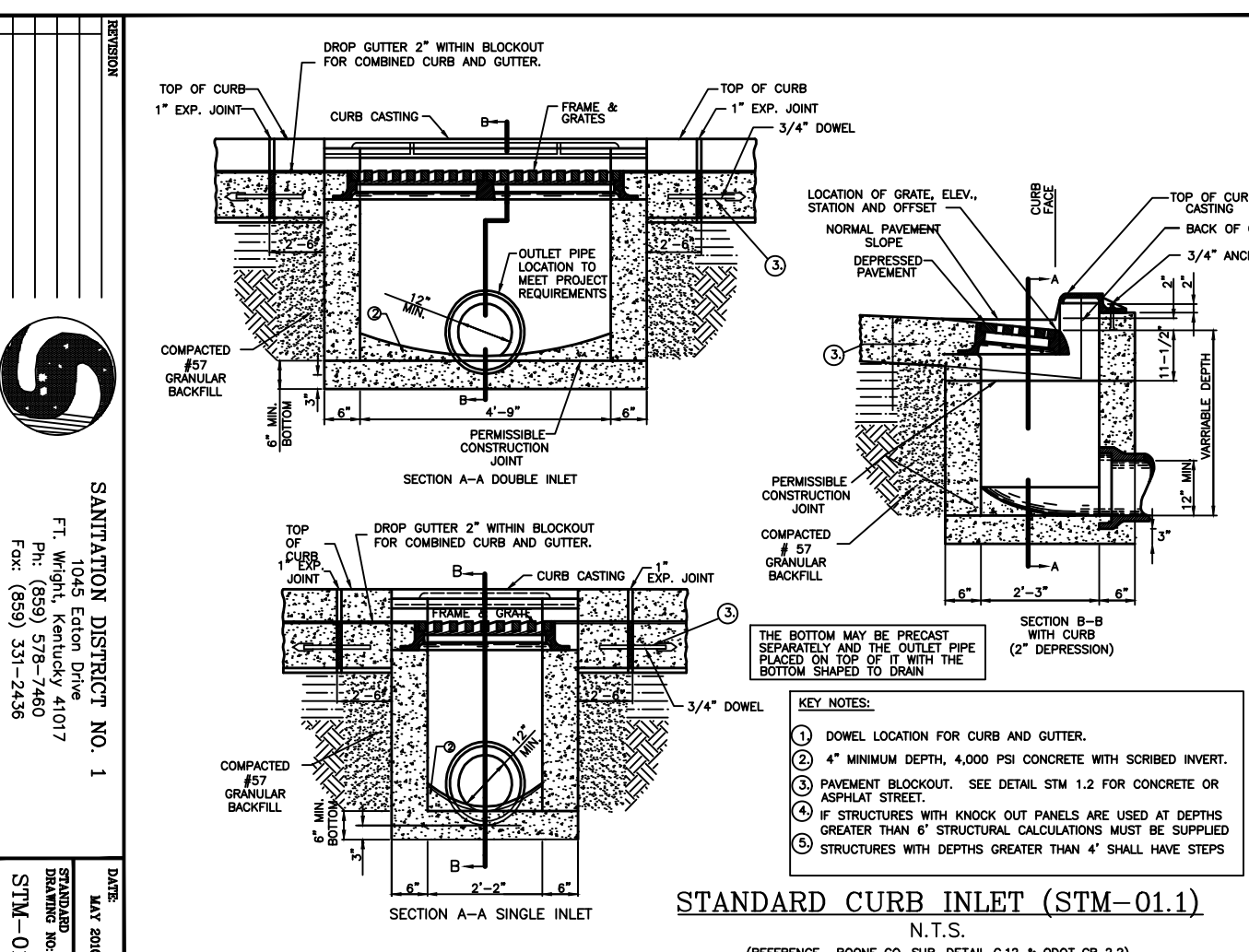


PIPE DIAMETER	30"	36"	42"	48"	54"	60"	66"	72"	78"	84"	90"	96"	102"	108"
Manhole Height	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"
Manhole Top Width	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"
Manhole Base Width	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"	30"

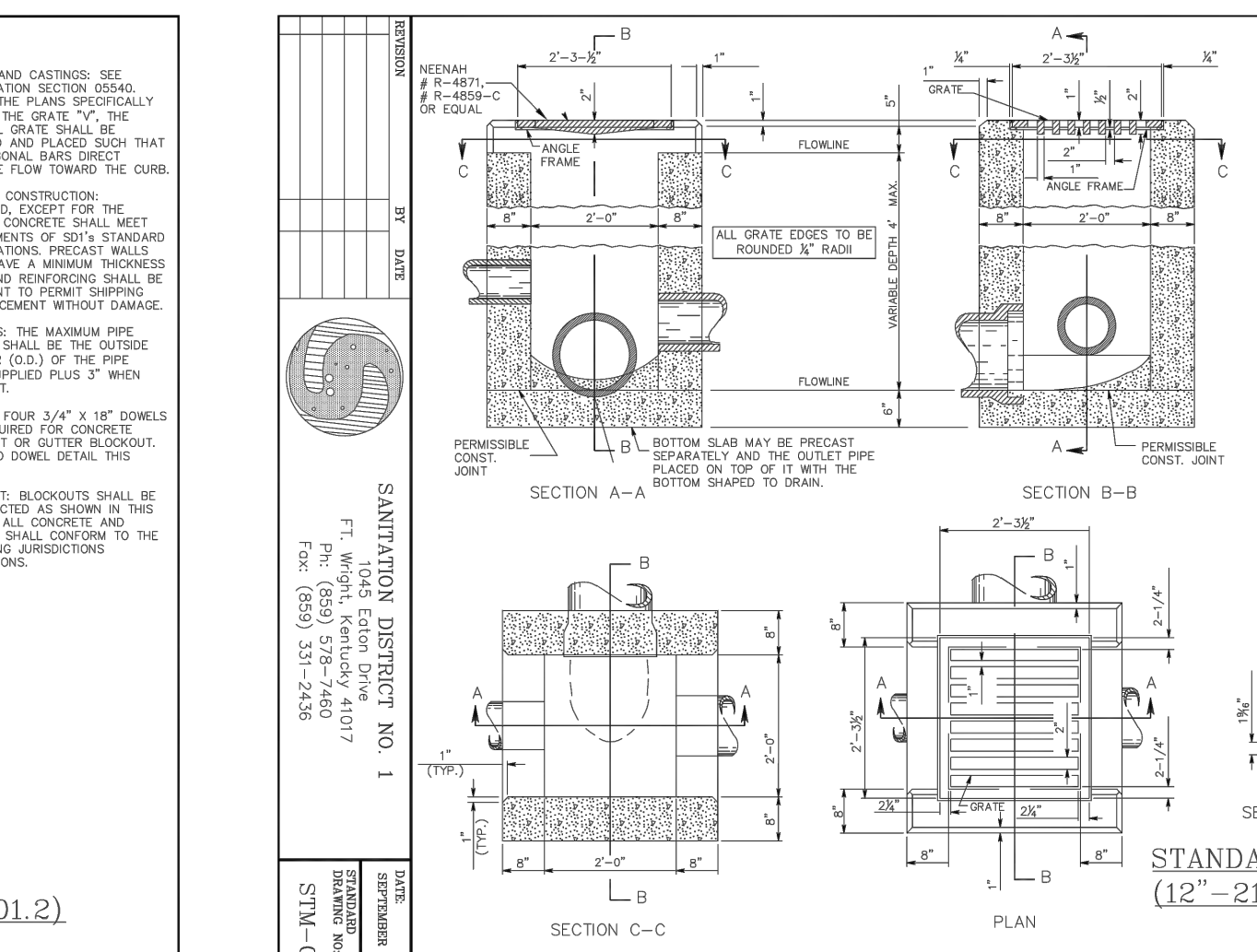
**STANDARD MANHOLE**  
N.T.S.



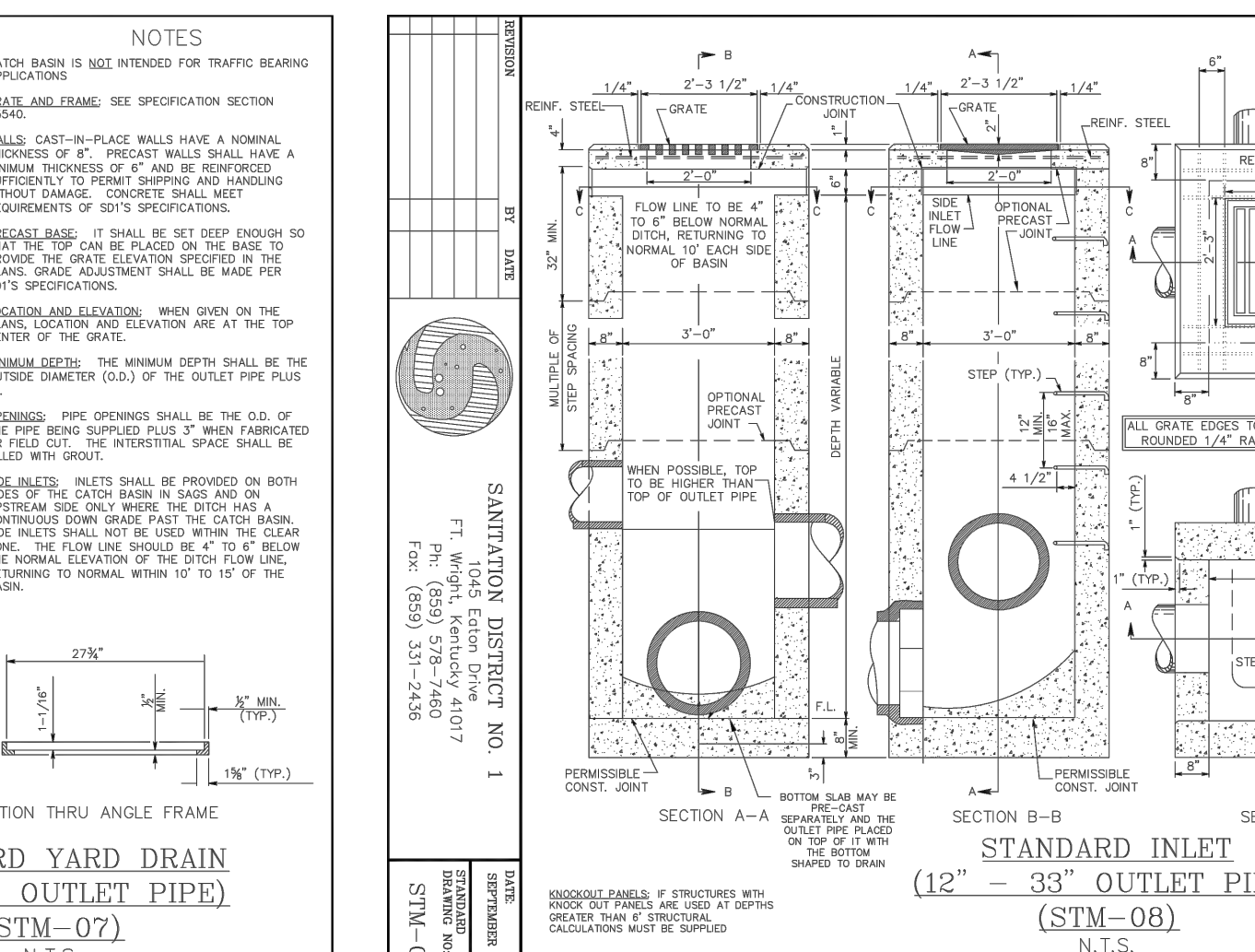
**STANDARD CURB INLET (STM-01.1)**  
N.T.S.



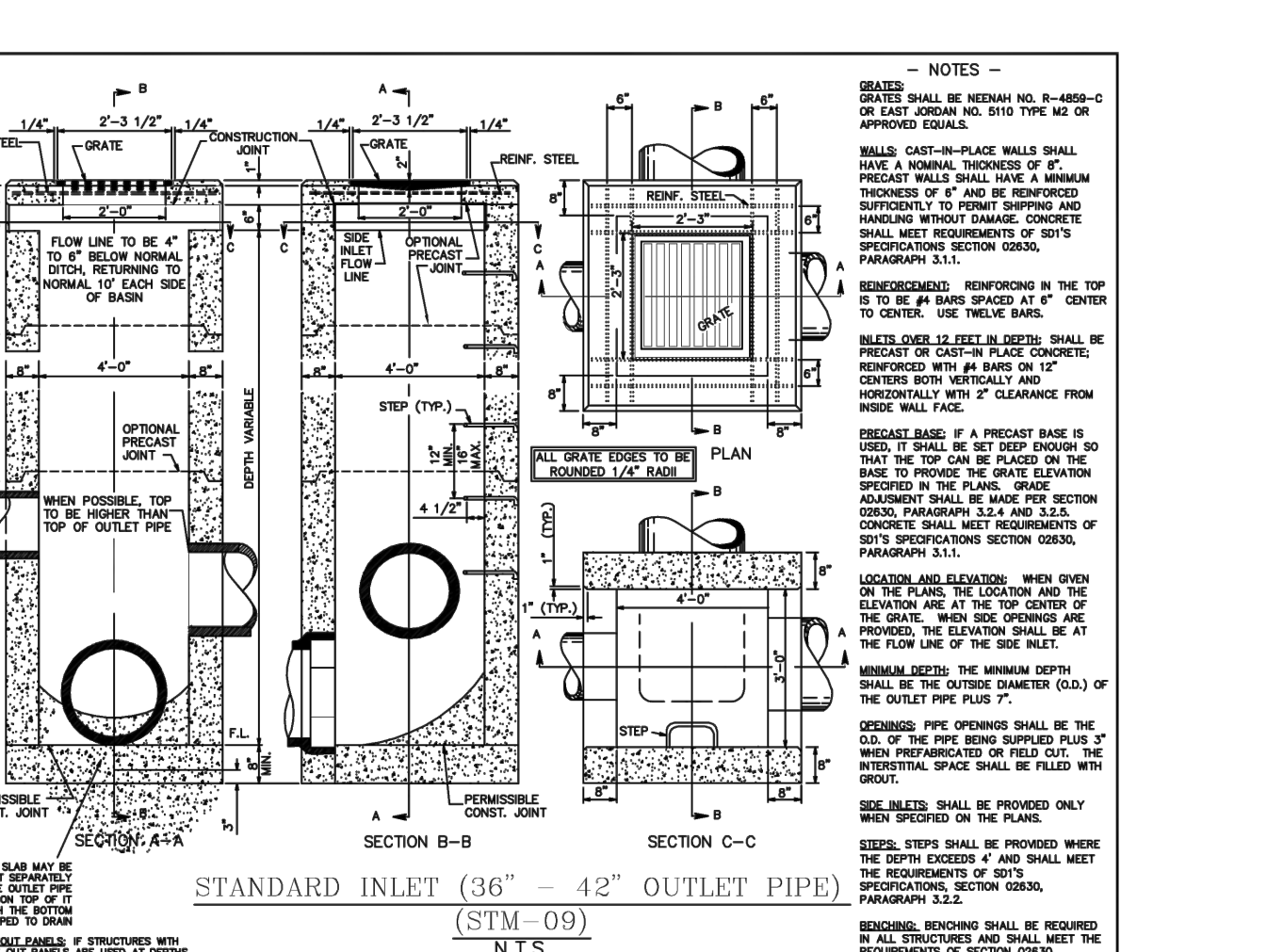
**STANDARD CURB INLET (STM-01.2)**  
N.T.S.



**STANDARD YARD DRAIN (12"-21" OUTLET PIPE) (STM-07)**  
N.T.S.



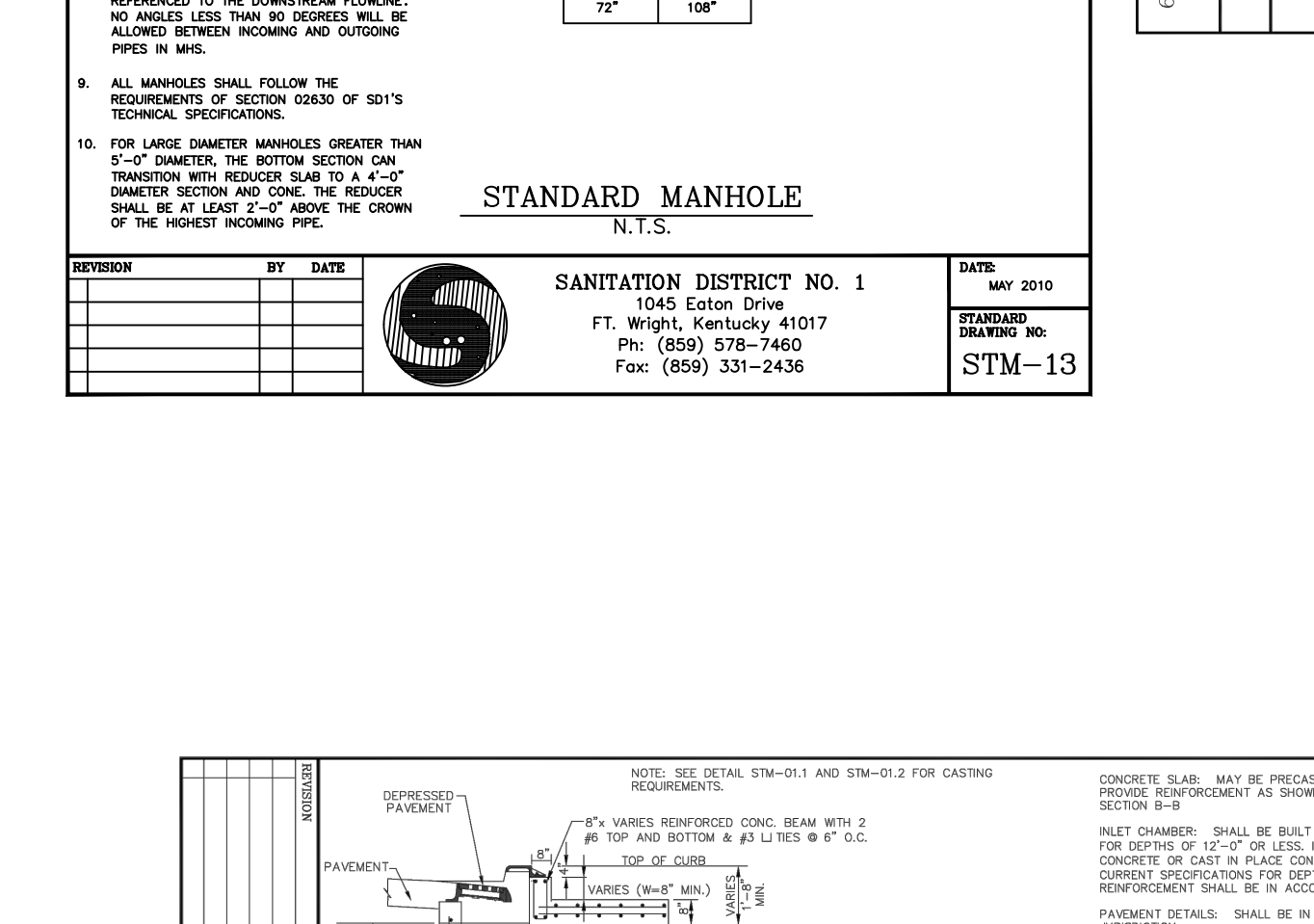
**STANDARD INLET (12"-36" OUTLET PIPE) (STM-08)**  
N.T.S.



