

39 JACKSON ROAD - SITE DEVELOPMENT PLAN

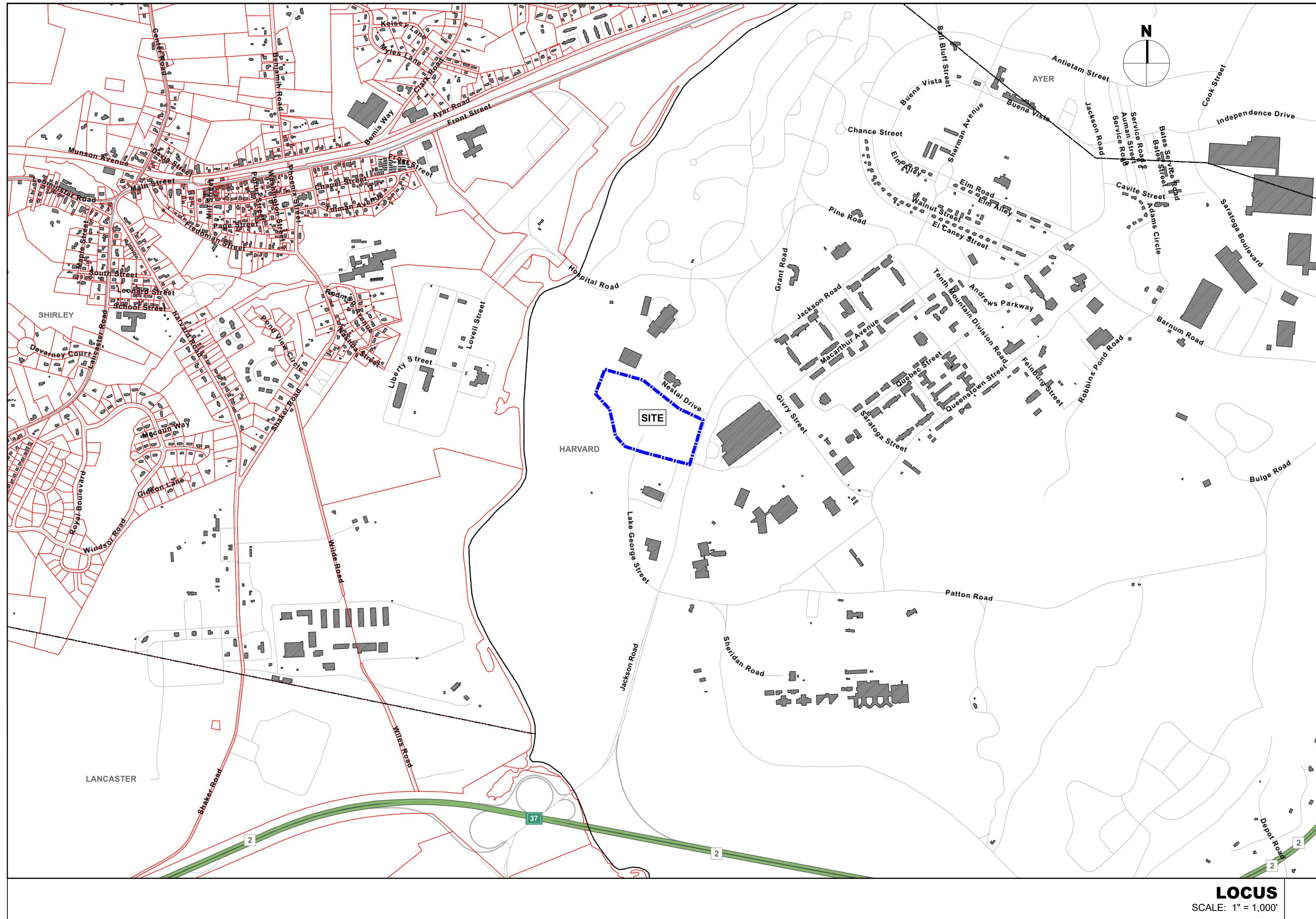
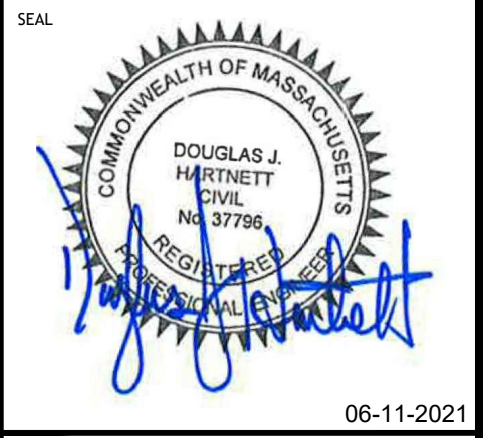
DEVENS, MASSACHUSETTS

LEVEL 2 - UNIFIED PERMIT SET
DATE MAY 6, 2021
REVISED PER PEER REVIEW COMMENTS
DATE JUNE 11, 2021



CLIENT:
 King Devens, LLC
 800 Boylston Street, Suite 1570
 Boston, MA 02199

CONSULTANT:



PROJECT TEAM

TRANSPORTATION CONSULTANT:	VHB, INC 101 WALNUT STREET WATERTOWN, MA 02471	OWNER/APPLICANT:	KING DEVENS, LLC 800 BOYLSTON STREET SUITE 1570 BOSTON, MA 02199
WETLAND CONSULTANT:	ECOTEC, INC. 1102 GROVE STREET WORCESTER, MA 01605	CONSTRUCTION MANAGER:	BW KENNEDY & CO 77 MYSTIC STREET ARLINGTON, MA 02474
LANDSCAPE ARCHITECT:	WAGNER HODGSON 7 MARBLE AVENUE BURLINGTON, VT 05401	ARCHITECT:	R.E. DINEEN ARCHITECT - PLANNERS 123 NORTH WASHINGTON STREET BOSTON, MA 02114
LAND SURVEYOR:	WSP USA, INC. 9 EXECUTIVE PARK DRIVE SUITE 101 MERRIMACK, NH 03054	CIVIL ENGINEER:	HIGHPOINT ENGINEERING, INC. 45 DAN ROAD, SUITE 140 CANTON, MA 02021
ENVIRONMENTAL CONSULTANT:	BOSTON ENVIRONMENTAL CORPORATION 338 HOWARD STREET BROCTON, MA 02302	LEGAL COUNSEL:	GOULSTON & STORRS P.C. 400 ATLANTIC AVENUE BOSTON, MA 02110

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LEVEL 2 - UNIFIED PERMIT
39 JACKSON ROAD
 39 JACKSON ROAD
 DEVENS, MA
 OWNER/APPLICANT: KING DEVENS, LLC

LEVEL 2 - UNIFIED PERMIT APPROVAL

DEVENS ENTERPRISE COMMISSION

SIGNATURE _____	DATE _____	SIGNATURE _____	DATE _____
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REGISTRY OF DEEDS

REV	DATE	DESCRIPTION
1	06/11/2021	RESPONSE TO COMMENTS

ISSUE TYPE:
LEVEL 2 - PERMIT SET
 ISSUE DATE:
05-06-2021
 PROJECT NUMBER:
19019

DRAWN BY: AK/WH
 CHECKED BY: DJH
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SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T100

SITE PREPARATION, DEMOLITION AND EROSION CONTROL NOTES

- 1. SOIL MANAGEMENT ACTIVITIES ARE SUBJECT TO THE REQUIREMENTS OF THE DEVENS SOIL MANAGEMENT POLICY (AS AMENDED) .
2. THE PROJECT IS SUBJECT TO AN EPA - CONSTRUCTION GENERAL PERMIT. APPLICATION FOR A CGP AND PREVISIONS OF A STORMWATER POLLUTION PREVENTION PLAN WILL BE COMPLETED 14 DAYS PRIOR TO CONSTRUCTION.
3. DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW. ALL WORK SHALL COMPLY WITH THE CRITERIA OUTLINED TO PREVENT OR MINIMIZE SOIL EROSION.
4. THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 8-1-1 AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND OBSERVED EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK.
5. CONTRACTOR SHALL COMPLY WITH ALL DEVENS ENGINEERING, STATE OF MASSACHUSETTS AND FEDERAL REGULATIONS IN CONSTRUCTING ALL EROSION AND SEDIMENTATION CONTROLS INDICATED ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DRAINAGE SWALES, TEMPORARY SEDIMENT BASINS AND OTHER METHODS TO MANAGE STORMWATER RUNOFF ON AND FROM THE SITE THROUGHOUT CONSTRUCTION.
A. PRIOR TO ANY LAND DISTURBANCE ACTIVITIES COMMENCING ON THE SITE, THE APPLICANT/CONTRACTOR SHALL BE RESPONSIBLE FOR PHYSICALLY MARKING THE LIMITS OF CONSTRUCTION ON THE SITE WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE, SO THAT WORKERS UNDERSTAND THE AREAS TO BE PROTECTED. THE PHYSICAL MARKERS SHALL BE INSPECTED DAILY AND REPAIRED AS NECESSARY THROUGHOUT THE DURATION OF THE PROJECT.
B. PERIMETER SEDIMENT CONTROL SYSTEM SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE AND MAINTAINED TO CONTAIN SOILS ON-SITE. AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST NOT BE DISTURBED UNLESS THE APPLICANT HAS OBTAINED PRIOR APPROVAL FROM THE DEC.
C. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA AND STREET SWEEPING OF ADJACENT STREETS AND ROADS SHALL BE INCLUDED WHERE NECESSARY.
D. ALL RESOURCE AREAS SHALL BE PROTECTED FROM SEDIMENT.
E. MONITORING AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION SHALL BE REQUIRED. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE EROSION CONTROL.
F. DIVERT RUNOFF FROM OFFSITE AND UNDISTURBED AREAS AWAY FROM CONSTRUCTION TO MINIMIZE SOIL EROSION AND SEDIMENTATION ON AND OFF-SITE. TEMPORARILY STABILIZE ALL HIGHLY ERODIBLE SOILS AND SLOPES IMMEDIATELY.
G. LAND DISTURBANCE ACTIVITIES EXCEEDING TWO ACRES IN SIZE SHALL NOT BE DISTURBED WITHOUT A SEQUENCING PLAN THAT REQUIRES STORMWATER CONTROLS TO BE INSTALLED AND EXPOSED SOILS STABILIZED. AS DISTURBANCE BEYOND THE TWO ACRES CONTINUES. A CONSTRUCTION PHASING PLAN, INCLUDING EROSION AND SEDIMENT CONTROL PLAN FOR EACH PHASE, SHALL BE SUBMITTED TO THE DEC PRIOR TO ANY CONSTRUCTION ON THE SITE. MASS CLEARINGS AND GRADING OF THE ENTIRE SITE SHALL BE AVOIDED.
H. SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
I. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED.
J. PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15TH. DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15TH, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, AN APPROPRIATE TEMPORARY MULCH AND/OR NON-ASPHALTIC SOIL TACKIFIER WITH WINTER RYE SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
K. ANTI-TRACKING PAD(S) SHALL BE CONSTRUCTED AT ALL ENTRANCE/EXIST POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE. DUST SHALL ALSO BE CONTROLLED AT THE SITE.
L. ALL SLOPES STEEPER THAN 3:1 (H:V, 33.3%), AS WELL AS PERIMETER DIKES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS MUST, UPON COMPLETION, BE IMMEDIATELY STABILIZED WITH SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES.
M. TEMPORARY SEDIMENT TRAPPING DEVICES MUST NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONSTRUCTION AREAS ASSOCIATED WITH THE PROJECT. SIMILARLY, STABILIZATION MUST BE ESTABLISHED PRIOR TO CONVERTING TEMPORARY SEDIMENT TRAPS/BASINS INTO PERMANENT (POST-CONSTRUCTION) STORMWATER MANAGEMENT FACILITIES. ALL FACILITIES USED FOR TEMPORARY MEASURES SHALL BE CLEANED AND RE-STABILIZED PRIOR TO BEING PUT INTO FINAL OPERATION.
N. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ROADS, CONTROLLING DUST, AND TAKING ALL NECESSARY MEASURES TO ENSURE THAT ALL ROADS ARE MAINTAINED IN A CLEAN, MUD AND STAY FREE CONDITION AT ALL TIMES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION, CLEANING, AND REPAIR OF EROSION AND SEDIMENT CONTROL DEVICES AT THE END OF EACH WORK DAY AND AFTER ALL RAINFALL EVENTS OF 1/2 INCH OR GREATER.
6. ANY EXISTING OR PROPOSED STORMWATER DRAINAGE STRUCTURES WHICH MAY BE SUBJECT TO SEDIMENTATION, SHALL BE PROTECTED WITH STAKED FILTER SOCKS, STAKED HAYBALES OR CRUSHED STONE FILTERS THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
7. EROSION CONTROL MAT: MIRAFI "MIRAMAT TM8" GEOSYNTHETIC EROSION CONTROL MAT OR APPROVED EQUAL. CONTRACTOR SHALL ADHERE TO MANUFACTURER SPECIFICATIONS FOR PLACEMENT AND INSTALLATION.
8. FILTER FABRIC: "MIRAFI 140 N." PHILLIPS "SUPAC S-P" OR APPROVED EQUAL. CONTRACTOR SHALL ADHERE TO MANUFACTURER SPECIFICATIONS FOR PLACEMENT AND INSTALLATION.
9. CONTRACTOR SHALL KEEP ON SITE, AT ALL TIMES, ADDITIONAL 10% OF REQUIRED FILTER SOCKS AND FILTER MEDIA FOR EMERGENCY INSTALLATION OR FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF ALL VEHICLE AND PEDESTRIAN SAFETY MEASURES ON SITE DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO PARKING PHASING, JERSEY BARRIERS, TEMPORARY WAY FINDING SIGNAGE, CONSTRUCTION FENCE SCREENING, AND TRAFFIC DETAILS.
11. THE CONTRACTOR SHALL COORDINATE HAULING TREES/STUMPS AND DEMOLISHED ASPHALT WITH DEVENS ENTERPRISE COMMISSION. ALL SOILS SHALL BE MANAGED IN ACCORDANCE WITH 974 CMR 4.07 AND THE DEVENS SOIL MANAGEMENT POLICY AND NO SOILS MAY LEAVE THE SITE WITHOUT DEC AND DEVENS ENVIRONMENTAL AUTHORIZATION.
12. DEMOLITION, REMOVAL, AND DISPOSAL OF EXISTING ASPHALT PAVEMENT SHALL BE TO FULL DEPTH OF GRAVEL BASE UNLESS OTHERWISE INDICATED HEREON. REFER TO SITE GRADING PLAN REGARDING REQUIRED OVER-EXCAVATION
13. STOCKPILED SEDIMENT WILL BE STORED IN DESIGNATED AREAS DETERMINED BY THE OPERATOR. THE STOCKPILES WILL BE SURROUNDED BY A STRAW WATTLE PERIMETER BARRIER TO PREVENT DISCHARGE OF SILT LADEN STORMWATER RUNOFF. SHOULD THE STOCKPILES OR SOIL AREAS BE UNUSED FOR 14 DAYS OR MORE, THE PILE OR AREA WILL BE COVERED WITH TEMPORARY VEGETATION, MULCH, OR HAY COVER, TO PREVENT CONTACT WITH PRECIPITATION AND TO MINIMIZE SEDIMENT DISCHARGE.
14. R&D OF EXISTING STRUCTURES TO BE PERFORMED IN ACCORDANCE WITH ALL MASSDOT STANDARDS.

SITE LAYOUT AND MATERIALS NOTES

- 1. CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER OR OWNER'S REPRESENTATIVE FOR RESOLUTION.
2. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH FEDERAL, AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
3. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. CROSSWALKS SHALL BE STRIPED WITH 12" WIDE LINES OF WHITE THERMO PLASTIC SPACED 3' ON CENTER. STOP LINES SHALL BE STRIPED WITH 12" WIDE LINES OF WHITE THERMO PLASTIC. ALL OTHER STRIPING SHALL BE 4" WIDE LINES OF THERMO PLASTIC IN COLORS INDICATED HEREON.
5. PAVEMENT MARKINGS SHALL CONFORM TO SECTION M7.01.05 OF THE COMMONWEALTH OF PAVEMENT MARKINGS SHALL CONFORM TO SECTION M7.01.05 OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES".
6. ALL NEW CURBS SHALL BE VERTICAL GRANITE CURBING (VGC) WITH 6" REVEAL UNLESS OTHERWISE INDICATED HEREON. INSTALL 6" LONG TRANSITION CURB STONES AT ALL TRANSITIONS FROM VERTICAL TO FLUSH GRANITE.
7. EXISTING CURBS TO REMAIN AS SHOWN HEREON ARE ASSUMED TO BE IN SATISFACTORY CONDITION BUT ARE TO BE PARGED OR REPLACED IN KIND IN LOCATIONS OF DAMAGE.
8. INSTALL EXPANSION AND CONTROL JOINTS IN SIDEWALKS AT INTERVALS OF 5 FEET AND 25 FEET, RESPECTIVELY. PROVIDE BROOM FINISH IN TRANSVERSE DIRECTION ON ALL WALKS.
9. SIDEWALK WIDTHS INDICATED HEREON ARE MEASURED FROM BACK OF CURB TO BACK IF SIDEWALK. 6" WIDTH OF CURBS NOT INCLUDED.
10. ALL CURB RADIUS DIMENSIONS SHOWN HEREON ARE MEASURED ALONG FACE OF CURB.
11. REFER TO LAYOUT PLAN FOR EXTENTS OF MILL AND OVERLAY AND FULL DEPTH PAVEMENT CONSTRUCTION AND PATCHING WHERE APPLICABLE.
12. ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE LOCAL REQUIREMENTS AND SPECIFICATIONS.
13. ALL ACCESSIBLE ROUTES, RAMPS AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB).
14. THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.
DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.
15. ALL LINES AND DIMENSIONS AND TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
16. COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.
17. CONTRACTOR SHALL FURNISH AND SET ALL LINES AND GRADES REQUIRED AND PROTECT ALL PERMANENT BENCHMARKS OR MONUMENTS. DAMAGED MONUMENTS SHALL BE REPLACED BY A LICENSED SURVEYOR AT NO COST TO THE OWNER.
18. ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH A CERTIFICATE OF COMPLIANCE SUPPLIED BY THE PAVING CONTRACTOR.
19. BITUMINOUS CONCRETE PAVEMENT: CLASS I, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.
20. ALL CONCRETE WORK SHALL COMPLY WITH ACI301, "SPECIFICATION FOR STRUCTURAL CONCRETE," AND ACI 316R, UNLESS MODIFIED BY THE CONTRACT DOCUMENTS. COMPLY WITH CRISIS "MANUAL OF STANDARD PRACTICE" FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT. COMPLY WITH ACI 306.1 FOR COLD WEATHER PROTECTION, AND FOLLOW RECOMMENDATIONS IN ACI 350R FOR HOT WEATHER PROTECTION DURING CURING. COMPLY WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE."
21. SAW-CUT EXISTING PAVEMENT WHERE NEW BITUMINOUS CONCRETE PAVEMENT IS TO COME IN CONTACT. PRIME COAT THE CUT EDGE PRIOR TO PLACEMENT.
22. CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
23. OUT OF FUNCTION OR SCREENED IMAGES REPRESENT EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPACTED BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

GRADING/DRAINAGE/UTILITY NOTES

- 1. AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE CONTRACTOR SHALL CLEAN THE SUMPS OF ALL CATCH BASINS AND THE INVERTS OF ALL DRAIN MANHOLES.
2. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY DEVENS UTILITIES AND DEVENS ENGINEERING, SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-888-DIG-SAVE.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER IS TO BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
4. REINFORCED CONCRETE PIPE SHALL BE CLASS III. ALL PVC SANITARY SEWER SHALL BE SDR 35 WITH RUBBER RING JOINTS UNLESS OTHERWISE NOTED. ALL STORM DRAIN SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) PIPE UNLESS OTHERWISE NOTED. ALL WATER MAIN SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE. INSTALLATION OF ALL UTILITY STRUCTURES SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION.
5. NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS SHALL BE LEFT WITHIN 6" OF THE WATER AND SEWER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE PIPES.
6. UNDERGROUND INFRASTRUCTURE SHALL BE SUBJECT TO THE APPROVAL OF DEVENS UTILITIES AND DEVENS ENGINEERING.
7. HYDRANTS AND MINIMUM SIZING OF WATER PIPES SHALL BE SUBJECT TO THE APPROVAL OF THE DEVENS FIRE DEPARTMENT, FIRE CHIEF.
8. THE CONTRACTOR SHALL NOTIFY DEVENS UTILITIES AND DEVENS ENGINEERING AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
9. REFER TO PLUMBING PLANS FOR EXACT SIZE AND LOCATION OF SANITARY CONNECTIONS.
10. EXCAVATION SHALL BE TO THE LINES AND ELEVATIONS AS SHOWN ON THE PLANS.
11. FILL MATERIAL SHALL BE AS SPECIFIED BY THE ARCHITECT/ENGINEER AND SELECTED FROM ON-SITE EXCAVATION MATERIAL WHERE POSSIBLE.
12. MATERIAL FOR BACKFILL SHALL NOT INCLUDE UNSUITABLE MATERIAL SUCH AS PEAT, TRASH, STUMPS, DEBRIS OR HAZARDOUS WASTE.
13. ALL MATERIALS FOR INSTALLATION OF WATER, SEWER, DRAIN, GAS, DATA/TELECOM, AND ELECTRICITY SHALL BE IN ACCORDANCE WITH LOCAL STATE AND UTILITY COMPANY STANDARDS AND REGULATIONS AS THEY APPLY.
14. DEVENS UTILITIES AND FIRE DEPARTMENTS SHALL BE NOTIFIED PRIOR TO THE START OF ANY WORK ON THE WATER SYSTEM.
15. DEVENS UTILITIES DEPARTMENT SHALL BE NOTIFIED PRIOR TO THE START OF ANY WORK ON THE SANITARY SEWER SYSTEM. 18. REFER TO PLUMBING AND ELECTRICAL PLANS FOR EXACT LOCATION AND SIZE OF BUILDING SERVICES.
16. ALL STUMPS, PEAT, CONSTRUCTION DEBRIS AND OTHER DELETERIOUS MATERIALS ON THE SITE AT THE TIME OF CONSTRUCTION ARE TO BE REMOVED FROM THE SITE TO AN APPROVED LANDFILL. NO SUCH MATERIALS ARE TO BE BURIED OR OTHERWISE DISPOSED OF ON THE SITE.
17. THE PROPOSED WATER MAIN IS TO BE CL 52 CLD. ALL FITTINGS, HYDRANTS, VALVES, ETC., USED ON THE SITE ARE TO BE IN ACCORDANCE WITH THE DEVENS UTILITIES DEPARTMENT SPECIFICATIONS.
18. ALL BENDS, TEES, VALVES, AND HYDRANTS ARE TO BE SECURED BY MEANS OF THREADED TIE RODS.
19. THREE CUBIC FEET OF CRUSHED STONE IS TO BE PLACED AROUND THE DRAIN HOLE IN ALL HYDRANTS. HYDRANTS ARE TO CONFORM TO THE DEVENS ENGINEERING SPECIFICATIONS.
20. NO LEDGE, BOULDERS OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE WATER MAIN IN THE TRENCH NOR ARE THEY TO BE USED FOR BACKFILL IN THE TRENCH.
21. UNLESS OTHERWISE NOTED ALL UTILITY TRENCHES ARE TO BE BACKFILLED WITH BANK RUN GRAVEL. NO STONES GREATER THAN 3" IN DIAMETER ARE TO BE USED WITHIN 12" OF THE PIPE. THE TRENCHES, WHEN UNDER PROPOSED PAVED AREAS, ARE TO BE MECHANICALLY COMPACTED IN 12" LIFTS.
22. ALL CATCH BASINS ARE TO HAVE AN OIL AND GREASE TRAP INSTALLED IN THE OUTLET PIPE. THE FITTING IS TO BE A OIL AND GREASE TRAP OR APPROVED EQUAL.
23. THE SITE CONTRACTOR IS TO INSTALL A GAS SERVICE IN THE APPROXIMATE LOCATION SHOWN ON THE PLANS. THE SIZE AND EXACT LOCATION OF THE SERVICE IS TO BE DETERMINED AND COORDINATED WITH THE PLUMBING PLANS AND
24. ALL EARTHEN PERIMETER SIDE SLOPES THAT ARE GRADED AND ARE NOT SCHEDULED FOR PERMANENT STABILIZATION WITHIN 30 DAYS OF OF COMPLETION ARE TO BE COVERED WITH HAY OR WOOD CHIP MULCH, BIODEGRADABLE EROSION CONTROL FABRIC, OR HYDROSEEDED WITH A TEMPORARY GRASS MIXTURE IF WEATHER CONDITIONS WILL BE CONDUCIVE TO GERMINATION OF THE SEED.
25. PRIOR TO THE INSTALLATION OF ANY STORM DRAINAGE, THE PROPOSED STORM WATER DETENTION BASINS ARE TO BE ROUGH GRADED AND USED AS TEMPORARY SEDIMENTATION BASINS. SIDE SLOPES, IF NOT CONSTRUCTED TO FINAL GRADE, ARE TO BE TEMPORARILY STABILIZED WITH MULCH, PLANTINGS, OR FABRIC.
26. SEE GEOTECHNICAL REPORT FOR RECOMMENDATIONS REGARDING REUSE AND PLACEMENT OF FILL WITHIN LIMIT OF WORK.
27. AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE CONTRACTOR SHALL CLEAN THE SUMPS OF ALL CATCH BASINS AND THE INVERTS OF ALL DRAIN MANHOLES.
28. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE TOWN OF DEVENS SUPPLEMENTED BY FIELD SURVEY. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-888-DIG-SAVE. REFER TO EXISTING CONDITIONS SURVEY BY WSP USA, INC FOR MORE DETAILS.
29. THE CONTRACTOR SHALL NOTIFY THE DEVENS DEPARTMENT OF PUBLIC WORKS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
30. EXCAVATION SHALL BE TO THE LINES AND ELEVATIONS AS SHOWN ON THE PLANS.
31. FILL MATERIAL SHALL BE AS SPECIFIED BY THE GEOTECHNICAL ENGINEER AND SELECTED FROM ON-SITE EXCAVATION MATERIAL WHERE POSSIBLE.
32. MATERIAL FOR BACKFILL SHALL NOT INCLUDE UNSUITABLE OR DELETERIOUS MATERIAL SUCH AS PEAT, TRASH, STUMPS, DEBRIS OR HAZARDOUS WASTE.
33. ALL STUMPS, PEAT, CONSTRUCTION DEBRIS AND OTHER DELETERIOUS MATERIALS ON THE SITE AT THE TIME OF CONSTRUCTION ARE TO BE REMOVED AND DISPOSED IN ACCORDANCE WITH AN APPROVED SOIL MANAGEMENT PLAN.
34. UNLESS OTHERWISE NOTED ALL UTILITY TRENCHES ARE TO BE BACKFILLED WITH BANK RUN GRAVEL. NO STONES GREATER THAN 3" IN DIAMETER ARE TO BE USED WITHIN 12" OF THE PIPE. THE TRENCHES, WHEN UNDER PROPOSED PAVED AREAS, ARE TO BE MECHANICALLY COMPACTED IN 12" LIFTS.
35. ALL EARTHEN PERIMETER SIDE SLOPES THAT ARE GRADED AND ARE NOT SCHEDULED FOR PERMANENT STABILIZATION WITHIN 30 DAYS OF OF COMPLETION ARE TO BE COVERED WITH HAY OR WOOD CHIP MULCH, BIODEGRADABLE EROSION CONTROL FABRIC, OR HYDROSEEDED WITH A TEMPORARY GRASS MIXTURE IF WEATHER CONDITIONS WILL BE CONDUCIVE TO GERMINATION OF THE SEED.
36. NO SOIL IS TO BE REMOVED FROM THE SITE WITHOUT THE PRIOR APPROVAL OF THE DEVENS ENVIRONMENTAL ENGINEER (978-784-2917)
37. CONTRACTOR TO FIELD VERIFY EXISTING PIPE SIZE AND INVERT ELEVATION AT DMH #59 CONNECTION LOCATION PRIOR TO ORDERING STRUCTURES.
38. CONFIRMATORY TEST PITS WITNESSED BY THE DESIGN ENGINEER SHALL BE PERFORMED AT EVERY INFILTRATION SYSTEM, AND WHERE Pervious PAVEMENT IS PROPOSED. THE DESIGN ENGINEER SHALL VERIFY THE DESIGN ASSUMPTIONS REGARDING SEASONAL HIGH GROUNDWATER ELEVATION AND SOIL INFILTRATION CHARACTERISTICS.

DEVENS ENTERPRISE COMMISSION REQUIREMENTS

- 1. EXISTING OR PROPOSED USE WILL NOT GENERATE ELECTROMAGNETIC INTERFERENCE TO ANY SENSITIVE RECEPTOR. INTERFERENCE WITH THE HARVARD-SMITHSONIAN RADIO TELESCOPE (1400-1720 MHZ) IS SPECIFICALLY PROHIBITED.
2. PROPOSED OR EXISTING USE WILL NOT CAUSE PRONOUNCED, MULTIPLE PATTERNS OF NOISE OR VIBRATION NUISANCE TO, OR INTERFERE WITH, ANY SENSITIVE RECEPTOR.
3. A DEP AIR QUALITY PERMIT IS NOT REQUIRED.



LAND PLANNING PERMIT EXPEDITING CIVIL ENGINEERING CONSULTING

45 DAN ROAD, SUITE 140 CANTON, MA 02021

www.HighpointEng.com

CLIENT: King Devens, LLC 800 Boylston Street, Suite 1570 Boston, MA 02199

CONSULTANT:

SEAL



06-11-2021

LEVEL 2 - UNIFIED PERMIT 39 JACKSON ROAD 39 JACKSON ROAD DEVENS, MA OWNER/APPLICANT: KING DEVENS, LLC

LEVEL 2 - UNIFIED PERMIT APPROVAL

DEVENS ENTERPRISE COMMISSION SIGNATURE

REGISTRY OF DEEDS

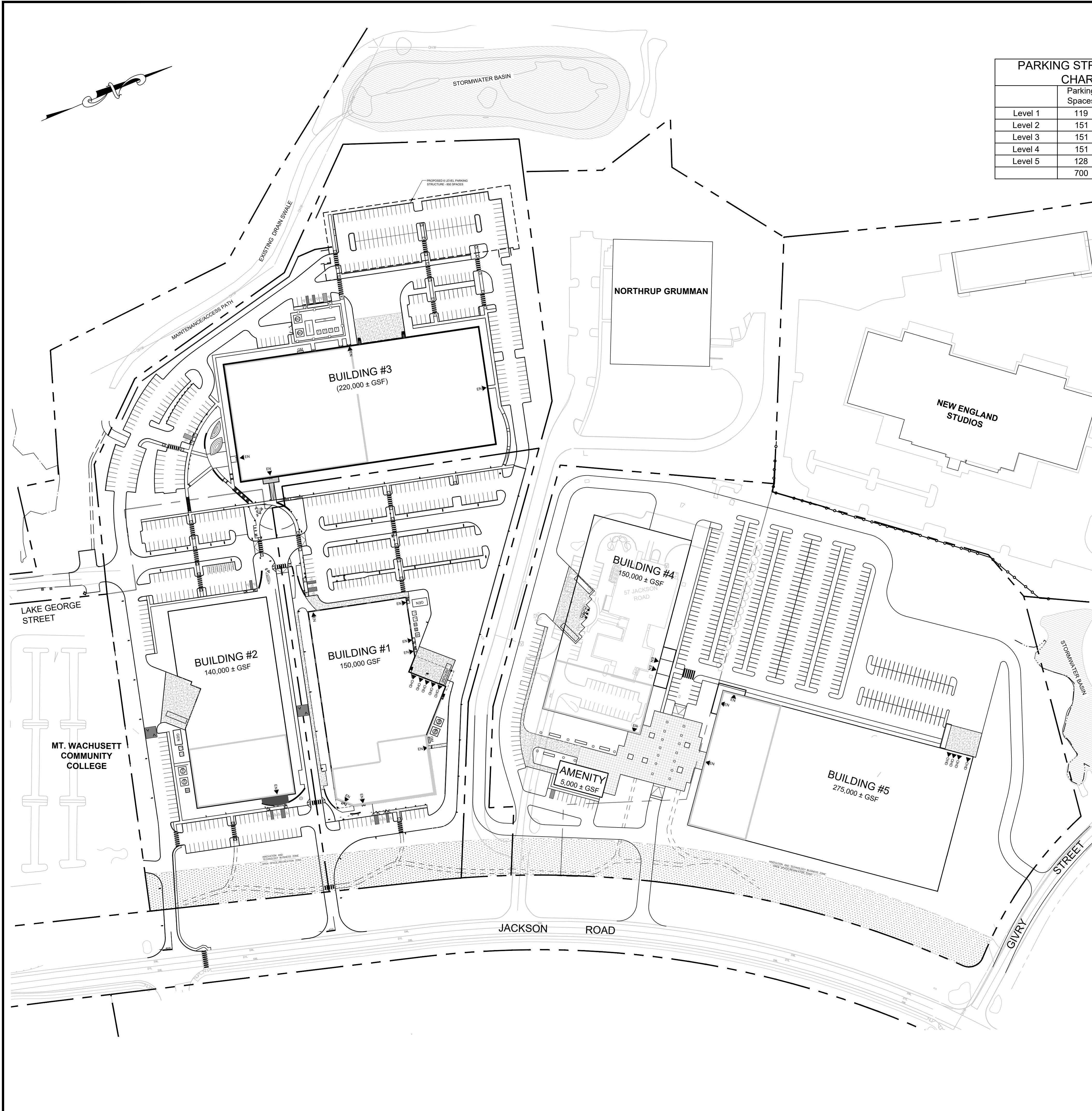
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ISSUE TYPE: LEVEL 2 - PERMIT SET ISSUE DATE: 05-06-2021 PROJECT NUMBER: 19019

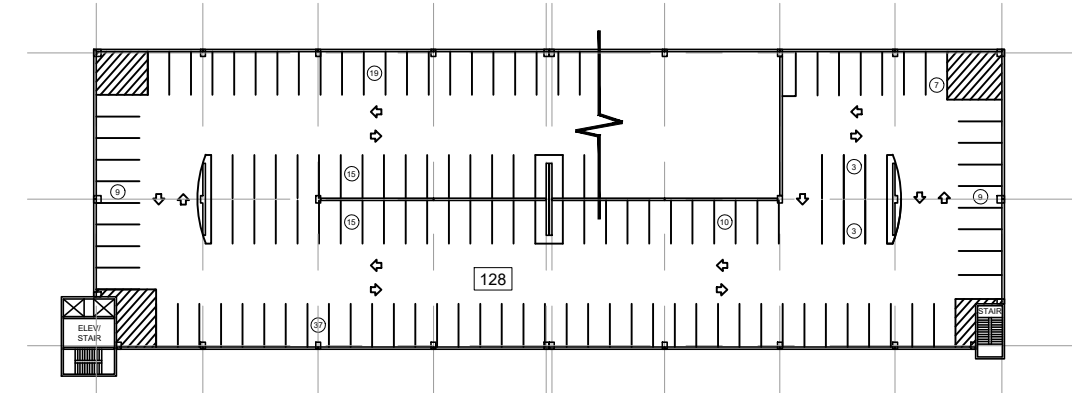
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SHEET TITLE: GENERAL NOTES SHEET