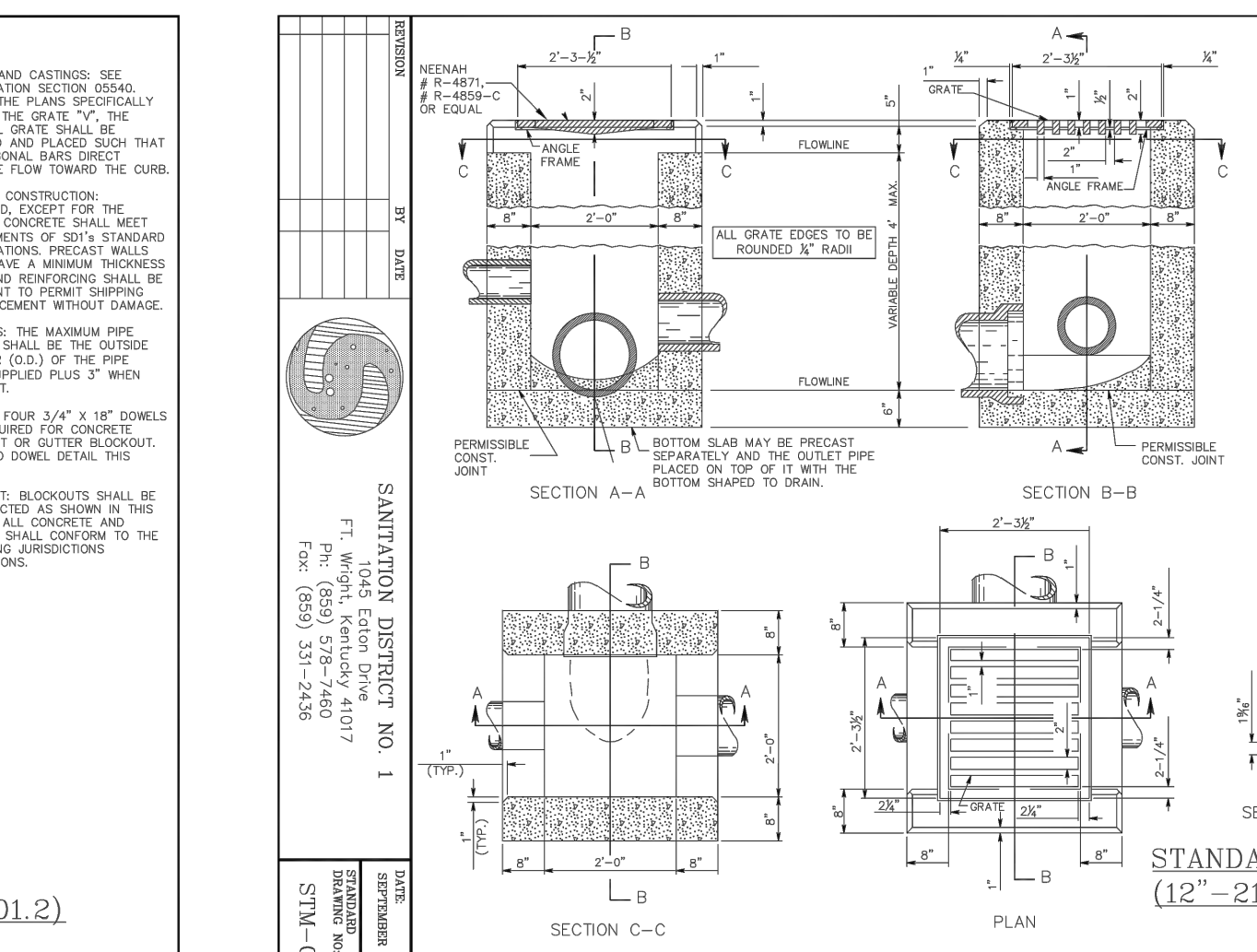
**STANDARD INLET (36"-42" OUTLET PIPE) (STM-09)**  
N.T.S.

HW #	PIPE SIZE INCHES	10 YR CFS	DISCHARGE SLOPE %	OUTLET STEEP SLOPE >10% (L/S)	APRON LENGTH (LA) FT	SLOPE LENGTH (LS) FT	TOTAL LENGTH (LA+LS) FT	WIDTH (W) FT	DEPTH (T) INCHES
32	42	95.06	33.33%	X	26	121	147	29.5	20
49	36	47.59	33.33%	X	20	3.5	23.5	23	14
61	36	8.37	30.00%	X	20	20	40	23	14
63	36	21.20	22.00%	X	20	61	81	23	14

**OUTLET EROSION PROTECTION SIZE CHART**



**DOUBLE CURB INLET WITH MANHOLE (STM-04)**  
N.T.S.



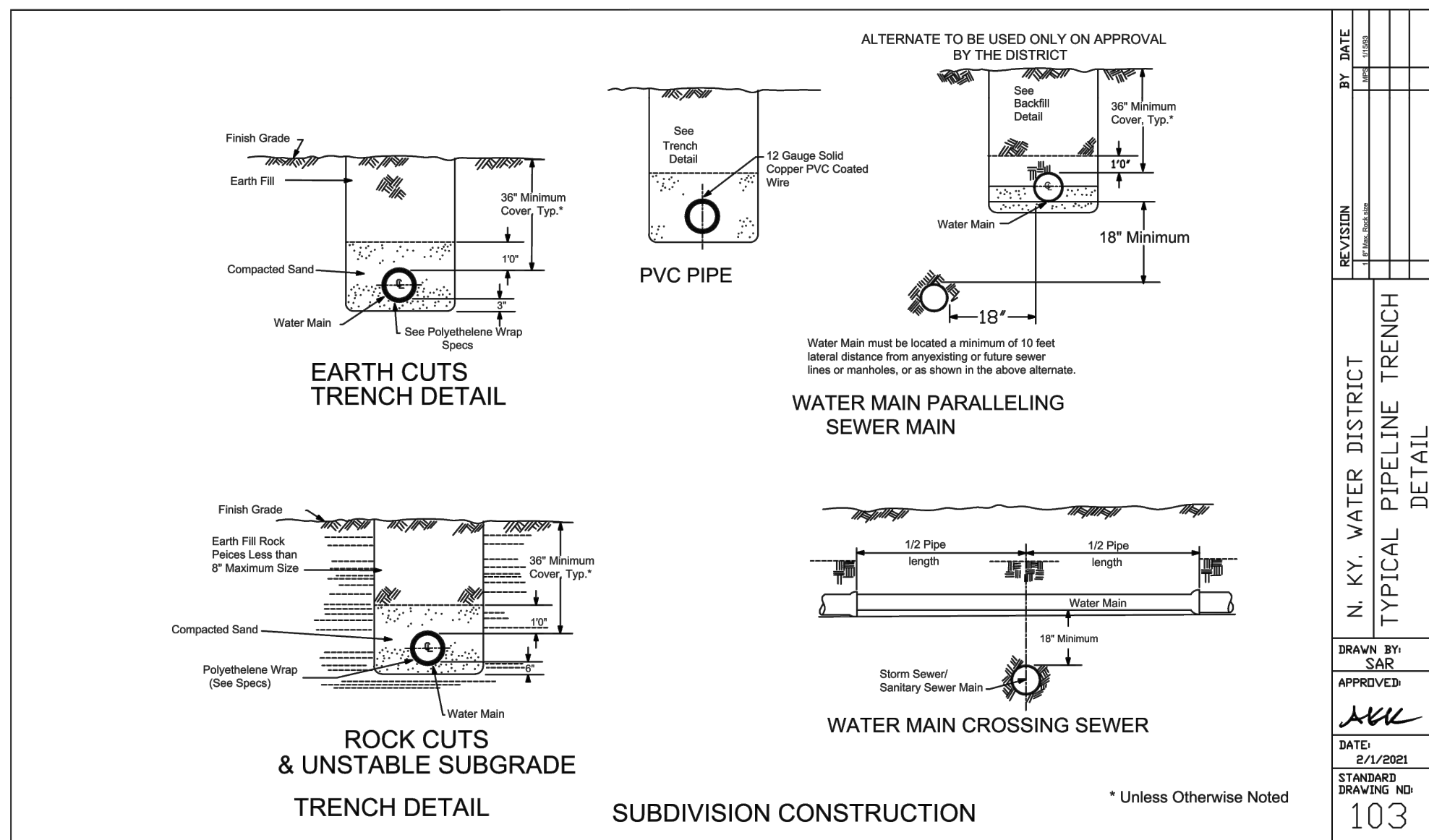
**STANDARD INLET (36"-42" OUTLET PIPE) (STM-09)**  
N.T.S.

**COLD SPRING POINTE  
STAGE II DEVELOPMENT PLAN**  
CITY OF COLD SPRING,  
CAMPELL COUNTY, KENTUCKY

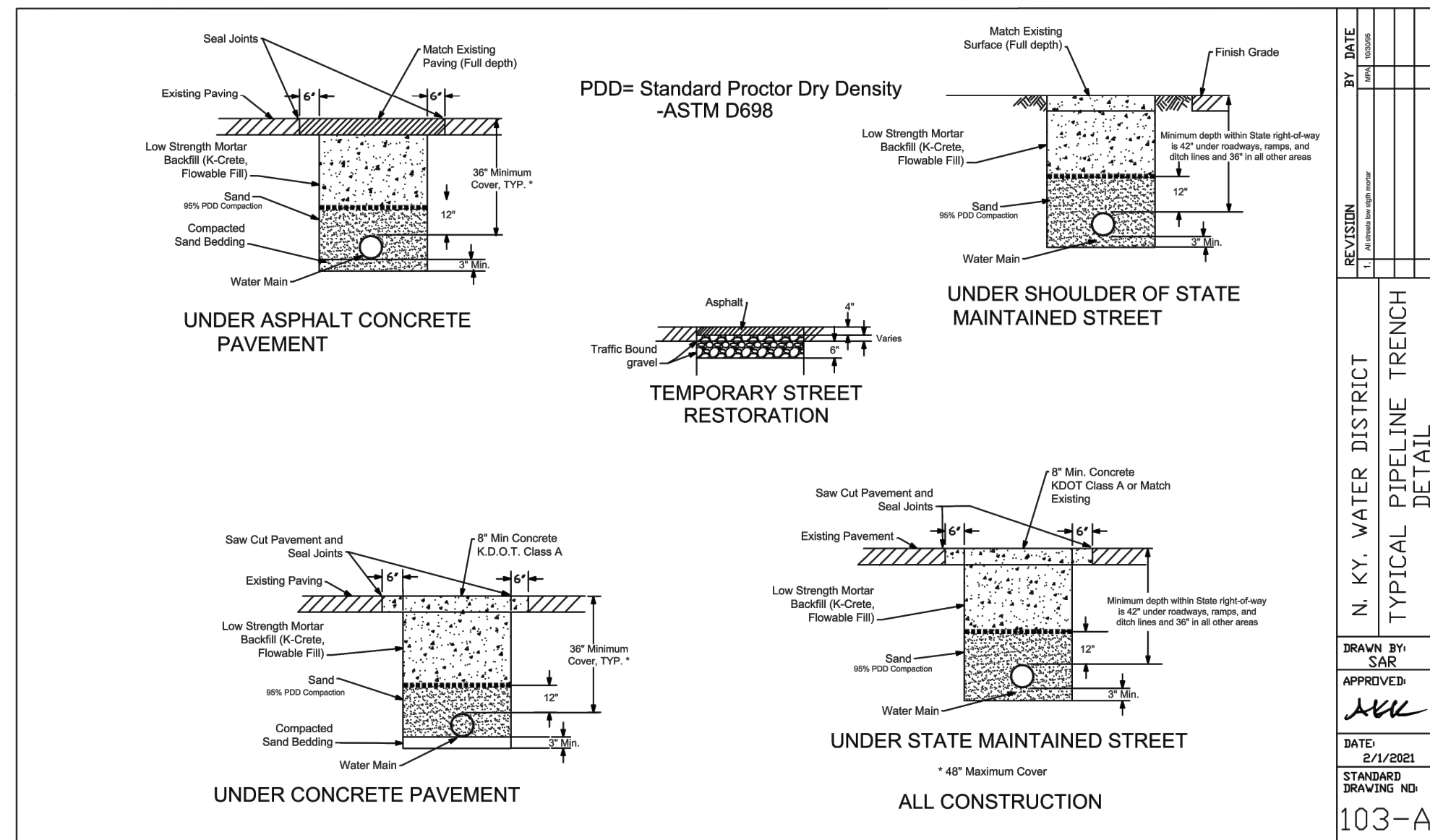


**PROPOSED STORM SEWER LEGEND**  
Duramax = STEEL REINFORCED THERMOPLASTIC RIBBED PIPE per ODOT SS898. (n=0.012)  
RCP = REINFORCED CONCRETE PIPE, CLASS IV (n=0.012 OR LESS)  
PVC = POLYVINYL CHLORIDE TYPE B PIPE. (n=0.009 OR LESS)  
ADS=ADVANCED DRAINAGE SYSTEMS® OR APPROVED EQUAL.  
HDPE = HIGH DENSITY POLYETHYLENE PIPE (HDPE) CORRUGATED SMOOTH LINED PIPE. ODOT TYPE B CONDUIT. (n=0.012 OR LESS)  
ULTRA = ALUMINIZED STEEL TYPE II ULTRA-FLO PIPE. (n=0.012 OR LESS)  
STM = HDPE OR PVC OR ULTRA-FLO PIPE. (n=0.012 OR LESS)

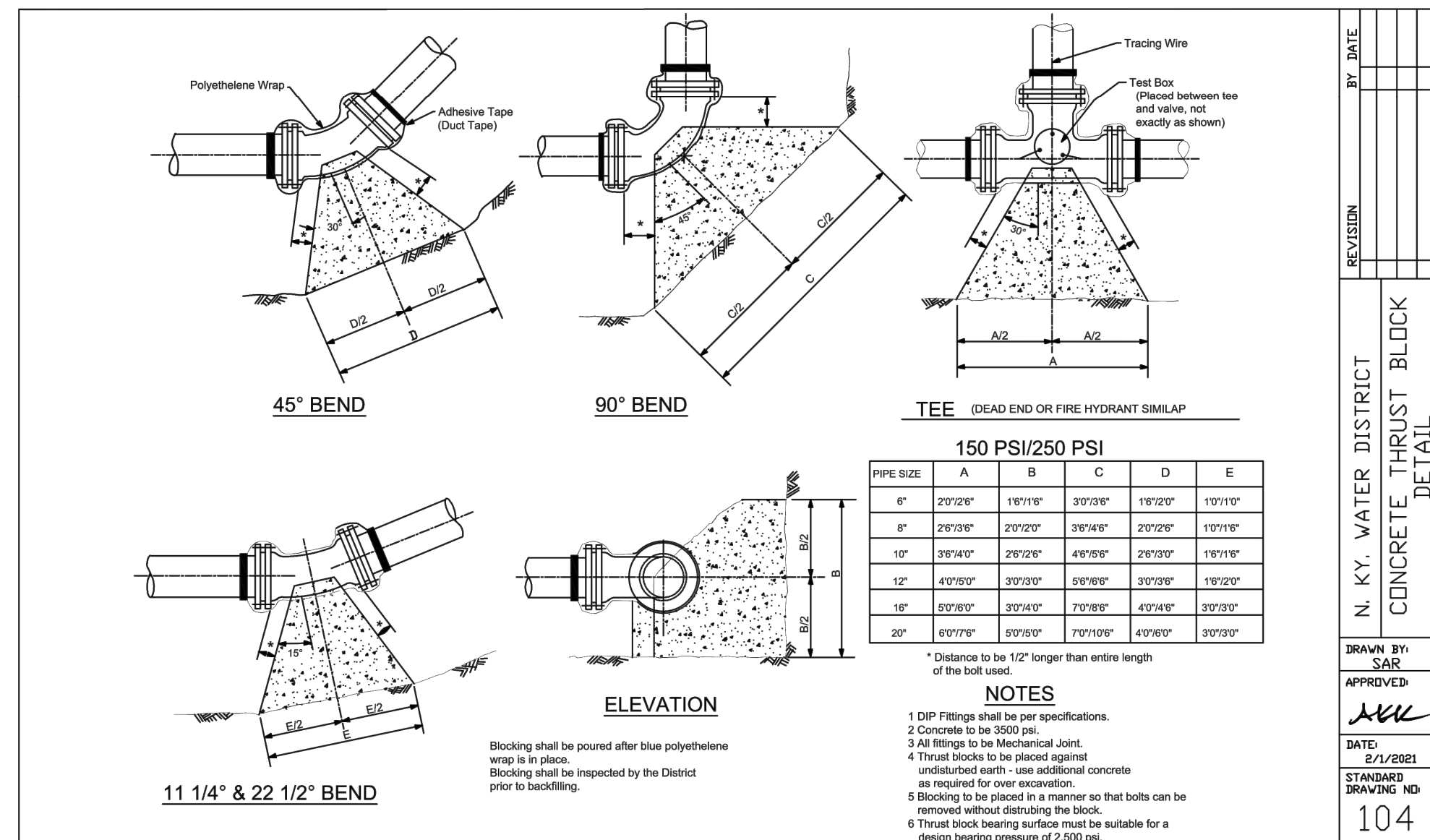
Date	Chk	Item
08-04-23	JLR	1 ISSUED TO CCP 8 Z
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		8
		9



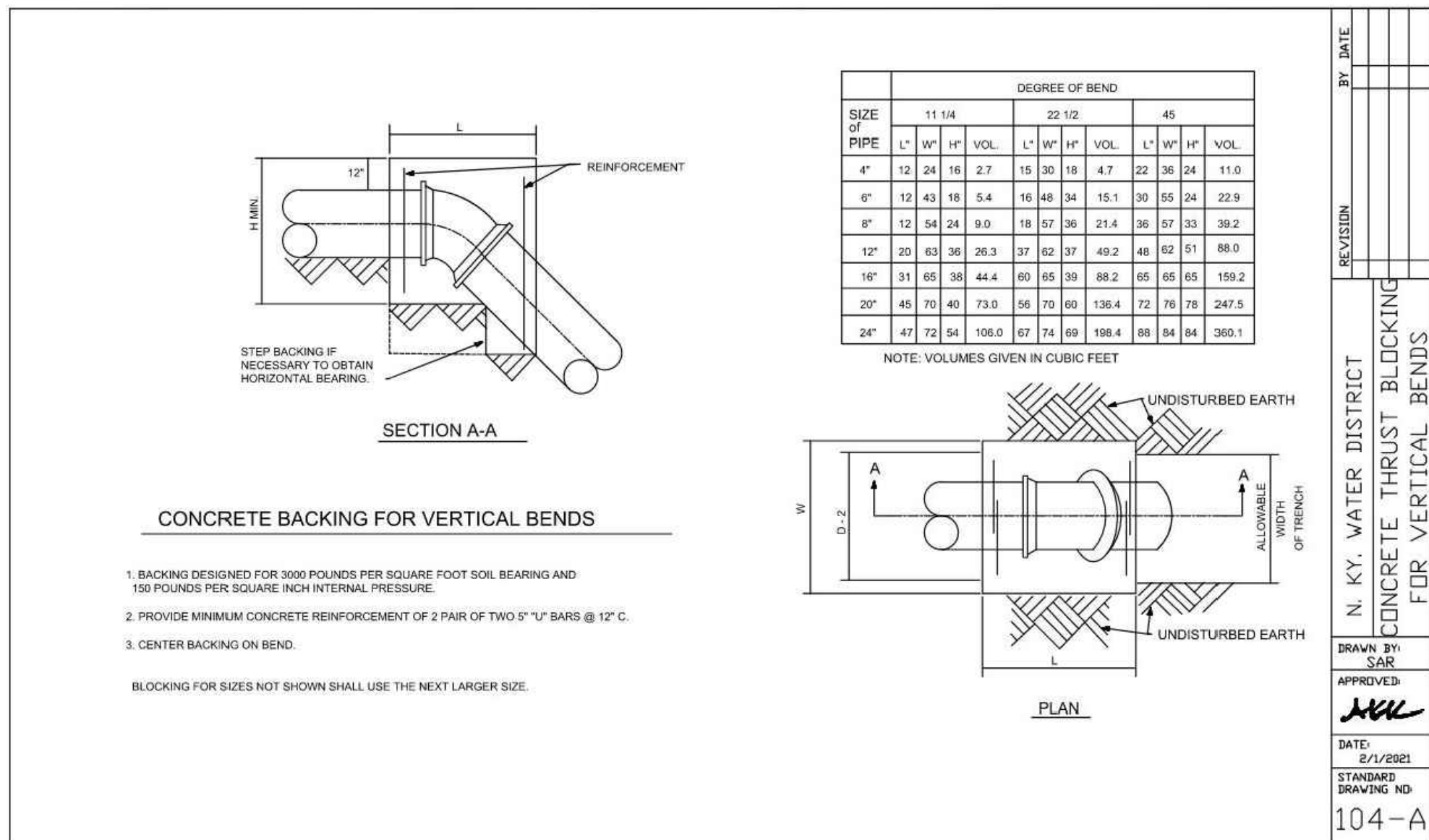
REVISION	DATE	BY	DATE
		SAR	8/1/2021
103		SAR	8/1/2021



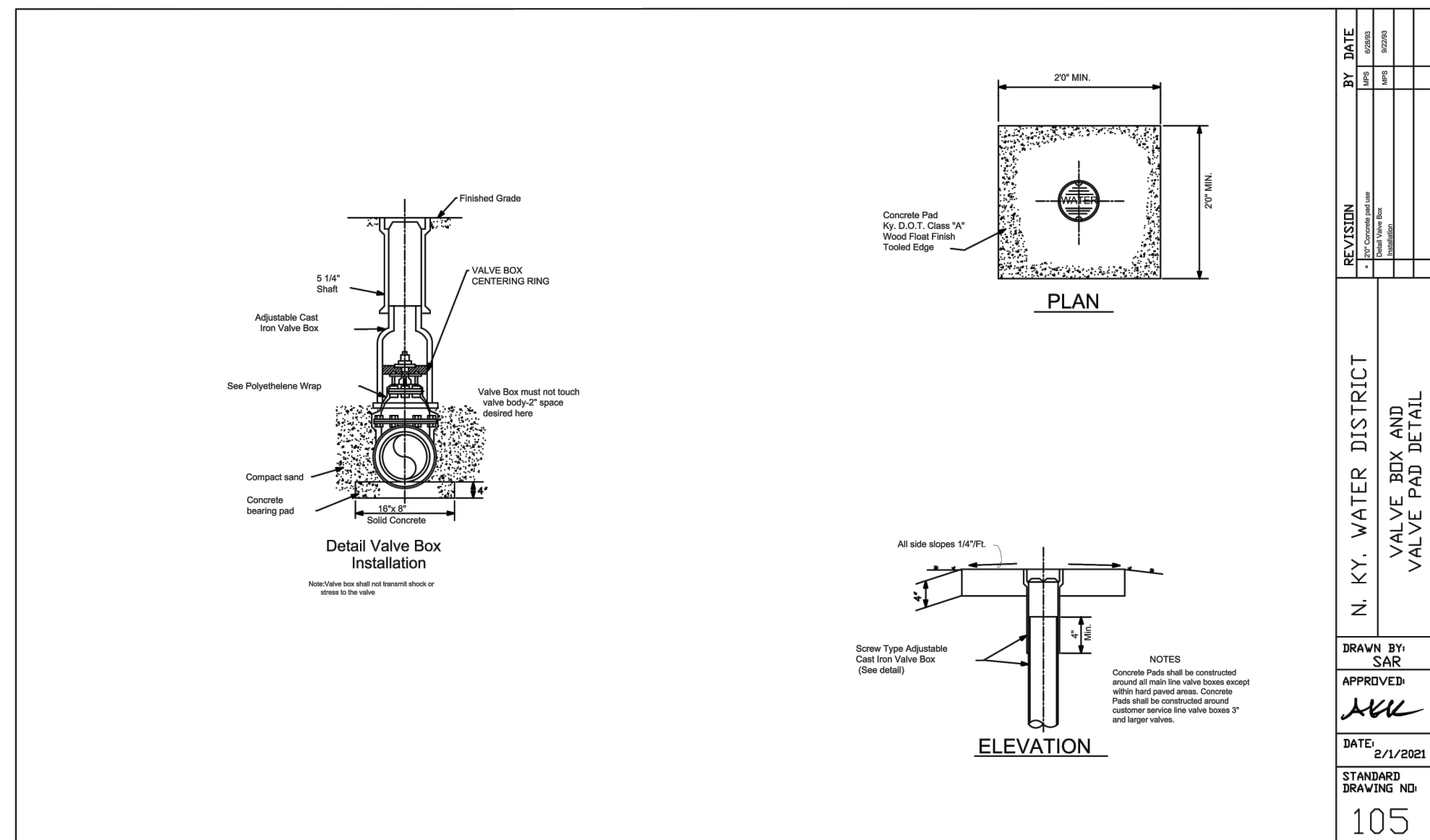
REVISION	DATE	BY	DATE
		SAR	8/1/2021
103-A		SAR	8/1/2021



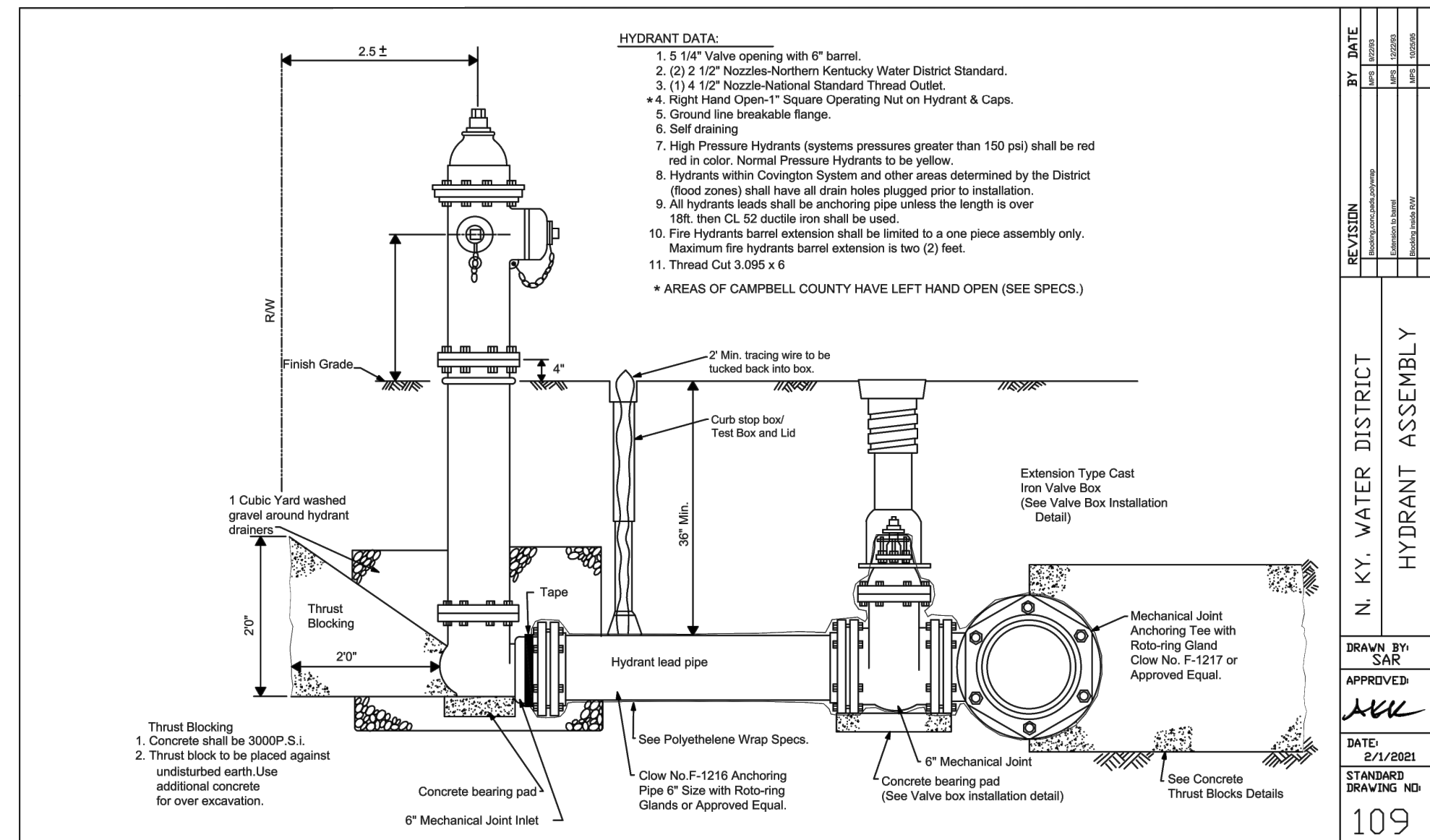
REVISION	DATE	BY	DATE
		SAR	8/1/2021
104		SAR	8/1/2021



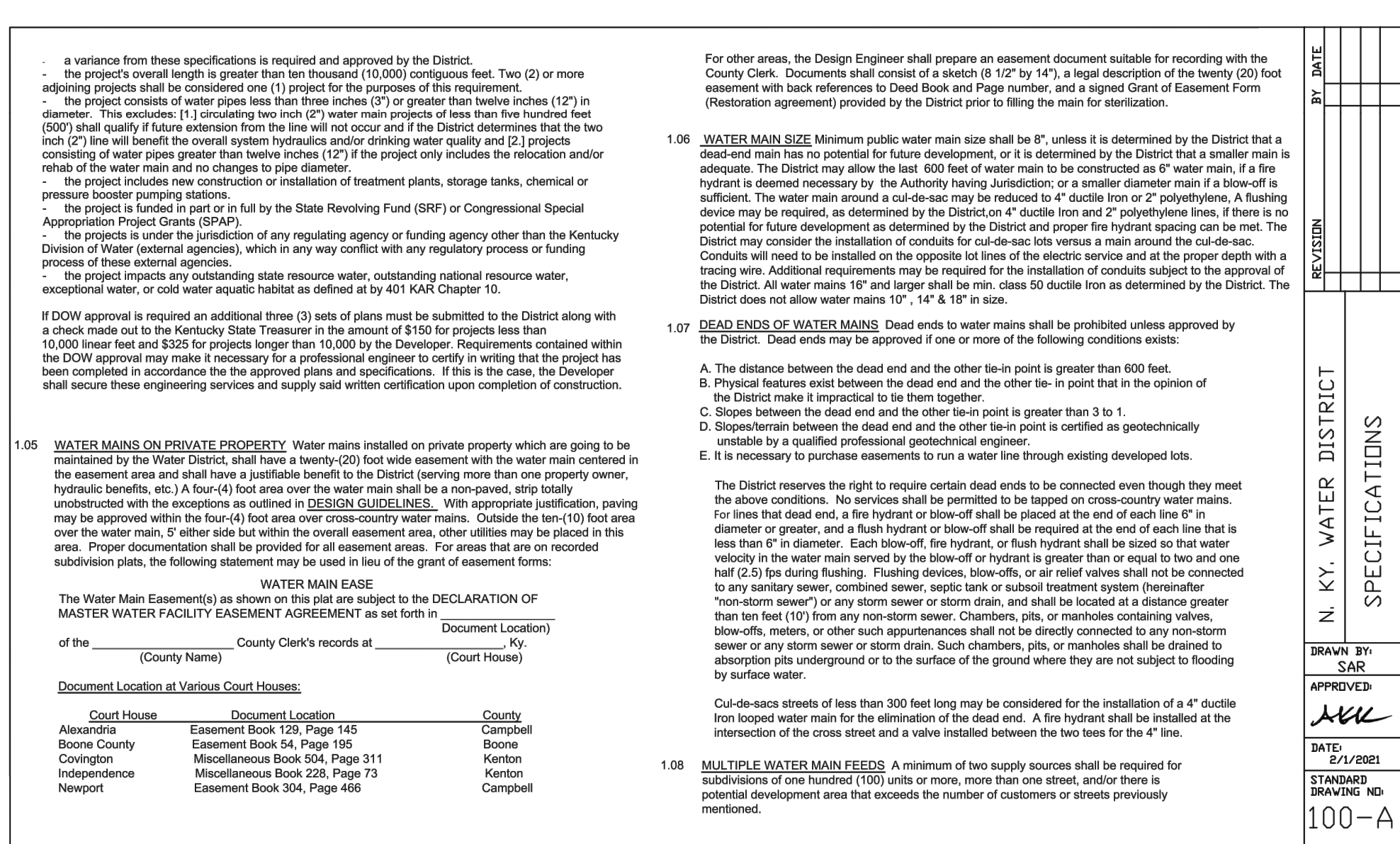
REVISION	DATE	BY	DATE
		SAR	8/1/2021
104-A		SAR	8/1/2021



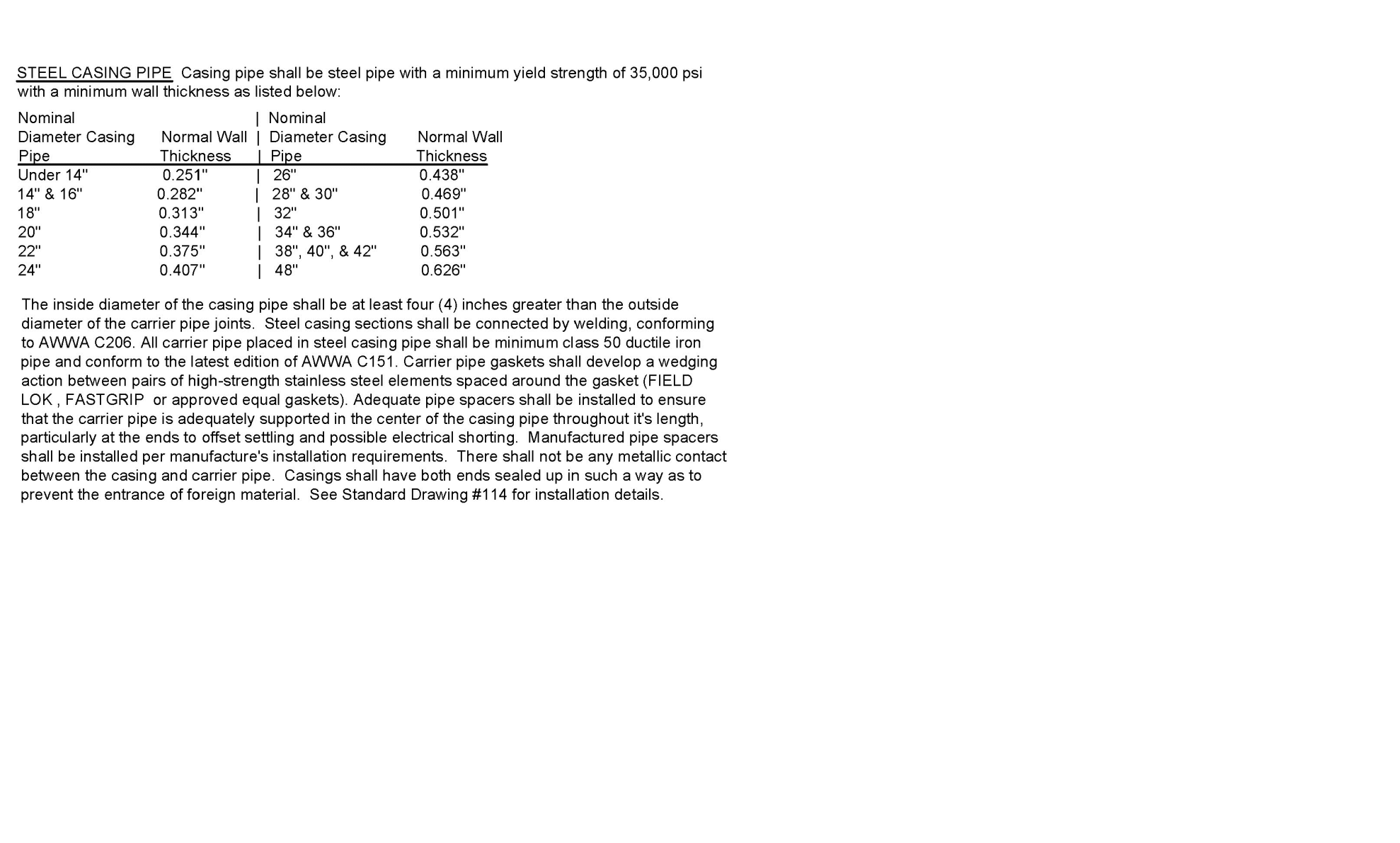
REVISION	DATE	BY	DATE
		SAR	8/1/2021
105		SAR	8/1/2021



REVISION	DATE	BY	DATE
		SAR	8/1/2021
109		SAR	8/1/2021



REVISION	DATE	BY	DATE
		SAR	8/1/2021
100-A		SAR	8/1/2021



REVISION	DATE	BY	DATE
		SAR	8/1/2021
100-A		SAR	8/1/2021

**COLD SPRING POINTE STAGE II DEVELOPMENT PLAN**  
 CITY OF COLD SPRING  
 CAMPBELL COUNTY, KENTUCKY  
 WATER DETAILS

Revision Description

1	ISSUED TO CC P & Z
2	
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Drawn: RTK  
 Date: 08-04-23

Item: 1, 2, 3, 4, 5, 6, 7, 8, 9

Drawn: JLR  
 Date: 08-04-23

Checked by: RTK  
 Issue Date: 08-04-23

Sheet: C7.2

**bayer becker**  
 www.bayerbecker.com  
 209 Grandview Drive  
 Fort Mitchell, KY 41017 - 859.281.1113



**BURIED UTILITIES NOTE:**  
 All above ground features have been field located. All buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.