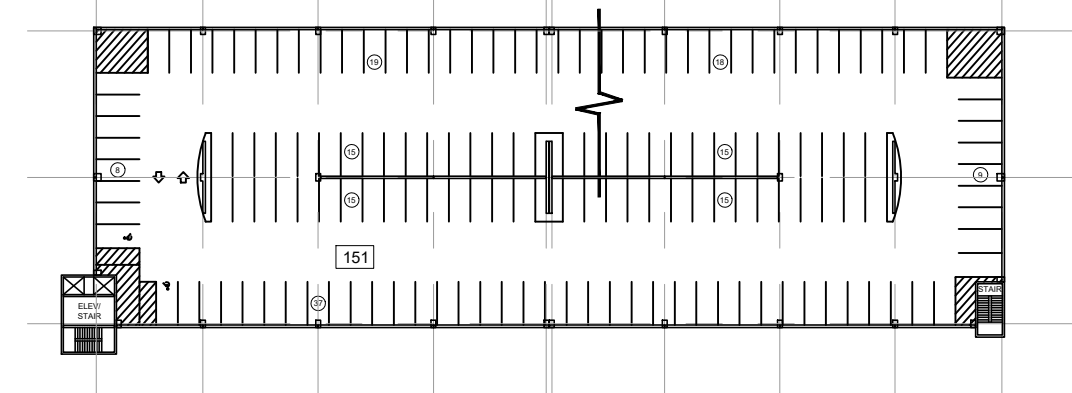
SHEET NUMBER: G100



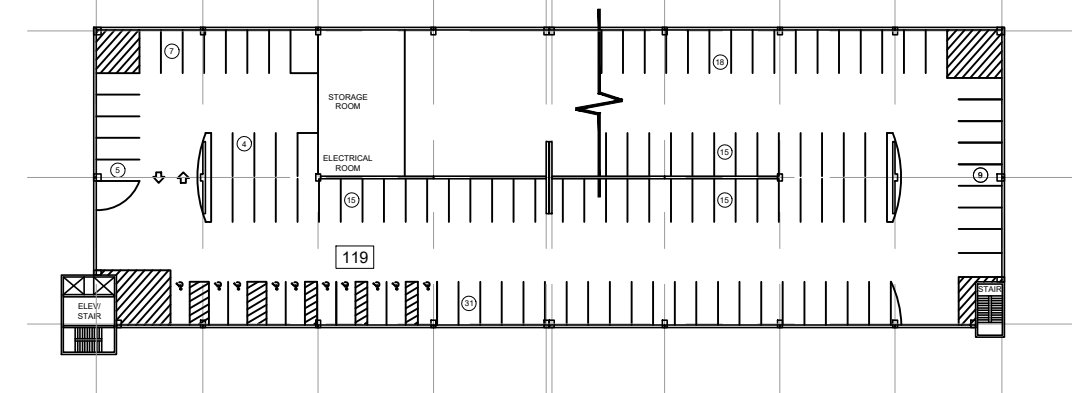
PARKING STRUCTURE CHART		
	Parking Spaces	Precast SF
Level 1	119	0 SF
Level 2	151	48,000 SF
Level 3	151	48,000 SF
Level 4	151	48,000 SF
Level 5	128	42,200 SF
	700	186,200 SF



ROOF LEVEL PLAN



TYPICAL LEVEL PLAN



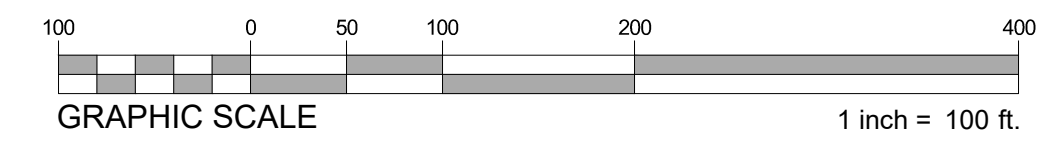
GRADE LEVEL PLAN

PARKING STRUCTURE
1"=80'-0"

ZONING SUMMARY					
PRIMARY ZONING DISTRICT: INNOVATION AND TECHNOLOGY BUSINESS					
OVERLAY DISTRICT: VIEWSHED OVERLAY DISTRICT, WATER RESOURCE PROTECTION DISTRICT					
USE: INDUSTRIAL/ MANUFACTURING					
BUILDING DIMENSIONAL REQUIREMENTS					
CRITERIA	REQUIRED	33/39/45 JACKSON PARCELS			45 TOTALS
		LOT 1	LOT 2	LOT 3	
LOT AREA (MIN.)	2 AC.	7.2 AC.	6.4 AC.	10.2 AC.	23.9 AC.
LOT FRONTAGE (MIN.)	75 FT	267 FT	267 FT	100 FT	-
FRONT YARD SETBACK (MIN.)	25 FT	166 FT±	195 FT±	305 FT±	-
SIDE YARD SETBACK (MIN.)	10 FT	40 FT±	38 FT±	11 FT±	-
REAR YARD SETBACK (MIN.)	25 FT	188 FT±	177 FT±	257 FT±	-
BUILDING HEIGHT (MAX.)	75 FT	43 FT±	42 FT±	45 FT	-
BUILDING GFA (MAX.)		150,000	140,000	220,000	510,000
FAR (MAX.)	0.50	0.48	0.50	0.50	0.49
PARKING SPACES	2 SP/1000 SF (1,020 SP.)	196 (1.3 SP)	157 (1.1 SP)	306(1.4 SP) - BASE PLAN 882 - GARAGE PLAN	659(1.3 SP)
IMPERVIOUS COVER AREA		215,786 SF	183,152 SF	267,593 SF	666,531 SF (15 AC)
IMPERVIOUS COVER (MAX.)	75%	69%	65%	60%	64%

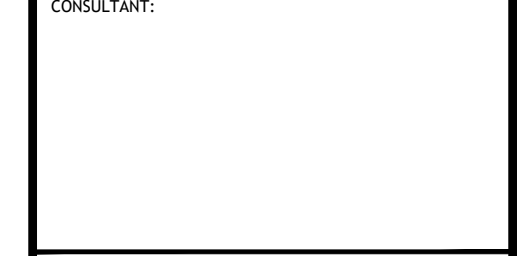
ZONING SUMMARY				
PRIMARY ZONING DISTRICT: INNOVATION AND TECHNOLOGY BUSINESS				
OVERLAY DISTRICT: VIEWSHED OVERLAY DISTRICT, WATER RESOURCE PROTECTION DISTRICT				
USE: INDUSTRIAL/ MANUFACTURING				
BUILDING DIMENSIONAL REQUIREMENTS				
CRITERIA	REQUIRED	57-75 JACKSON PARCELS		57-75 TOTALS
		LOT 4	LOT 5	
LOT AREA (MIN.)	2 AC.	7.2 AC.	12.7 AC.	19.9 AC.
LOT FRONTAGE (MIN.)	75 FT	283 FT	603 FT	886 FT.
FRONT YARD SETBACK (MIN.)	25 FT	213 FT±	104 FT±	-
SIDE YARD SETBACK (MIN.)	10 FT	62 FT±	40 FT±	-
REAR YARD SETBACK (MIN.)	25 FT	90 FT±	411 FT±	-
BUILDING HEIGHT (MAX.)	75 FT	T.B.D.	T.B.D.	-
BUILDING GFA		150,000	275,000	425,000
FAR (MAX.)	0.50	0.49	0.50	0.49
PARKING SPACES (MIN.)	2 SP/1000 SF (850 SP.)	147 (1.0 SP)	295 (1.07 SP)	442 (1.3 SP)
IMPERVIOUS COVER AREA		218,406 SF	148,600 SF	367,006 SF (8.4 AC)
IMPERVIOUS COVER (MAX.)	75%	70%	53%	42%

- NOTES:
 1. GARAGE REQUIRED FOR FULL SITE AT 2/1000 = 762 SPACES
 2. GARAGE PROVIDED = 700 SPACES



CLIENT:
 King Devens, LLC
 800 Boylston Street, Suite 1570
 Boston, MA 02199

CONSULTANT:



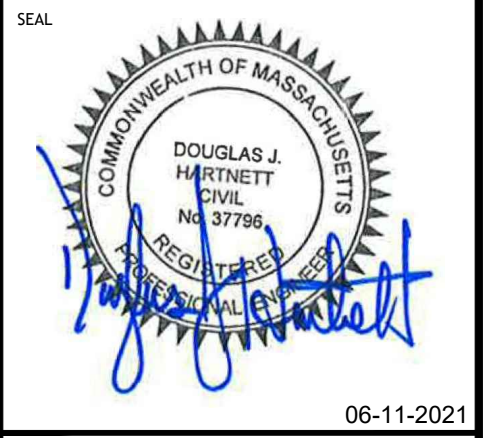
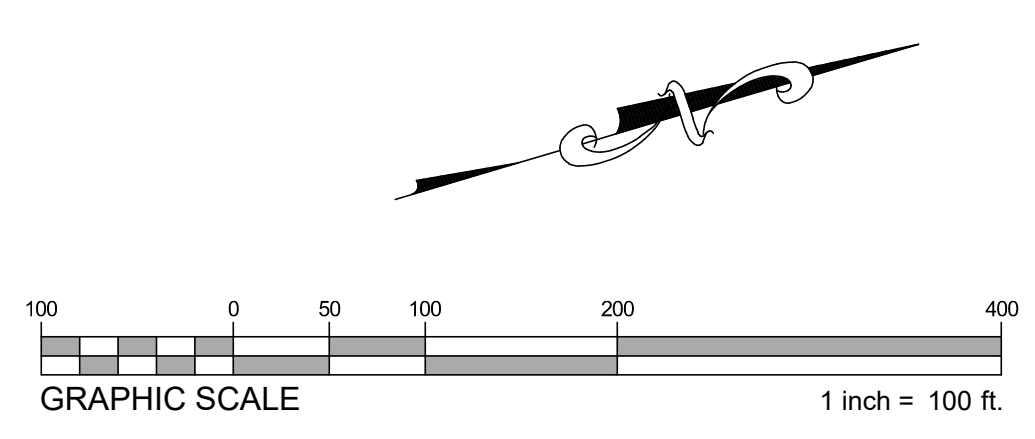
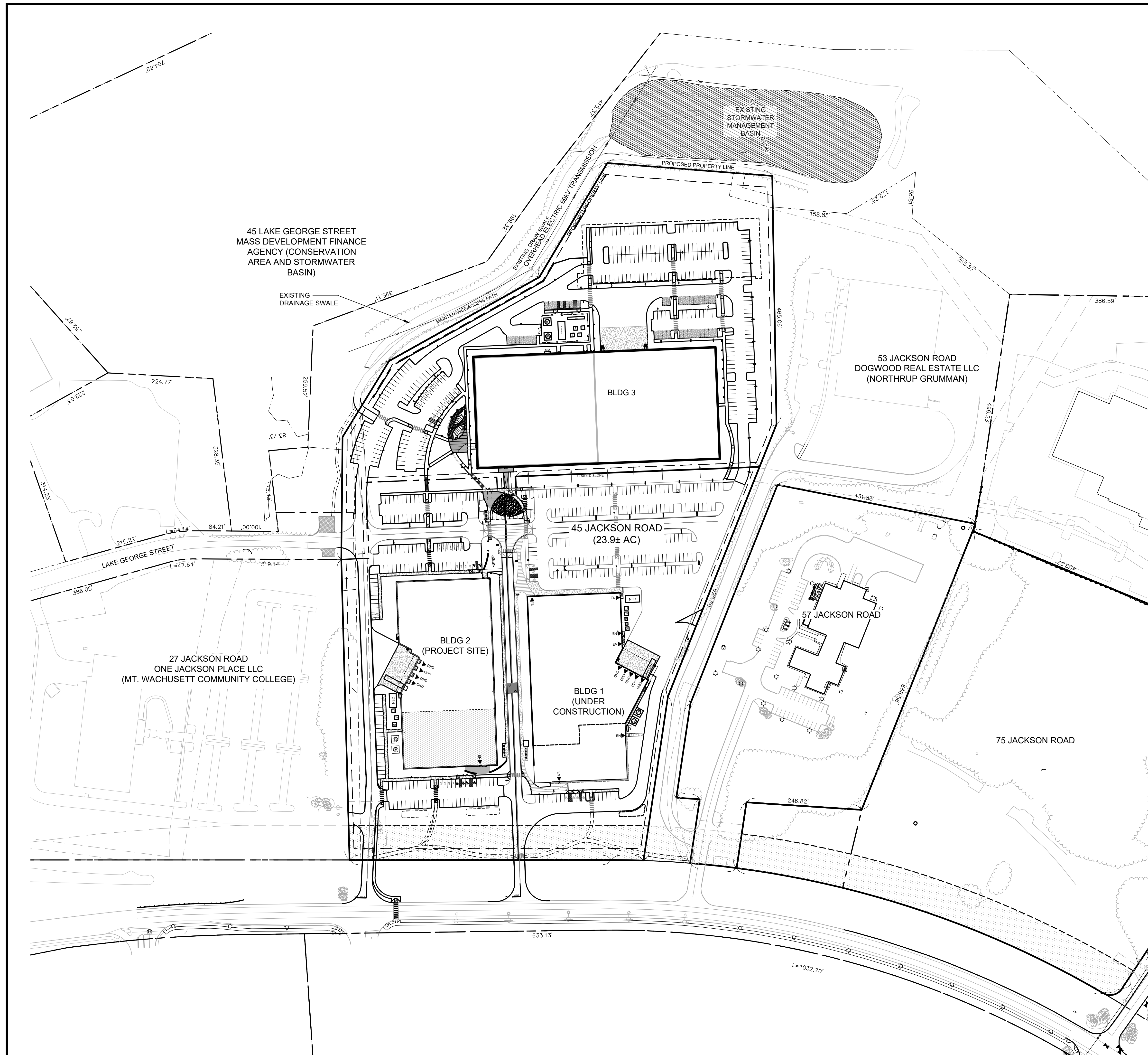
LEVEL 2 - UNIFIED PERMIT
 39 JACKSON ROAD
 39 JACKSON ROAD
 DEVENS, MA
 OWNER/APPLICANT: KING DEVENS, LLC

REV	DATE	DESCRIPTION
1	06/11/2021	RESPONSE TO COMMENTS

ISSUE TYPE:
 LEVEL 2 - PERMIT SET
 ISSUE DATE:
 05-06-2021
 PROJECT NUMBER:
 19019

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 CHECKED BY: DJH
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SHEET TITLE:
CAMPUS MASTER PLAN
 SHEET NUMBER:
G200



GENERAL NOTES

1. EXISTING OR PROPOSED USE WILL NOT GENERATE ELECTROMAGNETIC INTERFERENCE TO ANY SENSITIVE RECEPTOR. INTERFERENCE WITH THE HARVARD-SMITHSONIAN RADIO TELESCOPE (1400-1720 MHZ) IS SPECIFICALLY PROHIBITED.
2. PROPOSED OR EXISTING USE WILL NOT CAUSE PRONOUNCED, MULTIPLE PATTERNS OF NOISE OR VIBRATION NUISANCE TO, OR INTERFERE WITH, ANY SENSITIVE RECEPTOR.
3. A DEP AIR QUALITY PERMIT IS NOT REQUIRED.
4. EXISTING UTILITY AND ACCESS EASEMENT OF RECORD TO BE RECONFIGURED TO MEET THE REQUIREMENTS OF THE PROPOSED SITE DEVELOPMENT PLAN.

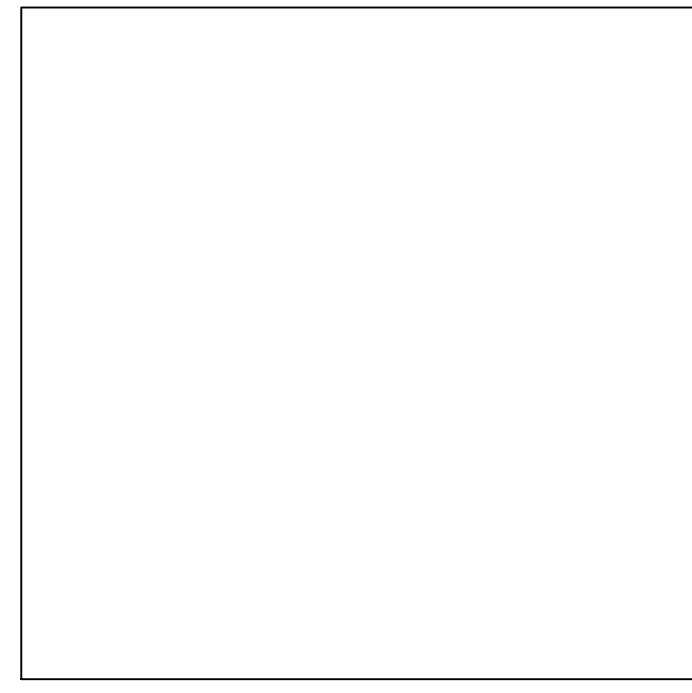
LEVEL 2 - UNIFIED PERMIT
 39 JACKSON ROAD
 39 JACKSON ROAD
 DEVENS, MA

OWNER/APPLICANT: KING DEVENS, LLC

LEVEL 2 - UNIFIED PERMIT APPROVAL
 DEVENS ENTERPRISE COMMISSION

 SIGNATURE

REGISTRY OF DEEDS



REV	DATE	DESCRIPTION
1	06/11/2021	RESPONSE TO COMMENTS

ISSUE TYPE:
LEVEL 2 - PERMIT SET
 ISSUE DATE:
 05-06-2021
 PROJECT NUMBER:
 19019

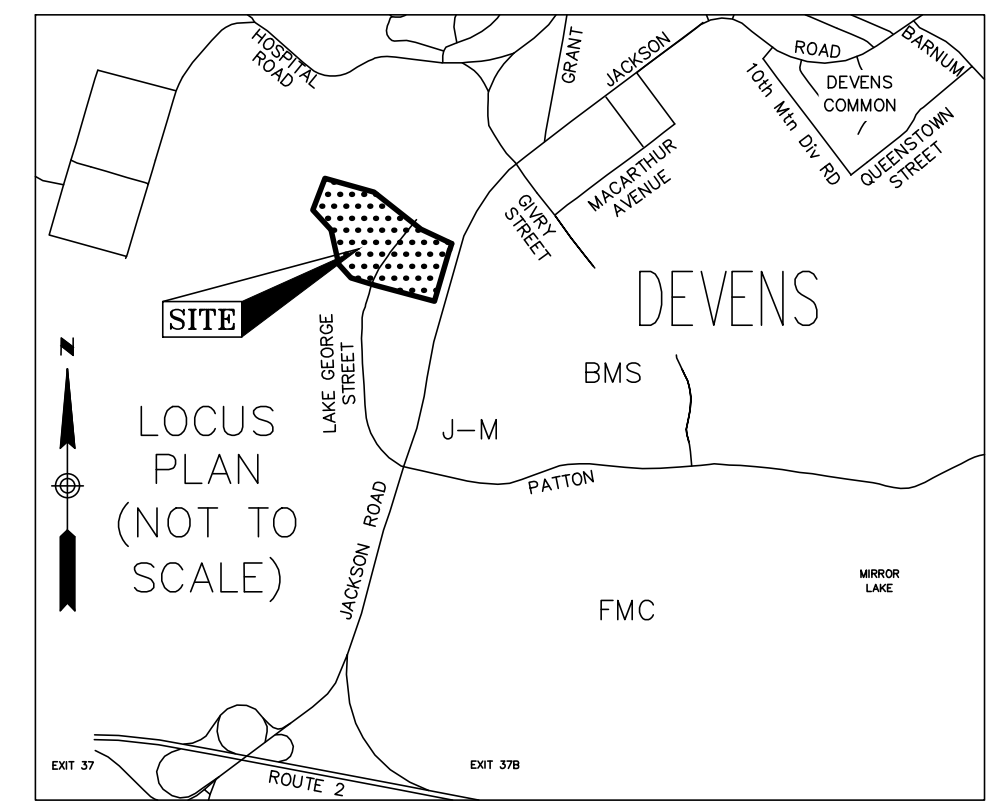
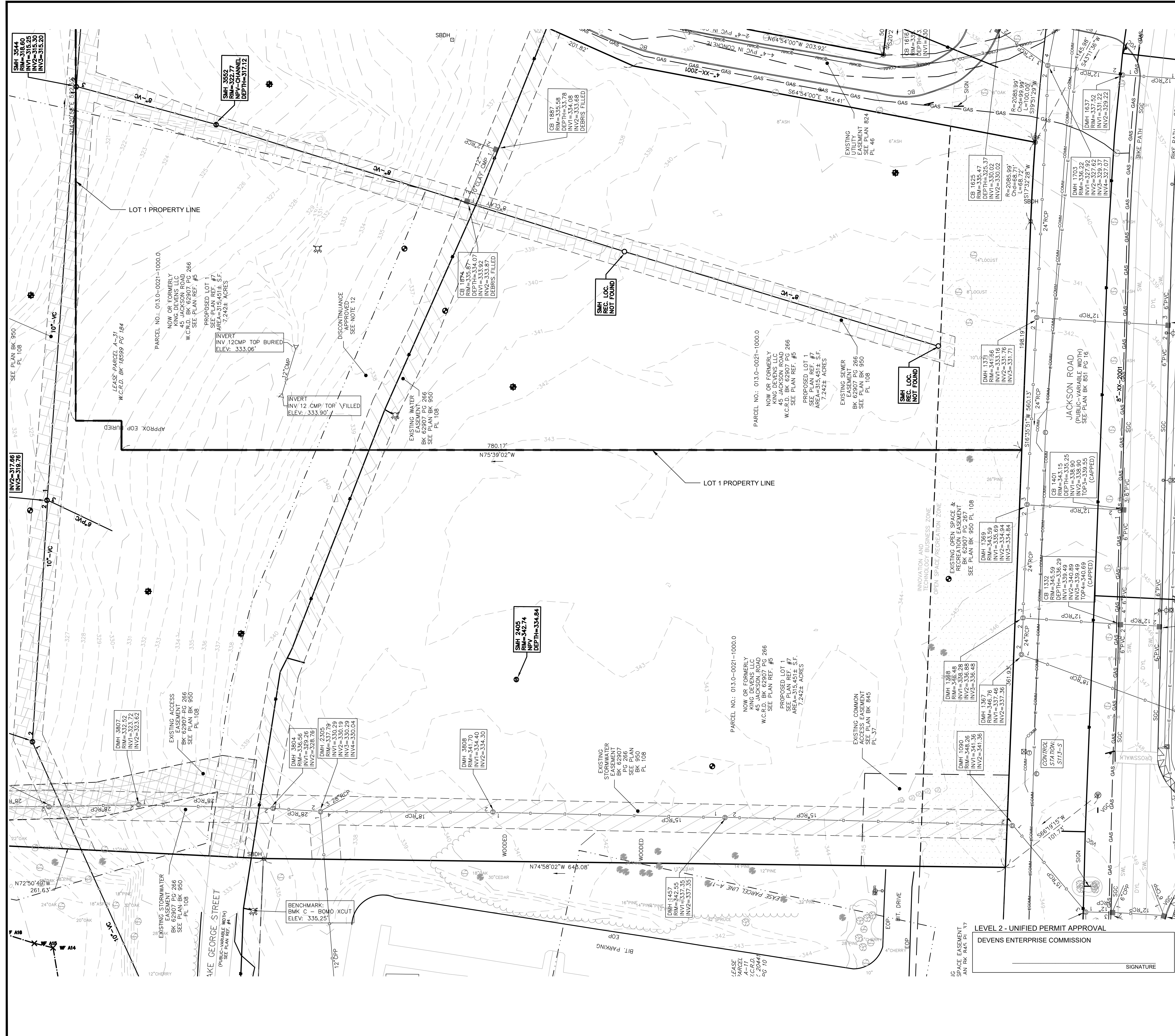
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SHEET TITLE:

CONTEXT PLAN

SHEET NUMBER:
C100

ISSUED FOR : UNIFIED PERMIT



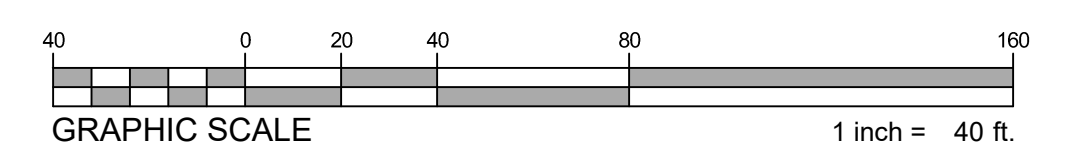
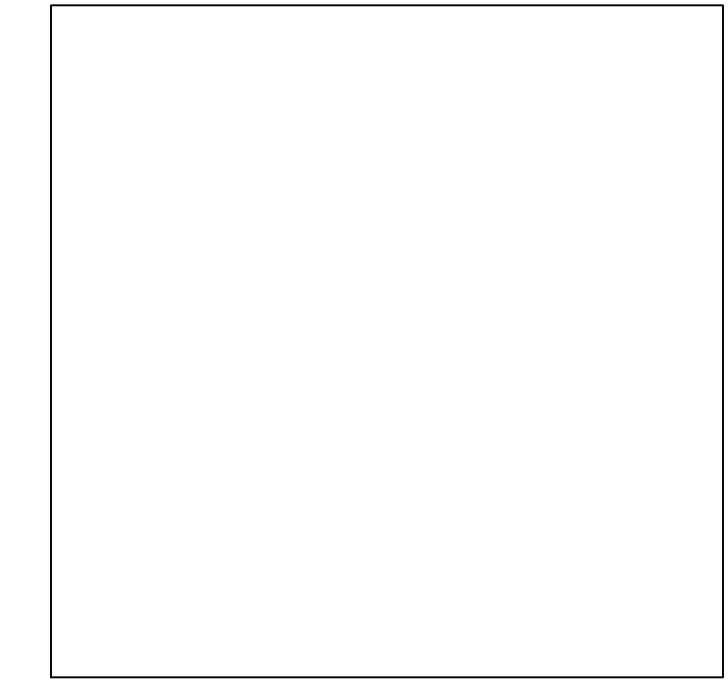
NOTES

1. THIS PLAN WAS PREPARED FROM AN ON-THE-GROUND FIELD SURVEY CONDUCTED BY WSP IN JANUARY OF 2020. THE DETAIL SHOWN ON 45 JACKSON WAS THE RESULT OF THE ON-THE-GROUND SURVEY. THE DETAIL SHOWN ON THE REMAINING PARCELS IS THE RESULT OF AN AERIAL SURVEY CONDUCTED IN 2015 AND PROVIDED TO WSP BY MDA.
2. BEARINGS BASED ON 1983 MASS. STATE PLANE COORDINATE SYSTEM & CONTROL SURVEY BY CHAS. H. SELLS, INC. APRIL 2002. LAST REVISED JULY 2007.
3. ALL COORDINATES SHOWN HEREON ARE IN RELATIONSHIP TO THE DEVENS, MA CONTROL NETWORK AND GEOGRAPHIC INFORMATION SYSTEMS (GIS). REFERENCE IS MADE TO THE CONTROL SURVEY AND REPORT ENTITLED, "SURVEY CONTROL, FREEDOM FOR DEVENS, MASSACHUSETTS" PREPARED FOR MASSACHUSETTS DEVELOPMENT FINANCE AGENCY, BY CHAS. H. SELLS, INC DATED APRIL 8, 2002 AND LAST REVISED JULY 11, 2007. ALL COORDINATES ARE ON THE MASSACHUSETTS MAINLAND STATE PLANE SYSTEM (NAD 1983).
4. THE WETLAND FLAGS SHOWN HEREON WERE DELINEATED BY ECOTEC ON JULY 28, 2020. A SKETCH MAP SHOWING THE LOCATION OF THE FLAGS WAS PROVIDED BY HIGHPOINT ENGINEERING, INC. ON AUGUST 5, 2020 AS PART OF THE RFP. THE FLAGS WERE LOCATED BY WSP AS PART OF THIS SURVEY.

LEGEND

018.0-0021-1200.0	DEVENS ASSESSORS MAP/BLOCK/LOT ID	▣	CATCH BASIN
---	ABUTTERS LOT LINE	△	CULVERT
---	PROPERTY LINE	○	DRAIN MANHOLE
---	EASEMENT LINE	○	NO LABEL MANHOLE
---	LEASE PARCEL LINE	○	SEWER MANHOLE
---	RIGHTS OF WAY LINE	⊠	ELECTRIC BOX
---	ZONING DISTRICT LINE	⊠	ELECTRIC METER
---	TREE LINE	⊠	ELECTRIC HANDHOLE
---	STONE WALL	⊠	ELECTRIC MANHOLE
---	WETLAND LINE	⊠	GAS VALVE
---	SEWER LINE	⊠	CABLE BOX
---	DRAIN LINE	⊠	CABLE MANHOLE
---	WATER LINE	⊠	TELEPHONE BOX
---	GAS LINE	⊠	TELEPHONE MANHOLE
---	UNDERGROUND ELECTRIC COMMUNICATION LINE	⊠	WATER GATE
---	FAR ACREAGE	⊠	FIRE HYDRANT
---	SEWER EASEMENT	⊠	UTILITY POLE
---	WATER EASEMENT	⊠	DECIDUOUS TREE
---	ACCESS EASEMENT	⊠	CONIFER TREE
---	STORMWATER EASEMENT	⊠	SHRUB
---	OPEN SPACE EASEMENT	⊠	SIGN (SINGLE POSTED)
---	STONE BOUND/DRILL HOLE	⊠	SIGN (DOUBLE POSTED)
---	IRON ROD FOUND	⊠	POST
		⊠	MONITORING WELL
		⊠	LIGHT POLE
		⊠	BOLLARD
		⊠	DISK MONUMENT

REGISTRY OF DEEDS



LEVEL 2 - UNIFIED PERMIT
 39 JACKSON ROAD
 39 JACKSON ROAD
 DEVENS, MA
 OWNER/APPLICANT: KING DEVENS, LLC

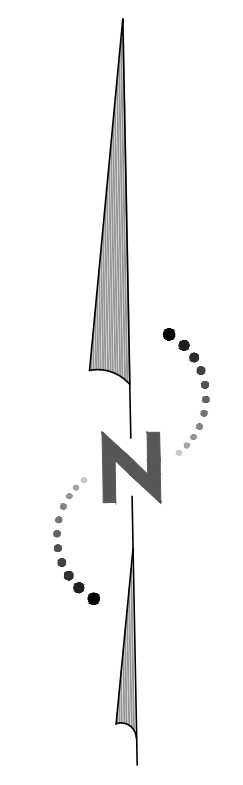
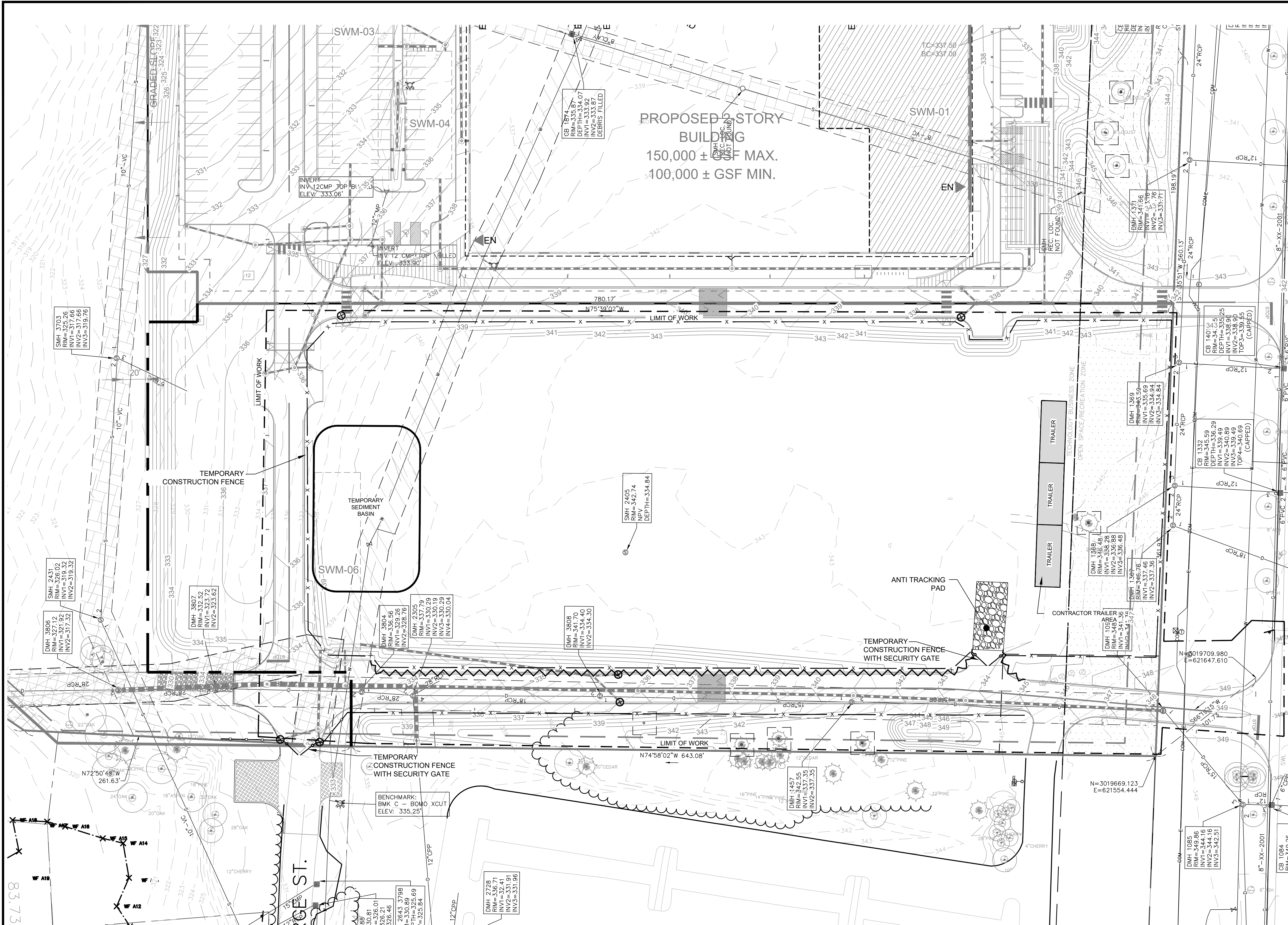
REV	DATE	RESPONSE TO COMMENTS	DESCRIPTION
1	06/11/2021		

ISSUE TYPE:
LEVEL 2 - PERMIT SET
 ISSUE DATE:
05-06-2021
 PROJECT NUMBER:
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EXISTING CONDITIONS PLAN

SHEET NUMBER:
C200
 ISSUED FOR : UNIFIED PERMIT

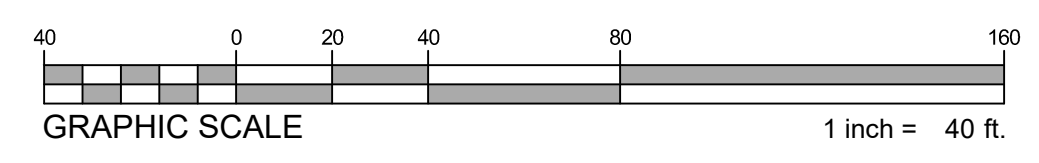


SYMBOL LEGEND	
	STRAW WATTLE EROSION CONTROL BARRIER
	SILTSACK CATCH BASIN INSERT
	CONSTRUCTION ANTI-TRACKING PAD
	TEMPORARY CONSTRUCTION FENCE
	STRAW BALE W/ SILT FENCE
	ORANGE CAUTION FENCE
	R&D EXISTING SEWER LINE
	R&D EXISTING CURB
	R&D EXISTING WATER LINE
	R&D PAVEMENT AND GRAVEL BASE LAYER
	STRIP LOAD AND STOCKPILE ON SITE
	REMOVE & DISPOSE EXISTING OBJECT
	MAINTAIN AND PROTECT
	REMOVE AND DISPOSE
	REMOVE AND DISPOSE
	DENOTES TREE TO BE PROTECTED