**PIPE BEDDING - FLEXIBLE PIPE**  
N.T.S.

**PIPE BEDDING - RIGID PIPE**  
N.T.S.

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: MARCH 2010  
STANDARD DRAWING NO.: 110

**STANDARD MANHOLE**  
N.T.S.

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: APRIL 2010  
STANDARD DRAWING NO.: 113

**STANDARD PRECAST CONCRETE MANHOLE BASE**  
N.T.S.

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: APRIL 2010  
STANDARD DRAWING NO.: 113-A

**LATERAL CLEANUP INSTALLATION**  
N.T.S.

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: APRIL 2010  
STANDARD DRAWING NO.: 119

**SEWER LATERAL INSTALLATION**  
N.T.S.

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: SEPTEMBER 2010  
STANDARD DRAWING NO.: 120

**STANDARD MANHOLE FRAME AND COVER**  
N.T.S.

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: FEBRUARY 2011  
STANDARD DRAWING NO.: 130

**NKSD1 Requirements for Sewer Trench Compaction**

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: JANUARY 2010  
STANDARD DRAWING NO.: 114

**DROP MANHOLE**  
N.T.S.

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: APRIL 2010  
STANDARD DRAWING NO.: 114

**INSIDE DROP MANHOLE ONLY FOR INSTALLATIONS APPROVED BY SD1**  
N.T.S.

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: MARCH 2010  
STANDARD DRAWING NO.: 105

**CONCRETE ANCHOR BLOCK**  
(IN NATURAL SOILS)  
N.T.S.

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: APRIL 2010  
STANDARD DRAWING NO.: 122

**SEWER MAIN PARALLEL WATER MAIN**  
N.T.S.

**SEWER CROSSING WATER MAIN**  
N.T.S.

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: MARCH 2010  
STANDARD DRAWING NO.: 126

**SEWER CROSSING WATER MAIN**  
N.T.S.

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: APRIL 2010  
STANDARD DRAWING NO.: 122

**SEWER MAIN CROSSING WATER MAIN**  
N.T.S.

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: MARCH 2010  
STANDARD DRAWING NO.: 126

**SEWER MAIN CROSSING WATER MAIN**  
N.T.S.

REVISION BY DATE


SANITATION DISTRICT NO. 1  
1045 Eaton Drive  
FT. Wright, Kentucky 41017  
Ph: (859) 578-7460  
Fax: (859) 331-2436

DATE: MARCH 2010  
STANDARD DRAWING NO.: 126

**COLD SPRING POINTE**  
**STAGE II DEVELOPMENT PLAN**  
CITY OF COLD SPRING, KENTUCKY  
SANTARY DETAILS

REVISION DESCRIPTION

REV.	DATE	DESCRIPTION
1	ISSUED TO CC P & Z	
2		
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DATE: 08-04-23  
DRAWN: JLR  
CHECKED BY: RTK  
ISSUE DATE: 08-04-23

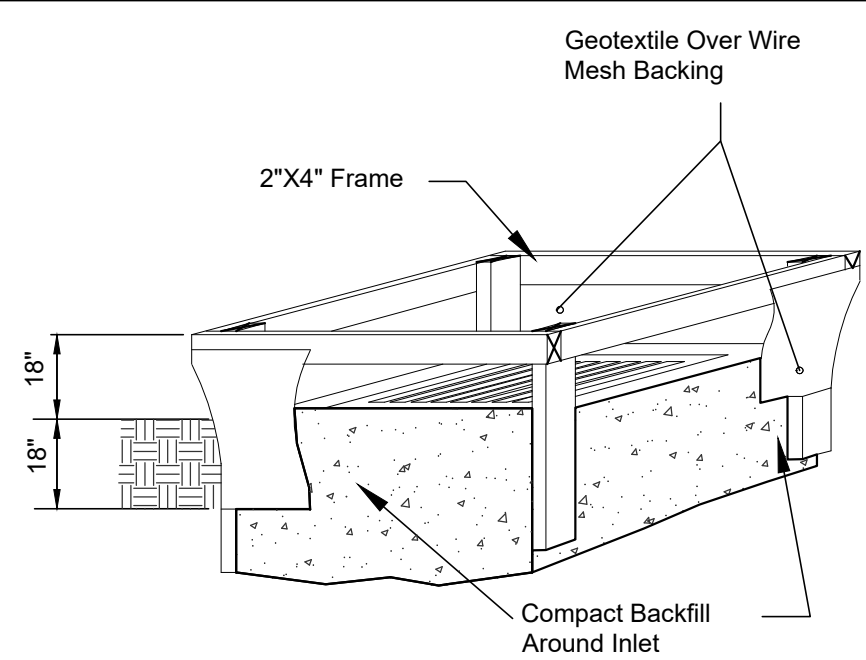
Plot time: Aug 04, 2023 - 1:15:58pm  
Drawing name: J:\2022\22-0059\CD\DWG\22-0059 CD Details.dwg - Layout Tab: C7.3 San Details

THIS DOCUMENT AND ALL RELATED DETAIL DRAWINGS, SPECIFICATIONS, AND ELECTRONIC MEDIA PREPARED OR FURNISHED BY BAYER BECKER (BB) ARE PROPERTY OF BB. NO REPRODUCTION, IN WHOLE OR IN PART, MAY BE MADE WITHOUT WRITTEN PERMISSION OF BB. AND IS DONE SO AT USER'S SOLE RISK. COPYRIGHT - ALL RIGHTS RESERVED.



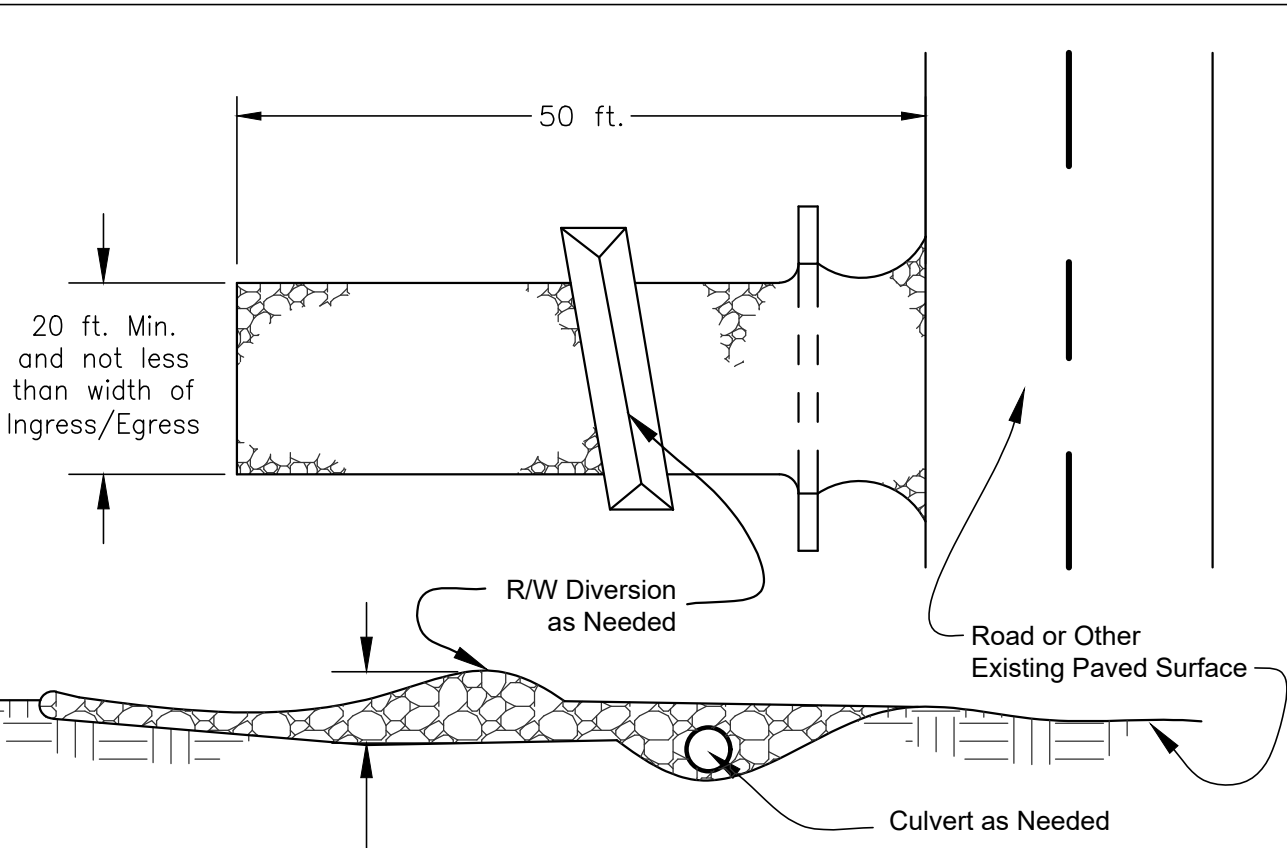
# INLET PROTECTION IN SWALES, DITCH LINES OR YARD INLETS

- Inlet protection shall be constructed either before upslope land disturbance begins or before the storm drain becomes operational.
- The earth around the inlet shall be excavated completely to the depth at least 18 in.
- The wooden frame shall be constructed of 2-by-4-in. construction grade lumber. The 2-by-4-in. posts shall be driven 1 ft. into the ground at four corners of the inlet and the top portion of 2-by-4-in. frame assembled using the overlap joint shown. The top of the frame shall be at least 6 in. below adjacent roads if ponded water would pose a safety hazard to traffic.
- Wire mesh shall be of sufficient strength to support fabric with water fully impounded against it. It shall be stretched tightly around the frame and fastened securely to the frame.
- Geotextile shall have an equivalent opening size of 20-40 sieve and be resistant to sunlight. It shall be stretched tightly around the frame and fastened securely. It shall extend from the top of the frame to 18 in. below the inlet crest elevation. The geotextile shall overlap across one side of the inlet so the ends of the cloth are not fastened to the same post.
- Backfill shall be placed around the inlet in compacted 6-in. layers until the earth is even with notch elevation on ends and top elevation on sides.
- A compacted earth dike or a check dam shall be constructed in the ditch line below the inlet if the inlet is not in a depression and if runoff bypassing the inlet will not flow to a setting pond. The top of earth dikes shall be at least 6 in. higher than the top of the frame.



# CONSTRUCTION ENTRANCE

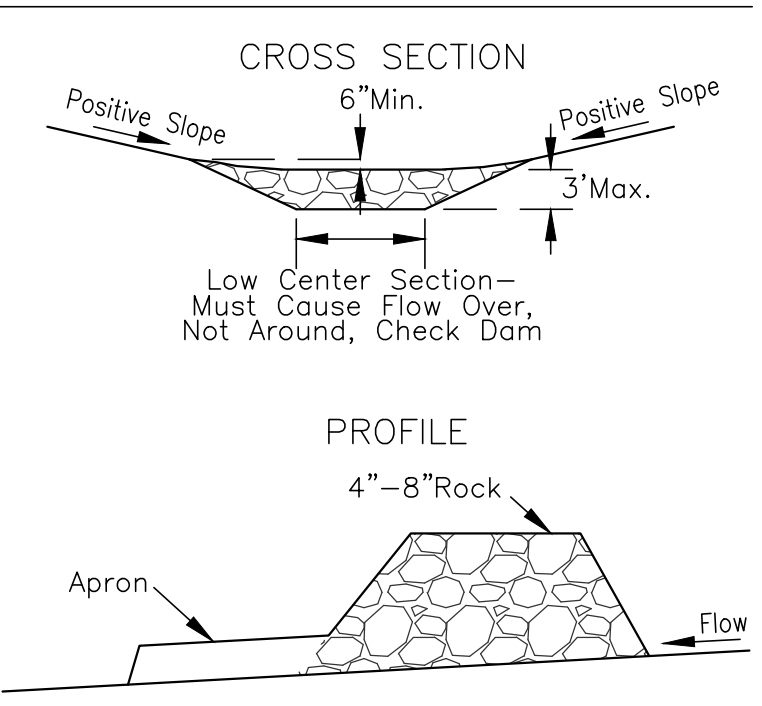
- Stone Size - Two-inch stone shall be used, or recycled concrete equivalent.
- Length - The construction entrance shall be as long as required to stabilize high traffic areas but not less than 70 ft. (except on single residence lot where a 30-ft. minimum length applies).
- Thickness - The stone layer shall be at least 6 in. thick.
- Width - The entrance shall be at least 10 ft. wide, but not less than the full width at points where ingress or egress occurs.
- Bedding - A geotextile shall be placed over the entire area prior to placing stone. It shall have a Grab Tensile Strength of at least 200 lb. and a Mullen Burst Strength of at least 190 lb.
- Culvert - A pipe or culvert shall be constructed under the entrance if needed to prevent surface water flowing across the entrance from being directed out onto paved surfaces.
- Water Bar - A water bar shall be constructed as part of the construction entrance if needed to prevent surface runoff from flowing the length of the construction entrance and out onto paved surfaces.
- Maintenance - Top dressing of additional stone shall be applied as conditions demand. Mud spilled, dropped, washed or tracked onto public roads, or any surfaces where runoff is not checked by sediment controls, shall be removed immediately. Removal shall be accomplished by scraping or sweeping.
- Construction entrances shall not be relied upon to remove mud from vehicles and prevent off-site tracking. Vehicles that enter and leave the construction-site shall be restricted from muddy areas.



# CHECK DAM

- The check dam shall be constructed of 4-8 in.-diameter stone, placed so that it completely covers the width of the channel.
- The top of the check dam shall be constructed so that the center is approximately 6 in. lower than the outer edges, so water will flow across the center and not around the ends.
- The maximum height of the check dam at the center of the weir shall not exceed 3 ft.
- Spacing between dams shall be as shown in the plans or by the following table:

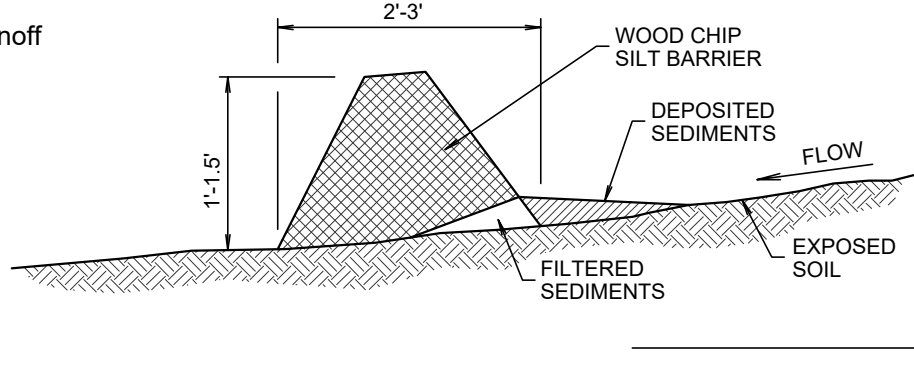
Dam Height (ft.)	Channel Slope			
	< 5%	5 - 10%	10 - 15%	15 - 20%
2	130ft	65ft	40ft	30ft
3	200ft	100ft	65ft	50ft



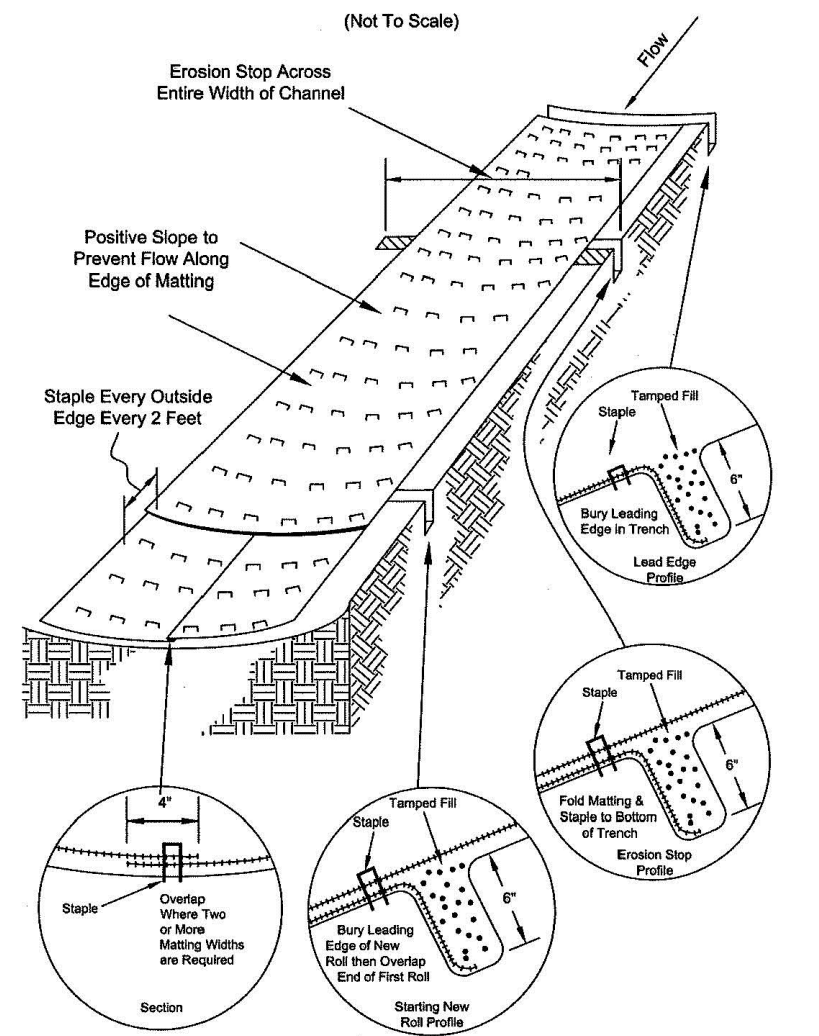
# WOOD CHIP SILT BARRIER

## INSTALLATION NOTES AND SPECIFICATIONS FOR MULCH BERM:

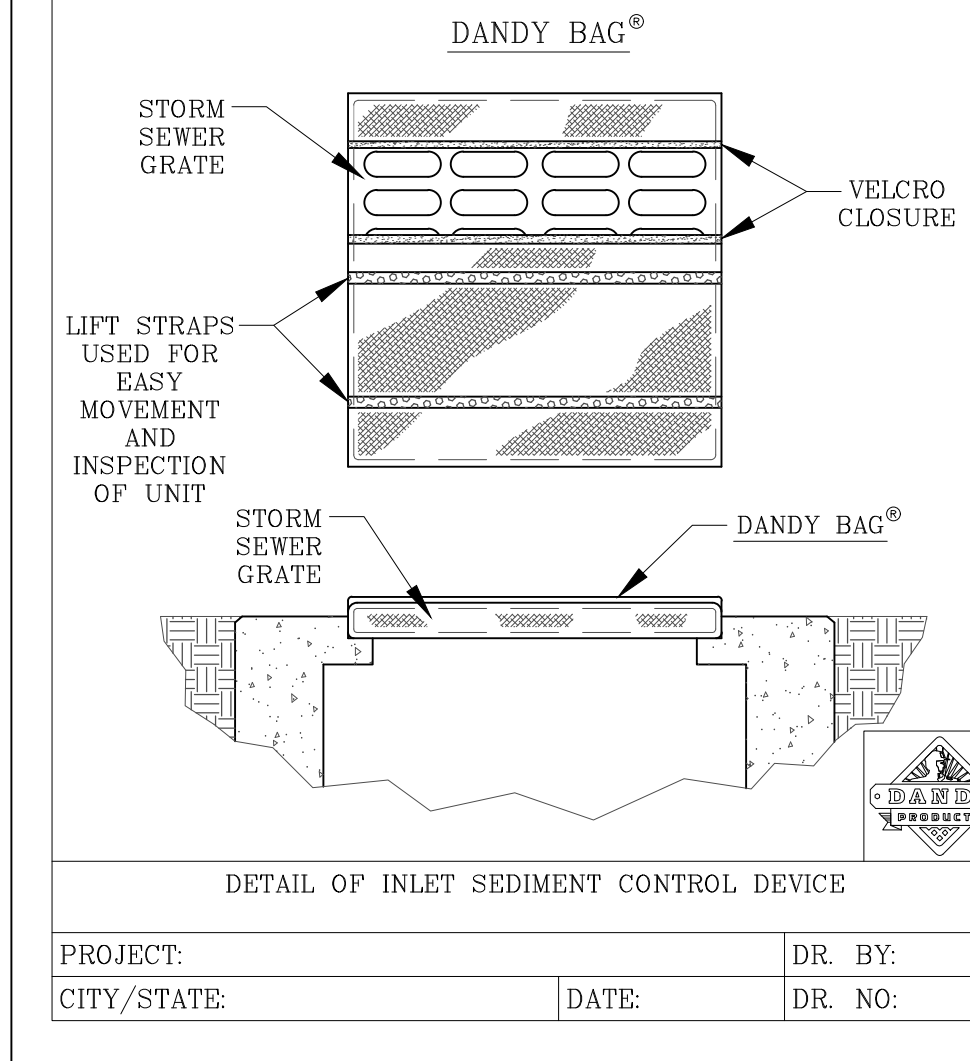
- Mulch berm should be placed along a level contour so that it will not channel runoff and create concentrated flows.
- Upland drainage limitations (sheet flow)
- Design Criteria:
  - particle sizes (99% passing 1 inch sieve etc.)
  - moisture content
  - no less than 70% organidies
- Planning considerations: most effective when combined with vegetated buffer.



# TURF REINFORCED MATTING (TRM)

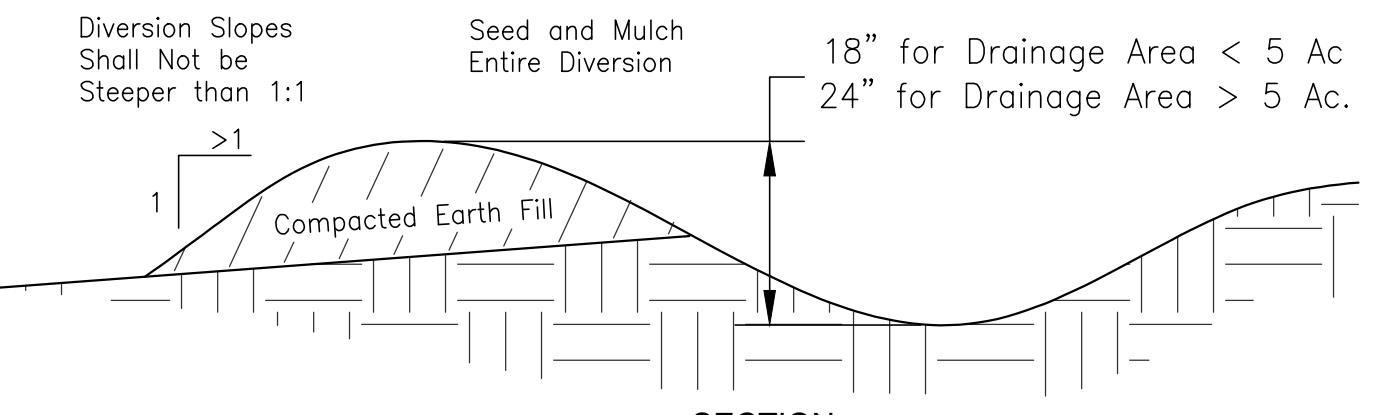


# IP



Property	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbs)	1.62 (365) x 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 x 10
Rupture Strength	ASTM D 4632	kN (lbs)	0.49 (100)
Mullen Burst Strength	ASTM D 3769	kPa (psi)	3097 (450)
Triplicate Tear Strength	ASTM D 4535	kN (lbs)	0.51 (115) x 0.33 (75)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	Min (US Std. Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	1/cm <sup>2</sup> /sec (gpm/ft <sup>2</sup> )	3907 (145)
Permittivity	ASTM D 4491	Sec <sup>-1</sup>	2.1

# TEMPORARY DIVERSION



Diversion Slope	< 2 Ac.	< 2.5 Ac.	< 5-10 Ac.
0-3%	Seed and Straw	Seed and Straw	Seed and Straw
3-5%	Seed and Straw	Seed and Straw	Matting
5-8%	Seed and Straw	Matting	Matting
8-20%	Seed and Straw	Matting	Engineered

Note: Diversion with steeper slopes or greater drainage areas are beyond the scope of this standard and must be designed for stability. Seed, straw and matting used shall meet the Specifications for Temporary Seeding, Mulching, and Matting.

# TD



THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN HAVE BEEN OBTAINED BY FIELD CHECKS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES. IT IS BELIEVED THAT THEY ARE CORRECT BUT THE PREPARED DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS. THEREFORE, ALL UNDERGROUND UTILITIES SHALL BE FIELD LOCATED PRIOR TO CONSTRUCTION. FOR MORE INFORMATION USE NUMBER SHOWN.

# BURIED UTILITIES NOTE:

All above ground features have been field located. All buried utilities have been shown based upon field evidence, project utility plans, and/or information obtained from utility companies. The utilities shown may or may not be shown in their actual location. Other buried utilities might exist on the subject property which are not shown on this drawing.

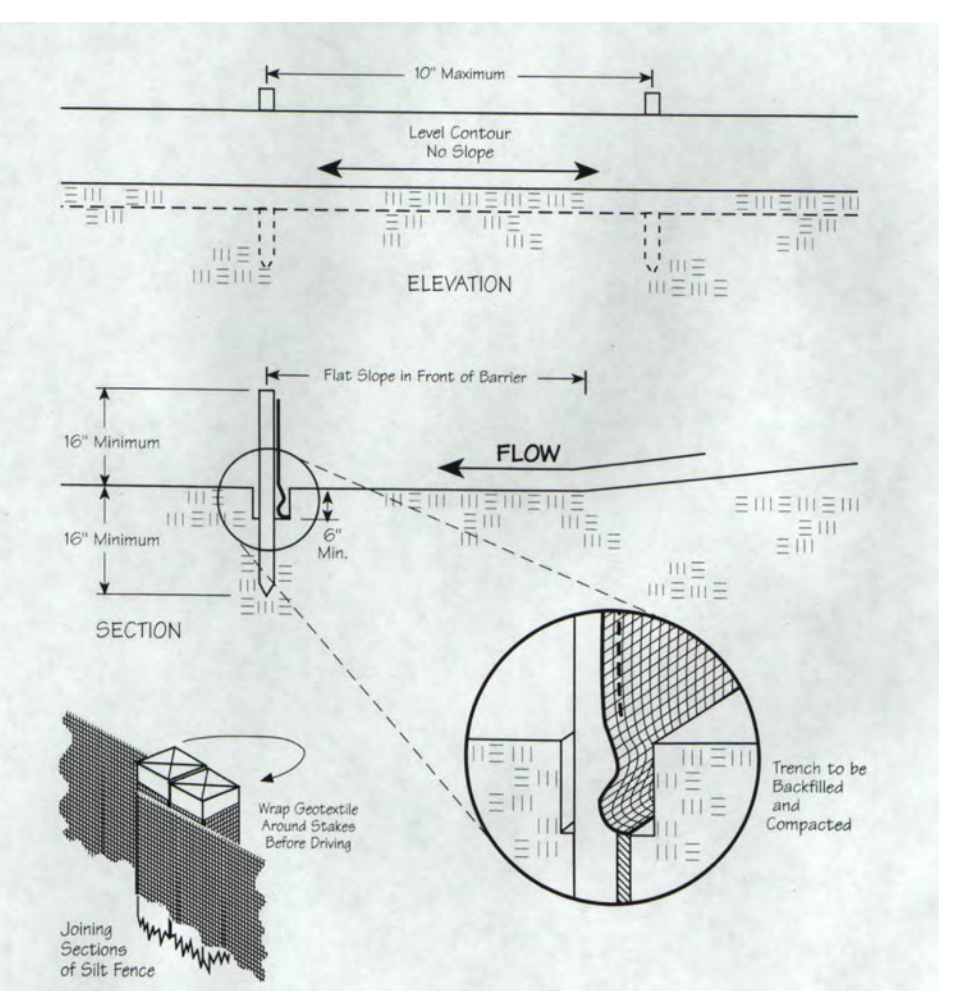
# SEDIMENT BASINS

- Sediment basins shall be constructed and operational before upslope land disturbances begins.
- Site Preparation - The area under the embankment shall be cleared, grubbed, and stripped of any vegetation and root material. The pool area shall be cleared as needed to facilitate sediment cleanout, Gullies, and sharp breaks shall be sloped to no steeper than 1:1. The surface of the foundation area will be thoroughly scarified before placement of the embankment material.
- Cut-off Trench - The cutoff trench shall be excavated along the centerline of the embankment. The minimum depth shall be 2 ft. unless specified deeper on the plans or as a result of site conditions. The minimum bottom width shall be 4 ft., but wide enough to permit operation of compaction equipment. The trench shall be kept free of standing water during backfill operations.
- Embankment - The fill material shall be free of all sod, roots, frozen soil, stones over 6 in. in diameter, and other objectionable material. The placing and spreading of the fill material shall be started at the lowest point of the foundation and the fill shall be brought up in approximately 6-in. horizontal layers or of such thickness that the required compaction can be obtained with the equipment used. Construction equipment shall be operated over each layer in a way that will result in the required compaction. Special equipment shall be used when the required compaction cannot be obtained without it. The moisture content of fill material shall be such that the required degree of compaction can be obtained with the equipment used.
- Pipe Spillway - The pipe conduit barrel shall be placed on a firm foundation to the lines and grades shown on the plans. Connections between the riser and barrel, the anti-seep collars and barrel and all pipe joints shall be watertight. Selected backfill material shall be placed around the conduit in layers and each layer shall be compacted to at least the same density as the adjacent embankment. All compaction within 2 ft. of the pipe spillway will be accomplished with hand-operated tamping equipment.
- Riser Pipe Base - The riser pipe shall be set a minimum of 6 in. in the concrete base.
- Trash Racks - Both the top of the riser and the dewatering office shall be fitted with trash racks firmly fastened to the riser pipe.
- Emergency Spillway - The emergency spillway shall be cut in undisturbed ground. Accurate construction of the spillway elevation and width is critical and shall be within a tolerance of 0.2 ft.
- Seed and Mulch - The sediment basin shall be stabilized immediately following its construction. In no case shall the embankment or emergency spillway remain bare for more than 7 days.
- Sediment Cleanout - Sediment shall be removed and the sediment basin restored to its original dimensions when the sediment has filled one-half the pond's original depth or as indicated on the plans. Sediment removed from the basin shall be placed so that it will not erode.
- Final removal - Sediment basins shall be removed after the upstream drainage area is stabilized or as indicated in the plans. Dewatering and removal shall NOT cause sediment to be discharged. The sediment basin site and sediment removed from the basin shall be stabilized.

# INLET PROTECTION IN PAVEMENT AREA OR YARD INLETS

STYLE	FRAME STYLE AND SIZE	Frame P/N
ROUND	Small Round (up to 20\"/>	

# SILT FENCE



- Silt fence shall be constructed before upslope land disturbance begins.
- All silt fence shall be placed as close to the contour as possible so that water will not concentrate at low points in the fence and so that small swales or depressions which may carry small concentrated flows to the silt fence are dissipated along its length.
- To prevent water ponded by the silt fence from flowing around the ends, each end shall be constructed upslope so that the ends are at a higher elevation.
- Where possible, silt fence shall be placed on the flattest area available.
- Where possible, vegetation shall be preserved for 10 (or as much as possible) upslope from the silt fence. If vegetation is removed, it shall be reestablished within 7 days from the installation of the silt fence.
- The height of the silt fence shall be a minimum of 16 in. above the original ground surface.
- The silt fence shall be placed in a trench cut a minimum of 6 in. deep. The trench shall be cut with a trencher, cable laying machine, or other suitable device which will ensure an adequately uniform trench depth.
- The silt fence shall be placed with the stakes on the downslope side of the geotextile and so that 9 in. of cloth are below the ground surface. Excess material shall lay on the bottom of the 6-in.-deep trench. The trench shall be backfilled and compacted.
- Seams between sections of silt fence shall be overlapped with the end stakes of each section wrapped together before driving into the ground.
- Maintenance - Silt fence shall allow runoff to pass only as diffuse flow through the geotextile. If runoff overtops the silt fence, flows under or around the ends, or in any other way becomes a concentrated flow, one of the following shall be performed, as appropriate: 1) The layout of the silt fence shall be changed; 2) Accumulated sediment shall be removed; or 3) Other practices shall be installed.
- Sediment deposits behind the silt fence shall be removed when the deposits reach approximately one-third the height of the silt fence.
- Criteria for Silt Fence Materials
  - Fence Posts - The length shall be a minimum of 32 in. long. Wood posts will be 2-by-2 in. hardwood of sound quality. The maximum spacing between posts shall be 10 ft.
  - Silt Fence Fabric shall be Geotextile Fabric per local jurisdiction or state transportation department specifications.