NOTE:
1. SEE SHEET C100 FOR GENERAL SOIL EROSION AND SEDIMENTATION CONTROL & SITE PREPARATION NOTES

LEVEL 2 - UNIFIED PERMIT APPROVAL
DEVENS ENTERPRISE COMMISSION
SIGNATURE

REGISTRY OF DEEDS



LEVEL 2 - UNIFIED PERMIT
39 JACKSON ROAD
39 JACKSON ROAD
DEVENS, MA

OWNER/APPLICANT: KING DEVENS, LLC

REV	DATE	DESCRIPTION
1	06/11/2021	RESPONSE TO COMMENTS

ISSUE TYPE:
LEVEL 2 - PERMIT SET
ISSUE DATE:
05-06-2021
PROJECT NUMBER:
19019

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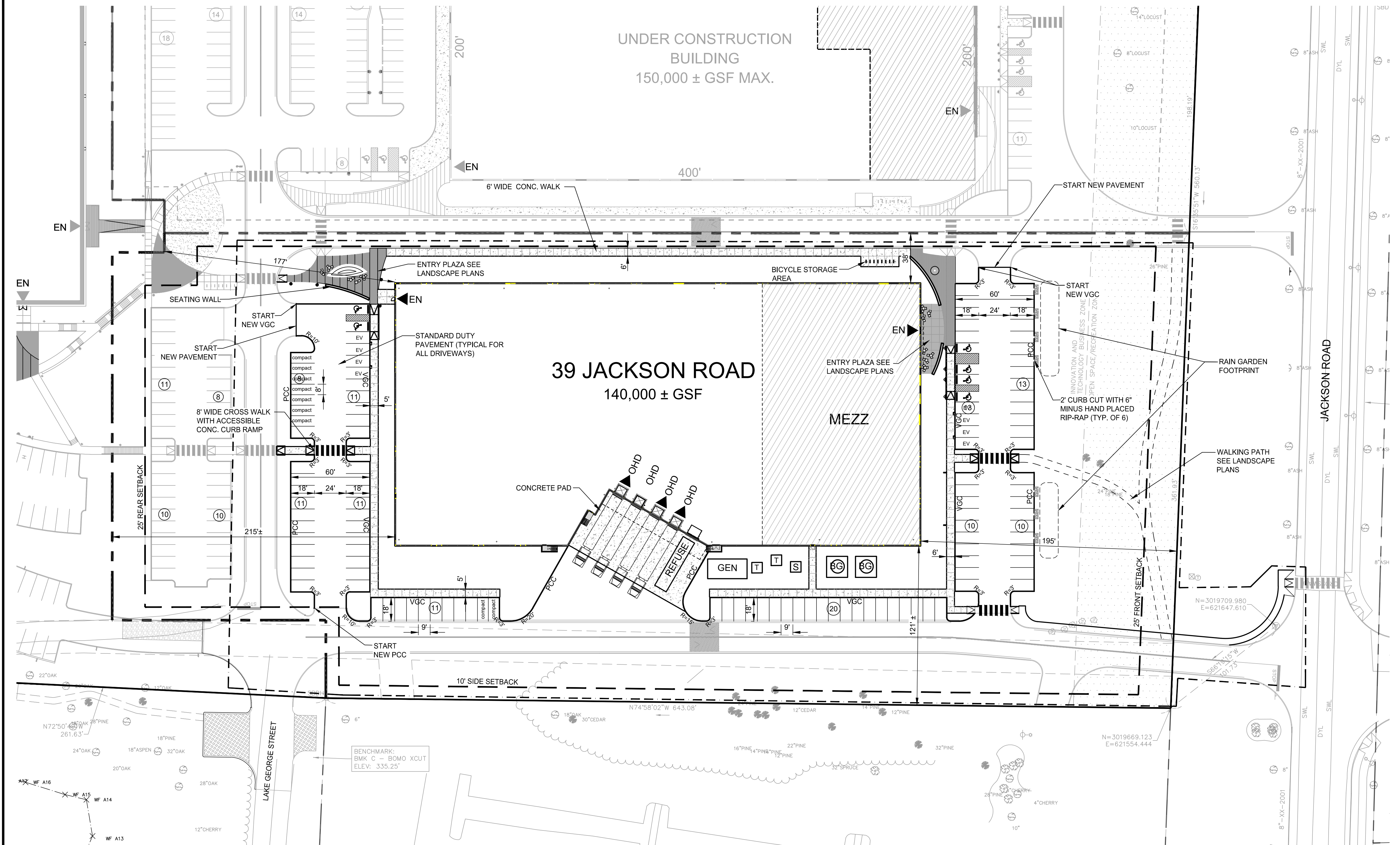
SOIL EROSION & SEDIMENTATION CONTROL/SITE PREPARATION PLAN

SHEET NUMBER:
C300



LEVEL 2 - UNIFIED PERMIT
39 JACKSON ROAD
39 JACKSON ROAD
DEVENS, MA

OWNER/APPLICANT: KING DEVENS, LLC



SYMBOL LEGEND

	ACCESSIBLE PARKING PAVEMENT MARKING
	PARKING SIGN (SEE PLAN FOR TYPE)
	BITUMINOUS CONCRETE CURB
	VERTICAL GRANITE CURB
	FLUSH GRANITE CURB
	GRANITE TRANSITION CURB
	PRECAST CONCRETE CURB
	SLOPED GRANITE CURB (EXISTING ONLY)
	CURB OR BERM RADIUS
	SINGLE WHITE LINE
	DOUBLE YELLOW LINE
	CONCRETE SURFACE
	SURFACE PARKING STALL COUNT
	PERVIOUS PAVEMENT

LEVEL 2 - UNIFIED PERMIT APPROVAL
DEVENS ENTERPRISE COMMISSION

_____ SIGNATURE

ZONING CONFORMANCE SUMMARY (LOT2)

PRIMARY ZONING DISTRICT:	INNOVATION AND TECHNOLOGY BUSINESS
OVERLAY DISTRICT:	VIEWSHED OVERLAY DISTRICT
USE:	INDUSTRIAL/ MANUFACTURE

BUILDING DIMENSIONAL REQUIREMENTS

CRITERIA	REQUIRED	PROPOSED	ZONING COMPLIANCE
LOT AREA (MIN.)	2 AC.	6.4 AC.	YES
LOT FRONTAGE (MIN.)	75 FT	287 FT	YES
FRONT YARD SETBACK (MIN.)	25 FT	195 FT±	YES
SIDE YARD SETBACK (MIN.)	10 FT	38 FT±	YES
REAR YARD SETBACK (MIN.)	25 FT	177 FT±	YES
BUILDING HEIGHT (MAX.)	75 FT	42 FT±	YES
FAR (MAX.)	0.50	0.50	YES
IMPERVIOUS COVER (MAX.)	75%	64%	YES
PARKING SPACES (MAX.)	2 SP/1000 SF	157 (1.1 SP)	NO

NOTES
1. BUILDING HEIGHT MEASURES TO TOP OF STRUCTURE.



REGISTRY OF DEEDS

REV	DATE	DESCRIPTION

ISSUE TYPE:
LEVEL 2 - PERMIT SET
ISSUE DATE:
05-06-2021
PROJECT NUMBER:
19019

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SHEET TITLE:
LAYOUT & MATERIALS PLAN

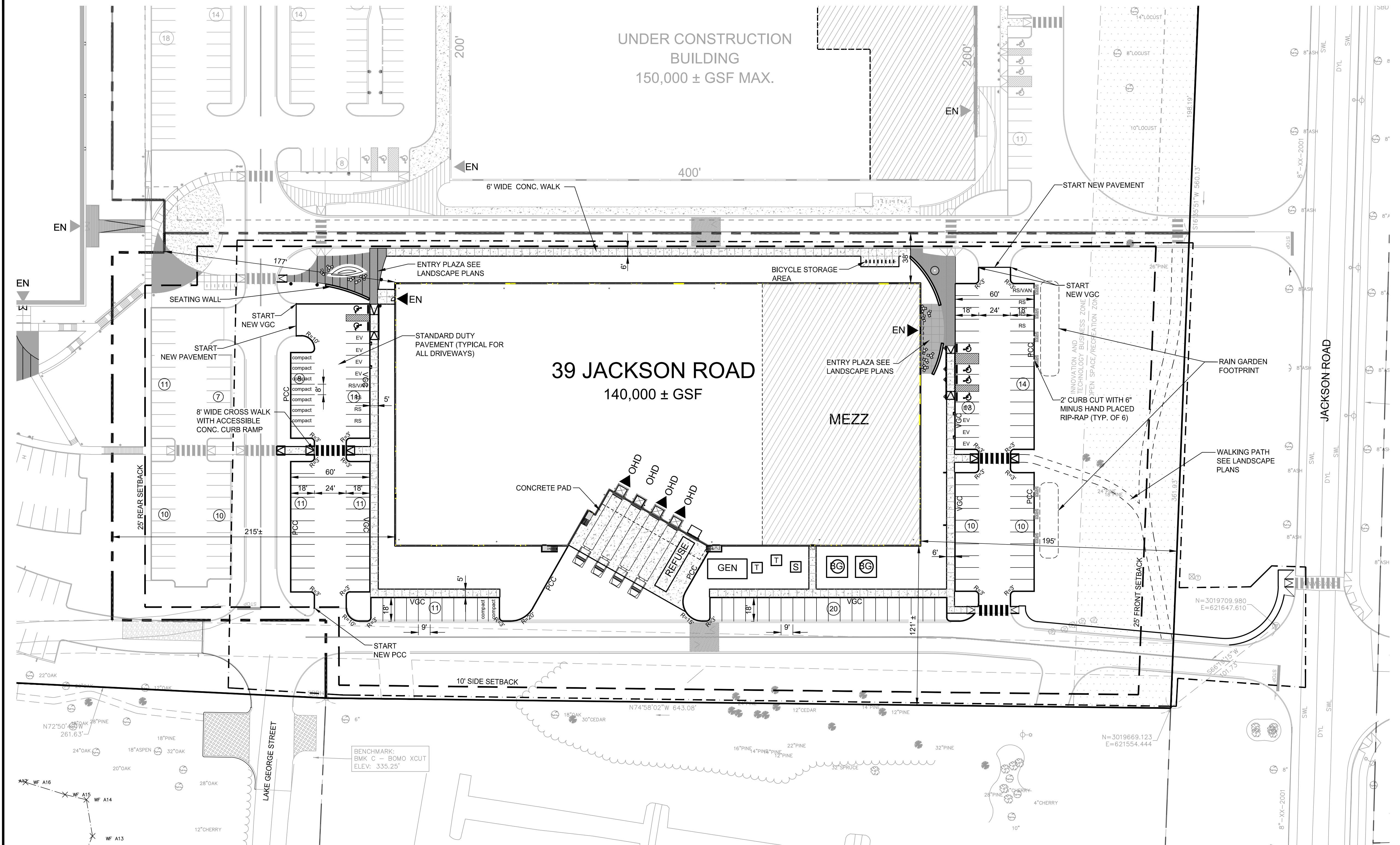
SHEET NUMBER:
C400

ISSUED FOR : UNIFIED PERMIT



LEVEL 2 - UNIFIED PERMIT
39 JACKSON ROAD
39 JACKSON ROAD
DEVENS, MA

OWNER/APPLICANT: KING DEVENS, LLC



SYMBOL LEGEND	
	ACCESSIBLE PARKING PAVEMENT MARKING
	PARKING SIGN (SEE PLAN FOR TYPE)
	BCC BITUMINOUS CONCRETE CURB
	VGC VERTICAL GRANITE CURB
	FGC FLUSH GRANITE CURB
	GTC GRANITE TRANSITION CURB
	PCC PRECAST CONCRETE CURB
	SGC SLOPED GRANITE CURB (EXISTING ONLY)
	R=X' CURB OR BERM RADIUS
	SWL SINGLE WHITE LINE
	DYL DOUBLE YELLOW LINE
	CONCRETE SURFACE
	9 SURFACE PARKING STALL COUNT
	PERVIOUS PAVEMENT

LEVEL 2 - UNIFIED PERMIT APPROVAL	
DEVENS ENTERPRISE COMMISSION	
	SIGNATURE

REGISTRY OF DEEDS	

PARKING SUMMARY			
	REQUIRED	PROVIDED	RATIO
MINIMUM STALL	9x18'	9x18'	
MINIMUM AISLE WIDTH	24'	24'	
MINIMUM REQUIRED (MANUFACTURING 2.0/1000 GSF)			
140,000 KSF	280	157	1.1/1000'
COMPACT SPACES	10% MAX	9 (MAX)	5.0% MAX
ELECTRIC VEHICLES SPACES	5% MIN	8	5.0%
RIDE SHARE SPACES	5% MIN	8	5.0%

ZONING CONFORMANCE SUMMARY (LOT2)			
PRIMARY ZONING DISTRICT: INNOVATION AND TECHNOLOGY BUSINESS			
OVERLAY DISTRICT: VIEWSHED OVERLAY DISTRICT			
USE: INDUSTRIAL/ MANUFACTURE			
BUILDING DIMENSIONAL REQUIREMENTS			
CRITERIA	REQUIRED	PROPOSED	ZONING COMPLIANCE
LOT AREA (MIN.)	2 AC.	6.4 AC.	YES
LOT FRONTAGE (MIN.)	75 FT	267 FT	YES
FRONT YARD SETBACK (MIN.)	25 FT	195 FT±	YES
SIDE YARD SETBACK (MIN.)	10 FT	38 FT±	YES
REAR YARD SETBACK (MIN.)	25 FT	177 FT±	YES
BUILDING HEIGHT (MAX.)	75 FT	42 FT±	YES
FAR (MAX.)	0.50	0.50	YES
IMPERVIOUS COVER (MAX.)	75%	64%	YES
PARKING SPACES (MAX.)	2 SP/1000 SF	157 (1.1 SP)	NO

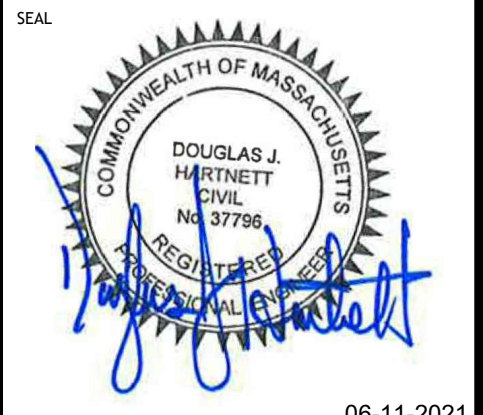
NOTES
1. BUILDING HEIGHT MEASURES TO TOP OF STRUCTURE.



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ISSUE TYPE:
LEVEL 2 - PERMIT SET
ISSUE DATE:
05-06-2021
PROJECT NUMBER:
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REV	DATE	RESPONSE TO COMMENTS	DESCRIPTION
1	06/11/2021		



LEVEL 2 - UNIFIED PERMIT
39 JACKSON ROAD
39 JACKSON ROAD
DEVENS, MA

OWNER/APPLICANT: KING DEVENS, LLC

— 320 —	ELEVATION CONTOUR
333x50	SPOT ELEVATION
TC 352.50 BC 352.00	TOP AND BOTTOM OF CURB
---	LIMIT OF WORK
H.P. 341x50	HIGH POINT
---	STORM DRAINAGE LINE
○	CATCH BASIN
○	DRAINAGE MANHOLE
●	AREA DRAIN
△	FLARED END SECTION
▨	RIPRAP APRON
---	UNDERGROUND INFILTRATION SYSTEM

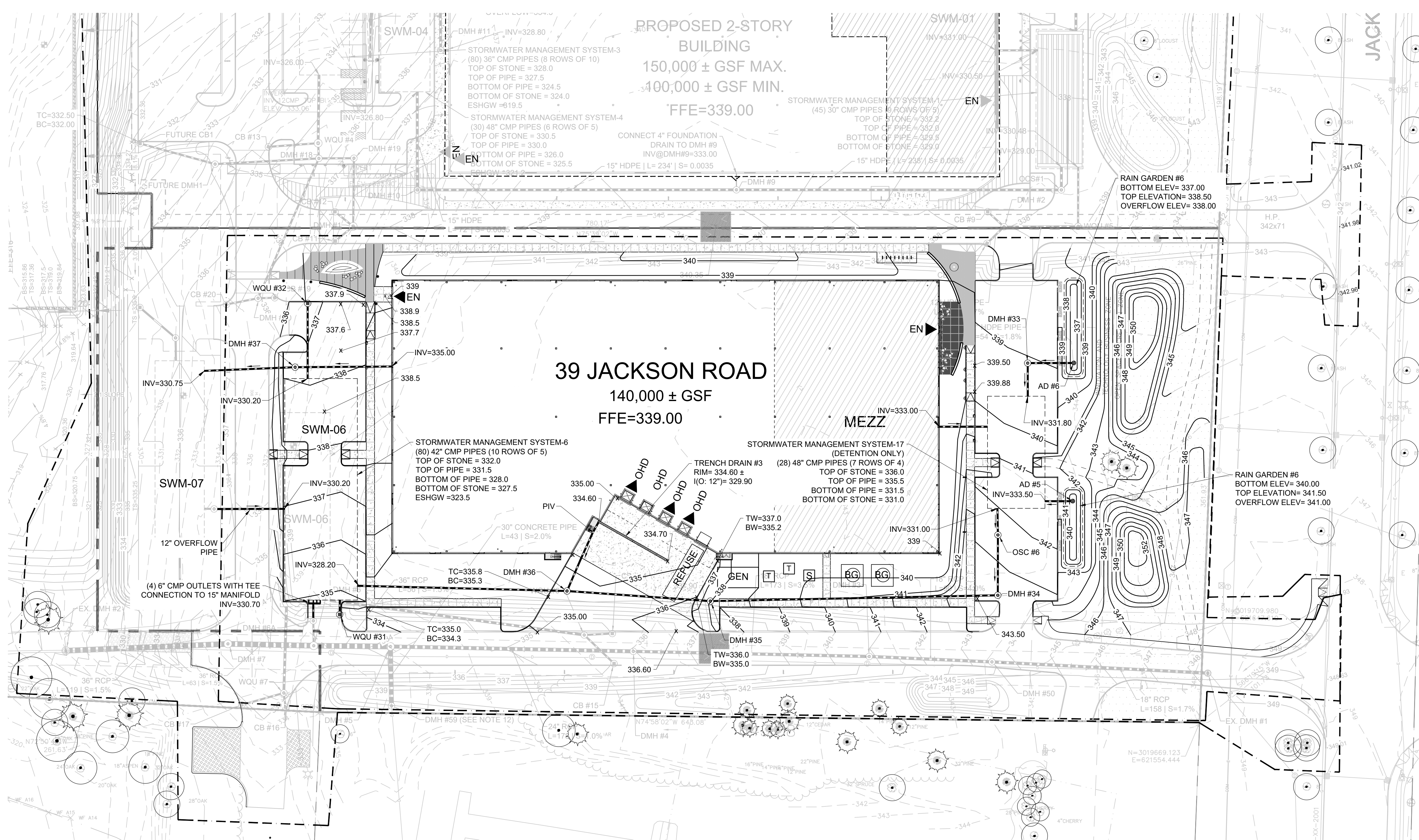
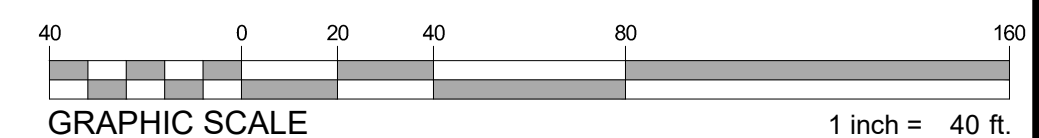
- NOTE:
- SEE SHEET G100 FOR GRADING & DRAINAGE NOTES
 - CONFIRMATORY TEST PITS WITNESSED BY THE DESIGN ENGINEER SHALL BE PERFORMED AT EVERY INFILTRATION SYSTEM, AND WHERE PERVIOUS PAVEMENT IS PROPOSED, THE DESIGN ENGINEER SHALL VERIFY THE DESIGN ASSUMPTIONS REGARDING SEASONAL HIGH GROUNDWATER ELEVATION AND SOIL INFILTRATION CHARACTERISTICS.

LEVEL 2 - UNIFIED PERMIT APPROVAL
DEVENS ENTERPRISE COMMISSION

SIGNATURE

REGISTRY OF DEEDS

SIGNATURE



STRUCTURE	ELEV.
AD #5 12" NYLOPLAST DRAIN	RIM = 341.00 INV OUT (12" HDPE) = 334.00 (SWM17)
AD #6 12" NYLOPLAST DRAIN	RIM = 338.00 INV OUT (12" HDPE) = 332.50 (DMH #33)
DMH #33 4" DIA. DMH	RIM = 339.15 INV IN (12" HDPE) = 332.20 (AD #6) INV OUT (12" HDPE) = 332.10 (SWM17)
DMH #34 4" DIA. DMH	RIM = 343.35 INV IN (12" HDPE) = 330.50 (OSC #6) INV OUT (12" HDPE) = 330.40 (DMH #35)
DMH #36 4" DIA. DMH	RIM = 335.20 INV IN (12" HDPE) = 328.85 (DMH #35) INV IN (12" HDPE) = 328.85 (TD #3) INV OUT (12" HDPE) = 328.75 (SWM06)
DMH #37 4" DIA. DMH	RIM = 337.88 INV IN (12" HDPE) = 334.00 (ROOF) INV OUT (12" HDPE) = 332.00 (SWM07)
OSC #6 4" DIA. DMH	RIM = 342.50 INV IN (12" HDPE) = 331.0 (SWM17) INV OUT (12" HDPE) = 330.90 (DMH #34)
WQU #31 CDS 1515-3	RIM = 334.00 INV OUT (12" HDPE) = 330.00 (SWM06)
WQU #32 CDS 1515-3	RIM = 336.50 INV OUT (12" HDPE) = 330.80 (SWM06)

REV	DATE	DESCRIPTION
1	06/11/2021	RESPONSE TO COMMENTS

ISSUE TYPE:
LEVEL 2 - PERMIT SET

ISSUE DATE:
05-06-2021

PROJECT NUMBER:
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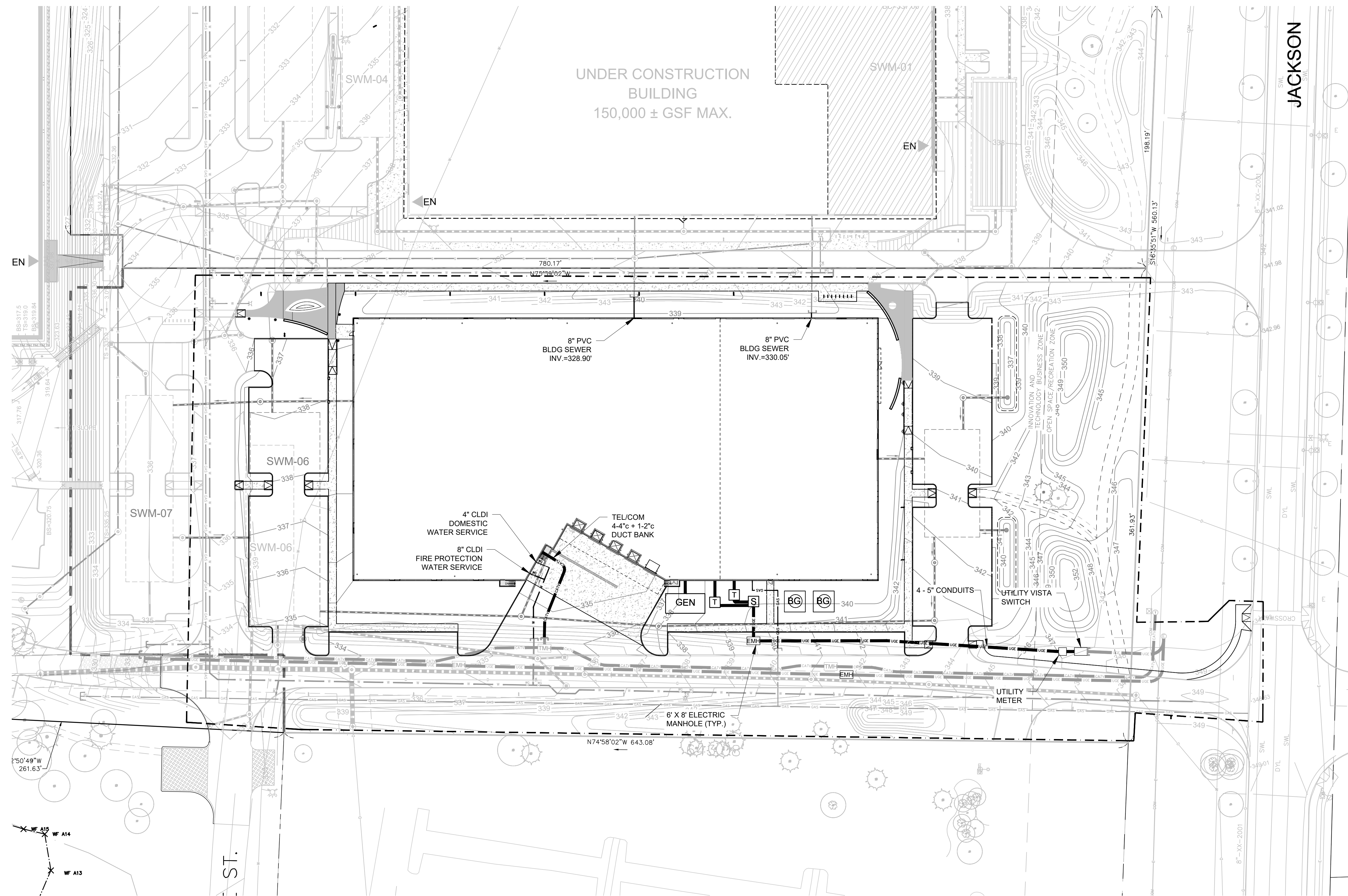
GRADING & DRAINAGE PLAN

SHEET NUMBER:
C500

ISSUED FOR : UNIFIED PERMIT

LEVEL 2 - UNIFIED PERMIT
39 JACKSON ROAD
DEVENS, MA

OWNER/APPLICANT: KING DEVENS, LLC



GRADING & UTILITIES LEGEND	
	WATER SERVICE
	SEWER LINE
	GAS LINE
	UNDERGROUND ELECTRIC LINE
	TELCOM DUCT BANK
	SANITARY MANHOLE
	ELECTRIC TRANSFORMER
	ELECTRIC MANHOLE
	TELCOM MANHOLE
	HYDRANT
	WATER GATE
	STUB & CAP & MARK

NOTES

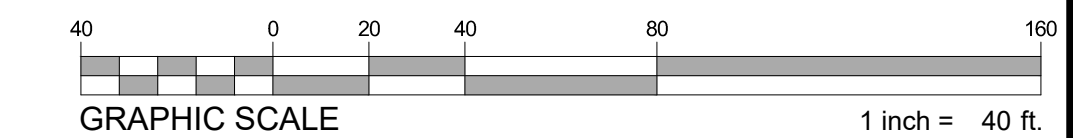
- SEWER & WATER UTILITIES NOT PROPOSED TO REMAIN SHALL BE DEMOLISHED AND REMOVED IN ACCORDANCE WITH DEVENS UTILITY REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY AVAILABLE CONDUIT CONNECTION LOCATIONS WITHIN EXISTING ELECTRICAL AND TELECOMMUNICATIONS VAULTS AND COORDINATE ENTRANCE TO VAULTS WITH DEVENS UTILITIES DEPARTMENT PRIOR TO NEW UTILITY INSTALLATION.
- CONTRACTOR SHALL MAINTAIN SEWER DISCHARGE FROM EXISTING 2" FORCE MAIN SERVING 53 JACKSON ROAD AT ALL TIMES DURING RECONSTRUCTION OF MUNICIPAL SEWER.

LEVEL 2 - UNIFIED PERMIT APPROVAL
DEVENS ENTERPRISE COMMISSION

SIGNATURE

REGISTRY OF DEEDS

REGISTRY OF DEEDS



REV	DATE	DESCRIPTION
1	06/11/2021	RESPONSE TO COMMENTS

ISSUE TYPE:
LEVEL 2 - PERMIT SET
ISSUE DATE:
05-06-2021
PROJECT NUMBER:
19019

DRAWN BY: JJP/AK
CHECKED BY: DH

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SHEET TITLE:
UTILITIES PLAN

ISSUED FOR: UNIFIED PERMIT

SHEET NUMBER:
C600

REGISTRY OF DEEDS

APPROVAL SIGNATURE
DEVENS ENTERPRISE COMMISSION

SIGNATURE

SPECIFICATION CLAUSE

S300K POWERDRAIN - LOAD CLASS D

GENERAL
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE S300K CHANNEL SYSTEM WITH DUCTILE IRON EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

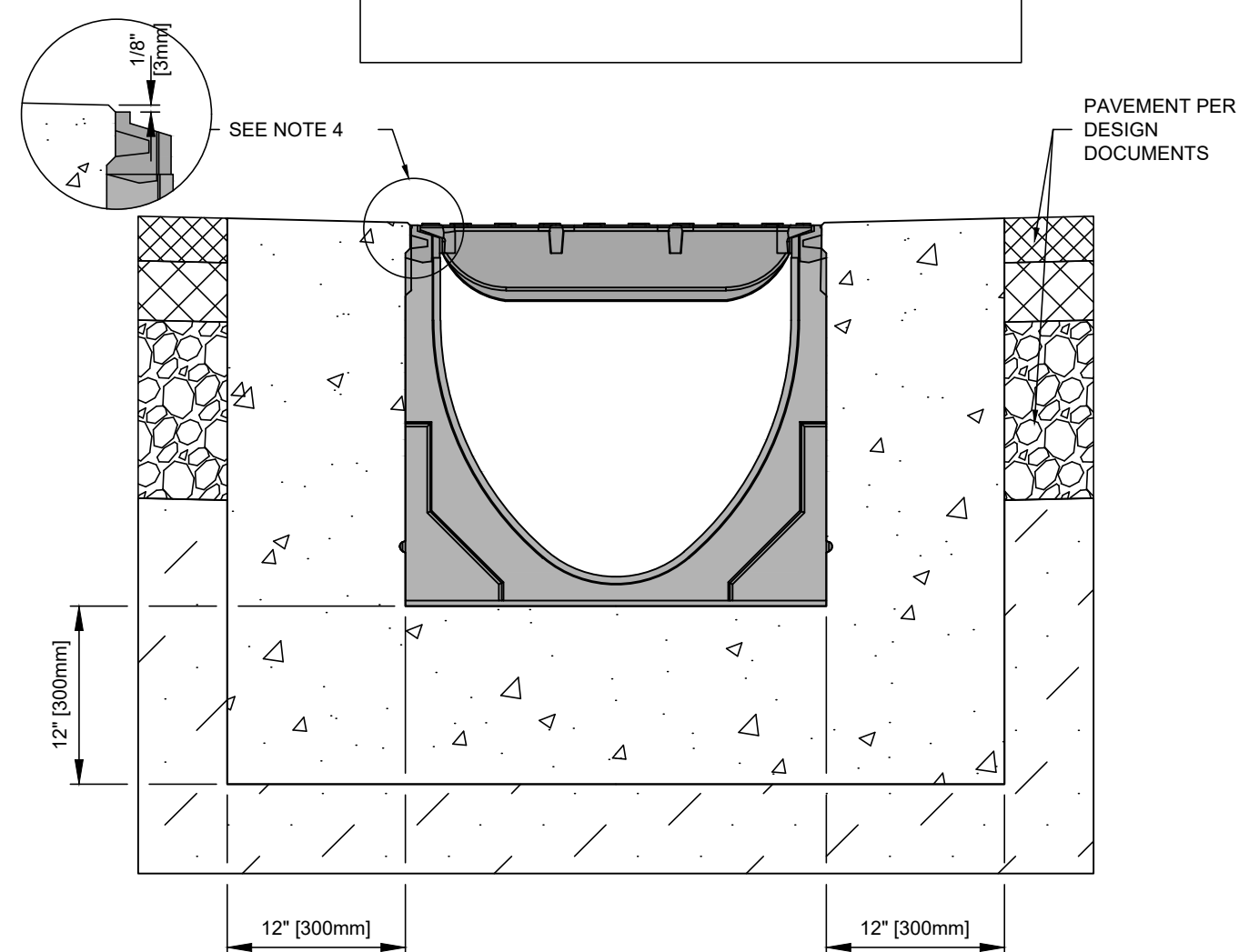
MATERIALS
CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN DUCTILE IRON EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:

COMPRESSIVE STRENGTH:	14,000 P S I
FLEXURAL STRENGTH:	4,000 P S I
TENSILE STRENGTH:	1,500 P S I
WATER ABSORPTION:	0.07 %
FROST PROOF:	Y E S
DILUTE ACID AND ALKALI RESISTANT:	Y E S
B117 SALT SPRAY TEST COMPLIANT:	Y E S

THE SYSTEM SHALL BE 12" (300mm) NOMINAL INTERNAL WIDTH WITH A 14.2" (360mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

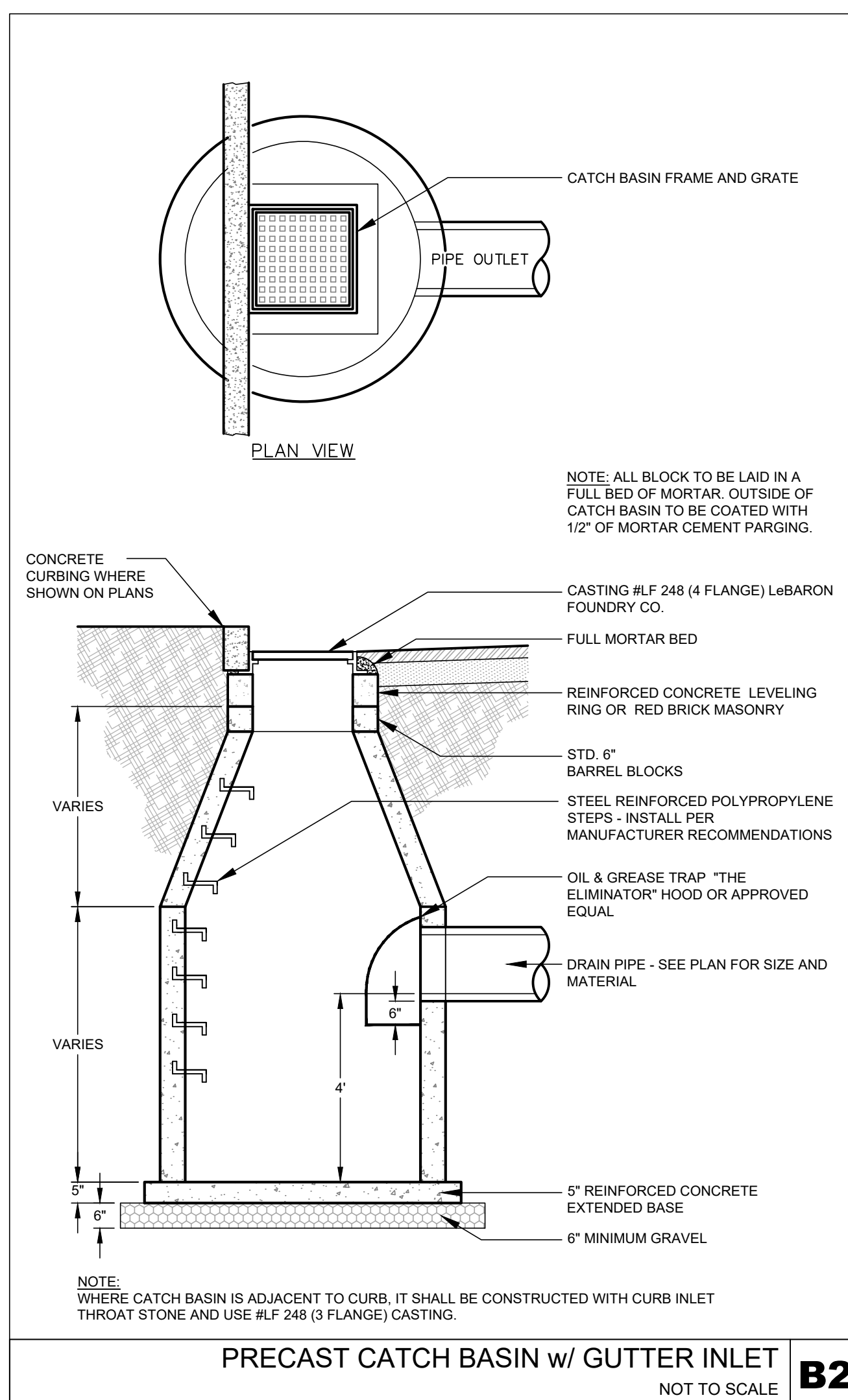
THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING "POWERLOK" BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