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Date	Chk:	Rev.	Description
08-04-23	RTK	1	ISSUED TO CC P & Z
	JLT	2	
		3	
		4	
		5	
		6	
		7	
		8	
		9	

**COLD SPRING POINTE  
STAGE II DEVELOPMENT PLAN**

CITY OF COLD SPRING,  
CAMPBELL COUNTY, KENTUCKY

**EROSION CONTROL DETAILS**

Drawn	22-0059 CD DETAILS		
Checked By	JLR		
Issue Date	08-04-23		
Sheet	C8.0		



Date	Drawn	Chk	Item	Revision Description
08-04-23	LEM	HMW	1	ISSUED TO CC P & Z

Date	Drawn	Chk	Item	Revision Description
08-04-23	LEM	HMW	1	ISSUED TO CC P & Z

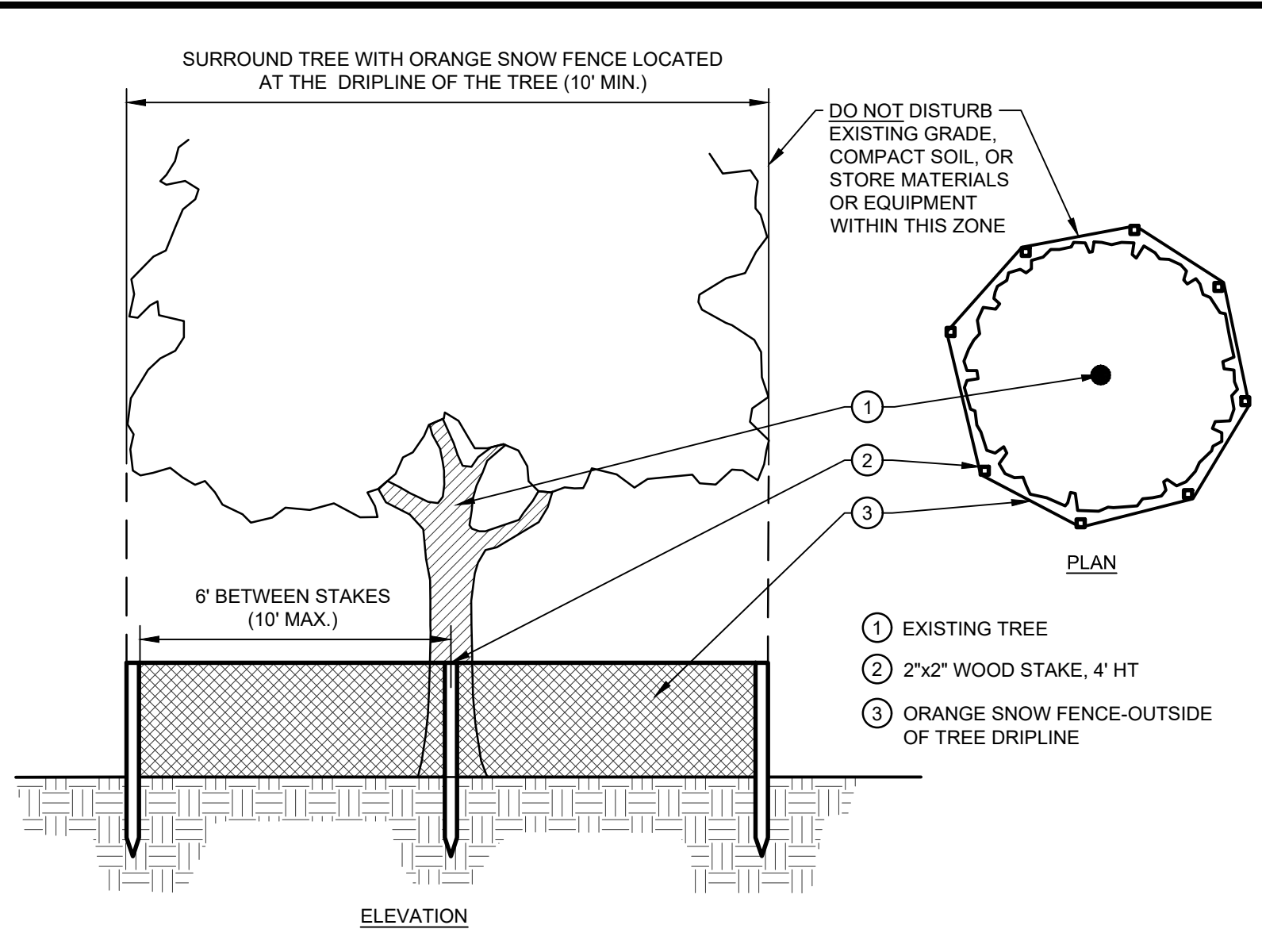
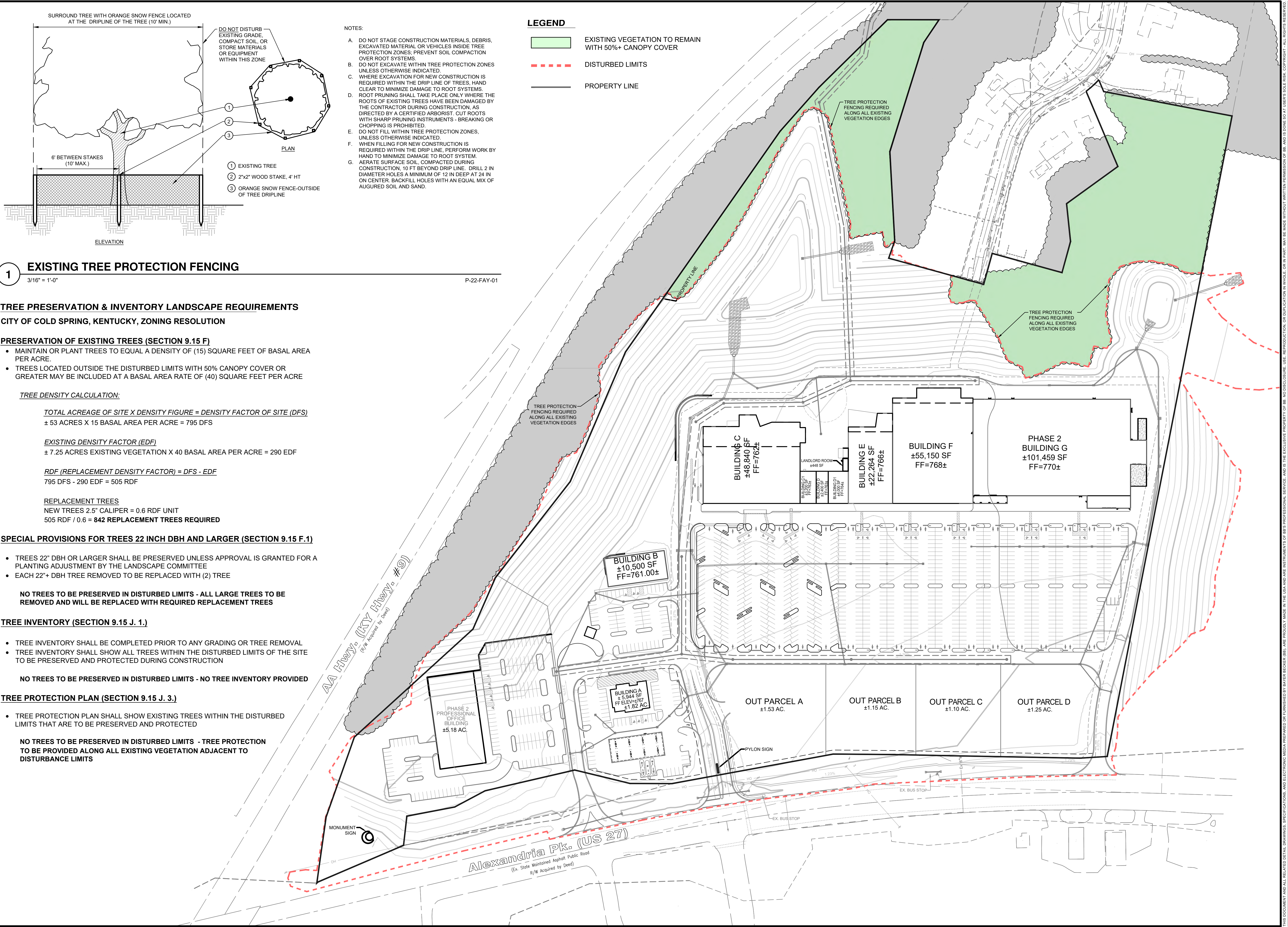
**COLD SPRING POINTE  
STAGE II DEVELOPMENT PLAN**  
CITY OF COLD SPRING,  
CAMPBELL COUNTY, KENTUCKY  
TREE PROTECTION PLAN



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Drawing:	22-0059 L.A.
Drawn by:	LEM
Checked by:	HMW
Issue Date:	8-4-23

Sheet:  
**L1.0**



- NOTES:**
- DO NOT STAGE CONSTRUCTION MATERIALS, DEBRIS, EXCAVATED MATERIAL OR VEHICLES INSIDE TREE PROTECTION ZONES; PREVENT SOIL COMPACTION OVER ROOT SYSTEMS.
  - DO NOT EXCAVATE WITHIN TREE PROTECTION ZONES UNLESS OTHERWISE INDICATED.
  - WHERE EXCAVATION FOR NEW CONSTRUCTION IS REQUIRED WITHIN THE DRIP LINE OF TREES, HAND CLEAR TO MINIMIZE DAMAGE TO ROOT SYSTEMS. ROOT PRUNING SHALL TAKE PLACE ONLY WHERE THE ROOTS OF EXISTING TREES HAVE BEEN DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION, AS DIRECTED BY A CERTIFIED ARBORIST. CUT ROOTS WITH SHARP PRUNING INSTRUMENTS - BREAKING OR CHOPPING IS PROHIBITED.
  - DO NOT FILL WITHIN TREE PROTECTION ZONES, UNLESS OTHERWISE INDICATED.
  - WHEN FILLING FOR NEW CONSTRUCTION IS REQUIRED WITHIN THE DRIP LINE, PERFORM WORK BY HAND TO MINIMIZE DAMAGE TO ROOT SYSTEM.
  - AERATE SURFACE SOIL, COMPACTED DURING CONSTRUCTION, 10 FT BEYOND DRIP LINE. DRILL 2 IN DIAMETER HOLES A MINIMUM OF 12 IN DEEP AT 24 IN ON CENTER. BACKFILL HOLES WITH AN EQUAL MIX OF AUGURED SOIL AND SAND.

**LEGEND**

- EXISTING VEGETATION TO REMAIN WITH 50%+ CANOPY COVER
- DISTURBED LIMITS
- PROPERTY LINE

**1 EXISTING TREE PROTECTION FENCING**  
3/16" = 1'-0"

P-22-FAY-01

**TREE PRESERVATION & INVENTORY LANDSCAPE REQUIREMENTS**  
CITY OF COLD SPRING, KENTUCKY, ZONING RESOLUTION

- PRESERVATION OF EXISTING TREES (SECTION 9.15 F)**
- MAINTAIN OR PLANT TREES TO EQUAL A DENSITY OF (15) SQUARE FEET OF BASAL AREA PER ACRE.
  - TREES LOCATED OUTSIDE THE DISTURBED LIMITS WITH 50% CANOPY COVER OR GREATER MAY BE INCLUDED AT A BASAL AREA RATE OF (40) SQUARE FEET PER ACRE

**TREE DENSITY CALCULATION:**

**TOTAL ACREAGE OF SITE X DENSITY FIGURE = DENSITY FACTOR OF SITE (DFS)**  
± 53 ACRES X 15 BASAL AREA PER ACRE = 795 DFS

**EXISTING DENSITY FACTOR (EDF)**  
± 7.25 ACRES EXISTING VEGETATION X 40 BASAL AREA PER ACRE = 290 EDF

**RDF (REPLACEMENT DENSITY FACTOR) = DFS - EDF**  
795 DFS - 290 EDF = 505 RDF

**REPLACEMENT TREES**  
NEW TREES 2.5" CALIPER = 0.6 RDF UNIT  
505 RDF / 0.6 = **842 REPLACEMENT TREES REQUIRED**

**SPECIAL PROVISIONS FOR TREES 22 INCH DBH AND LARGER (SECTION 9.15 F.1)**

- TREES 22" DBH OR LARGER SHALL BE PRESERVED UNLESS APPROVAL IS GRANTED FOR A PLANTING ADJUSTMENT BY THE LANDSCAPE COMMITTEE
- EACH 22"+ DBH TREE REMOVED TO BE REPLACED WITH (2) TREE

**NO TREES TO BE PRESERVED IN DISTURBED LIMITS - ALL LARGE TREES TO BE REMOVED AND WILL BE REPLACED WITH REQUIRED REPLACEMENT TREES**

**TREE INVENTORY (SECTION 9.15 J. 1.)**

- TREE INVENTORY SHALL BE COMPLETED PRIOR TO ANY GRADING OR TREE REMOVAL
- TREE INVENTORY SHALL SHOW ALL TREES WITHIN THE DISTURBED LIMITS OF THE SITE TO BE PRESERVED AND PROTECTED DURING CONSTRUCTION

**NO TREES TO BE PRESERVED IN DISTURBED LIMITS - NO TREE INVENTORY PROVIDED**

**TREE PROTECTION PLAN (SECTION 9.15 J. 3.)**

- TREE PROTECTION PLAN SHALL SHOW EXISTING TREES WITHIN THE DISTURBED LIMITS THAT ARE TO BE PRESERVED AND PROTECTED

**NO TREES TO BE PRESERVED IN DISTURBED LIMITS - TREE PROTECTION TO BE PROVIDED ALONG ALL EXISTING VEGETATION ADJACENT TO DISTURBANCE LIMITS**

Plot time: Aug 04, 2023 - 11:17am  
Drawing name: J:\2022\22-0059\LADWG\22-0059 L.A.DWG - Layout Tab: Stage II L1.0 Tree Protection

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**CONCEPT GRAPHICS SCHEDULE**

- VEHICULAR USE AREA (VUA)  
ANY AREA USED BY (2) OR MORE MOTOR VEHICLES FOR PARKING,  
LOADING/UNLOADING, SALES, SERVICES, OR DRIVEWAYS.  
Takeoff: 718,467 sf
- INTERIOR VUA LANDSCAPING  
MINIMUM 5% OF VUA  
(1) TREE PER 250 SF OF INTERIOR LANDSCAPE AREA  
Takeoff: 66,593 sf (9% PROVIDED)  
~150 TREES
- SIGNAGE PLANTING  
(1) SF OF PLANTING PER SF OF SIGNAGE  
Takeoff: 1,958 sf
- RESIDENTIAL BUFFER  
MINIMUM 20' WIDTH  
DOUBLE ROW, STAGGERED, EVERGREEN TREES (LIST C) AT 15' O.C.  
Takeoff: 2,021 lf ~105 TREES
- COMMERCIAL ADJACENT TO PUBLIC R.O.W.  
10% OF FRONT YARD ADJACENT TO PUBLIC R.O.W. MUST BE LANDSCAPED  
(3) TREES PER 100 LF OF ROAD FRONTAGE  
Takeoff: 1,400 lf ~50 TREES
- STREET TREES  
4' MINIMUM WIDTH  
(1) TREE 60' O.C. MAX. ALONG ALL PUBLIC OR PRIVATE STREETS  
Takeoff: 3,231 lf ~85 TREES
- VUA PERIMETER ADJOINING PUBLIC OR PRIVATE STREET  
10FT MIN. PERIMETER SCREENING EASEMENT  
(1) LIST A TREE PER 40 LF + 8 SHRUBS\* OR  
(1) LIST B TREE PER 25 LF + 8 SHRUBS\*  
\*SHRUBS NOT REQUIRED IF GREATER THAN 25' WIDTH  
Takeoff: 1,791 lf ~45 TREES
- DUMPSTER SCREENING  
FENCING  
OPTIONAL: HEDGE ON THREE SIDES  
Takeoff: 170 lf ~25 TREES

CURRENT LANDSCAPE PLAN: ~460 TREES PROVIDED

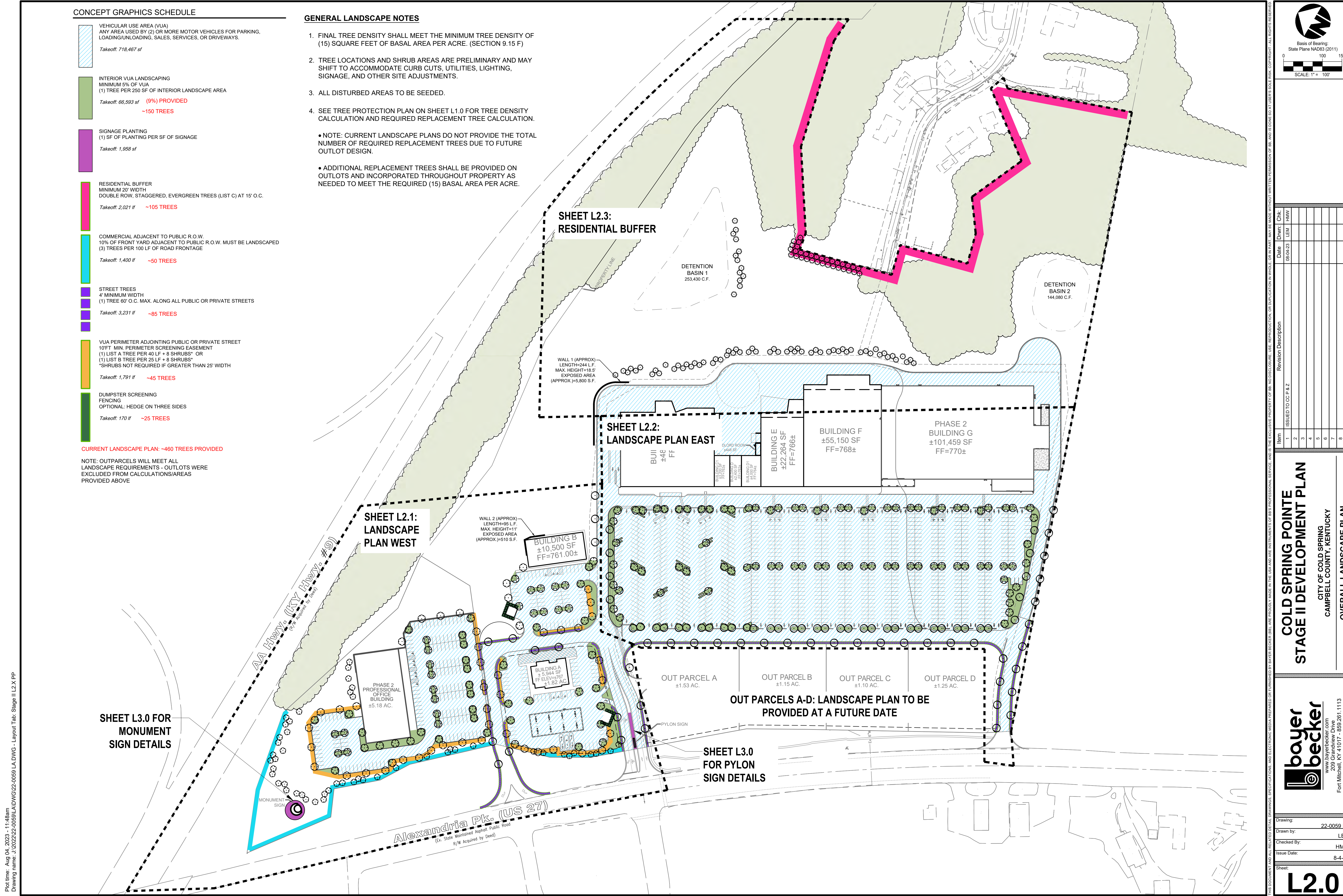
NOTE: OUTPARCELS WILL MEET ALL LANDSCAPE REQUIREMENTS - OUTLOTS WERE EXCLUDED FROM CALCULATIONS/AREAS PROVIDED ABOVE

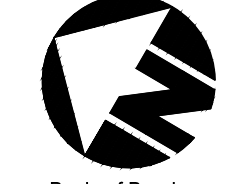
**GENERAL LANDSCAPE NOTES**

1. FINAL TREE DENSITY SHALL MEET THE MINIMUM TREE DENSITY OF (15) SQUARE FEET OF BASAL AREA PER ACRE. (SECTION 9.15 F)
2. TREE LOCATIONS AND SHRUB AREAS ARE PRELIMINARY AND MAY SHIFT TO ACCOMMODATE CURB CUTS, UTILITIES, LIGHTING, SIGNAGE, AND OTHER SITE ADJUSTMENTS.
3. ALL DISTURBED AREAS TO BE SEEDED.
4. SEE TREE PROTECTION PLAN ON SHEET L1.0 FOR TREE DENSITY CALCULATION AND REQUIRED REPLACEMENT TREE CALCULATION.

• NOTE: CURRENT LANDSCAPE PLANS DO NOT PROVIDE THE TOTAL NUMBER OF REQUIRED REPLACEMENT TREES DUE TO FUTURE OUTLOT DESIGN.

• ADDITIONAL REPLACEMENT TREES SHALL BE PROVIDED ON OUTLOTS AND INCORPORATED THROUGHOUT PROPERTY AS NEEDED TO MEET THE REQUIRED (15) BASAL AREA PER ACRE.




  
 Basis of Bearing:  
 State Plane NAD83 (2011)  
 0 100 150  
 SCALE: 1" = 100'

Date	Drawn	Chk	Revision Description
08-04-23	LEM	HMW	

Item	Revision Description
1	ISSUED TO C.C.P. & Z.
2	
3	
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9	

**COLD SPRING POINTE  
 STAGE II DEVELOPMENT PLAN**  
 CITY OF COLD SPRING  
 CAMPBELL COUNTY, KENTUCKY  
 OVERALL LANDSCAPE PLAN

  
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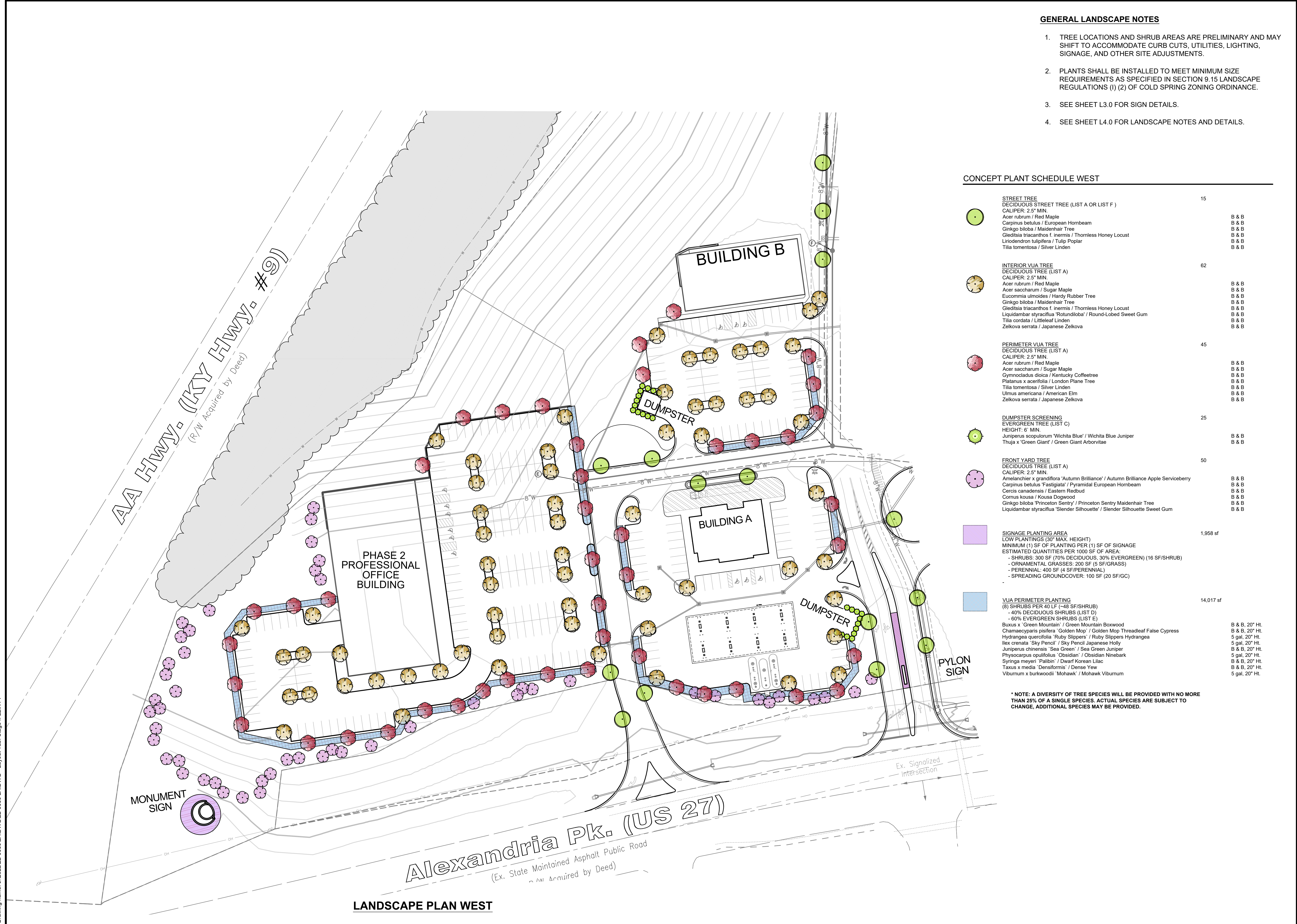
Drawing:	22-0059 L.A.
Drawn by:	LEM
Checked by:	HMW
Issue Date:	8-4-23

L2.0

Plot time: Aug 04, 2023 - 11:48am  
 Drawing name: J:\2022\22-0059\LA DWG - Layout Tab: Stage II L2.X.PP

Plot time: Aug 04, 2023 - 11:40am

Drawing name: J:\2022\22-0059\LA DWG - L2.X PP



LANDSCAPE PLAN WEST

GENERAL LANDSCAPE NOTES

- TREE LOCATIONS AND SHRUB AREAS ARE PRELIMINARY AND MAY SHIFT TO ACCOMMODATE CURB CUTS, UTILITIES, LIGHTING, SIGNAGE, AND OTHER SITE ADJUSTMENTS.
- PLANTS SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIREMENTS AS SPECIFIED IN SECTION 9.15 LANDSCAPE REGULATIONS (1) (2) OF COLD SPRING ZONING ORDINANCE.
- SEE SHEET L3.0 FOR SIGN DETAILS.
- SEE SHEET L4.0 FOR LANDSCAPE NOTES AND DETAILS.

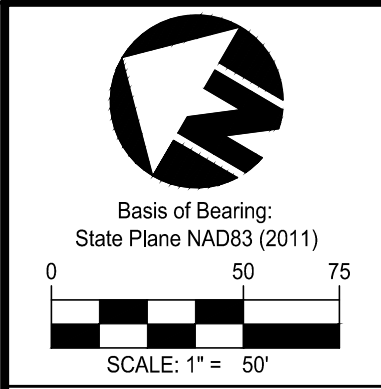
CONCEPT PLANT SCHEDULE WEST

Item	Revision Description	Date	Drawn	Checked
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2				
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5				
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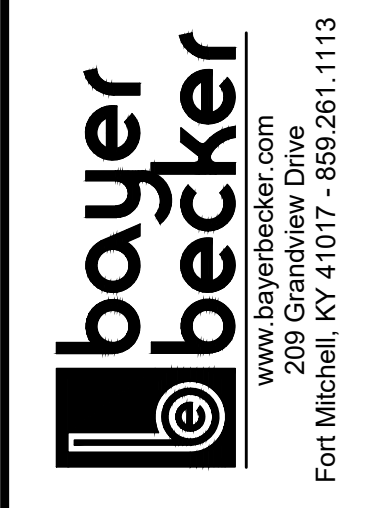
  

<p><b>STREET TREE</b> DECIDUOUS STREET TREE (LIST A OR LIST F) CALIPER: 2.5" MIN. Acer rubrum / Red Maple Carpinus betulus / European Hornbeam Ginkgo biloba / Maidenhair Tree Gleditsia triacanthos f. inermis / Thornless Honey Locust Liquidambar styraciflua / Tulip Poplar Tilia tomentosa / Silver Linden</p>	15	B & B B & B B & B B & B B & B
<p><b>INTERIOR VUA TREE</b> DECIDUOUS TREE (LIST A) CALIPER: 2.5" MIN. Acer rubrum / Red Maple Acer saccharum / Sugar Maple Eucommia ulmoides / Hardy Rubber Tree Ginkgo biloba / Maidenhair Tree Gleditsia triacanthos f. inermis / Thornless Honey Locust Liquidambar styraciflua 'Rotundiloba' / Round-Lobed Sweet Gum Tilia cordata / Littleleaf Linden Zelkova serrata / Japanese Zelkova</p>	62	B & B B & B B & B B & B B & B B & B B & B
<p><b>PERIMETER VUA TREE</b> DECIDUOUS TREE (LIST A) CALIPER: 2.5" MIN. Acer rubrum / Red Maple Acer saccharum / Sugar Maple Gymnocladus dioica / Kentucky Coffeetree Platanus x acerifolia / London Plane Tree Tilia tomentosa / Silver Linden Ulmus americana / American Elm Zelkova serrata / Japanese Zelkova</p>	45	B & B B & B B & B B & B B & B B & B
<p><b>DUMPSTER SCREENING</b> EVERGREEN TREE (LIST C) HEIGHT: 6' MIN. Juniperus scopulorum 'Wichita Blue' / Wichita Blue Juniper Thuja x 'Green Giant' / Green Giant Arborvitae</p>	25	B & B B & B
<p><b>FRONT YARD TREE</b> DECIDUOUS TREE (LIST A) CALIPER: 2.5" MIN. Amelanchier x grandiflora 'Autumn Brilliance' / Autumn Brilliance Apple Serviceberry Carpinus betulus 'Fastigiata' / Pyramidal European Hornbeam Cercis canadensis / Eastern Redbud Cornus kousa / Kousa Dogwood Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Maidenhair Tree Liquidambar styraciflua 'Slender Silhouette' / Slender Silhouette Sweet Gum</p>	50	B & B B & B B & B B & B B & B B & B
<p><b>SIGNAGE PLANTING AREA</b> LOW PLANTINGS (30" MAX. HEIGHT) MINIMUM (1) SF OF PLANTING PER (1) SF OF SIGNAGE ESTIMATED QUANTITIES PER 1000 SF OF AREA: - SHRUBS: 300 SF (70% DECIDUOUS, 30% EVERGREEN) (16 SF/SHRUB) - ORNAMENTAL GRASSES: 200 SF (5 SF/GRASS) - PERENNIAL: 400 SF (4 SF/PERENNIAL) - SPREADING GROUNDCOVER: 100 SF (20 SF/GC)</p>	1,958 sf	
<p><b>VUA PERIMETER PLANTING</b> (8) SHRUBS PER 40 LF (~48 SF/SHRUB) - 40% DECIDUOUS SHRUBS (LIST D) - 60% EVERGREEN SHRUBS (LIST E) Buxus x 'Green Mountain' / Green Mountain Boxwood Chamaecyparis pisifera 'Golden Mop' / Golden Mop Threadleaf False Cypress Hydrangea quercifolia 'Ruby Slippers' / Ruby Slippers Hydrangea Ilex crenata 'Sky Pencil' / Sky Pencil Japanese Holly Juniperus chinensis 'Sea Green' / Sea Green Juniper Physocarpus opulifolius 'Obsidian' / Obsidian Ninebark Syringa meyeri 'Palibin' / Dwarf Korean Lilac Taxus x media 'Densiformis' / Dense Yew Viburnum x burkwoodii 'Mohawk' / Mohawk Viburnum</p>	14,017 sf	B & B, 20" Ht. B & B, 20" Ht. 5 gal, 20" Ht. 5 gal, 20" Ht. 5 gal, 20" Ht. 5 gal, 20" Ht. 5 gal, 20" Ht. 5 gal, 20" Ht. 5 gal, 20" Ht. 5 gal, 20" Ht.

\* NOTE: A DIVERSITY OF TREE SPECIES WILL BE PROVIDED WITH NO MORE THAN 25% OF A SINGLE SPECIES. ACTUAL SPECIES ARE SUBJECT TO CHANGE. ADDITIONAL SPECIES MAY BE PROVIDED.



**COLD SPRING POINTE  
STAGE II DEVELOPMENT PLAN**  
CITY OF COLD SPRING,  
CAMPBELL COUNTY, KENTUCKY  
**DETAILED LANDSCAPE PLAN**



Drawing: 22-0059 L.A.  
Drawn by: LEM  
Checked by: HMW  
Issue Date: 8-4-23

Sheet:  
**L2.1**

Plot time: Aug 04, 2023 - 11:43am  
Drawing name: J:\2022\22-0059\LA DWG - Layout Tab: Stage II L2.X.PP

LANDSCAPE PLAN EAST



OUT PARCELS A-D: LANDSCAPE PLAN TO BE PROVIDED AT A FUTURE DATE

OUT PARCEL B ±1.15 AC.

OUT PARCEL D ±1.25 AC.

OUT PARCEL A ±1.53 AC.

OUT PARCEL C ±1.10 AC.

Alexandria Pk. (US 27)

(Ex. State Maintained Asphalt Public Road  
R/W Acquired by Deed)

GENERAL LANDSCAPE NOTES

- 1. TREE LOCATIONS AND SHRUB AREAS ARE PRELIMINARY AND MAY SHIFT TO ACCOMMODATE CURB CUTS, UTILITIES, LIGHTING, SIGNAGE, AND OTHER SITE ADJUSTMENTS.
- 2. PLANTS SHALL BE INSTALLED TO MEET MINIMUM SIZE REQUIREMENTS AS SPECIFIED IN SECTION 9.15 LANDSCAPE REGULATIONS (1) (2) OF COLD SPRING ZONING ORDINANCE.
- 3. SEE SHEET L3.0 FOR SIGN DETAILS.
- 4. SEE SHEET L4.0 FOR LANDSCAPE NOTES AND DETAILS.

CONCEPT PLANT SCHEDULE EAST

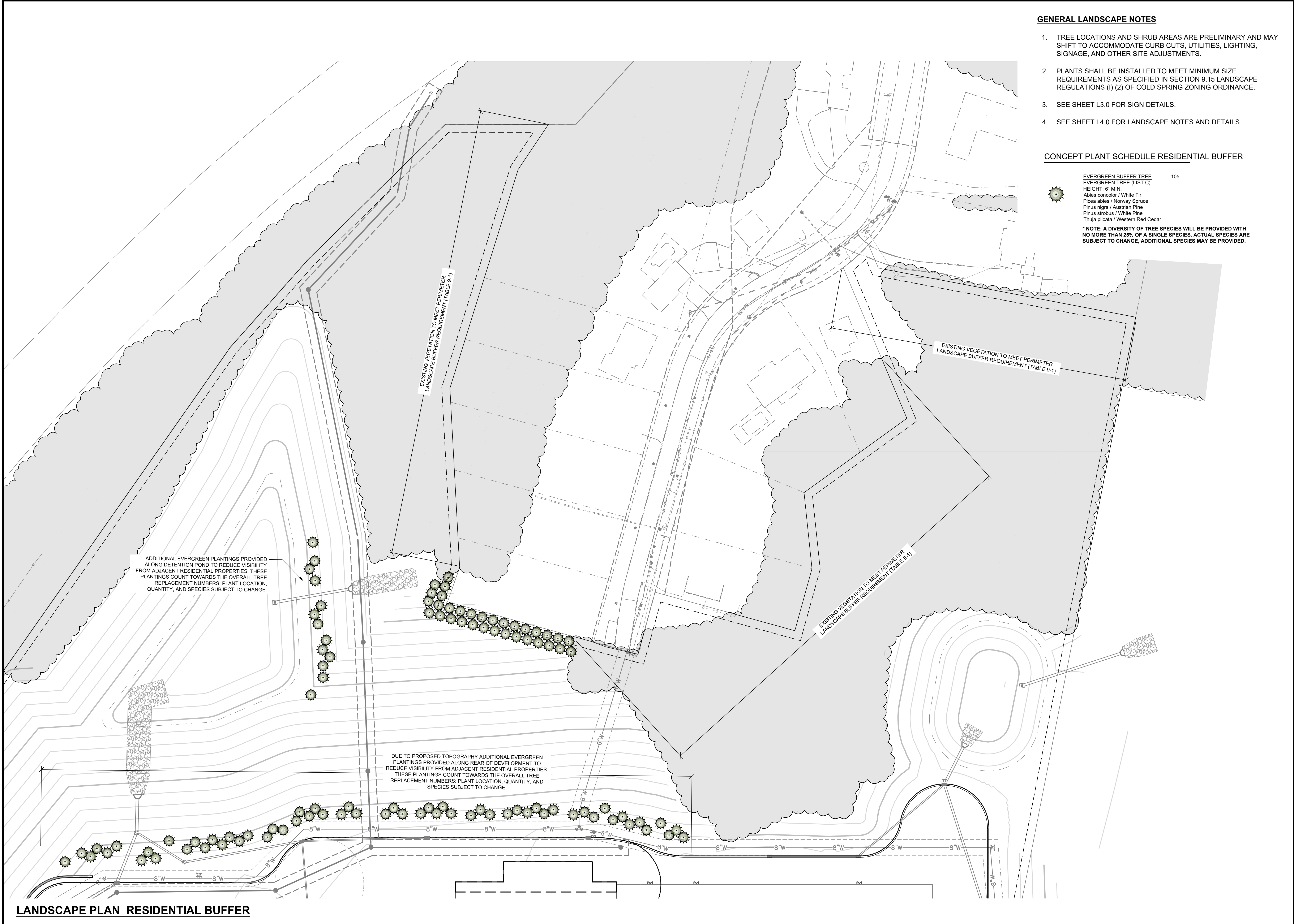
Table with columns: Date, Drawn, Check, Item, Description, Quantity, B & B. Lists tree types like DECIDUOUS STREET TREE and INTERIOR VJA TREE with their respective quantities and specifications.