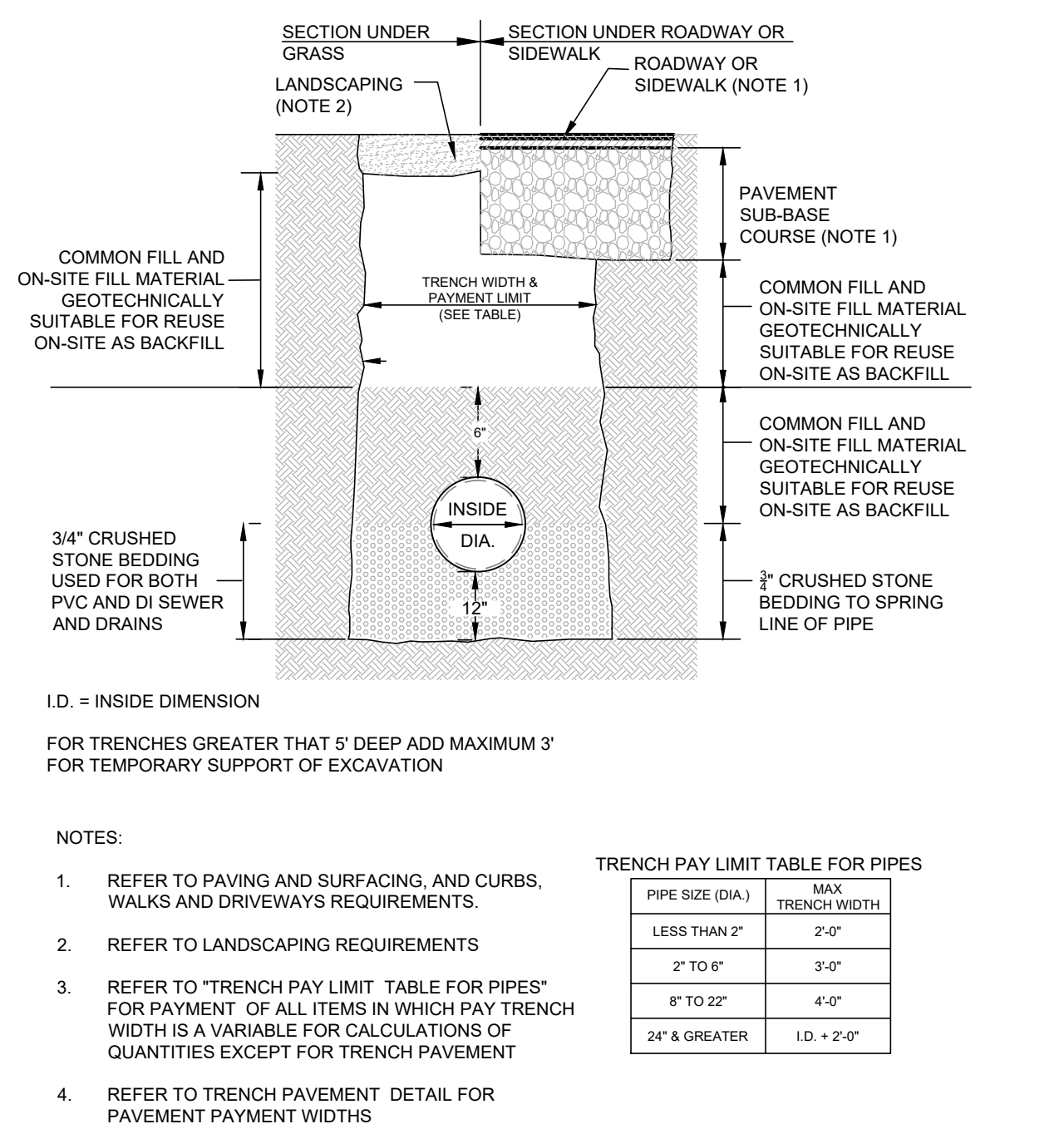


- NOTES:**
- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. **ENGINEERING ADVICE MAY BE REQUIRED.**
 - MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
 - EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. **ENGINEERING ADVICE MAY BE REQUIRED.**
 - THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" (3mm) ABOVE THE TOP OF THE CHANNEL EDGE.
 - CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. **ENGINEERING ADVICE MAY BE REQUIRED** TO DETERMINE PROPER LOAD CLASS.
 - REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

SLOPED-CHANNEL - ACO POWER DRAIN S300K
NOT TO SCALE **A3**



PRECAST CATCH BASIN w/ GUTTER INLET
NOT TO SCALE **B2**



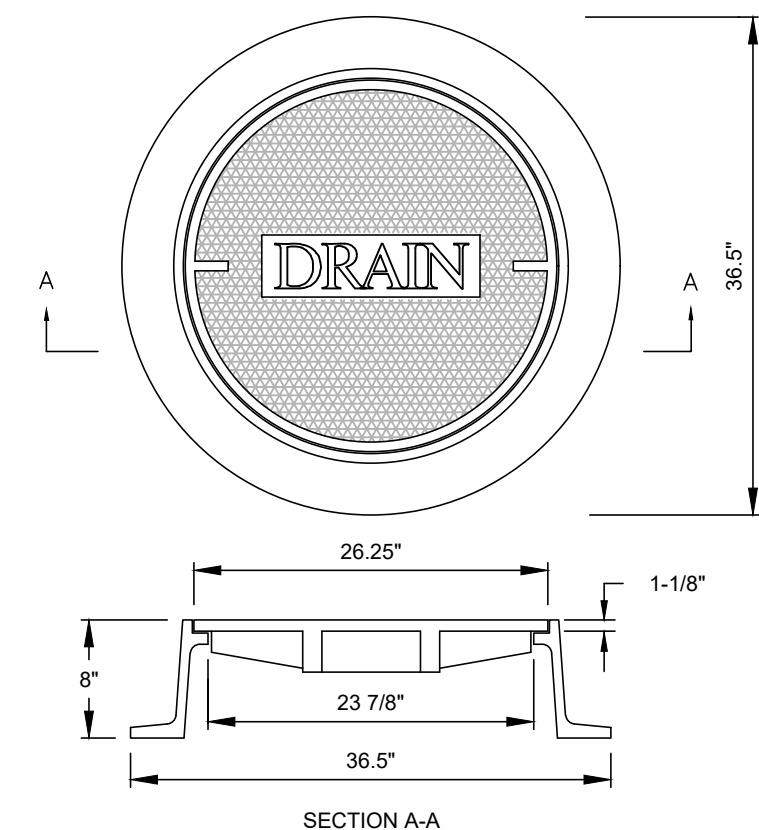
I.D. = INSIDE DIMENSION
FOR TRENCHES GREATER THAN 5' DEEP ADD MAXIMUM 3' FOR TEMPORARY SUPPORT OF EXCAVATION

- NOTES:**
- REFER TO PAVING AND SURFACING, AND CURBS, WALKS AND DRIVEWAYS REQUIREMENTS.
 - REFER TO LANDSCAPING REQUIREMENTS
 - REFER TO "TRENCH PAY LIMIT TABLE FOR PIPES" FOR PAYMENT OF ALL ITEMS IN WHICH PAY TRENCH WIDTH IS A VARIABLE FOR CALCULATIONS OF QUANTITIES EXCEPT FOR TRENCH PAVEMENT
 - REFER TO TRENCH PAVEMENT DETAIL FOR PAVEMENT PAYMENT WIDTHS

TRENCH PAY LIMIT TABLE FOR PIPES

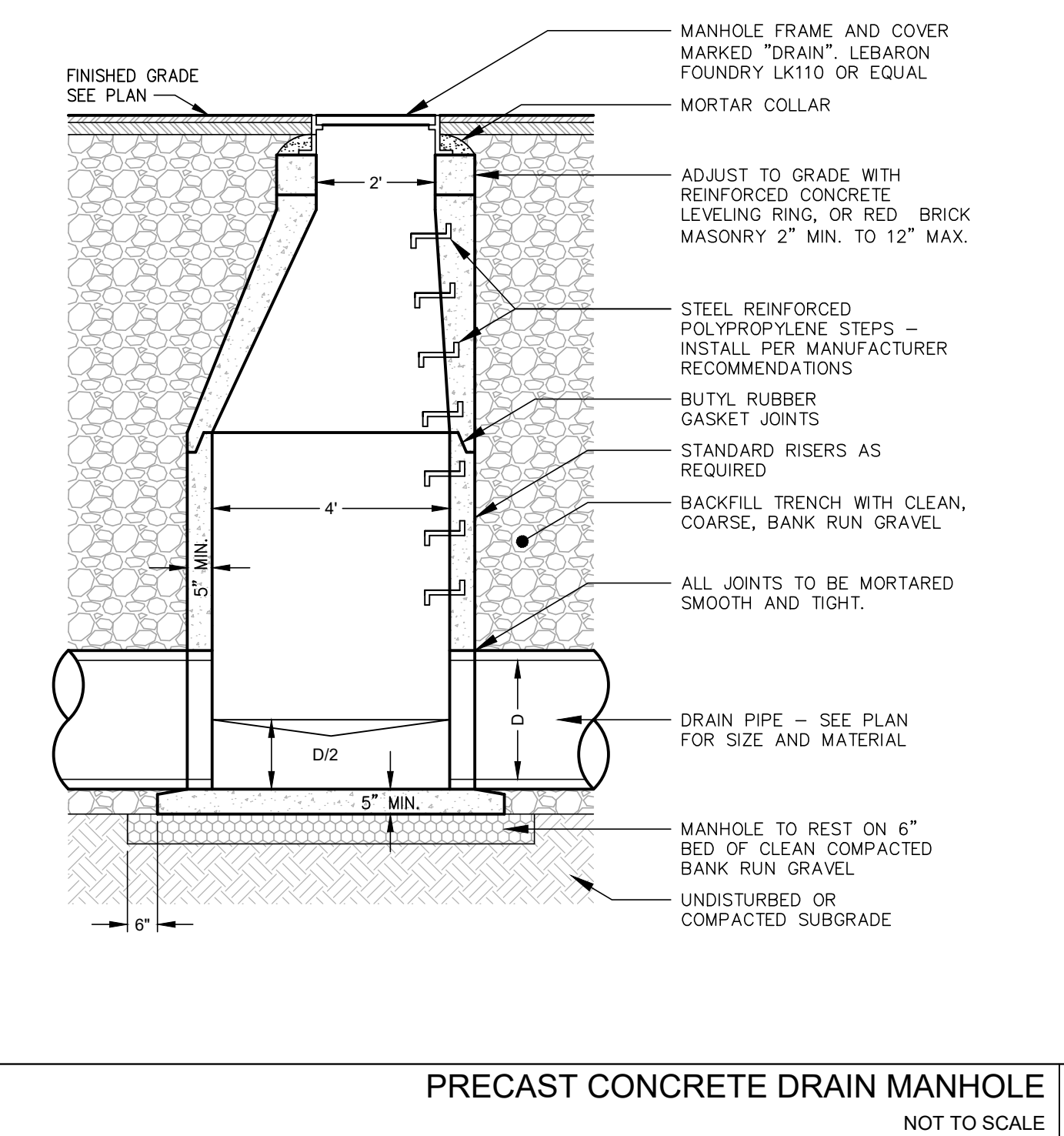
PIPE SIZE (DIA.)	MAX TRENCH WIDTH
LESS THAN 2"	2'-0"
2" TO 6"	3'-0"
8" TO 22"	4'-0"
24" & GREATER	I.D. + 2'-0"

DRAINAGE AND SEWER TRENCH
NOT TO SCALE **A2**

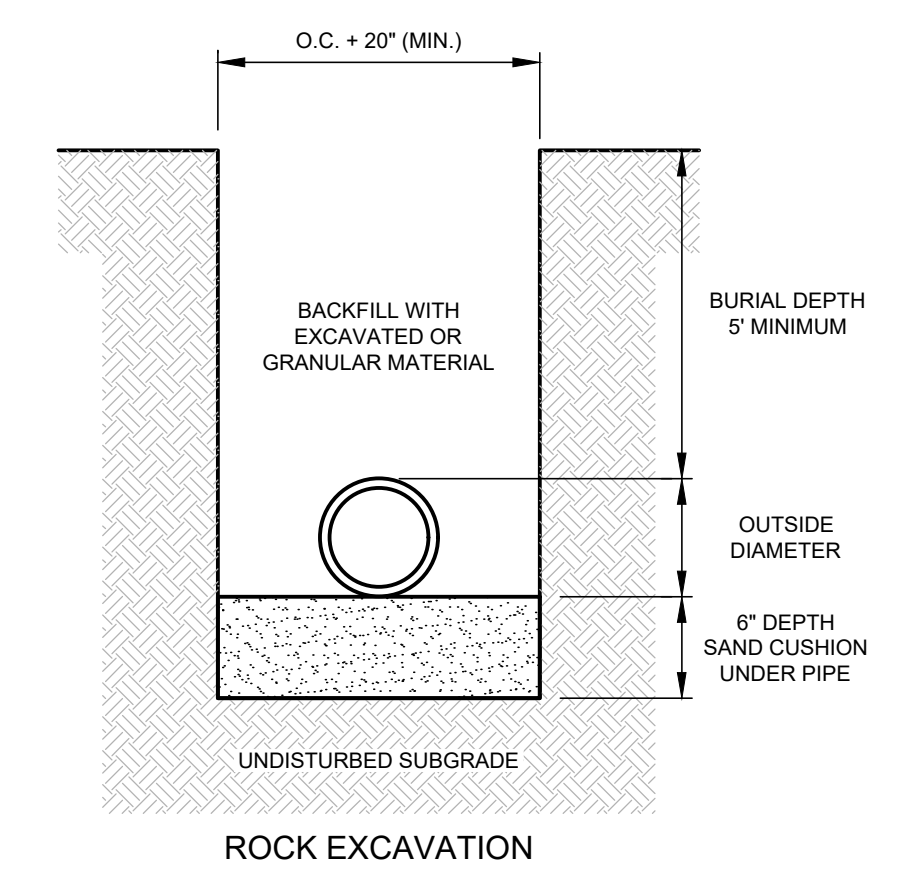


NOTE:
FRAME AND COVER SHALL BE EAST JORDAN IRON WORKS CATALOG NOS. 2110A & 2114Z MARKED "DRAIN", OR APPROVED EQUAL.

DRAIN MANHOLE FRAME AND COVER
NOT TO SCALE **C1**



PRECAST CONCRETE DRAIN MANHOLE
NOT TO SCALE **B1**



NOTE:
1. TRENCHING, BACKFILLING, COMPACTION, AND GRANULAR FILL MATERIALS SHALL CONFORM TO DEVENS DPW STANDARD SPECIFICATIONS FOR EXCAVATION WITHIN PUBLIC RIGHT OF WAY BACKFILL TRENCH WITH EXCAVATEABLE CONTROLLED DENSITY FILL

WATER TRENCH
NOT TO SCALE **A1**



CLIENT:
King Devens, LLC
800 Boylston Street, Suite 1570
Boston, MA 02199

CONSULTANT:



LEVEL 2 - UNIFIED PERMIT
39 JACKSON ROAD
39 JACKSON ROAD
DEVENS, MA
OWNER/APPLICANT: KING DEVENS, LLC

REV	DATE	DESCRIPTION
1	06/11/2021	RESPONSE TO COMMENTS

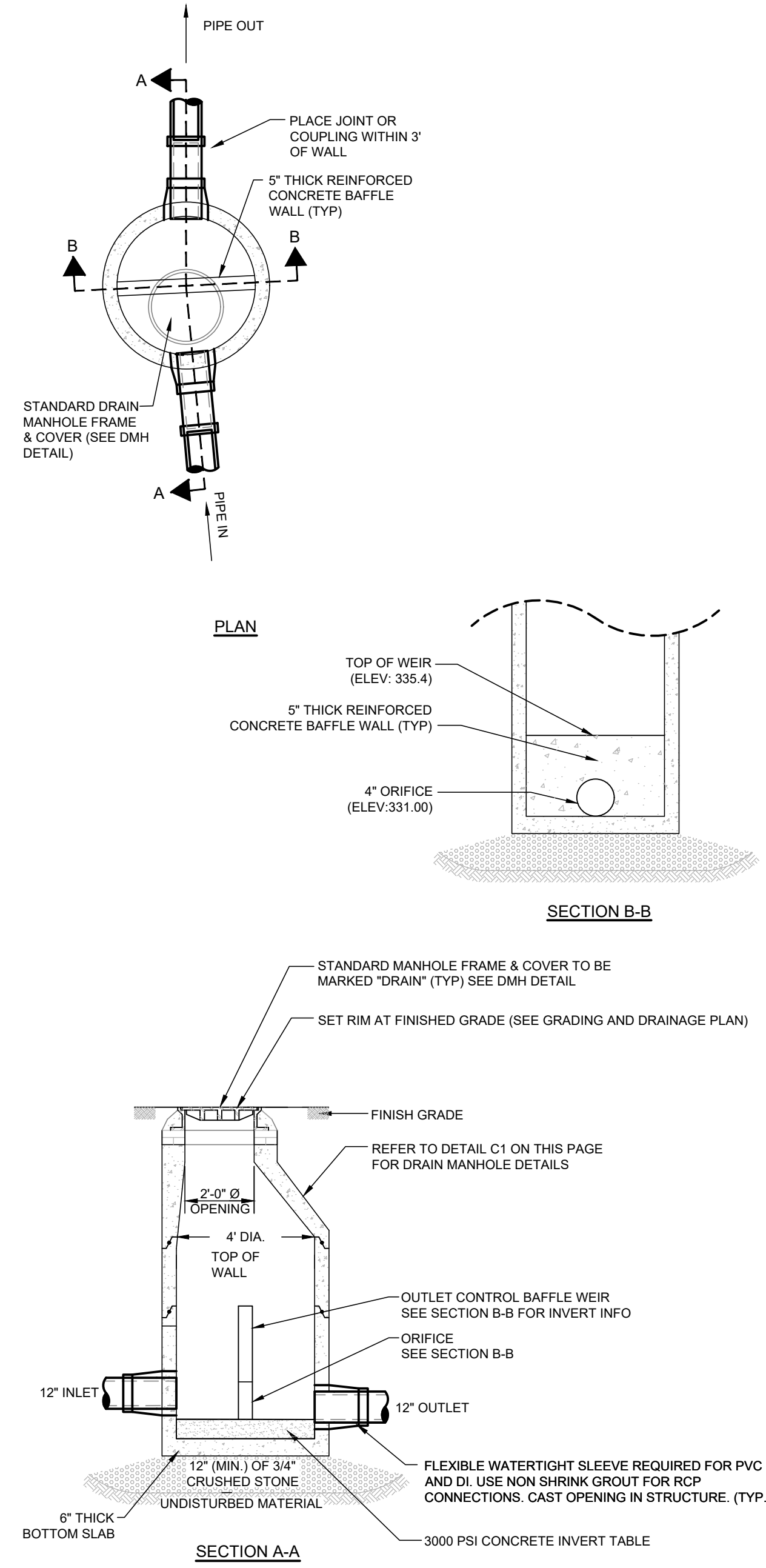
ISSUE TYPE:
LEVEL 2 - PERMIT SET
ISSUE DATE:
05-06-2021
PROJECT NUMBER:
19019

DRAWN BY: WH/AK
CHECKED BY: DJH
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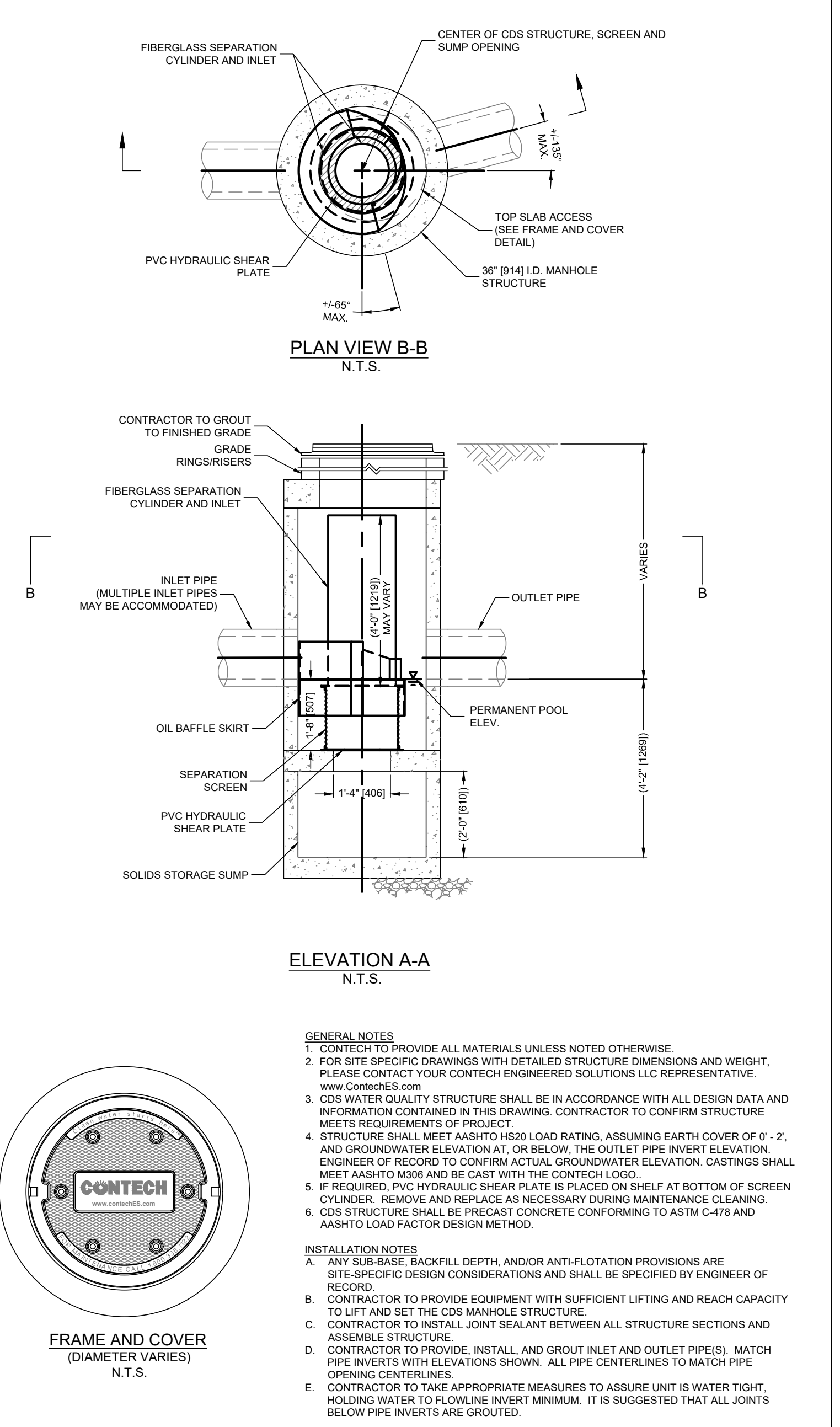
SITE DETAILS

SHEET NUMBER:
C700

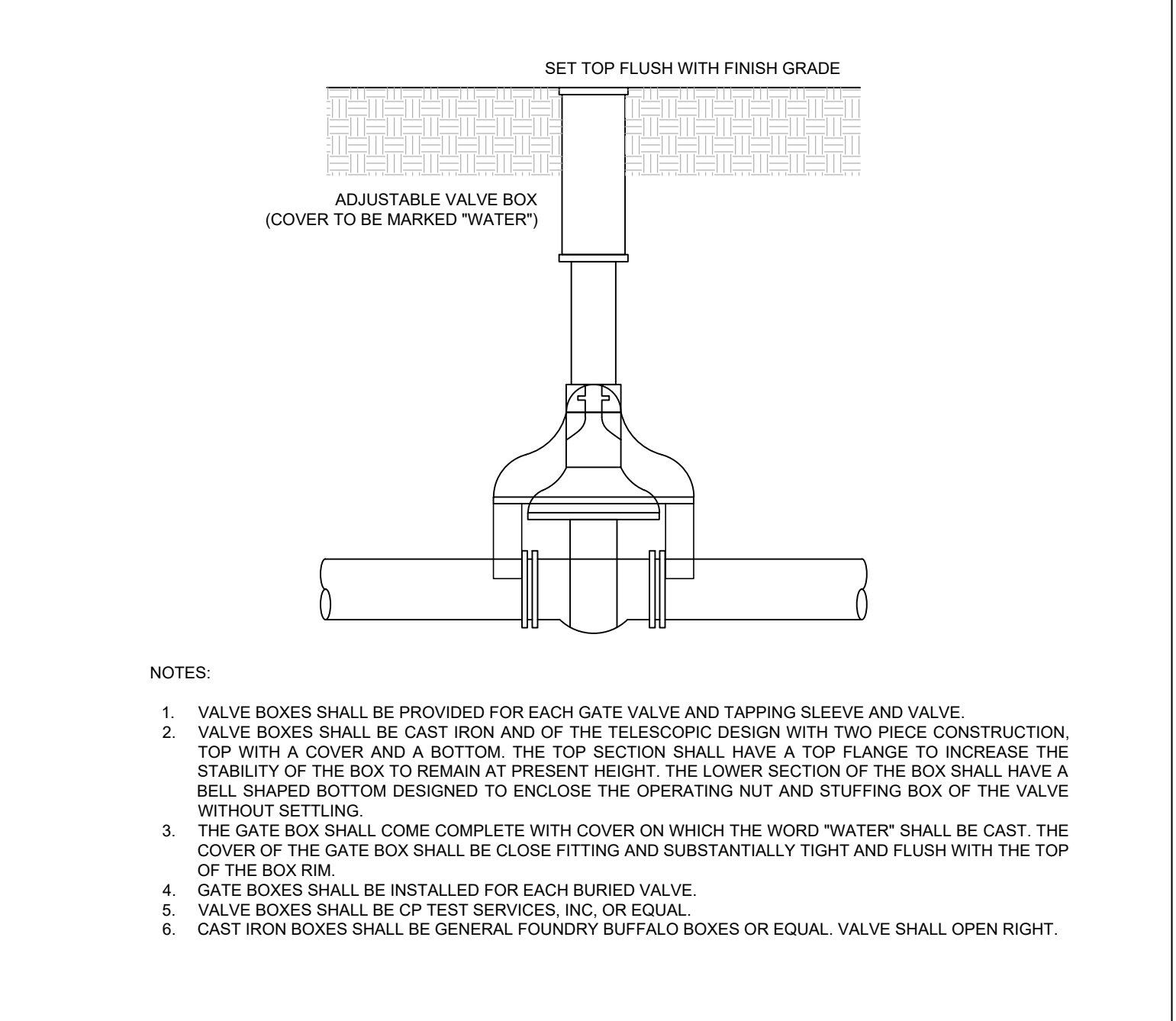
ISSUED FOR : UNIFIED PERMIT



OUTLET CONTROL STRUCTURE (OCS #6)
NOT TO SCALE **B3**



CONTECH@ CDS1515-3-C
NOT TO SCALE **B2**



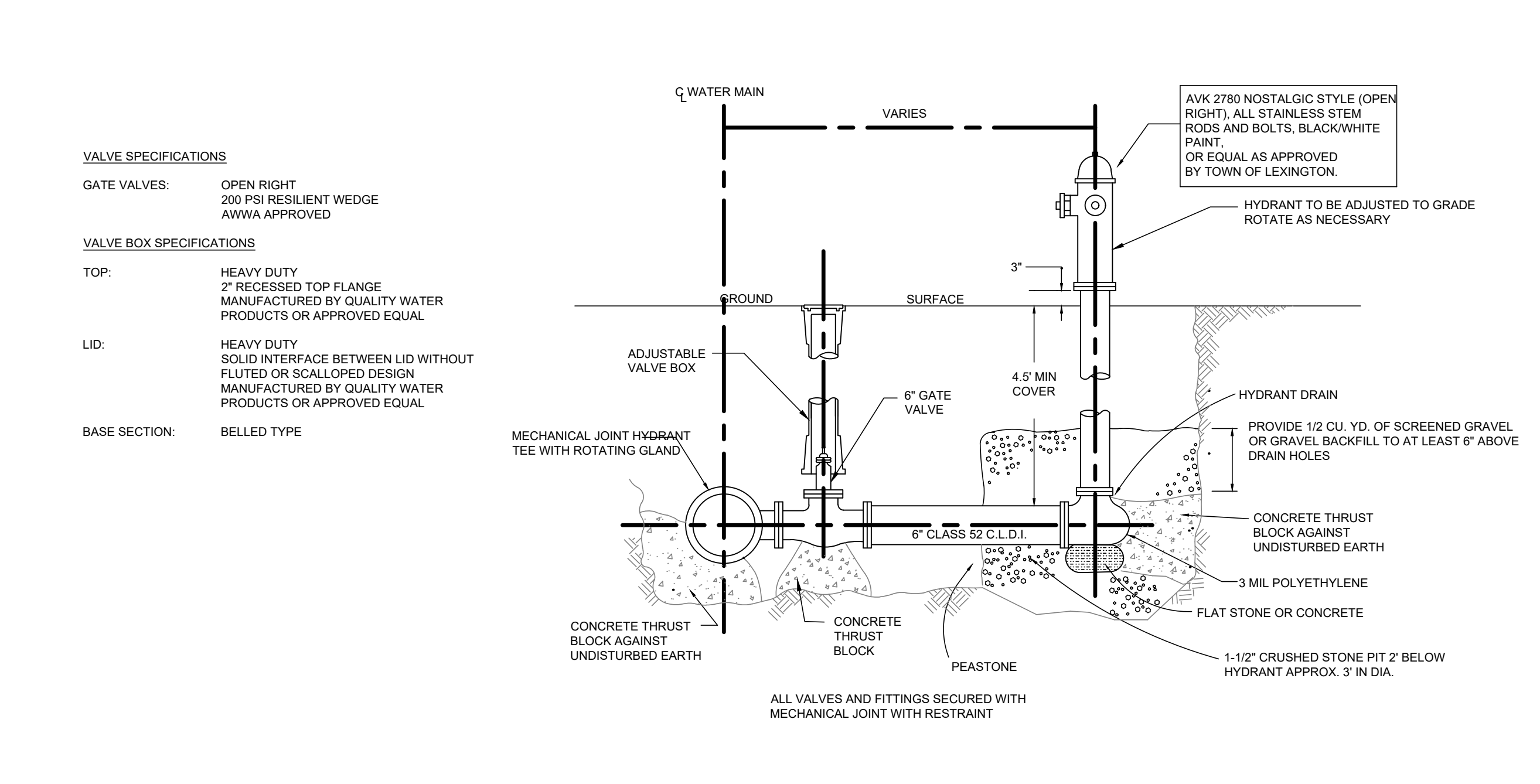
WATER GATE BOX
NOT TO SCALE **A3**

TABLE OF MINIMUM BEARING AREA IN SQ. IN. AGAINST UNDISTURBED SOIL FOR 8 IN. DIA. PIPE

SOIL BEARING CAPACITY (PSF)	90 DEGREE BEND	TEE	45 DEGREE BEND
1000	945	674	516
1500	630	450	344
2000	473	337	258
3000	315	225	172

NOTE: FOR FITTINGS W/LESS THAN 45 DEGREES DEFLECTION USE BEARING AREA FOR 45 DEGREE BEND BASED ON INTERNAL PRESSURE OF 80 PSI

WATER THRUST BLOCK
NOT TO SCALE **A2**



FIRE HYDRANT & GATE VALVE
NOT TO SCALE **A1**

REGISTRY OF DEEDS

APPROVAL SIGNATURE

DEVENS ENTERPRISE COMMISSION

SIGNATURE

HIGHPOINT ENGINEERING, INC.
LAND PLANNING
PERMIT EXPEDITING
CIVIL ENGINEERING
CONSULTING

45 DAN ROAD, SUITE 140
CANTON, MA 02021

www.HighpointEng.com

CLIENT:
King Devens, LLC
800 Boylston Street, Suite 1570
Boston, MA 02199

CONSULTANT:

SE:

06-11-2021

LEVEL 2 - UNIFIED PERMIT
39 JACKSON ROAD
39 JACKSON ROAD
DEVENS, MA

OWNER/APPLICANT: KING DEVENS, LLC

REV	DATE	DESCRIPTION
1	06/11/2021	RESPONSE TO COMMENTS

ISSUE TYPE:
LEVEL 2 - PERMIT SET

ISSUE DATE:
05-06-2021

PROJECT NUMBER:
19019

DRAWN BY: WH/AK
CHECKED BY: DJH

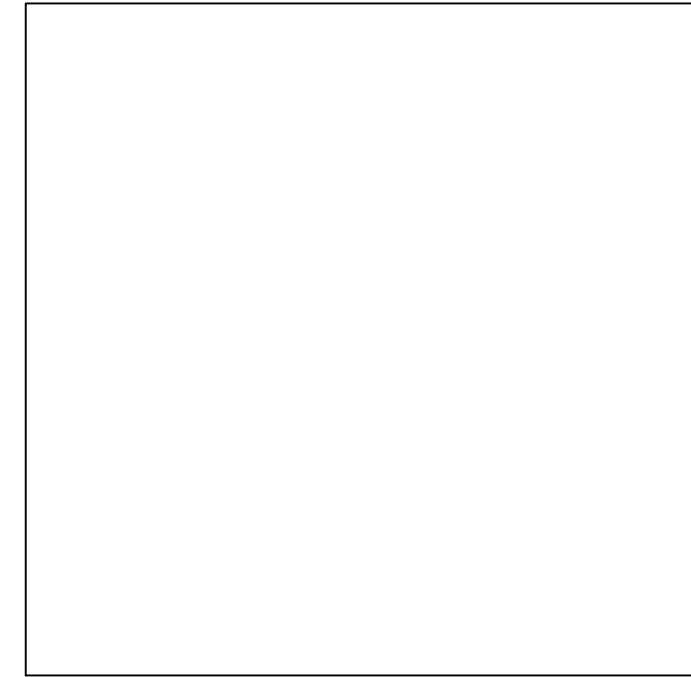
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SHEET TITLE:
SITE DETAILS

SHEET NUMBER:
C701

ISSUED FOR : UNIFIED PERMIT

REGISTRY OF DEEDS



APPROVAL SIGNATURE

DEVENS ENTERPRISE COMMISSION

SIGNATURE

CLIENT:
King Devens, LLC
800 Boylston Street, Suite 1570
Boston, MA 02199

CONSULTANT:



06-11-2021

LEVEL 2 - UNIFIED PERMIT
39 JACKSON ROAD
39 JACKSON ROAD
DEVENS, MA
OWNER/APPLICANT: KING DEVENS, LLC

REV	DATE	DESCRIPTION
1	06/11/2021	RESPONSE TO COMMENTS

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LEVEL 2 - PERMIT SET
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05-06-2021
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19019

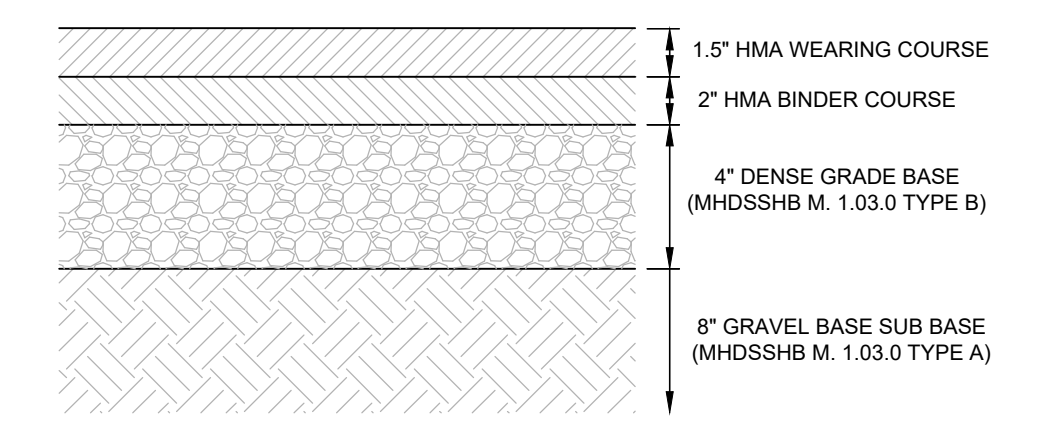
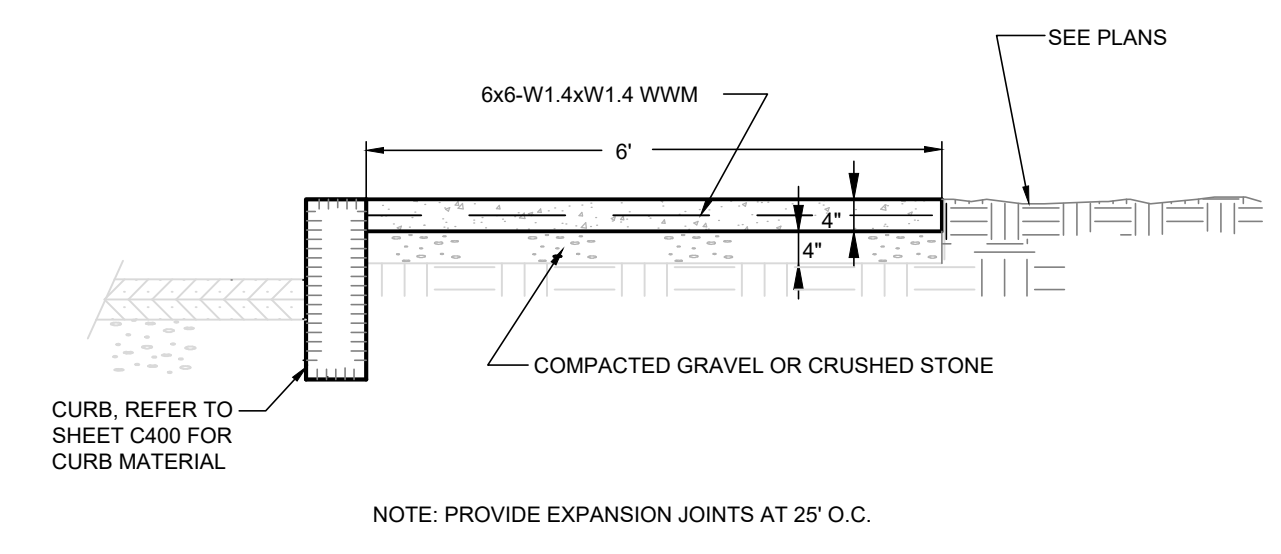
DRAWN BY: WH/AK
CHECKED BY: DJH
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SHEET TITLE:

SITE DETAILS

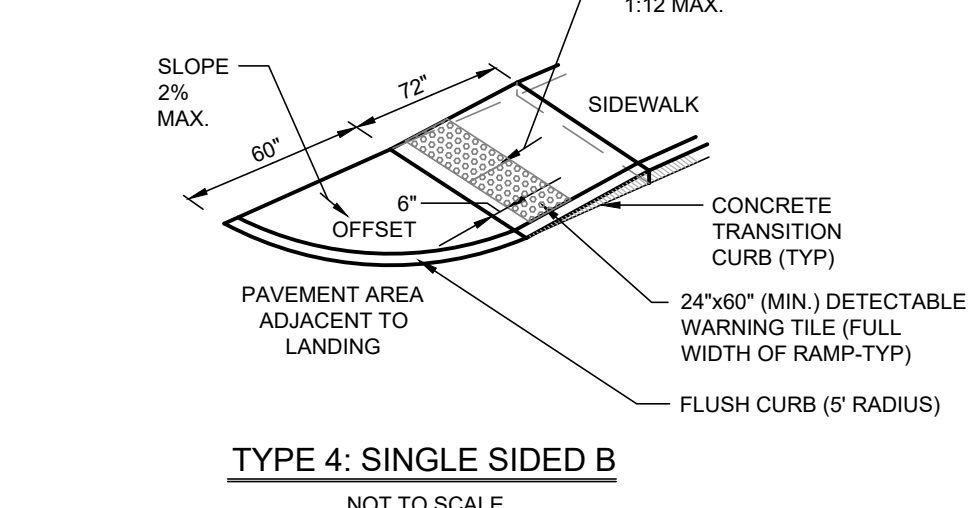
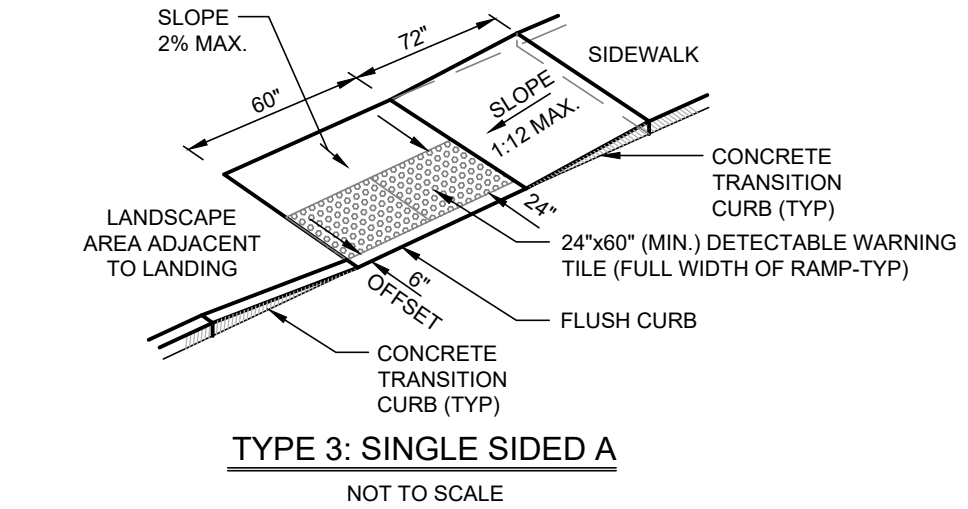
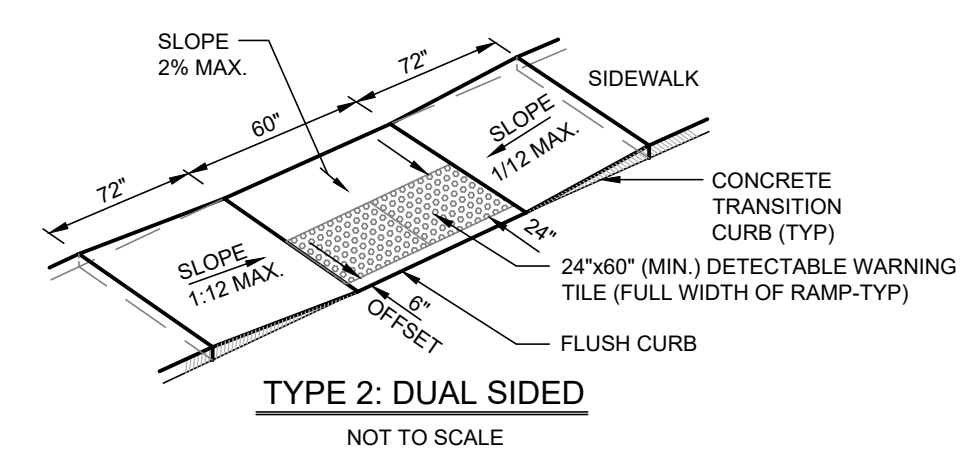
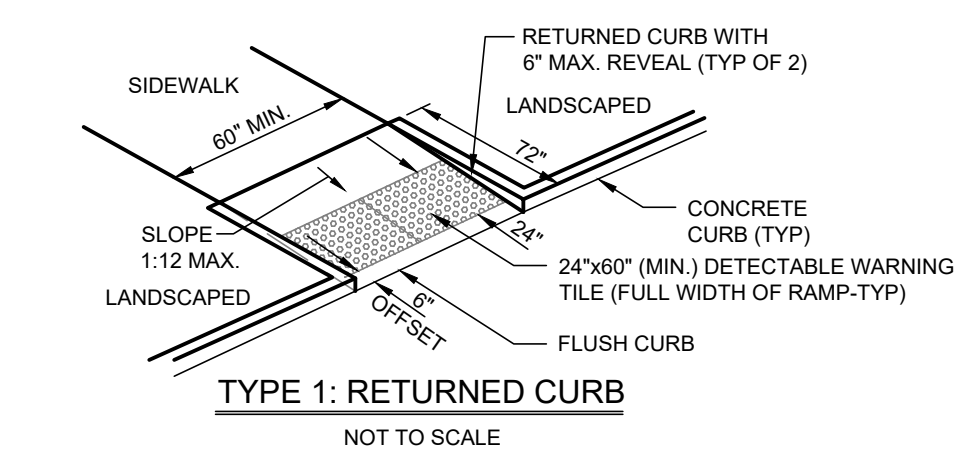
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ISSUED FOR : UNIFIED PERMIT

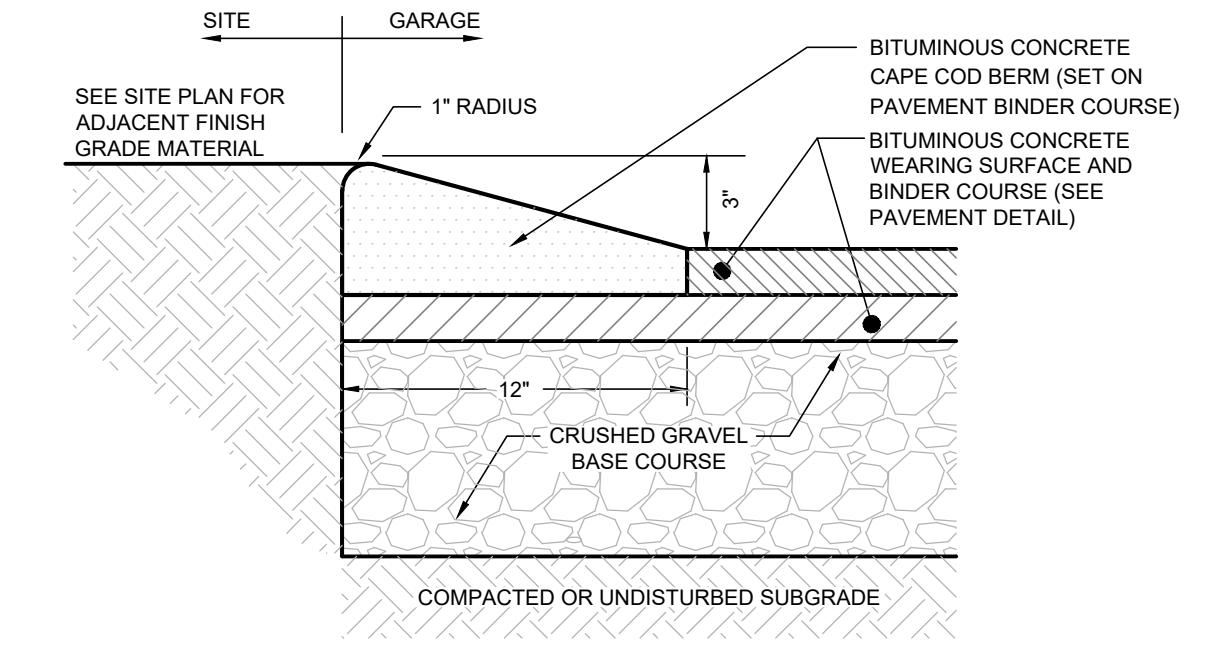


CONCRETE SIDEWALK
NOT TO SCALE **C2**

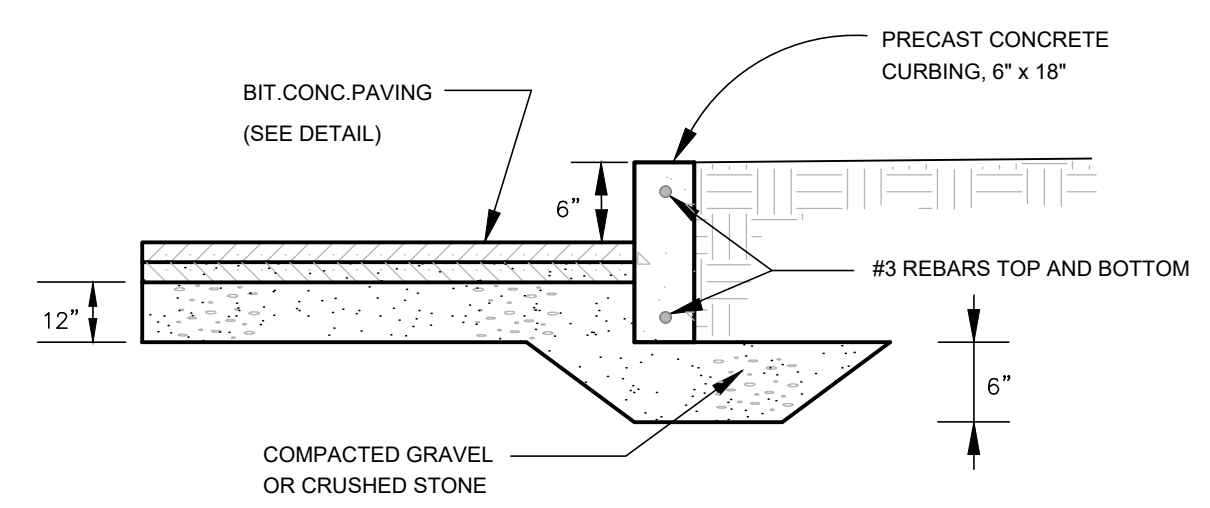
BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE **C1**



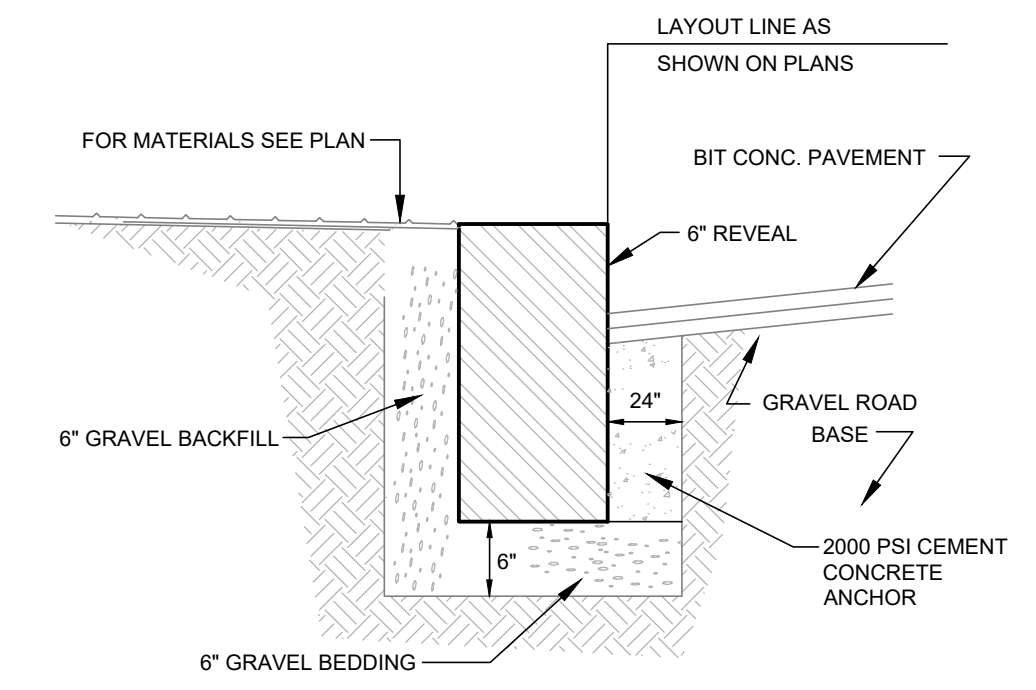
- IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 2% EXCEPT THE RAMP AREA PROPER WHICH IS EXEMPT.
- AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 36\"/>



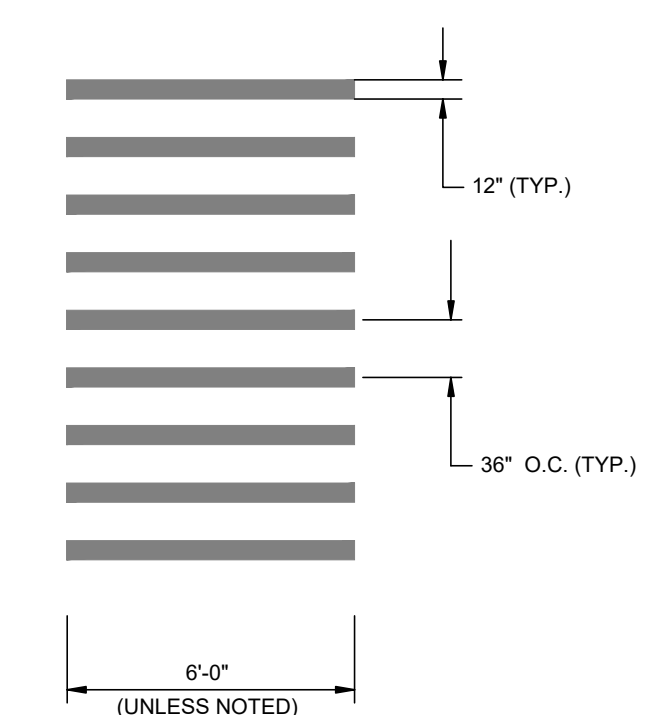
CAPE COD BERM
NOT TO SCALE **B1**



PRECAST CONCRETE CURB
NOT TO SCALE **B3**

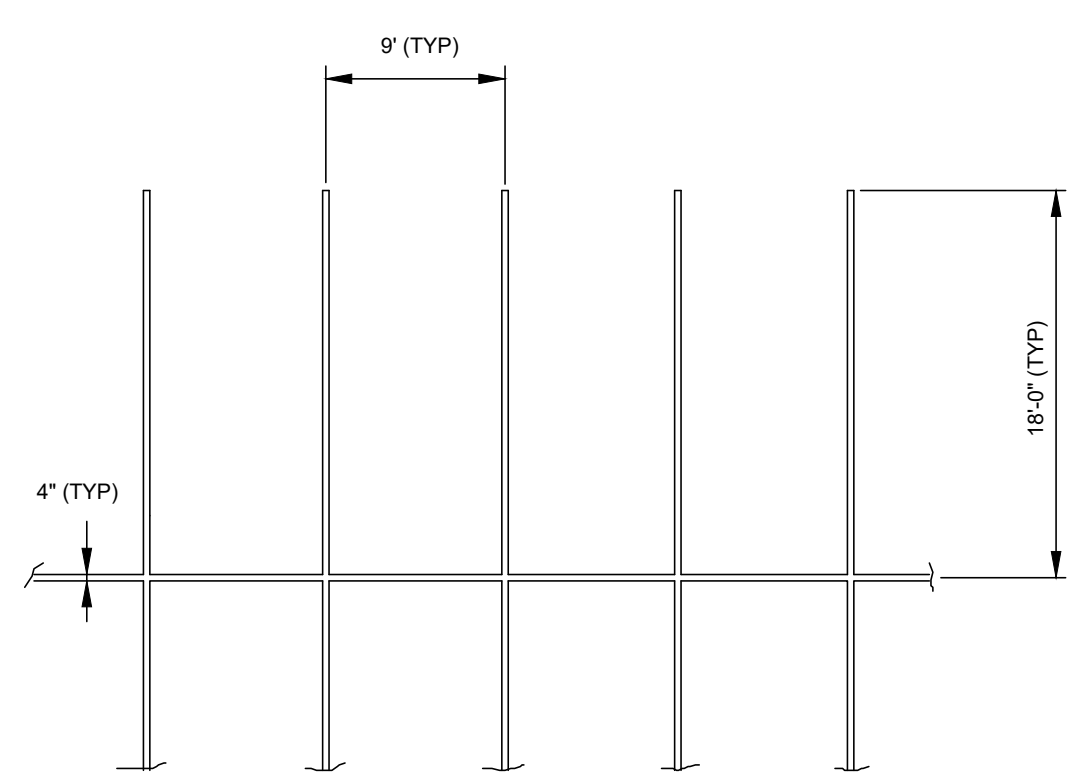


VERTICAL GRANITE CURB
NOT TO SCALE **B2**



CROSSWALK SHALL BE STRAIGHT LINES OF REFLECTIVE WHITE TRAFFIC PAINT, TO BE INSTALLED AS SHOWN ON LAYOUT AND MATERIALS PLAN

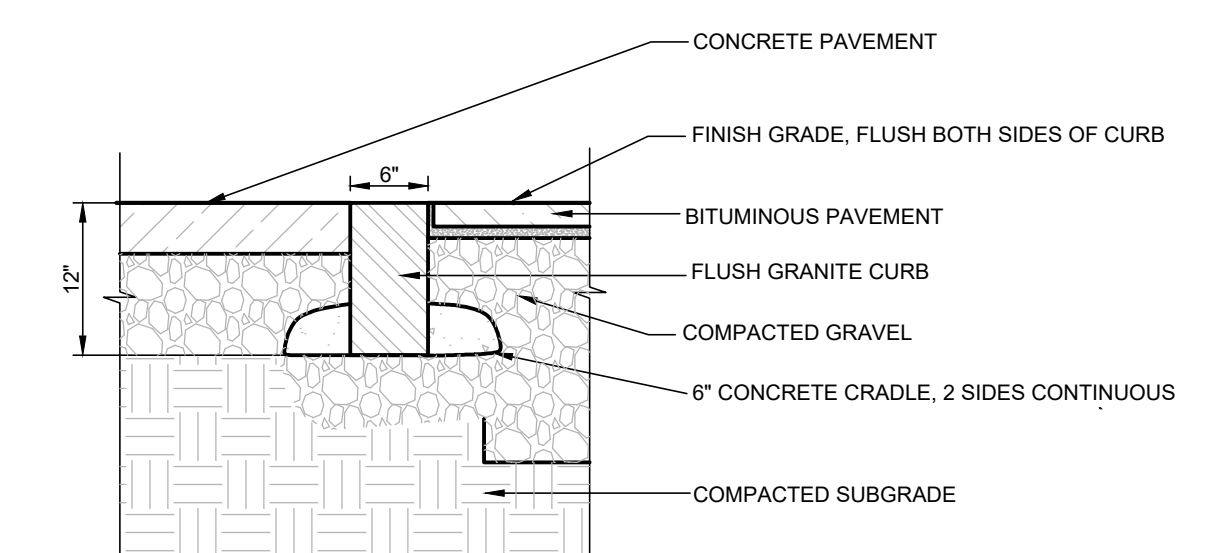
STRIPED PEDESTRIAN CROSSWALK
NOT TO SCALE **A4**



STRIPING SHALL BE 4\"/>

TYPICAL PARKING SPACE STRIPING
NOT TO SCALE **A3**

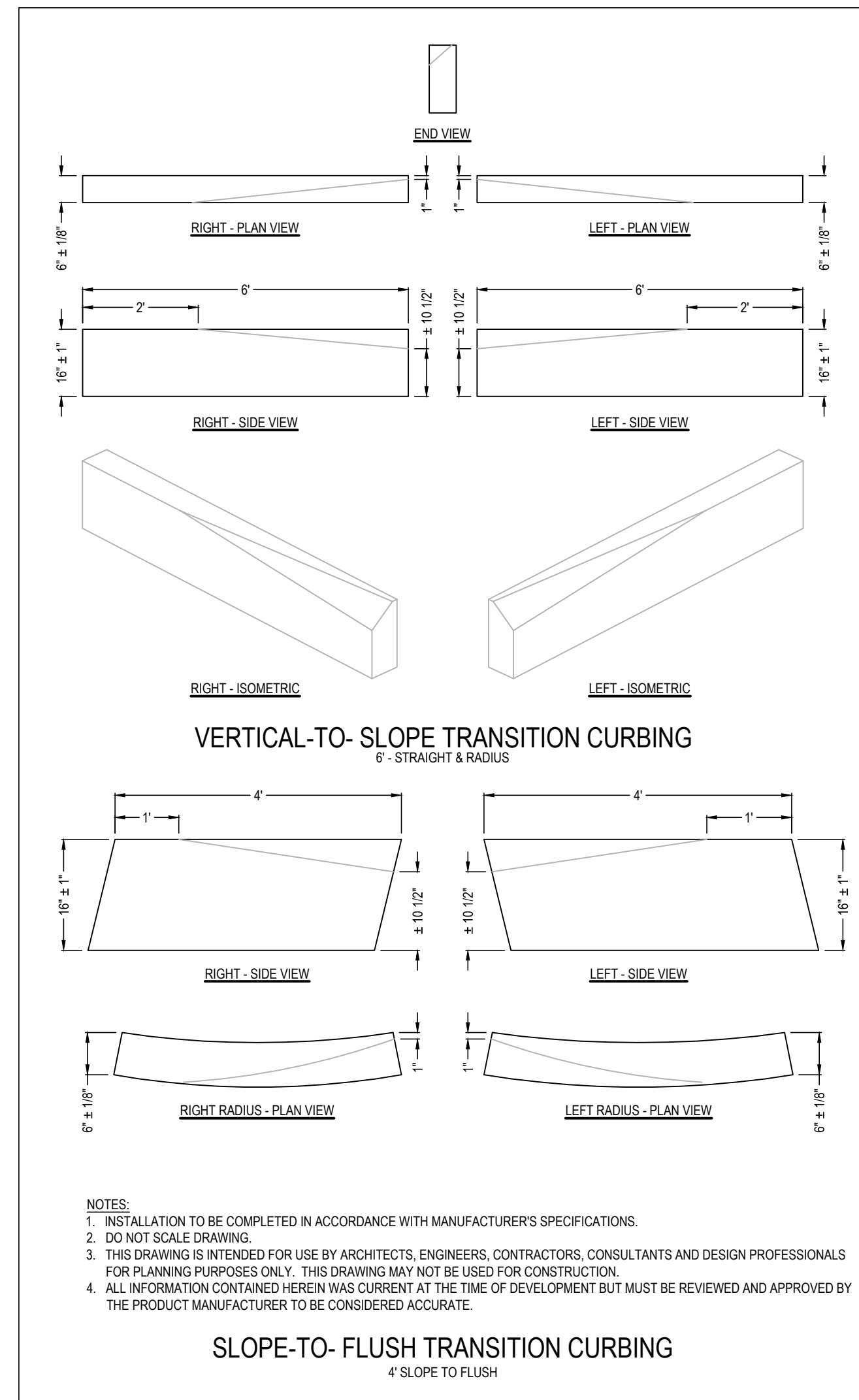
HANDICAP RAMPS
NOT TO SCALE **A2**



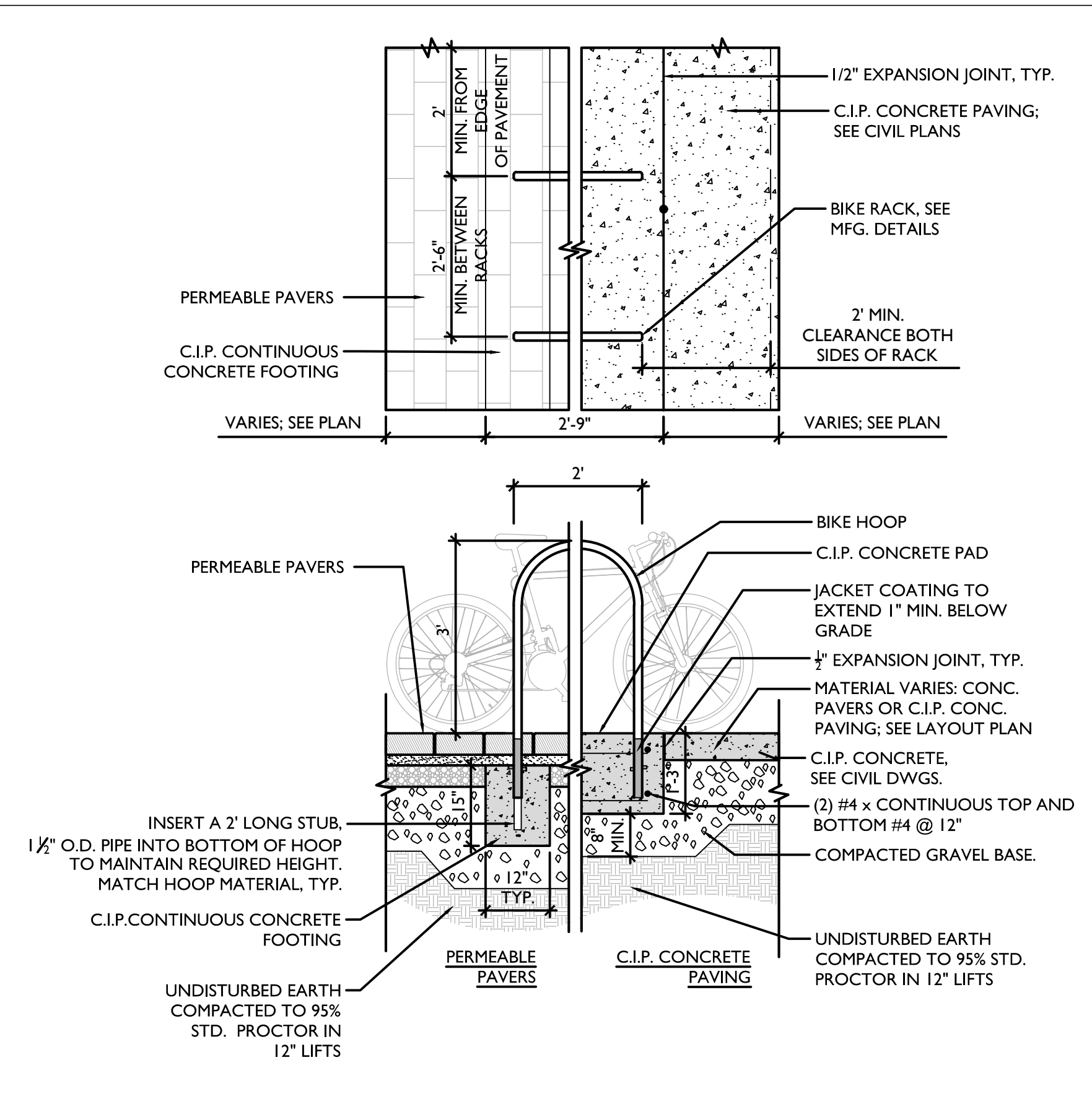
FLUSH GRANITE CURB
NOT TO SCALE **A1**

REGISTRY OF DEEDS

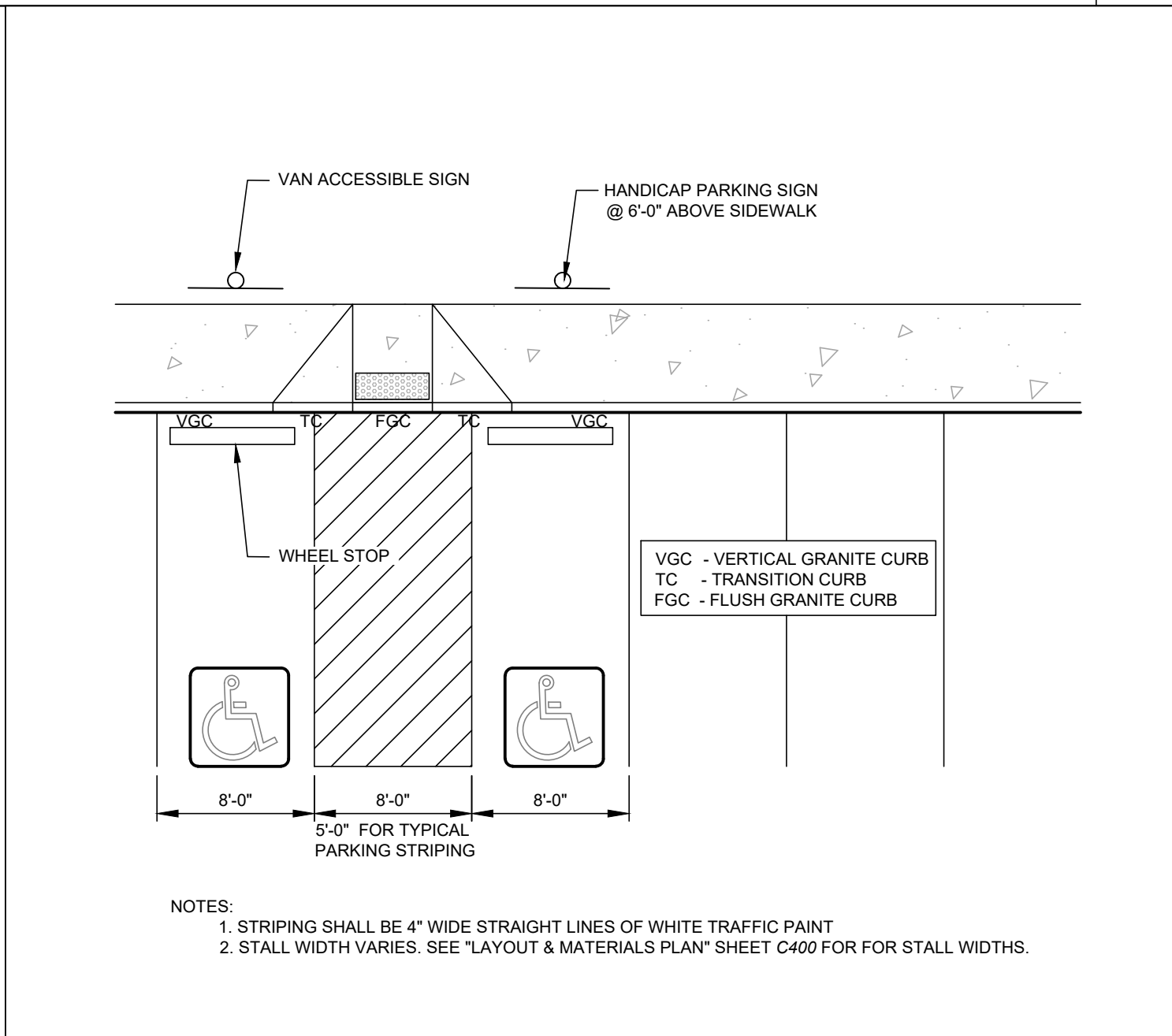
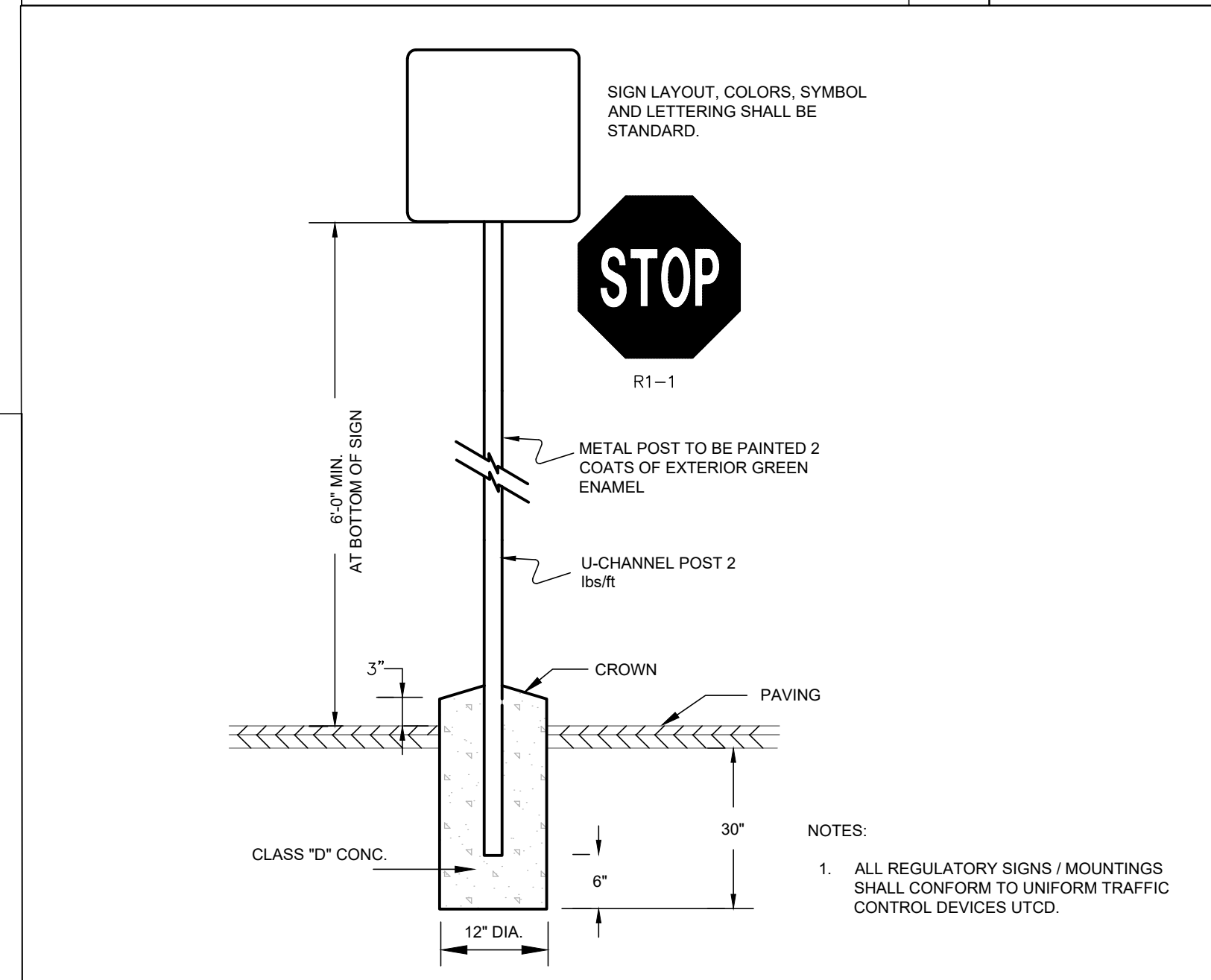
APPROVAL SIGNATURE
 DEVENS ENTERPRISE COMMISSION



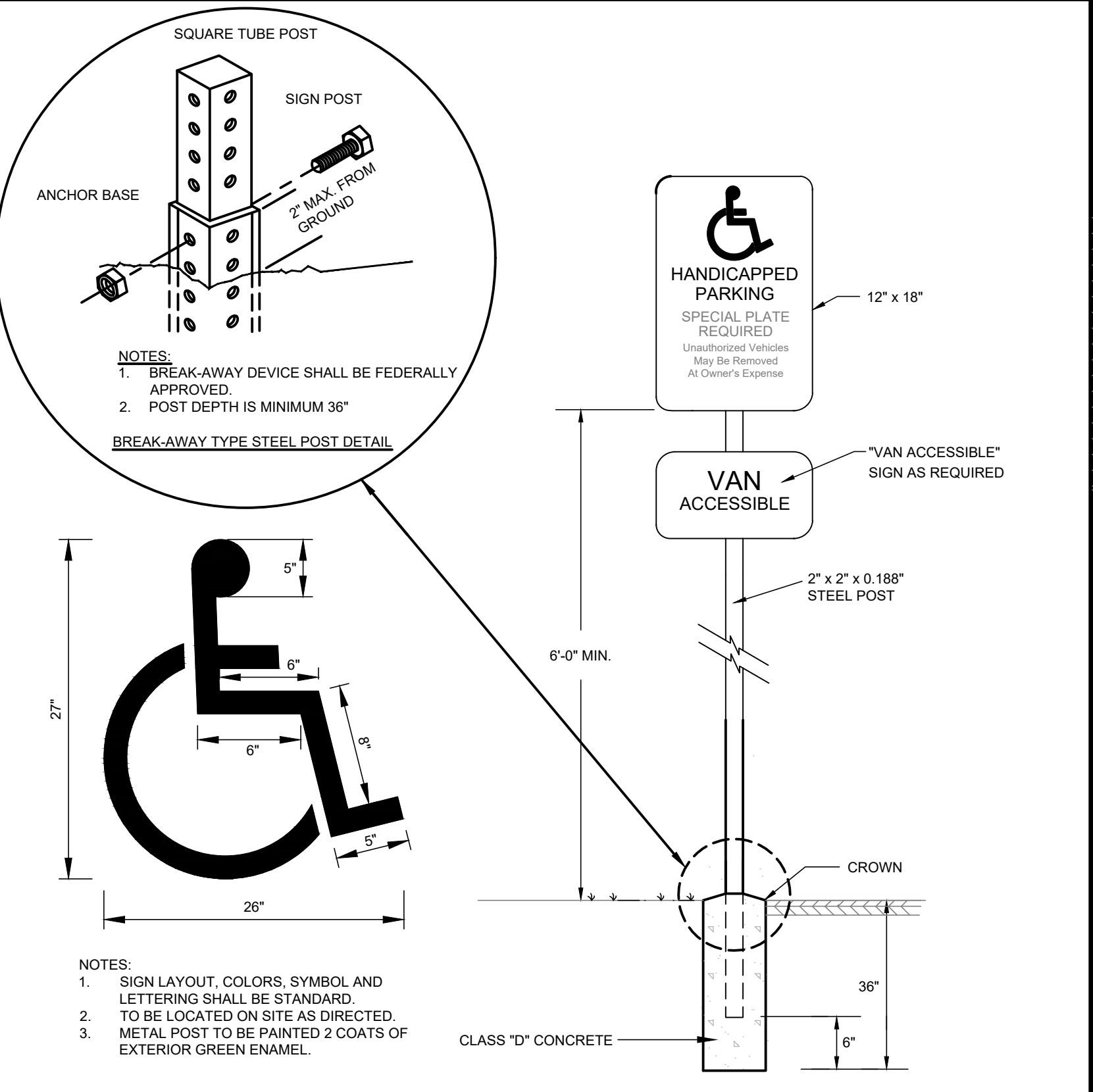
GRANITE TRANSITION CURBING NOT TO SCALE **B3**



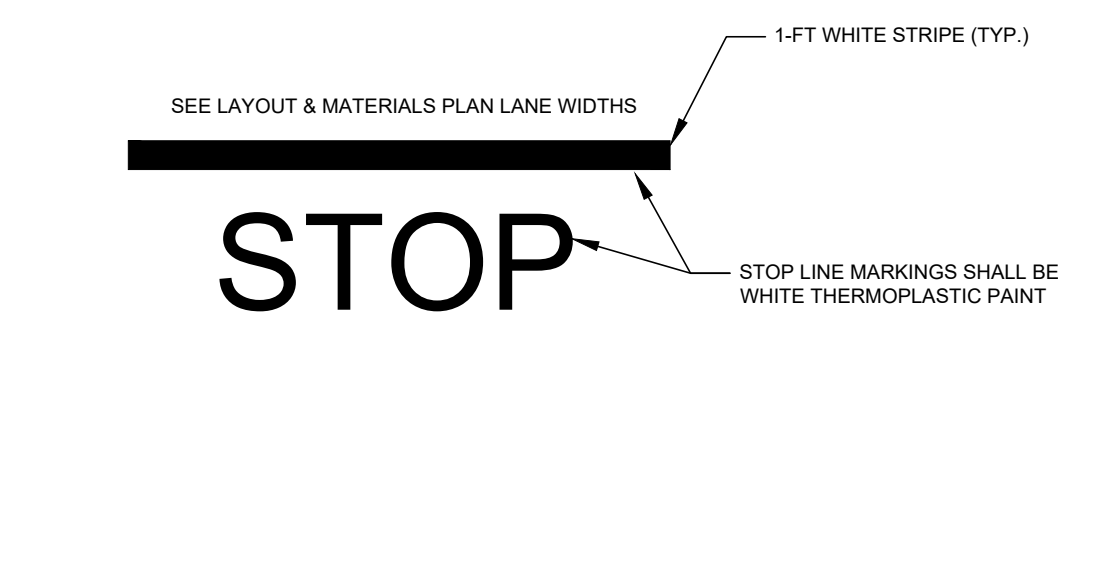
TYPICAL SIGN DETAIL NOT TO SCALE **A3**



TYPICAL HANDICAP VAN PARKING STRIPING NOT TO SCALE **A2**



HANDICAP PARKING SIGN AND PAVEMENT MARKING NOT TO SCALE **A1**



THERMOPLASTIC CROSSWALK AND STOP BAR NOT TO SCALE **A4**

LEVEL 2 - UNIFIED PERMIT
 39 JACKSON ROAD
 39 JACKSON ROAD
 DEVENS, MA
 OWNER/APPLICANT: KING DEVENS, LLC

REV	DATE	DESCRIPTION
1	06/11/2021	RESPONSE TO COMMENTS

ISSUE TYPE:
LEVEL 2 - PERMIT SET
 ISSUE DATE:
 05-06-2021
 PROJECT NUMBER:
 19019

DRAWN BY: WH/AK
 CHECKED BY: DJH
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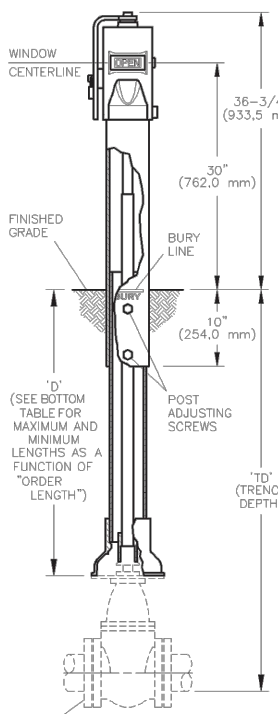
SHEET TITLE:
SITE DETAILS

SHEET NUMBER:
C703

REGISTRY OF DEEDS

APPROVAL SIGNATURE
DEVENS ENTERPRISE COMMISSION

SIGNATURE

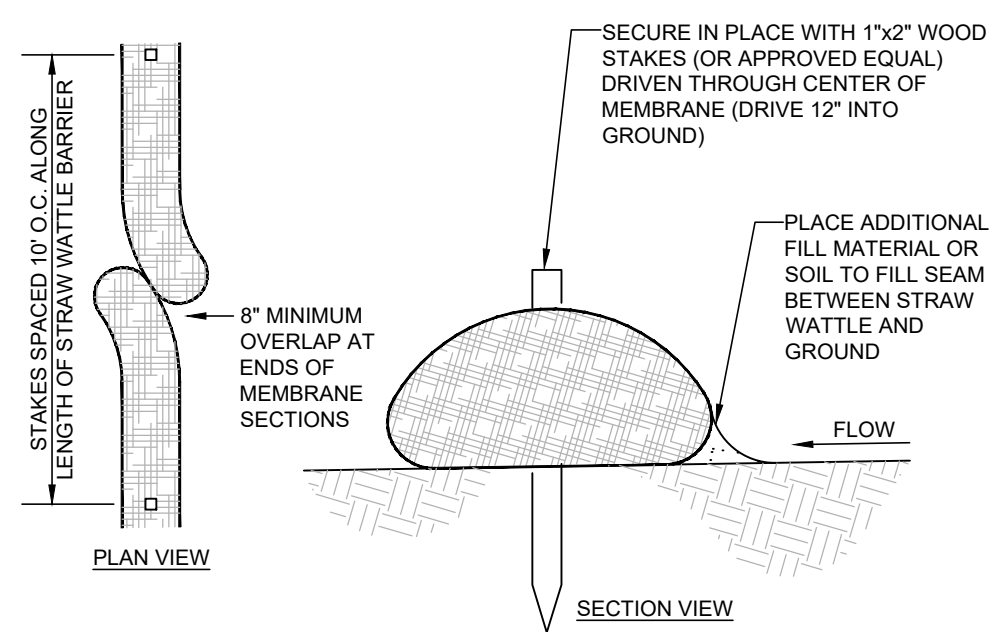


NOMINAL TRENCH DEPTHS FOR MUELLER RESILIENT WEDGE POST INDICATOR VALVES

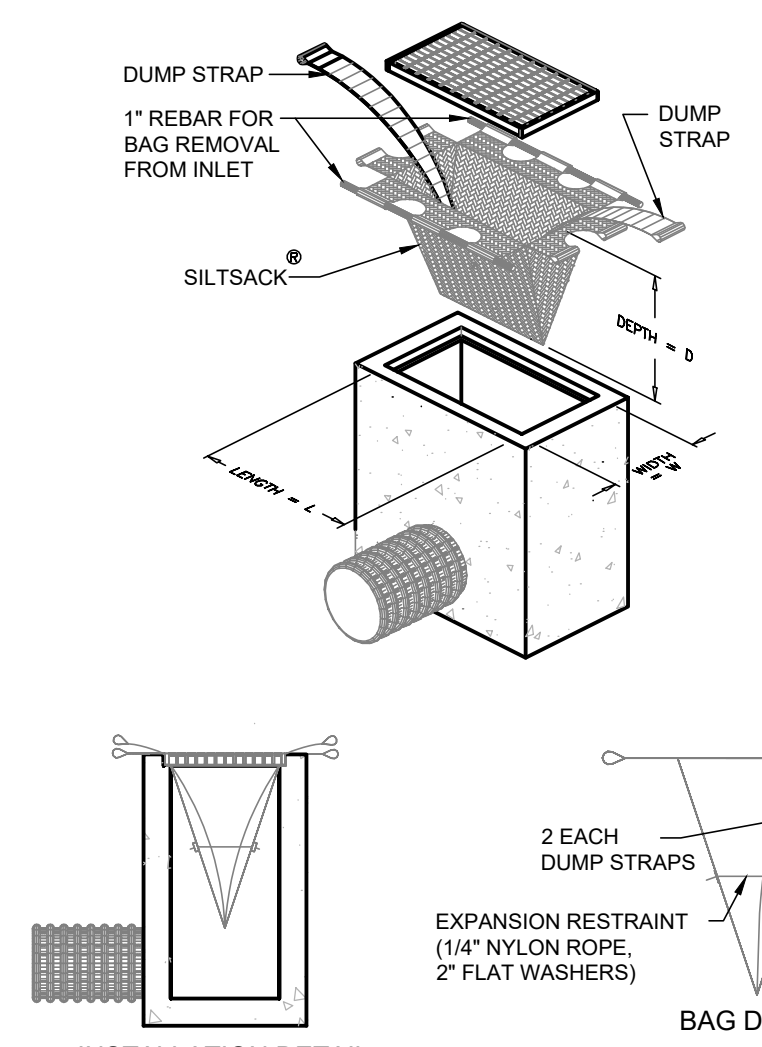
Valve Size	"ORDER LENGTH" A		"ORDER LENGTH" B		"ORDER LENGTH" C		"ORDER LENGTH" D		"ORDER LENGTH" E		"ORDER LENGTH" F	
	Min.	Max.	Min.	Max.	Min.	Max.	Min.	Max.	Min.	Max.	Min.	Max.
4"	2'-7"	4'-5"	4'-1"	6'-2"	5'-10"	7'-11"	7'-6"	9'-8"	9'-4"	11'-5"	11'-1"	13'-2"
6"	3'-0"	4'-10"	4'-6"	6'-7"	6'-3"	8'-4"	8'-0"	10'-1"	9'-9"	11'-10"	11'-6"	13'-7"
8"	3'-4"	5'-2"	4'-11"	6'-11"	6'-8"	8'-8"	8'-5"	10'-5"	10'-2"	12'-2"	11'-11"	13'-11"
10"	3'-8"	5'-6"	5'-3"	7'-3"	6'-10"	9'-0"	8'-9"	10'-9"	10'-6"	12'-6"	12'-3"	14'-3"
12"	4'-0"	5'-10"	5'-7"	7'-7"	7'-4"	9'-4"	9'-1"	11'-1"	10'-10"	12'-10"	12'-7"	14'-7"
14"	4'-6"	6'-4"	6'-1"	8'-1"	7'-10"	9'-10"	9'-7"	11'-7"	11'-4"	13'-4"	13'-1"	15'-1"

D DIMENSION ADJUSTMENT RANGE

"ORDER LENGTH" A	"ORDER LENGTH" B	"ORDER LENGTH" C	"ORDER LENGTH" D	"ORDER LENGTH" E	"ORDER LENGTH" F
17.25"	36.00"	57.00"	78.00"	99.00"	120.00"
39.25"	60.25"	81.25"	102.25"	123.25"	144.25"



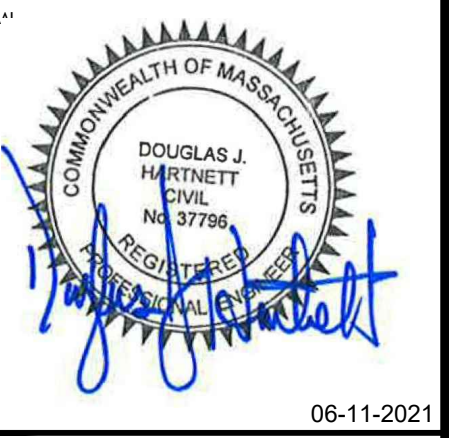
NOTES
 1. WATTLES SHALL BE 6" MINIMUM DIAMETER.
 2. WATTLES SHALL BE INSTALLED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND LEFT IN PLACE TO BIODEGRADE AFTER FINAL STABILIZATION.



SILTSACK® SPECIFICATIONS
 NOTE: THE SILTSACK WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE SPECIFICATIONS PROVIDED.

REGULAR FLOW SILTSACK®
 (FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

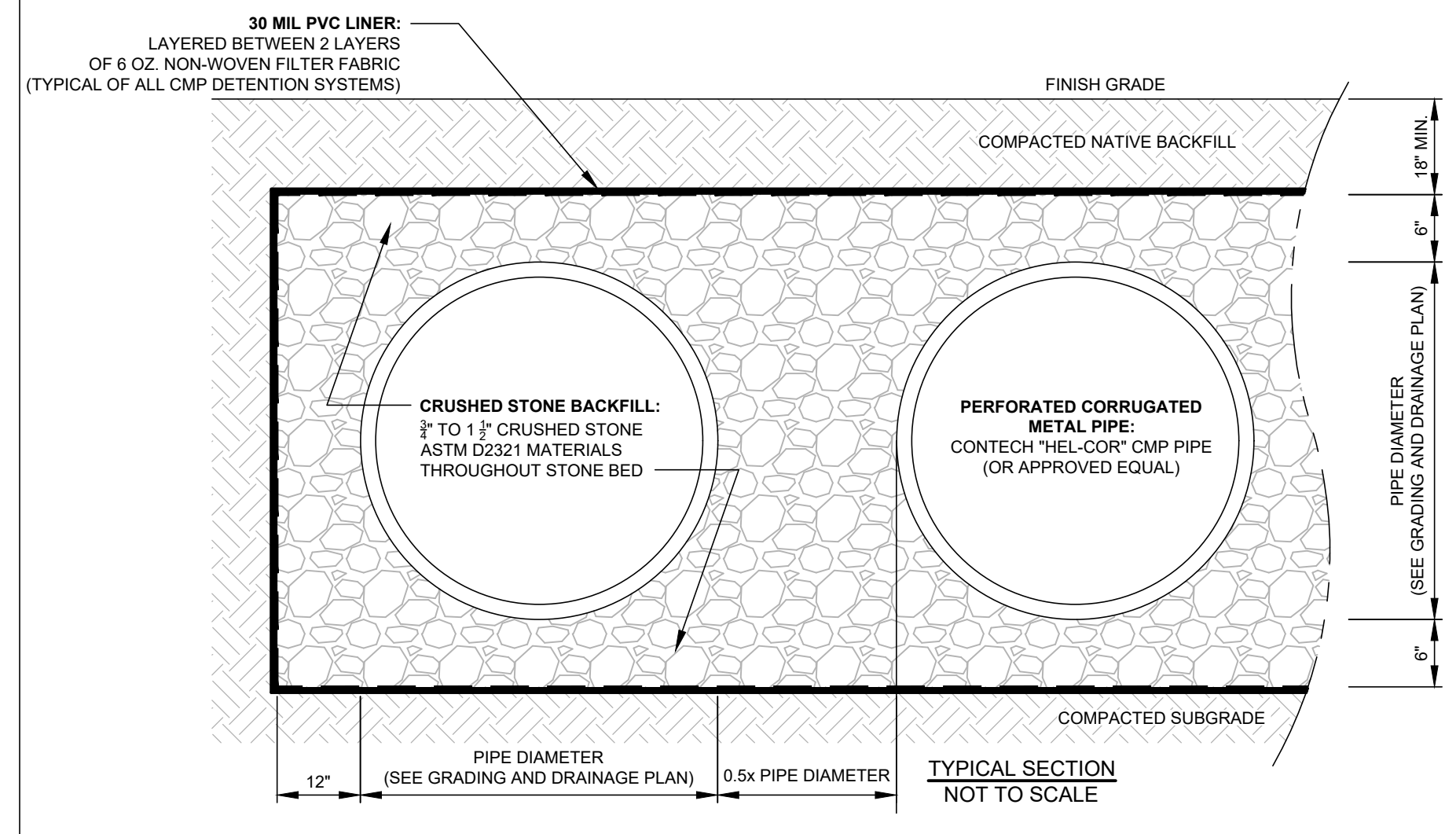
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1



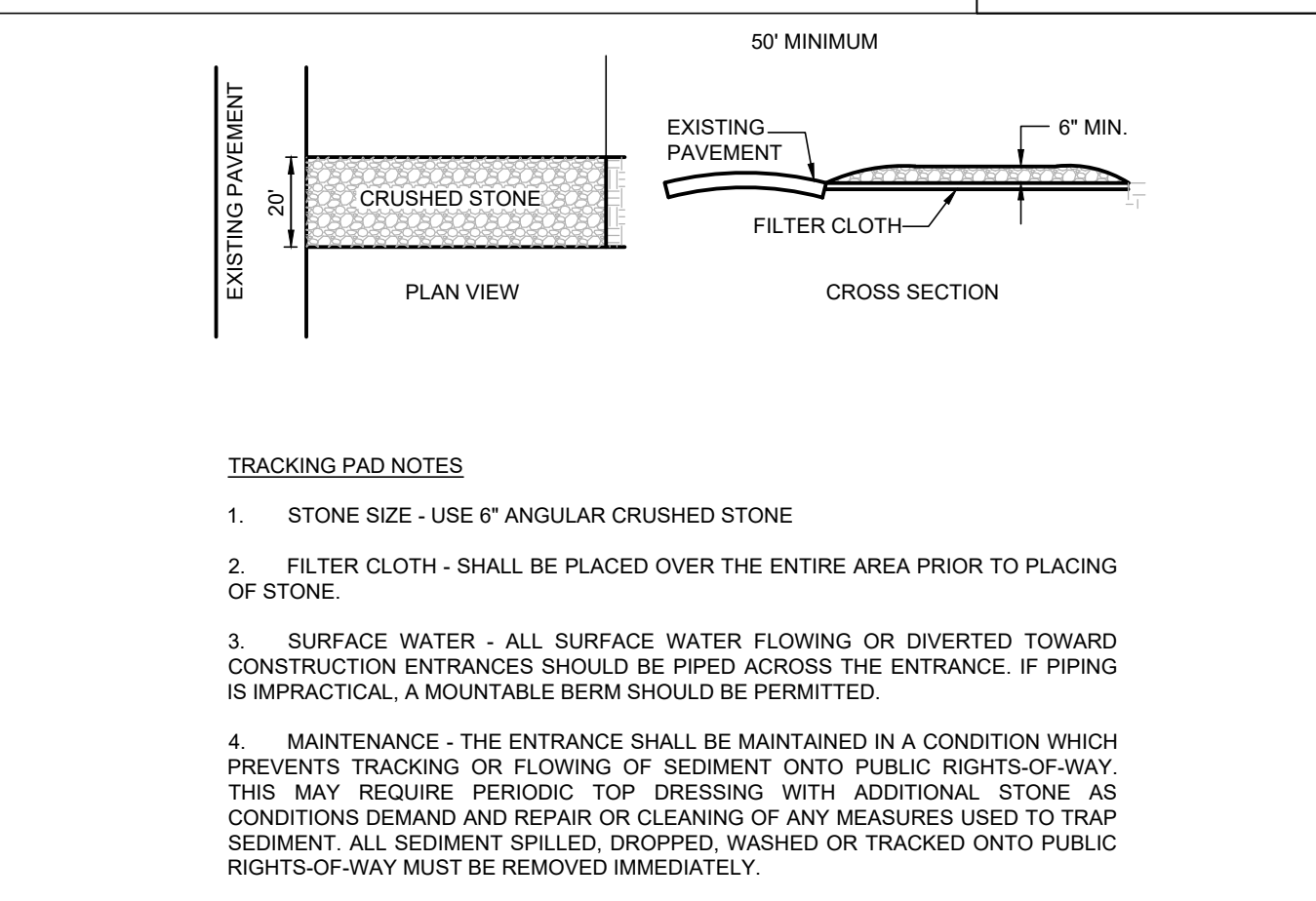
POST INDICATOR VALVE DETAIL (PIV)
NOT TO SCALE **C3**

STRAW WATTLE EROSION CONTROL BARRIER
NOT TO SCALE **C2**

SILTSACK INLET PROTECTION DEVICE
NOT TO SCALE **C1**

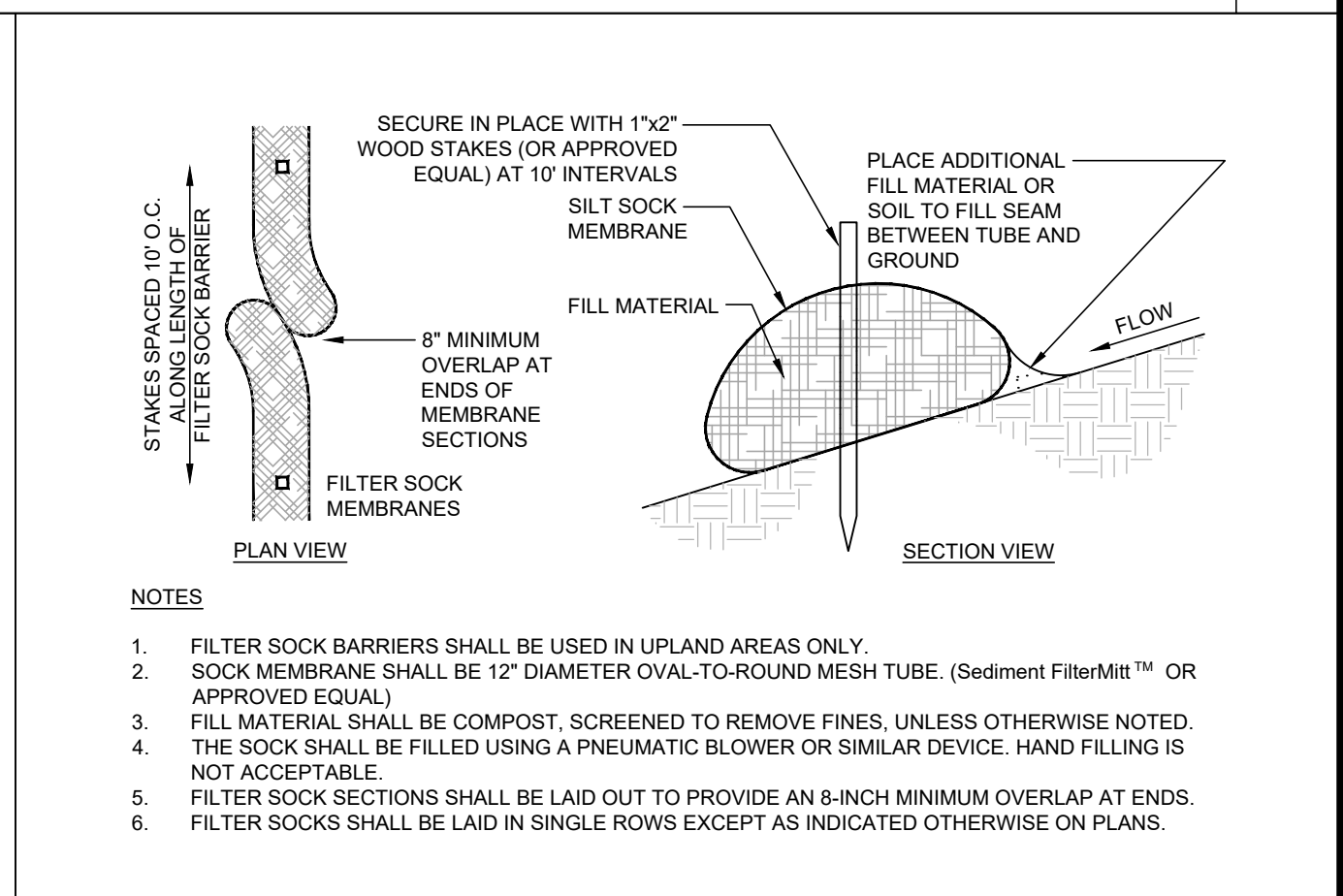


TYPICAL CORRUGATED METAL PIPE DETENTION SYSTEM SECTION
NOT TO SCALE **B3**



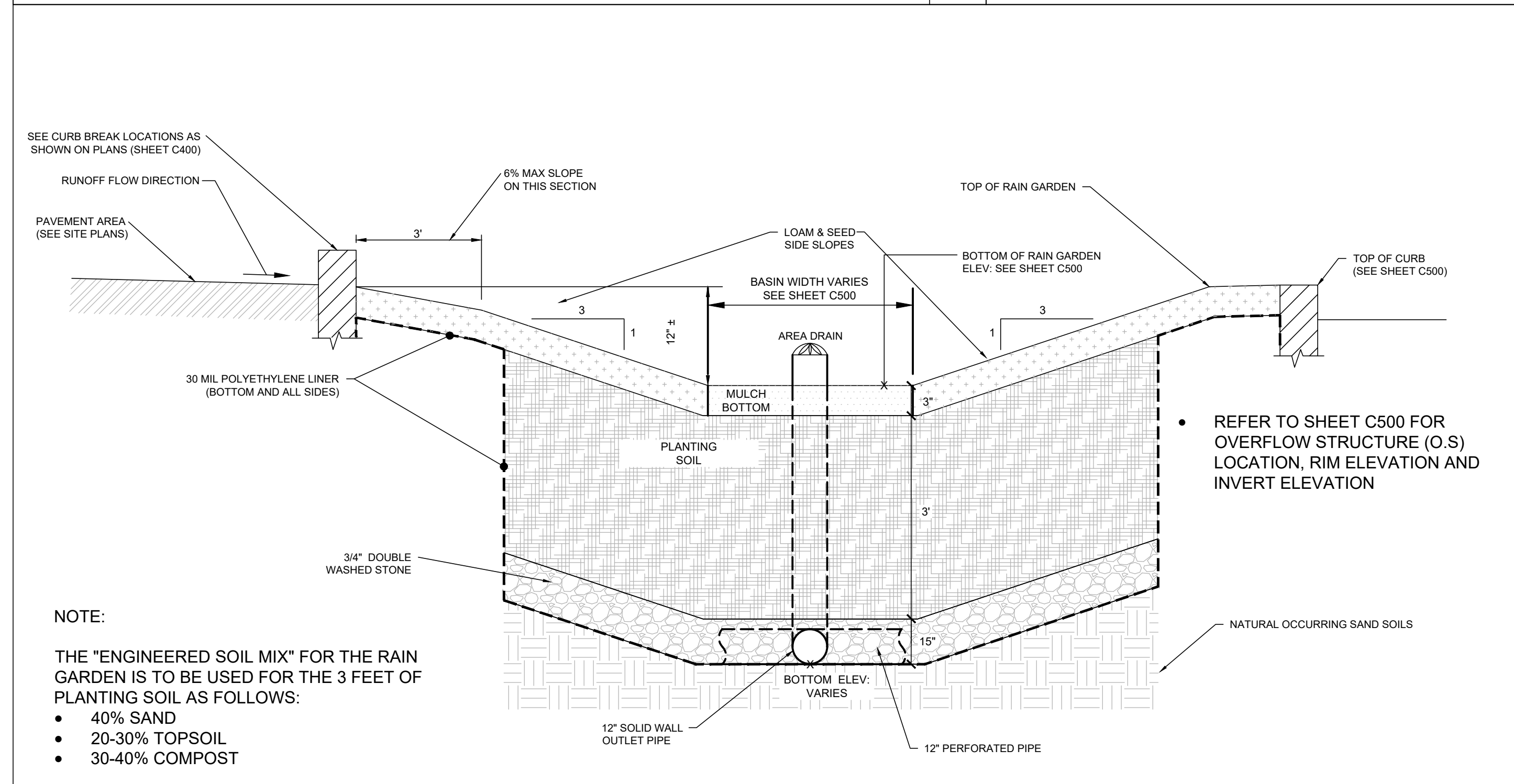
TRACKING PAD NOTES
 1. STONE SIZE - USE 6" ANGULAR CRUSHED STONE
 2. FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 3. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHOULD BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHOULD BE PERMITTED.
 4. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

CRUSHED STONE TRACKING PAD
NOT TO SCALE **B2**



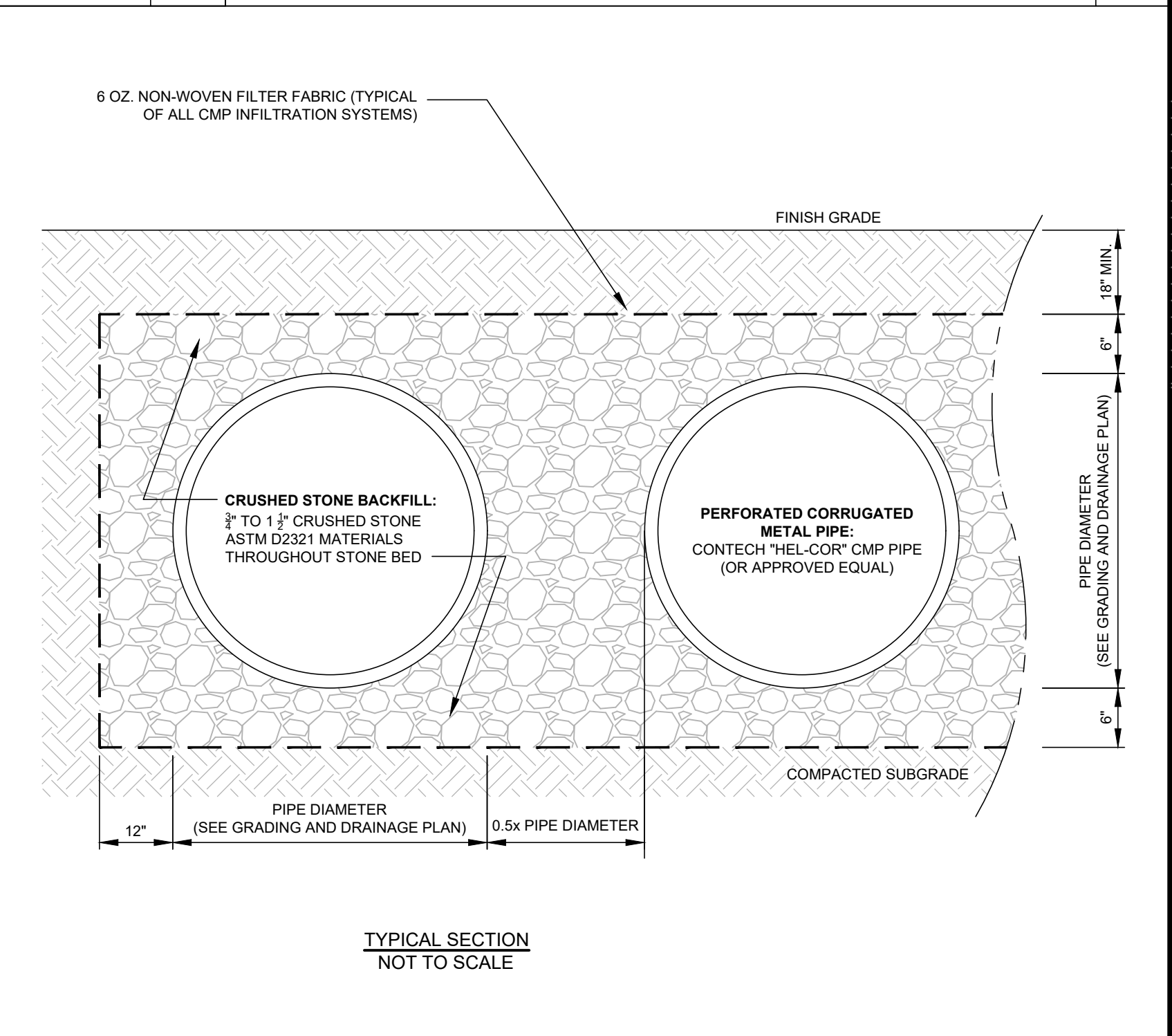
NOTES
 1. FILTER SOCK BARRIERS SHALL BE USED IN UPLAND AREAS ONLY.
 2. SOCK MEMBRANE SHALL BE 12" DIAMETER OVAL-TO-ROUND MESH TUBE. (Sediment Filter Mitt™ OR APPROVED EQUAL)
 3. FILL MATERIAL SHALL BE COMPOST, SCREENED TO REMOVE FINES, UNLESS OTHERWISE NOTED.
 4. THE SOCK SHALL BE FILLED USING A PNEUMATIC BLOWER OR SIMILAR DEVICE. HAND FILLING IS NOT ACCEPTABLE.
 5. FILTER SOCK SECTIONS SHALL BE LAID OUT TO PROVIDE AN 8-INCH MINIMUM OVERLAP AT ENDS.
 6. FILTER SOCKS SHALL BE LAID IN SINGLE ROWS EXCEPT AS INDICATED OTHERWISE ON PLANS.