\* NOTE: A DIVERSITY OF TREE SPECIES WILL BE PROVIDED WITH NO MORE THAN 25% OF A SINGLE SPECIES. ACTUAL SPECIES ARE SUBJECT TO CHANGE, ADDITIONAL SPECIES MAY BE PROVIDED.

Vertical title block containing: Bayer Becker logo, project name 'COLD SPRING POINTE STAGE II DEVELOPMENT PLAN', city 'CITY OF COLD SPRING, CAMPBELL COUNTY, KENTUCKY', drawing title 'DETAILED LANDSCAPE PLAN', drawing number '22-0059 L.A.', and drawing date '8-4-23'.

L2.2

Plot time: Aug 04, 2023 - 11:44am  
 Drawing name: J:\2022\22-0059\LA DWG - Layout Tab: Stage II L2.X PP



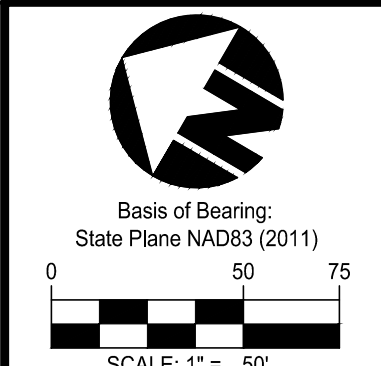
**GENERAL LANDSCAPE NOTES**

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3. SEE SHEET L3.0 FOR SIGN DETAILS.
4. SEE SHEET L4.0 FOR LANDSCAPE NOTES AND DETAILS.

**CONCEPT PLANT SCHEDULE RESIDENTIAL BUFFER**

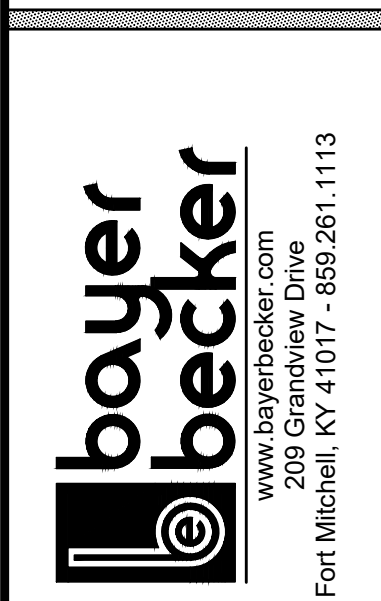
- EVERGREEN BUFFER TREE 105
- EVERGREEN TREE (LIST C)
- HEIGHT: 6' MIN.
- Abies concolor / White Fir
- Picea abies / Norway Spruce
- Pinus nigra / Austrian Pine
- Pinus strobus / White Pine
- Thuja plicata / Western Red Cedar

\* NOTE: A DIVERSITY OF TREE SPECIES WILL BE PROVIDED WITH NO MORE THAN 25% OF A SINGLE SPECIES. ACTUAL SPECIES ARE SUBJECT TO CHANGE, ADDITIONAL SPECIES MAY BE PROVIDED.



Date	Drawn	Checked	Item	Revision Description
08-04-23	LEM	HMW	1	ISSUED TO CCP & Z
			2	
			3	
			4	
			5	
			6	
			7	
			8	
			9	

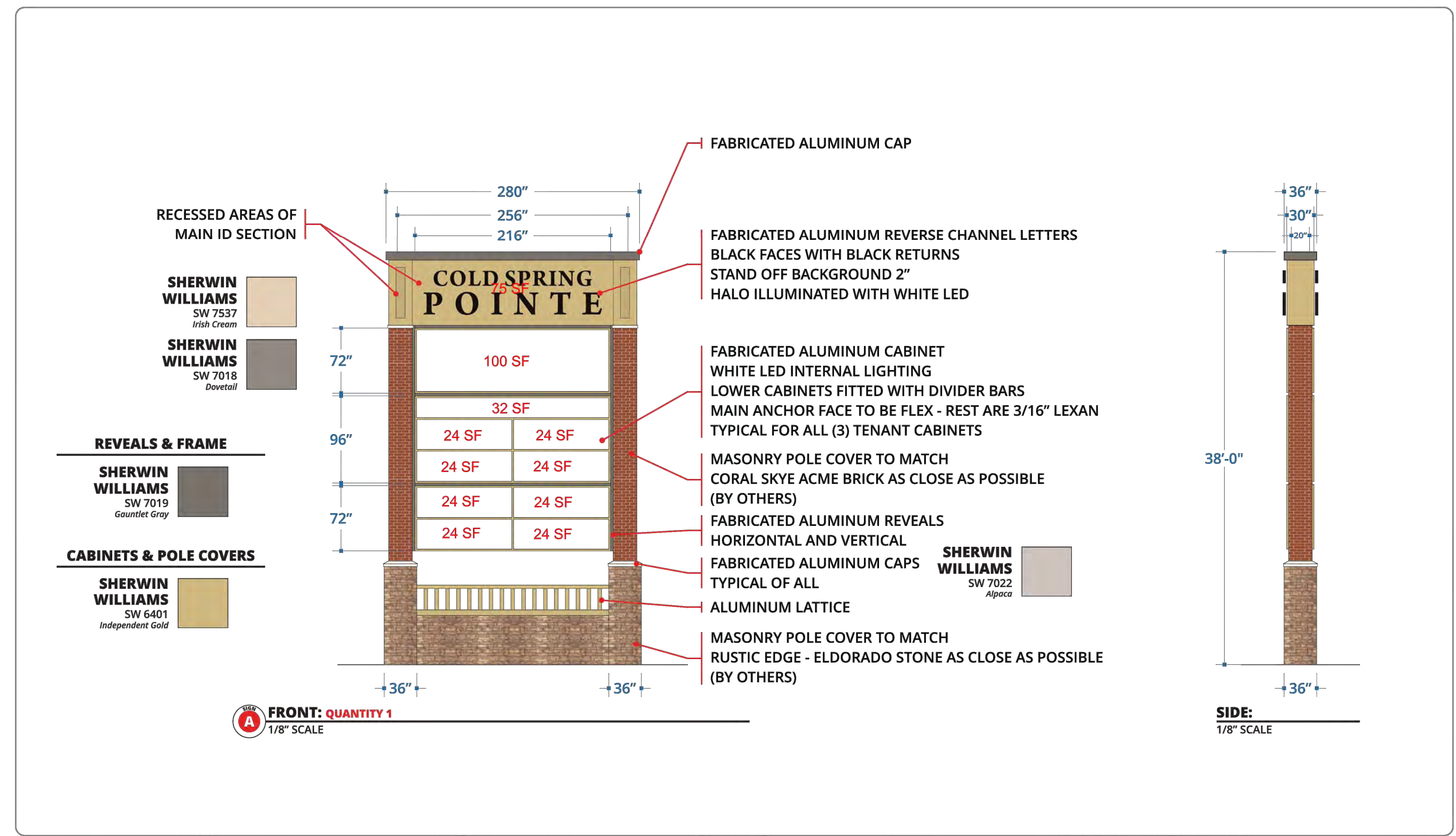
**COLD SPRING POINTE  
 STAGE II DEVELOPMENT PLAN**  
 CITY OF COLD SPRING  
 CAMPBELL COUNTY, KENTUCKY  
 DETAILED LANDSCAPE PLAN



Drawing:	22-0059 L.A.
Drawn by:	LEM
Checked by:	HMW
Issue Date:	8-4-23

Sheet:  
**L2.3**

**LANDSCAPE PLAN RESIDENTIAL BUFFER**



**SIGNAGE REQUIREMENTS**

CITY OF COLD SPRING, KENTUCKY, ZONING RESOLUTION  
 PROPOSED ZONING: MUPD (MIXED USED PLANNED DEVELOPMENT) & HC-2 (HIGHWAY COMMERCIAL 2) - 4 OUTLOTS AND GAS STATION  
 PROPOSED PYLON AND MONUMENT SIGNS LOCATED IN MUPD ZONE

PERMITTED USE AND LOCATION OF SIGNS (SECTION 14.6)

- ZONE MUPD ALLOWED SIGNS**
- AS APPROVED ACCORDING IN STAGE I AND STAGE II DEVELOPMENT PLANS
  - SIGN HEIGHT AND SIZE TO BE APPROVED

PROPOSED PYLON SIGN:

- POLE SIGN
- DOUBLE FACED
- PROPOSED MAXIMUM AREA FOR SINGLE SIGN: 100 SF
- PROPOSED MAXIMUM HEIGHT: 40'
- TENANT SIGNS: INTERNALLY ILLUMINATED
- COMPLEX SIGN: EXTERNALLY ILLUMINATED

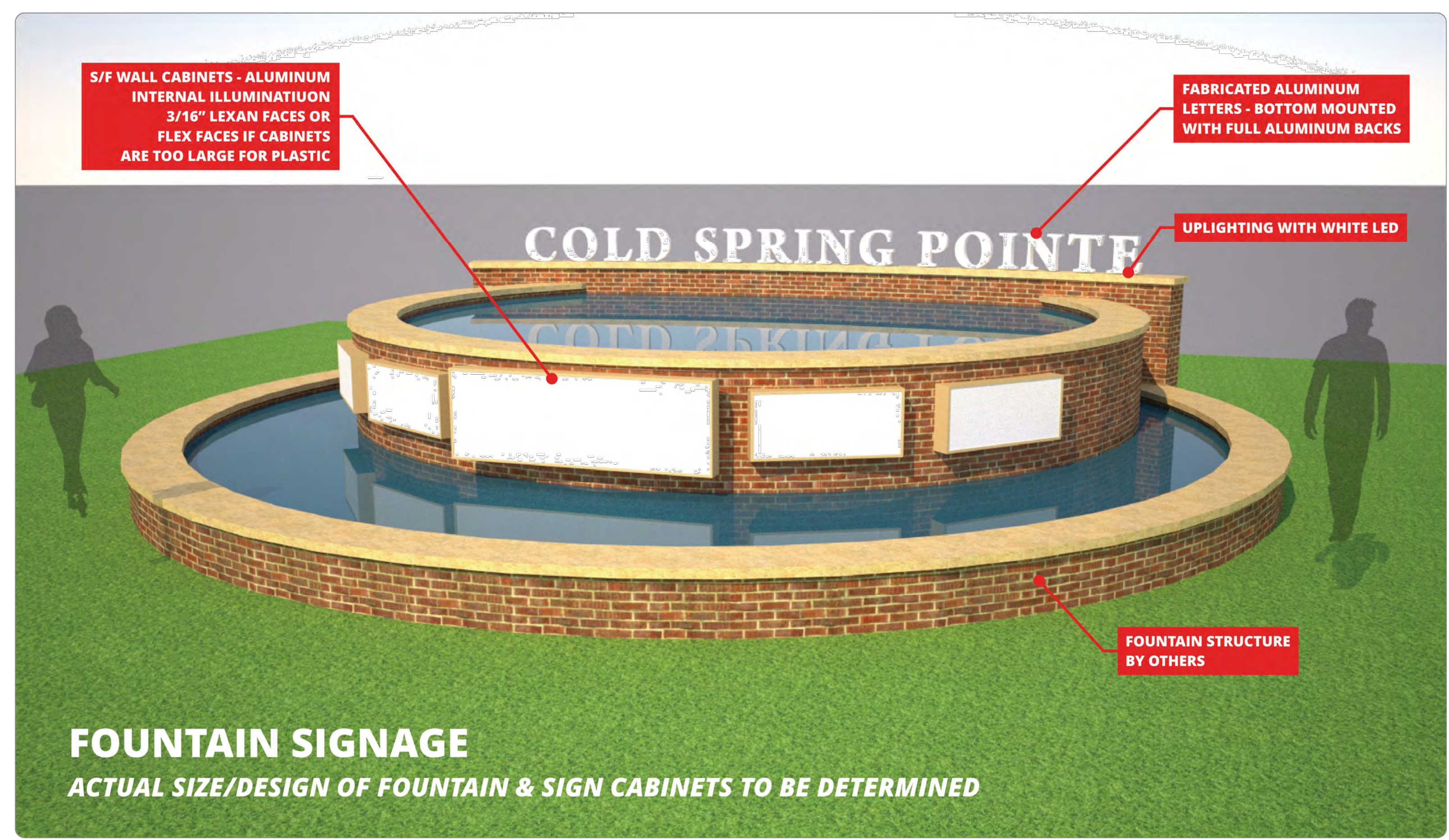
PROPOSED MONUMENT SIGN:

- GROUND SIGN
- SINGLE FACED
- PROPOSED MAXIMUM AREA FOR SINGLE SIGN: 100 SF
- PROPOSED MAXIMUM HEIGHT: 20'
- TENANT SIGNS: INTERNALLY ILLUMINATED
- COMPLEX SIGN: EXTERNALLY ILLUMINATED

NOTE: SEE SHEET L2.0 FOR SIGNAGE LOCATIONS

Atlantic Sign Company 2328 Florence Avenue Cincinnati, OH 45206 (513) 241-6775   FAX (513) 241-5060 <a href="http://atlanticsigncompany.com">atlanticsigncompany.com</a>	This drawing and the designs herein are protected under U.S. Copyright Law and shall remain the property of Atlantic Sign Company and may not be reproduced or used in any manner without the expressed written consent of Atlantic Sign Company.		APPROVED	CUSTOMER: COLD SPRINGS PLAZA
			DATE: _____ SIGNATURE: _____	LOCATION: 5401 ALEXANDRIA PIKE, COLD SPRINGS, KY, 41076 SALES REP: DAVID ESTEP PROJECT MGR: MEGAN BRADY DRAWN BY: GREG ESSERT DATE: 8-2-2023 FILE NAME: 106955_COLD SPRINGS PLAZA_R7

**PYLON SIGN DETAILS**



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**MONUMENT SIGN DETAILS**

Drawing: 22-0059 L.A. Drawn by: LEM Checked by: HMW Issue Date: 8-4-23	
Sheet: <b>L3.0</b>	

COLD SPRING POINTE  
 STAGE II DEVELOPMENT PLAN  
 CITY OF COLD SPRING  
 CAMPBELL COUNTY, KENTUCKY  
 SIGN DETAILS

bayer becker  
 www.bayerbecker.com  
 209 Grandview Drive  
 Fort Mitchell, KY 41017 - 859.281.1113

Plot time: Aug 04, 2023 - 11:27 am  
 Drawing name: J:\2022\22-0059\LA DWG - Layout Tab: Stage II L3.0 Signs

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**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

**(E) FRONT ELEVATION AREA B**  
SCALE: 1/8" = 1'-0"

**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

**[E] FRONT ELEVATION AREA B**

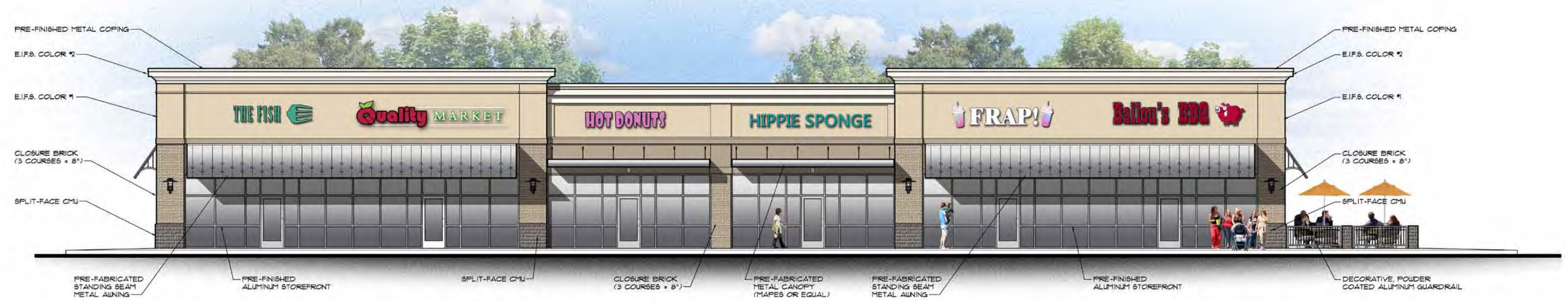
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**

SCALE: 1/8" = 1'-0"





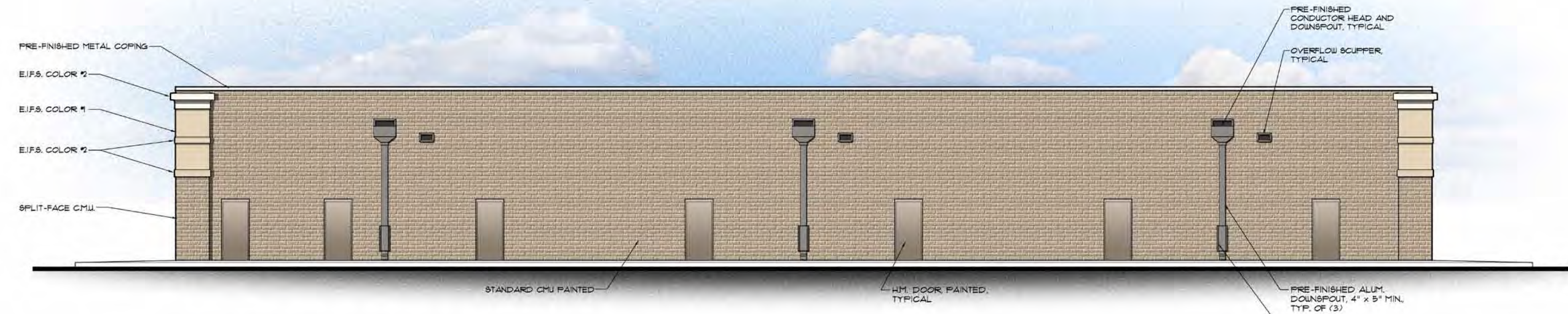
**(A) FRONT ELEVATION AREA A**  
SCALE: 1/8" = 1'-0"



**(B) RIGHT SIDE ELEVATION AREA A**  
SCALE: 1/8" = 1'-0"



**(D) LEFT SIDE ELEVATION AREA A**  
SCALE: 1/8" = 1'-0"



**(C) REAR ELEVATION AREA A**  
SCALE: 1/8" = 1'-0"