FILTER SOCK EROSION CONTROL BARRIER
NOT TO SCALE **B1**



NOTE:
 THE "ENGINEERED SOIL MIX" FOR THE RAIN GARDEN IS TO BE USED FOR THE 3 FEET OF PLANTING SOIL AS FOLLOWS:
 • 40% SAND
 • 20-30% TOPSOIL
 • 30-40% COMPOST

RAIN GARDEN SECTION
NOT TO SCALE **A2**



TYPICAL PERFORATED CORRUGATED METAL PIPE INFILTRATION SYSTEM SECTION
NOT TO SCALE **A1**

LEVEL 2 - UNIFIED PERMIT
 39 JACKSON ROAD
 39 JACKSON ROAD
 DEVENS, MA
 OWNER/APPLICANT: KING DEVENS, LLC

REV	DATE	RESPONSE TO COMMENTS	DESCRIPTION
1	06/11/2021		RESPONSE TO COMMENTS

ISSUE TYPE: LEVEL 2 - PERMIT SET
 ISSUE DATE: 05-06-2021
 PROJECT NUMBER: 19019

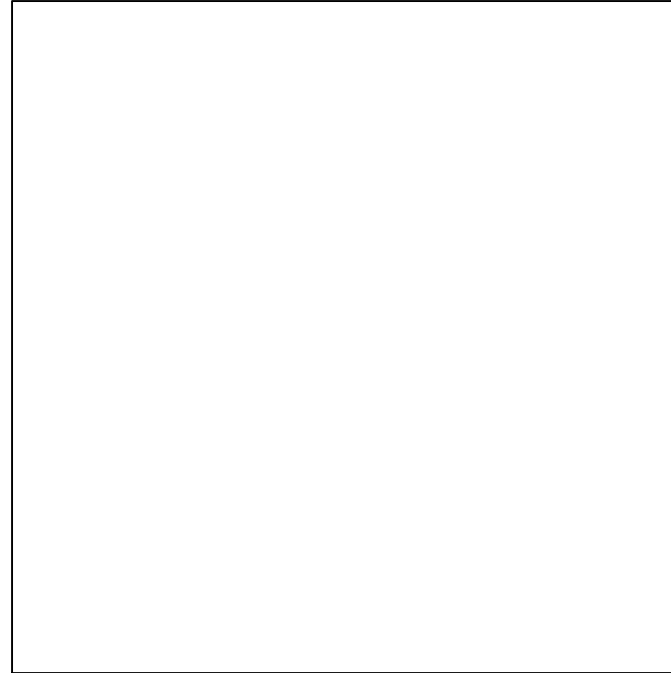
DRAWN BY: WH/AK
 CHECKED BY: DJH

SHEET TITLE: SITE DETAILS

SHEET NUMBER: **C704**

ISSUED FOR: UNIFIED PERMIT

REGISTRY OF DEEDS



APPROVAL SIGNATURE

DEVENS ENTERPRISE COMMISSION



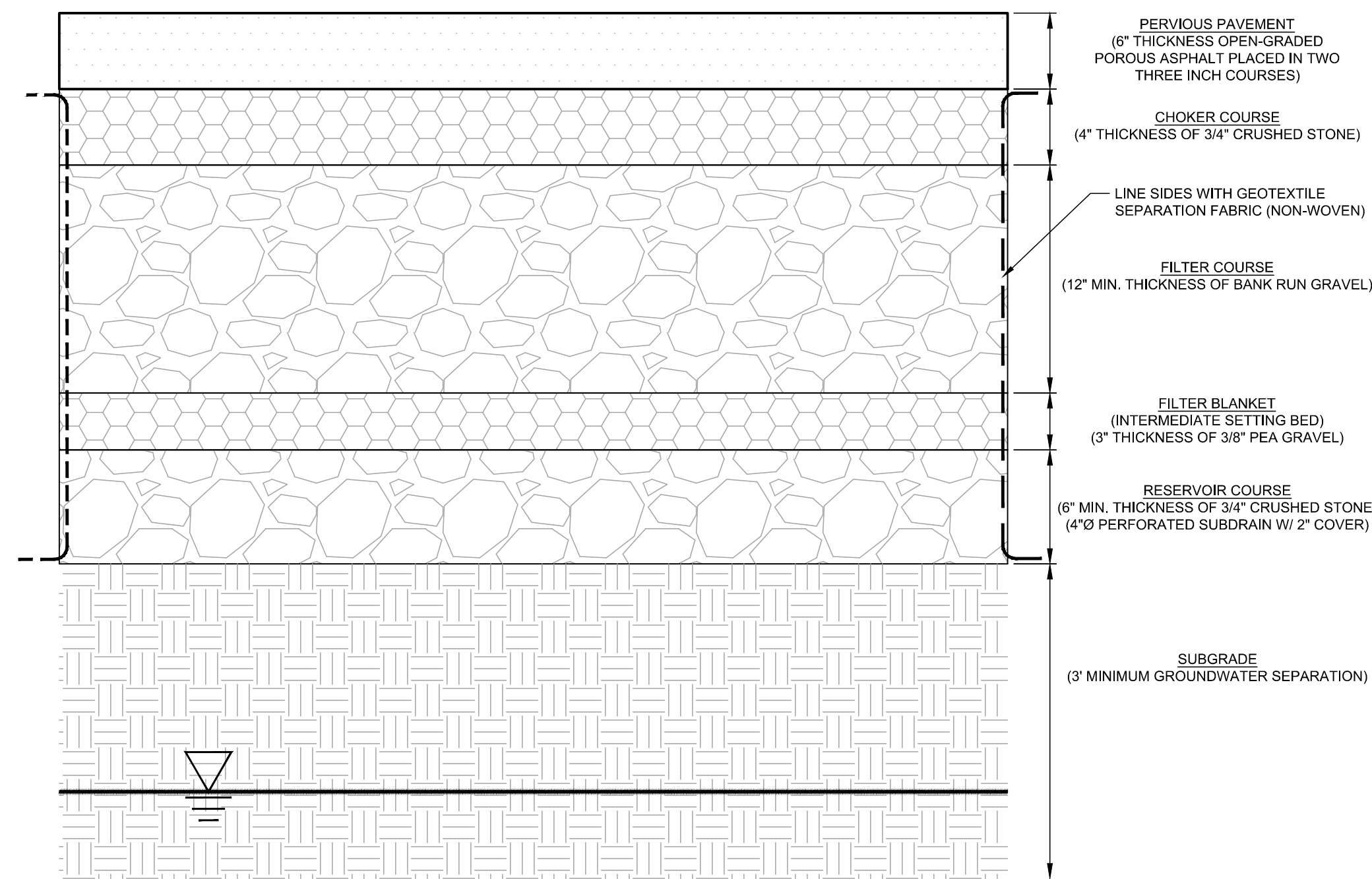
www.HighpointEng.com

CLIENT:
King Devens, LLC
800 Boylston Street, Suite 1570
Boston, MA 02199

CONSULTANT:

SEAL

LEVEL 2 - UNIFIED PERMIT
39 JACKSON ROAD - LOT 2
39 JACKSON ROAD
DEVENS, MA
OWNER/APPLICANT: KING DEVENS, LLC



SPECIFICATION CLAUSE
S300K POWERDRAIN - LOAD CLASS D

GENERAL
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE S300K CHANNEL SYSTEM WITH DUCTILE IRON EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

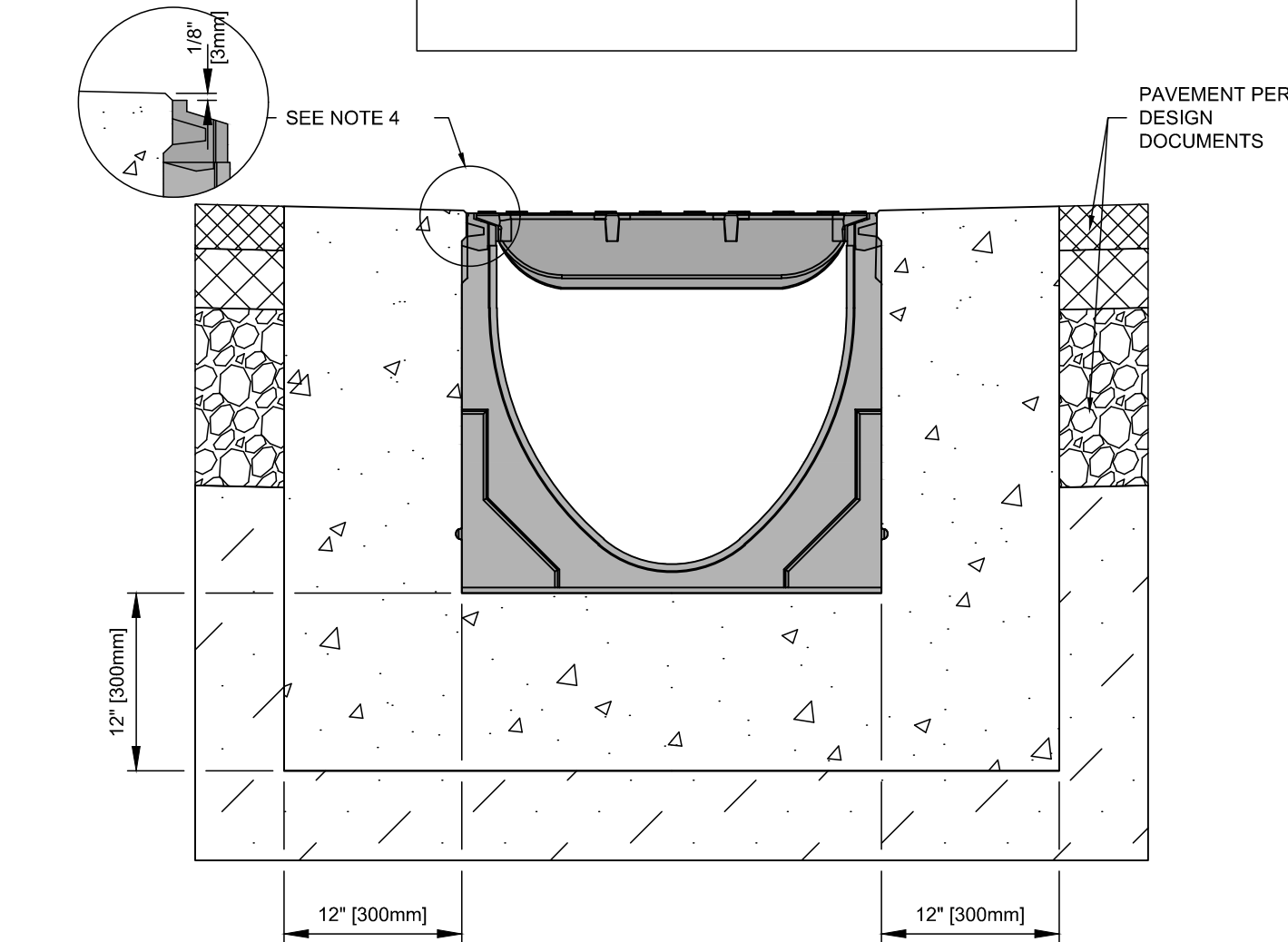
MATERIALS
CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN DUCTILE IRON EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:

COMPRESSIVE STRENGTH:	14,000 P S I
FLEXURAL STRENGTH:	4,000 P S I
TENSILE STRENGTH:	1,000 P S I
WATER ABSORPTION:	0.07%
FROST PROOF:	Y E S
DILUTE ACID AND ALKALI RESISTANT:	Y E S
B117 SALT SPRAY TEST COMPLIANT:	Y E S

THE SYSTEM SHALL BE 12" (300mm) NOMINAL INTERNAL WIDTH WITH A 14.2" (360mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING 'POWERLOK' BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.



- NOTES:**
- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. ENGINEERING ADVICE MAY BE REQUIRED.
 - MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
 - EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. ENGINEERING ADVICE MAY BE REQUIRED.
 - THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" (3mm) ABOVE THE TOP OF THE CHANNEL EDGE.
 - CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.
 - REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

PERVIOUS PAVEMENT NOT TO SCALE **A2**

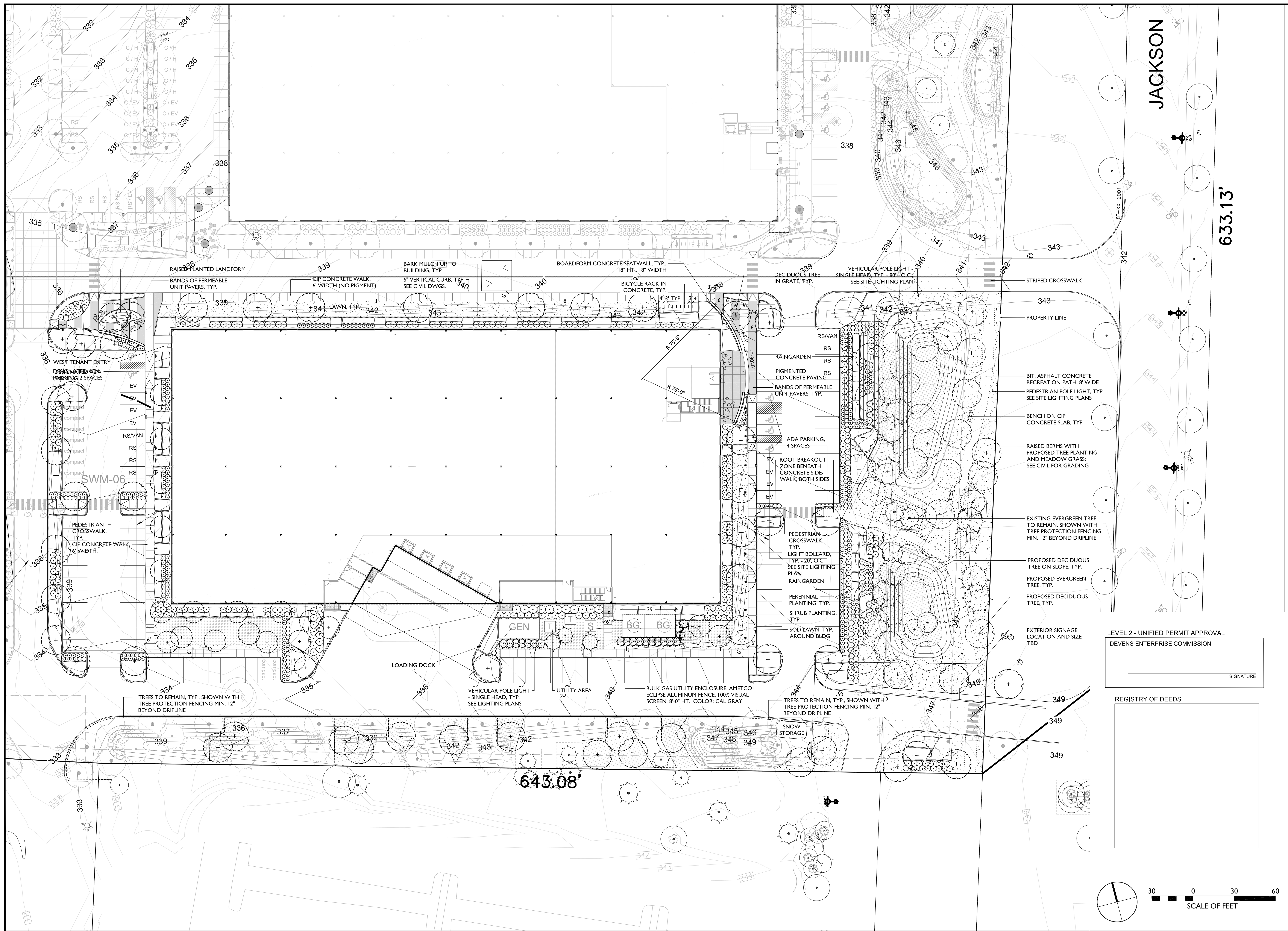
SLOPED-CHANNEL - ACO POWER DRAIN S300K NOT TO SCALE **A1**

REV DATE DESCRIPTION

ISSUE TYPE:
LEVEL 2 - PERMIT SET
ISSUE DATE:
05-06-2021
PROJECT NUMBER:
19019
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CHECKED BY: DJH
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SHEET TITLE:
SITE DETAILS

SHEET NUMBER:
C705



JACKSON

633.13'

643.08'



CLIENT:
King Devens, LLC
800 Boylston Street, Suite 1570
Boston, MA 02199

CONSULTANT:
WAGNERHODGSON
LANDSCAPE ARCHITECTURE
NYS18.567.1791 VT802.864.0010

SEAL

LEVEL 2 - UNIFIED PERMIT
39 JACKSON ROAD
DEVENS, MA
OWNER/APPLICANT: KING DEVENS, LLC

LEVEL 2 - UNIFIED PERMIT APPROVAL
DEVENS ENTERPRISE COMMISSION
SIGNATURE

REGISTRY OF DEEDS

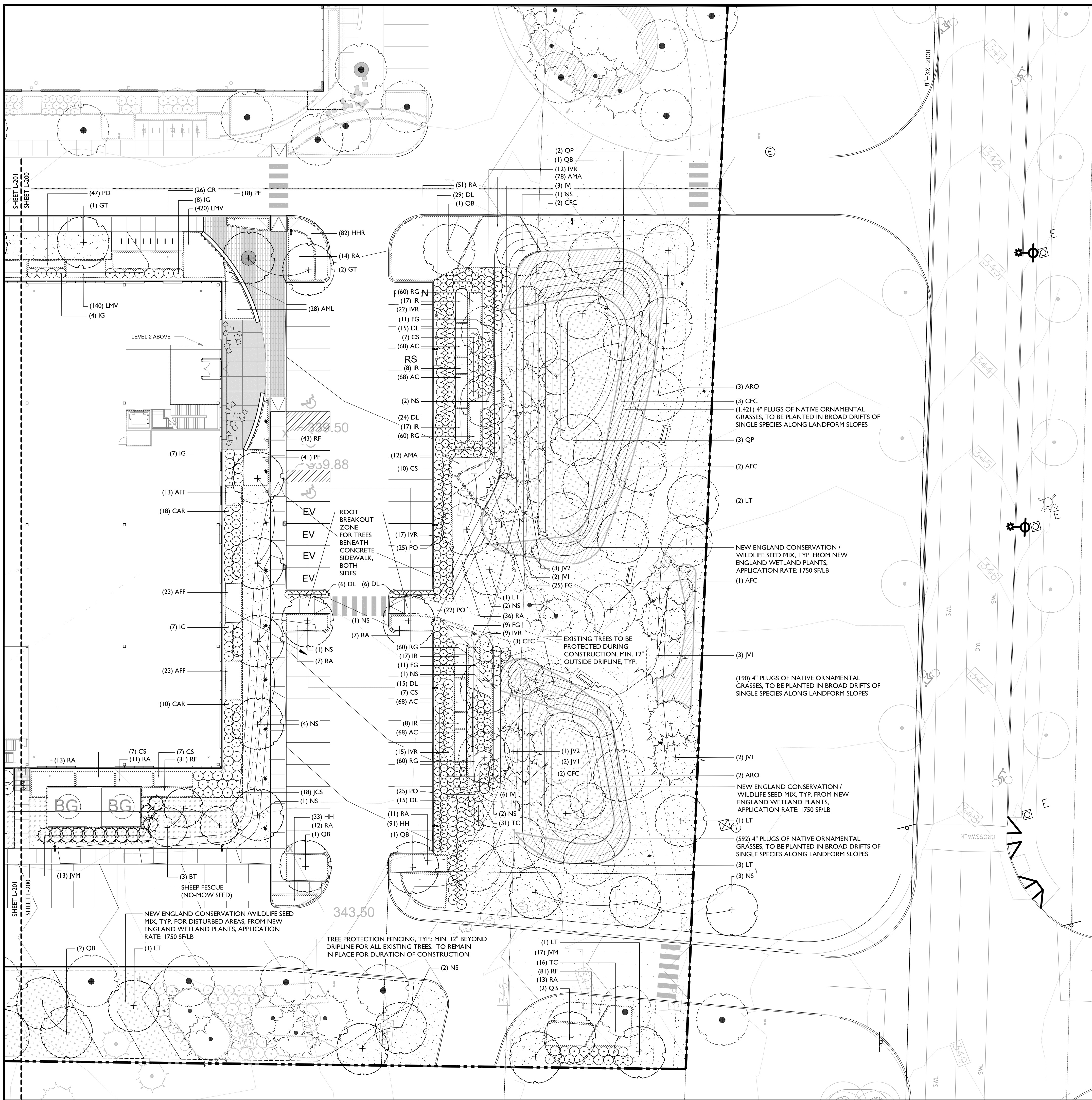
REV	DATE	DESCRIPTION
1	6/11/21	RESPONSE TO COMMENTS

ISSUE TYPE:
LEVEL 2 - PERMIT SET
ISSUE DATE:
05-06-2021
PROJECT NUMBER:
19019

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CHECKED BY: JH
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SHEET TITLE:
OVERALL
LANDSCAPE
LAYOUT AND
MATERIALS PLAN
SHEET NUMBER:
L-100

ISSUED FOR: UNIFIED PERMIT



PLANT SCHEDULE

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES					
AFC	3	Acer x freemanii 'Celebration'	CELEBRATION MAPLE	3 CAL	AS SHOWN
ARO	5	Acer rubrum 'October Glory'	OCTOBER GLORY RED MAPLE	3" CAL	AS SHOWN
BT	3	Betula nigra	RIVER BIRCH (multi-stem)	2" CAL	AS SHOWN
CFC	10	Cornus florida 'Cherokee Princess'	CHEROKEE PRINCESS DOGWOOD	2-1/2" CAL	AS SHOWN
GT	3	Gleditsia triacanthos 'Streetkeeper'	STREETKEEPER HONEYLOCUST	3" CAL	AS SHOWN
LT	9	Liriodendron tulipifera	TULIPTREE	5-5 1/2" CAL	AS SHOWN
NS	20	Nyssa sylvatica	BLACK TUPELO	3" CAL	AS SHOWN
QB	8	Quercus bicolor	SWAMP WHITE OAK	3-4" CAL	AS SHOWN
QP	5	Quercus palustris	PIN OAK	3-4" CAL	AS SHOWN

EVERGREEN TREES & SHRUBS					
JVM	30	Juniperus virginiana 'Manhattan Blue'	EASTERN REDCEDAR	5 GAL	5' O.C.
JCS	18	Juniperus communis 'Blue Berry Delight'	JUNIPER	3 GAL	4' O.C.
JV1	9	Juniperus virginiana	EASTERN RED CEDAR	8-10" ht	AS SHOWN
JV2	4	Juniperus virginiana	EASTERN RED CEDAR	6-8" ht	AS SHOWN
TC	47	Taxus canadensis	CANADA YEW	3 GAL	4' O.C.

DECIDUOUS SHRUBS					
AMA	90	Aronia melanocarpa 'Autumn Magic'	AUTUMN MAGIC CHOKECHERRY	2 GAL	30" O.C.
AML	28	Aronia melanocarpa 'Lowscape Mound'	LOWSCAPE MOUND CHOKEBERRY	2 GAL	30" O.C.
CAR	28	Clethra alnifolia 'Ruby Spice'	RUBY SPICE SUMMERSWEET	5 GAL	42" O.C.
CS	38	Cornus sericea 'Firedance'	FIREDANCE REDTWIG DOGWOOD	2 GAL	4' O.C.
DL	110	Diervilla lonicera	NORTHERN BUSH HONEYSUCKLE	3 GAL	3' O.C.
FG	36	Fothergilla major 'Mt. Airy'	MT AIRY FOTHERGILLA	3 GAL	3' O.C.
IG	36	Ilex glabra 'Shamrock'	SHAMROCK HOLLY	2 GAL	4' O.C.
IV1	9	Ilex verticillata 'Jim Dandy'	WINTERBERRY (Male)	5 GAL	4' O.C.
IVR	75	Ilex verticillata 'Red Sprite'	WINTERBERRY (Female)	5 GAL	4' O.C.
PF	59	Potentilla fruticosa 'Abbotswood'	SHRUBBY CINQUEFOIL	1 GAL	2' O.C.
PO	72	Physocarpus opulifolius 'Little Devil'	LITTLE DEVIL NINEBARK	2 GAL	3' O.C.
RA	175	Rhus aromatica 'Gro Low'	GRO LOW SUMAC	3 GAL	4' O.C.

PERENNIALS					
AC	272	Acorus calamus	SWEETFLAG	2" PLUGS	12" O.C.
AFF	59	Athyrium filix-femina	LADY FERN	1 GAL	2' O.C.
CR	26	Cimicifuga racemosa 'Hillside Beauty'	BLACK SNAKEROOT	1 GAL	3' O.C.
HH	124	Hemerocallis 'Pardon Me' and 'Rosy Returns'	DAYLILY MIX (50% each)	1 GAL	18" O.C.
HHR	82	Hemerocallis 'Happy Returns' and 'Stella d'Oro'	DAYLILY MIX (50% each)	1 GAL	18" O.C.
IR	67	Iris versicolor	BLUEFLAG IRIS	2" PLUGS	30" O.C.
LMV	560	Liriope muscari 'Variegata'	VARIEGATED LILYTURF	1 QT.	10" O.C.
PD	47	Phlox diversicata	WILD BLUE PHLOX	1 QT.	12" O.C.
RF	155	Rudbeckia fulgida 'Goldsturm'	GOLDSTURM BLACK-EYED SUSAN	1 GAL	18" O.C.
RG	240	Rudbeckia fulgida 'Goldsturm'	GOLDSTURM BLACK-EYED SUSAN	2" PLUGS	18" O.C.

ORNAMENTAL GRASSES PLUGS					
2,203	Sporobolus heterolepis	PRAIRIE DROPSEED	4" PLUGS	18" O.C.	
TOTAL	Deschampsia cespitosa	TUFTED HAIR GRASS	4" PLUGS	18" O.C.	
	Schizachyrium scoparium	LITTLE BLUESTEM	4" PLUGS	18" O.C.	

* Plugs planted at 18" O.C. in broad drifts along berm slopes as directed by Landscape Architect.

SEED MIXES-(Hydroseed all areas)	
Conservation & Wildlife Seed Mix. (New England Wetland Plants, Inc.) Application Rate: 1,750 SF/LB, 25 LBS/ACRE.	
Lawn Seed Mix 40% Creeping Red Fescue, 30% Perennial Rye Grass & 30% Kentucky Bluegrass Application Rate: 4 LBS/1,000 SF	
Sheep Fescue Seed Mix 100% Festuca ovina Application Rate: 4 LBS/1,000 SF	

LEVEL 2 - UNIFIED PERMIT APPROVAL
 DEVENS ENTERPRISE COMMISSION

 SIGNATURE

REGISTRY OF DEEDS

HIGHPOINT ENGINEERING, INC.
 LAND PLANNING PERMIT EXPERTISE
 CIVIL ENGINEERING CONSULTING
 1500 KINGSLEY BLVD
 EASTON, MA 02021
 www.HighPointEng.com

CLIENT:
 King Devens, LLC
 800 Boylston Street, Suite 1570
 Boston, MA 02199

CONSULTANT:
WAGNERHODGSON
 LANDSCAPE ARCHITECTURE
 NYS18367.1791 VT802.864.0010

SEAL

LEVEL 2 - UNIFIED PERMIT
 39 JACKSON ROAD
 DEVENS, MA
 OWNER/APPLICANT: KING DEVENS, LLC

REV	DATE	DESCRIPTION
1	6/11/21	RESPONSE TO COMMENTS

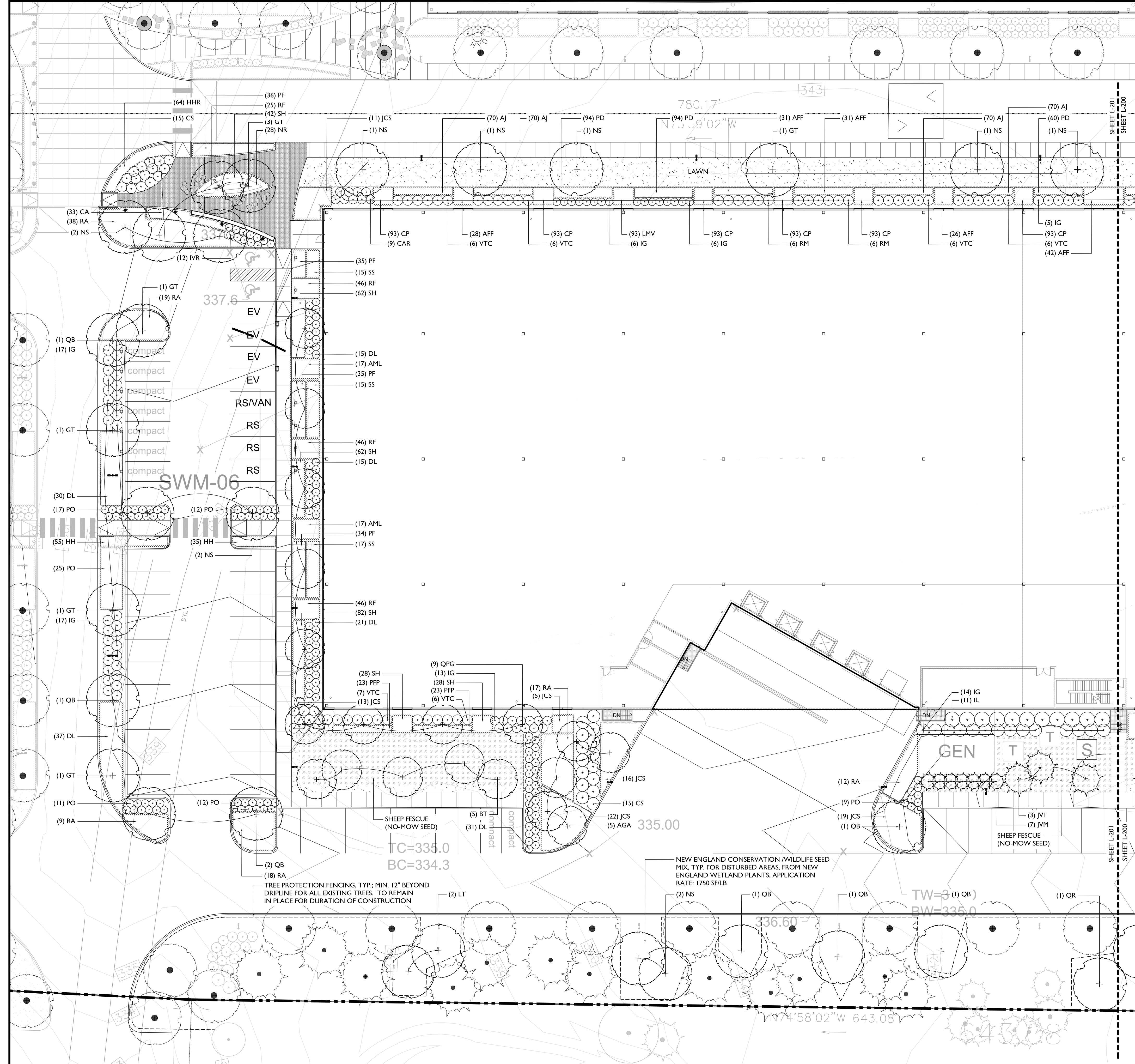
ISSUE TYPE:
 LEVEL 2 - PERMIT SET
 ISSUE DATE:
 05-06-2021
 PROJECT NUMBER:
 19019

DRAWN BY: HL
 CHECKED BY: JH
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SHEET TITLE:
LANDSCAPE PLANTING PLAN - EAST

SHEET NUMBER:
L-200

ISSUED FOR: UNIFIED PERMIT



PLANT SCHEDULE

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES					
AGA	5	Amelanchier x grandiflora 'Autumn Brilliance'	AUTUMN BRILLIANCE AMELANCHIER	2 1/2" CAL AS SHOWN	
BT	5	Betula nigra	RIVER BIRCH (multi-stem)	2" CAL AS SHOWN	
GT	8	Gleditsia triacanthos 'Streetkeeper'	STREETKEEPER HONEYLOCUST	3" CAL AS SHOWN	
LT	2	Liriodendron tulipifera	TULIPTREE	3-4" CAL AS SHOWN	
NS	11	Nyssa sylvatica	BLACK TUPELO	3" CAL AS SHOWN	
QB	8	Quercus bicolor	SWAMP WHITE OAK	3-4" CAL AS SHOWN	
QPG	9	Quercus palustris 'Green Pillar'	GREEN PILLAR COLUMNAR PIN OAK	3-4" CAL AS SHOWN	
QR	1	Quercus rubra	NORTHERN RED OAK	3" CAL AS SHOWN	

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
EVERGREEN TREES & SHRUBS					
IL	11	Ilex glabra	INKBERRY	3 GAL 6" O.C.	
JCS	86	Juniperus communis 'Blue Berry Delight'	JUNIPER	3 GAL 4" O.C.	
JVM	7	Juniperus virginiana 'Manhattan Blue'	MANHATTAN BLUE JUNIPER	5 GAL 5" O.C.	
JVI	3	Juniperus virginiana	EASTERN RED CEDAR	6-8" ht AS SHOWN	
RM	12	Rhododendron maximum 'Mr. Bluestem'	ROSEBAY BLUESTEM RHODODENDRON	5 GAL 4" O.C.	

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS SHRUBS					
AML	34	Aronia melanocarpa 'Lowscape Mound'	LOWSCAPE MOUND CHOKEBERRY	2 GAL 30" O.C.	
CAR	9	Clethra alnifolia 'Ruby Spice'	RUBY SPICE SUMMERSWEET	5 GAL 42" O.C.	
CS	30	Cornus sericea 'Firedance'	FIRE DANCE REDTWIG DOGWOOD	2 GAL 4" O.C.	
DL	149	Diervilla lonicera	NORTHERN BUSH HONEYSUCKLE	2 GAL 3" O.C.	
IG	79	Ilex glabra 'Shamrock'	SHAMROCK HOLLY	2 GAL 4" O.C.	
IVR	12	Ilex verticillata 'Red Sprite'	WINTERBERRY (Female)	5 GAL 3" O.C.	
PO	86	Physocarpus opulifolius 'Little Devil'	LITTLE DEVIL NINEBARK	2 GAL 3" O.C.	
RA	113	Rhus aromatica 'Gro Low'	GRO LOW SUMAC	2 GAL 4" O.C.	
VTC	37	Viburnum trilobum 'Compacta'	CRANBERRY BUSH	5 GAL 4" O.C.	

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
PERENNIALS					
AFF	158	Athyrium filix-femina	LADYFERN	1 GAL 18" O.C.	
AJ	280	Asarum canadense 'Jumbo'	CANADIAN GINGER	1 QT. 12" O.C.	
HH	90	Hemerocallis 'Pardon Me' and 'Rosy Returns'	DAYLILY MIX (50% each)	1 GAL 18" O.C.	
HHR	64	Hemerocallis 'Happy Returns' and 'Stella d'Oro'	DAYLILY MIX (50% each)	1 GAL 18" O.C.	
NR	28	Nepeta racemosa 'Walker's Low'	WALKER'S LOW CATMINT	1 GAL 16" O.C.	
PD	248	Phlox diversicata	WILD BLUE PHLOX	1 QT. 12" O.C.	
PF	140	Potentilla fruticosa 'Abbotswood'	SHRUBBY CINQUEFOIL	1 GAL 2" O.C.	
PPF	46	Potentilla fruticosa 'Pink Beauty'	PINK BEAUTY CINQUEFOIL	1 GAL 2" O.C.	
RF	163	Rudbeckia fulgida 'Goldsturm'	GOLDSTURM BLACK-EYED SUSAN	1 GAL 18" O.C.	

KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING
ORNAMENTAL GRASSES					
CA	33	Calamagrostis x acutiflora 'Karl Foerster'	FEATHER REED GRASS	1 GAL 2" O.C.	
CP	558	Carex pennsylvanica	PENNSYLVANIA SEDGE	1 QT. 10" O.C.	
LMV	93	Liriope muscari 'Variegata'	VARIEGATED LILYTURF	1 QT. 10" O.C.	
SH	304	Sporobolus heterolepis	PRAIRIE DROPSEED	1 GAL 18" O.C.	
SS	47	Schizachyrium scoparium 'The Blues'	LITTLE BLUESTEM	2 GAL 30" O.C.	

LEVEL 2 - UNIFIED PERMIT
 39 JACKSON ROAD
 39 JACKSON ROAD
 DEVENS, MA

OWNER/APPLICANT: KING DEVENS, LLC

ISSUE TYPE:
 LEVEL 2 - PERMIT SET

ISSUE DATE:
 05-06-2021

PROJECT NUMBER:
 19019

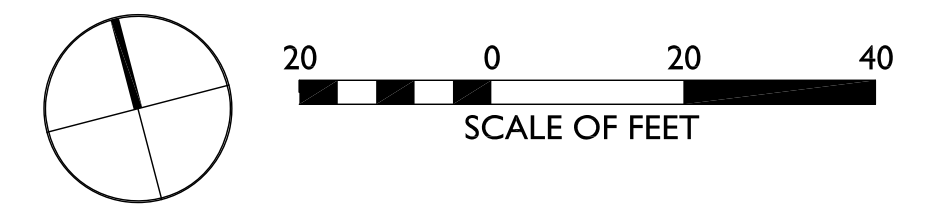
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LANDSCAPE PLANTING PLAN - WEST

SHEET NUMBER:
L-201

ISSUED FOR: UNIFIED PERMIT



LEVEL 2 - UNIFIED PERMIT APPROVAL

DEVENTS ENTERPRISE COMMISSION

SIGNATURE

REGISTRY OF DEEDS

REV	DATE	DESCRIPTION
1	6/11/21	RESPONSE TO COMMENTS

ISSUE TYPE:
LEVEL 2 - PERMIT SET
 ISSUE DATE:
05-06-2021
 PROJECT NUMBER:
19019

DRAWN BY: HL
 CHECKED BY: JH
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SHEET TITLE:
IRRIGATION PLAN

SHEET NUMBER:
L-400

IRRIGATION CALCULATIONS

IRRIGATION TYPE	AREA
SPRAY IRRIGATION - LAWN	18,092 SF
DRIP IRRIGATION - BLDG	15,203 SF
TEMP DRIP IRRIGATION - PLUGS	4,335 SF

IRRIGATION TYPE	LENGTH*
DRIP IRRIGATION - TREES	1,692 LF

* LENGTH DOES NOT INCLUDE DISTANCE FROM NOTED IRRIGATION TO THE SITE WELL (WHICH PROVIDES ALL WATER FOR IRRIGATION SYSTEM)

IRRIGATION NOTES

- LANDSCAPE CONTRACTOR TO PROVIDE INDUSTRY STANDARD WATERING PRACTICES FOR ALL PLANT MATERIAL AND LAWNS UNTIL THE CLOSE OF WARRANTY PERIOD.
- PROFESSIONAL SLOW RELEASE WATERING DEVICES (DRIP IRRIGATION) SHALL BE INSTALLED AT EACH TREE SPECIFIED ON THE PLANTING PLAN TO ENSURE PROPER ESTABLISHMENT AND SHALL BE MAINTAINED FOR 12 MONTHS FOLLOWING THE DATE OF SUBSTANTIAL COMPLETION.
- IRRIGATION DEPICTED ON THIS PLAN IS FOR THE PERMANENT IRRIGATION SYSTEM.
- WATER USED FOR TEMPORARY AND PERMANENT IRRIGATION SHALL BE OBTAINED FROM A DRILLED ONSITE WELL. CONNECTIONS FROM THE WELL LOCATION TO THE IRRIGATION SYSTEM ARE NOT DEPICTED ON THIS PLAN, AND WILL BE COORDINATED ONCE FINAL WELL LOCATION IS ESTABLISHED.

IRRIGATION SYSTEM DESIGN REQUIREMENTS

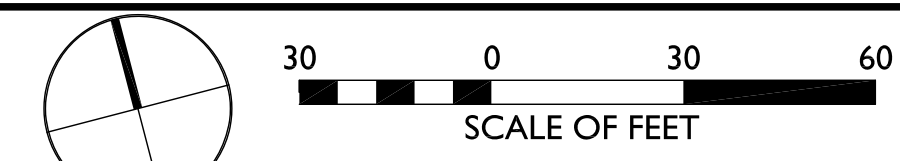
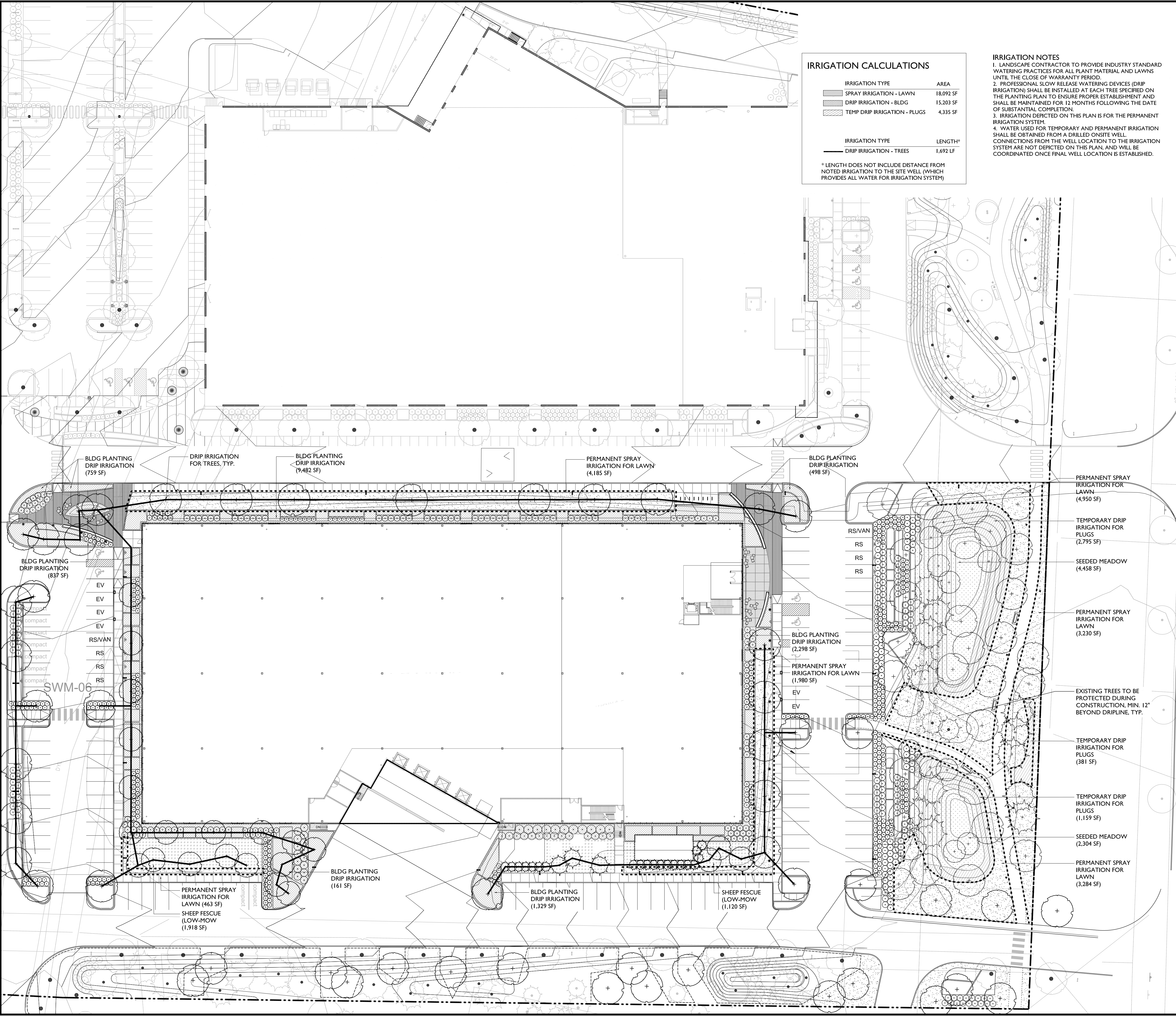
- Provide labor, materials, equipment and services and perform operations required for site irrigation and related work required and specified herein.
- Work Included: The work shall include, but not be limited to, the following:
 - Irrigation systems.
 - The work includes design, engineering, installation, testing, and documentation of installed irrigation systems.
- Design the system to meet the following requirements:
 - The Contractor shall design the system and shall ensure full coverage of irrigation. The system shall be designed to provide 1 inch of precipitation uniformly per week throughout the irrigation cycle.
 - System shall operate with a minimum water pressure of 55 lbs per square inch (psi) at connection to backflow prevention device and 10 psi at the last head in each zone.
 - Provide as part of the irrigation design a moisture detection device that is integrated within the system and automatically shuts off systems when it rains.
 - Drawings of sprinkler system: Drawings shall show proposed system layout, type and number of heads and emitters, zone valves, drain pockets, backflow devices, controllers, and mounting details of controllers. Detail drawings for valves, sprinkler heads, backflow preventers, automatic controllers, emitter heads, and water hammer arresters. Drawings shall include a complete list of equipment and materials, and manufacturer's descriptive and technical literature, performance charts and curves, catalog cuts, and installation instructions. Drawings shall also contain complete wiring and schematic diagrams and any other details required to demonstrate that the system has been coordinated and will function as a unit. As-Built Drawings which provide current factual information showing locations of mains, heads, valves, and controllers including deviations from and amendments to the drawings and changes to the work shall be included.
 - Reports: Performance test reports in booklet showing all field tests performed to adjust each component and all field tests performed to prove compliance with the specified performance criteria, upon completion and testing of the installed system. Each test report shall indicate the final position of control valves.
 - Certificates: Submit Certification signed by Contractor and installer of underground sprinkler system certifying that the system as designed, installed, and tested conforms to specified requirements and complies with minimum standards of authorities having jurisdiction.
 - Operation and Maintenance Manuals: Six copies of operation and six copies of maintenance manuals for the equipment furnished. One complete set prior to field testing and the remainder upon acceptance. Manuals shall be approved prior to the field training course. Operating manuals shall detail the step-by-step procedures required for system startup, operation, and shutdown. Operating manuals shall include the operator's name, model number, part list, and brief description of all equipment and their basic operating features. Maintenance manuals shall list routine maintenance procedures, possible breakdowns and repairs, and troubleshooting guides. Maintenance manuals shall include piping and equipment layout, simplified wiring and control diagrams of the system as installed, and system programming schedule.

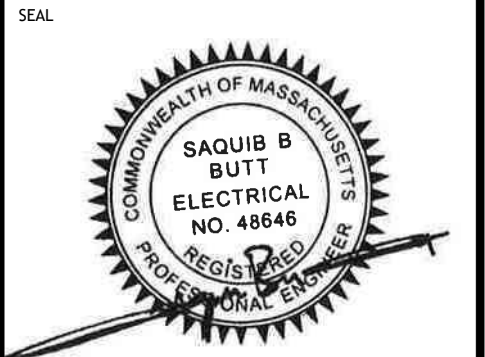
IRRIGATION SYSTEM MAINTENANCE

The landscape maintenance contractor shall maintain the overall Irrigation system in good operating condition through periodic monthly inspections of all system components and make repairs as necessary. This includes checking and verifying operation in each zone, the alignment of heads, rain sensors, controller, and checking for leaks. The Owner shall be responsible for replacement of component parts in the irrigation system which become worn after normal use and after the original period of warranty has expired. If replacement is required due to mishandling or misuse of these items on the part of the maintenance contractor, replacement shall be the maintenance contractor's responsibility.

Spring Start Up
 Spring start up procedure as follows:
 1. Reconnect backflow prevention if it has been disconnected for the winter season.
 2. Close all manual drain valves.
 3. Slowly turn water on at main gate valve.
 4. Check for leaks and proper alignment of heads.
 5. Repair and adjust system as required for proper operation.
 6. Set controller for spring season watering levels.

Winter Shut Down
 1. When cold weather approaches and the chance for freezing conditions exist, the system should be drained after each use.
 2. Winter shut down procedure as follows:
 - Shut water off at main gate valve.
 - Open all manual drain valves.
 - Blow out each section twice with compressed air.
 - Set controller to cycle through each section the minimum time available, once a day through winter months.
 - If backflow prevention is installed with unions, remove and store out of the weather.





Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Light Loss Factor	Wattage
□	SL1	25	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-AF-01-LED-E1-SL4-7027-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 2700K, 1050mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD	0.9	59
□	SL1.2	13	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLNA-AF-01-LED-E1-T4FT-7027-600	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 2700K CCT 600mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	0.9	34
□	SL1.3	0	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLNA-AF-02-LED-E1-T4FT-7027	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 2700K CCT 1050mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	0.9	113
⊕	SL3	13	Selux Corporation	IBL-X-2Q90MU-27-XX-UNV		0.9	14.1
□	SL2	3	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GLEON-AF-01-LED-E1-SL4-7027-HSS	GALLEON AREA AND ROADWAY LUMINAIRE (1) 70 CRI, 2700K, 1050mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	0.9	118
⊕	SL4	8	Selux Corporation	MST-X-R55-5G350-27-XX-XX-UNV	Black formed cast aluminum housing, plastic optics no enclosure	0.9	33
□	E	5	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	LRC-B16-7-LED-E1-MST	LRC CANOPY LUMINAIRE ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	0.9	36.8
□	WP1	2	COOPER LIGHTING SOLUTIONS - STREETWORKS (FORMERLY EATON)	GAW-AF-01-LED-UV-T4FT-7027-600	GALLEON WALL LUMINAIRE (1) 70 CRI, 2700K, 615mA LIGHTSQUARE WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS Industrial, Landscape, Library, Office, Parking, Parks, Pathway, Pedestrian, Prison, Recreation, Residential Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	0.9	34
□	WP2	3	COOPER LIGHTING SOLUTIONS - LUMARK (FORMERLY EATON)	XTOR18-Y	CROSSTOUR WALL MOUNT LED	0.9	12.2
○	RD	7	COOPER LIGHTING SOLUTIONS - BRAND (FORMERLY EATON)	LD4B10D010 EU4810208027 4LBML1	PORTFOLIO 4 INCH 50 DEGREE CUTOFF RECESSED DOWNLIGHT MEDIUM DISTRIBUTION WITH SPECULAR CLEAR TRIM WATTAGE D010TR-10.05W D010-10.55W DS1T-10.2W DMK-10.6W DL2-11.8W DL3-11.1W DLE-11.39W	0.9	9.9

Lighting Schedule Notes:

All exterior light fixture color temperature to be 2700k. Specific IES may not be available for every fixture in 2700k. Manufacturer (Cooper Lighting) confirmed all fixtures listed above are available in 2700k.

All exterior light fixture enclosure / housings to be black in color.

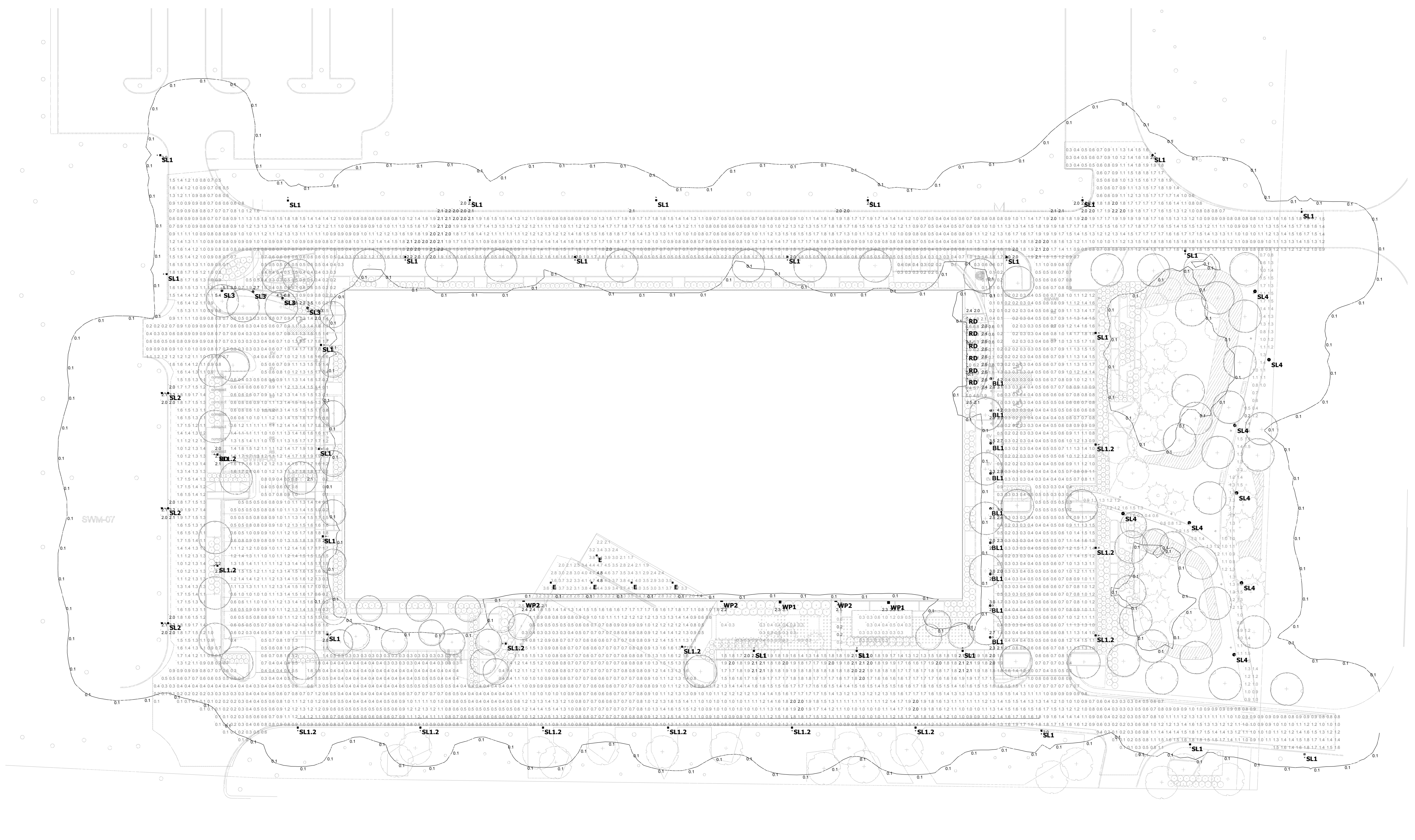
Lighting Control Notes:

All exterior lighting will be controlled via a building lighting control panel with external daylight photocontrol sensor and integrated timeclock.

Parking lot lighting zones will be programmed to turn on at dusk and turn off at 11:00pm via the lighting control panel.

The building tenant has not been determined therefore building operating hours are unknown at this time. Upon completion of this project exterior parking lot lighting will be scheduled to be off between the hours of 11pm and 7am. Building mounted lighting at the entrances will remain on throughout the evening and overnight. Building operating hours and lighting control sequence of operation may be adjusted in the future however such adjustments must remain in compliance with 974 CMR 3.04 and 4.04.

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BUILDING ENTRANCES	+	1.0 fc	2.8 fc	0.2 fc	14.0:1	5.0:1
ELECTRICAL UTILITY AREA	×	0.3 fc	0.4 fc	0.2 fc	2.0:1	1.5:1
ENTRANCE SIDEWALK	+	1.0 fc	4.2 fc	0.0 fc	N/A	N/A
FRONT ENTRANCE	+	4.3 fc	7.1 fc	0.6 fc	11.8:1	7.2:1
FRONT PARKING LOT	+	0.7 fc	1.8 fc	0.1 fc	18.0:1	7.0:1
LOADING DOCK	+	3.3 fc	4.8 fc	1.4 fc	3.4:1	2.4:1
PEDESTRIAN WALKWAY	+	1.2 fc	1.7 fc	0.2 fc	8.5:1	6.0:1
REAR PARKING LOT	+	1.1 fc	2.0 fc	0.1 fc	20.0:1	11.0:1
ROADWAY	+	1.1 fc	2.2 fc	0.0 fc	N/A	N/A
UTILITY AREA	×	0.4 fc	1.2 fc	0.2 fc	6.0:1	2.0:1



Plan View
 Scale - 1" = 40ft

LEVEL 2 - UNIFIED PERMIT
 39 JACKSON ROAD
 39 JACKSON ROAD
 DEVENS, MA
 OWNER/APPLICANT: KING DEVENS, LLC

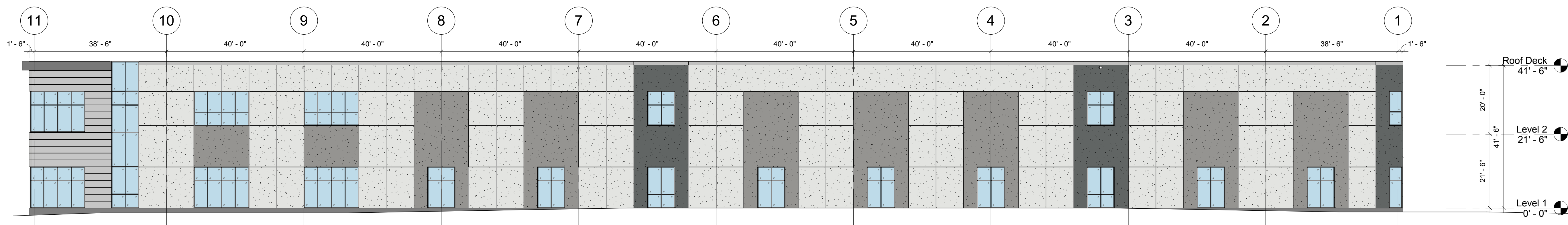
REV	DATE	DESCRIPTION
1	08/11/2021	RESPONSE TO COMMENTS

ISSUE TYPE:
 LEVEL 2 - PERMIT SET
 ISSUE DATE:
 05-06-2021
 PROJECT NUMBER:
 19019

DRAWN BY:
 CHECKED BY:
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SHEET TITLE:
ELECTRICAL SITE LIGHTING PHOTOMETRIC

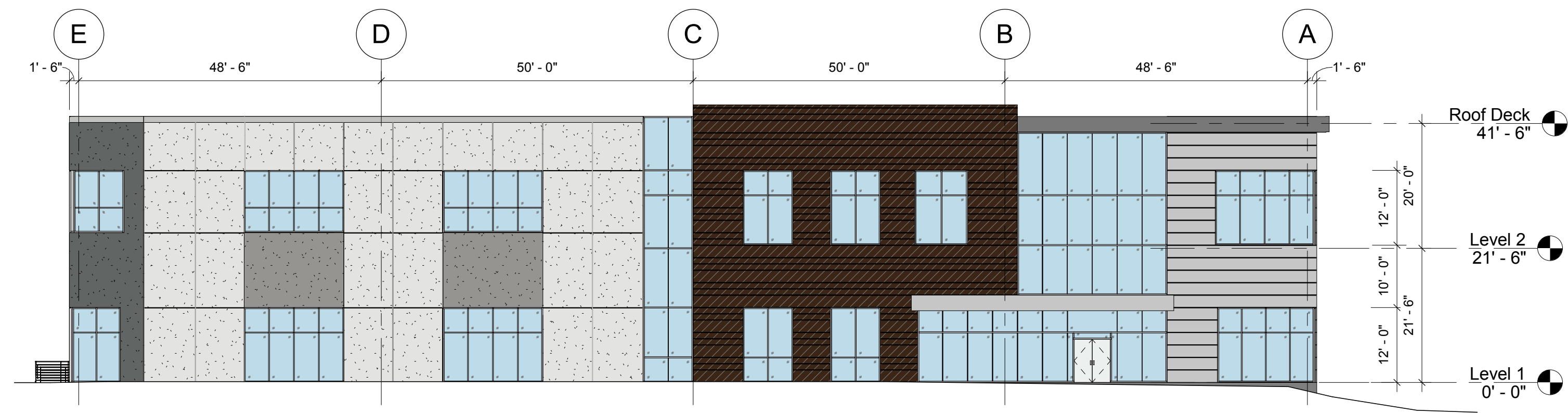
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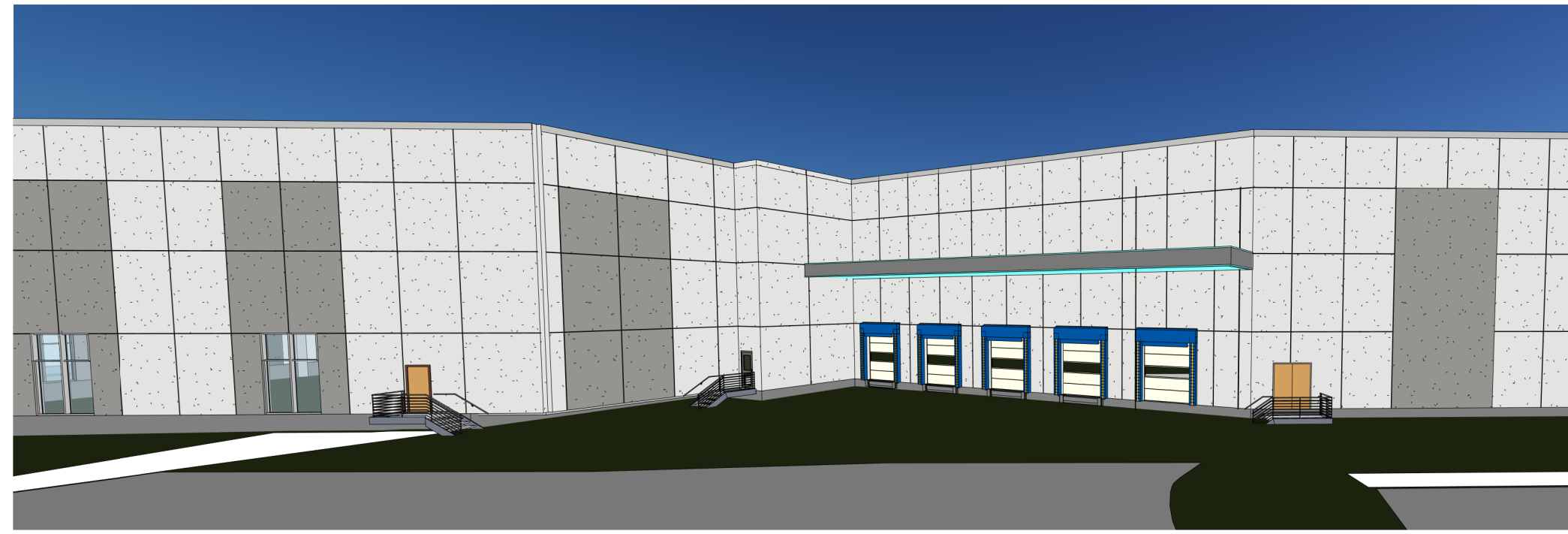
1 NORTH ELEVATION PRESENTATION
1/16" = 1'-0"



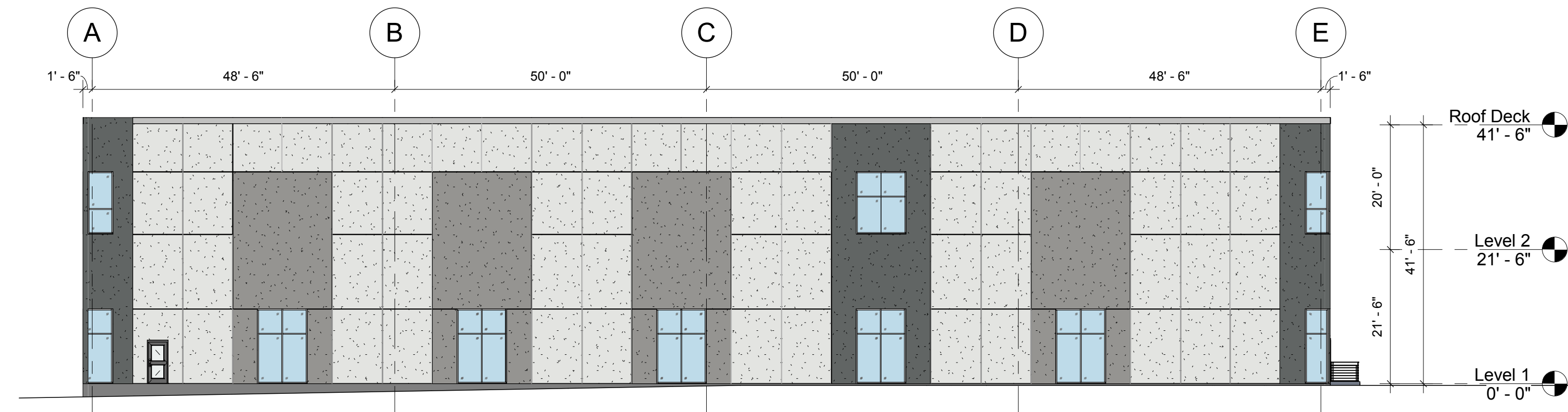
5 Building 2 - North East Corner



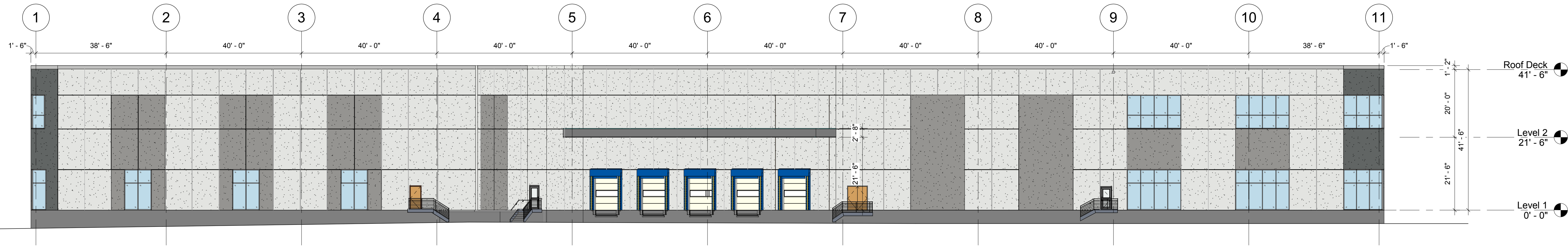
2 EAST ELEVATION PRESENTATION
1/16" = 1'-0"



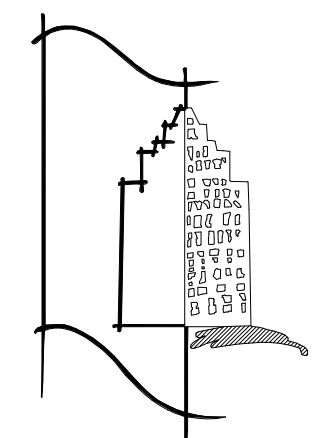
7 Building 2 - South Loading Dock



3 WEST ELEVATION PRESENTATION
1/16" = 1'-0"



4 SOUTH ELEVATION PRESENTATION
1/16" = 1'-0"



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OWNER



CONSTRUCTION MANAGER



CIVIL ENGINEER



STRUCTURAL ENGINEER



REV	DATE	REMARKS

PROJECT NO. 20211.11
PROJECT NAME CORE & SHELL BUILDING #2

45 JACKSON ROAD
DEVENS, MA

SHEET TITLE PRESENTATION EXTERIOR ELEVATIONS

ISSUE DATE: 05/06/21
APPROVED BY: MO
CHECKED BY: KT
DRAWN BY: NT
SCALE: 1/16" = 1'-0"

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