



TOWN OF NORTH CASTLE

WESTCHESTER COUNTY
17 Bedford Road
Armonk, New York 10504-1898

RESIDENTIAL PROJECT
REVIEW COMMITTEE
Adam R. Kaufman AICP, Chair

Telephone: (914) 273-3000 x 43
Fax: (914) 273-3554
www.nortcastleny.com

RESIDENTIAL PROJECT REVIEW COMMITTEE (RPRC) APPLICATION

Section I- PROJECT

ADDRESS: 33 Woodland Road, Bedford, New York _____

Section III- DESCRIPTION OF WORK:

Installation of a 20x40 swimming pool and associated retaining walls, patio, pool fence, drainage and landscaping within a wetland buffer area.

Section III- CONTACT INFORMATION:

APPLICANT: Dean Pushlar Landscape Architect _____

ADDRESS: 13 Kimberly Drive, Brookfield, CT 06804 _____

PHONE: _____ MOBILE: 203-733-8516 EMAIL: dpushlar@charter.net _____

PROPERTY OWNER: Igor Petrenko _____

ADDRESS: 33 Woodland Road, Bedford, NY _____

PHONE: _____ MOBILE: 347-668-8785 EMAIL: garypetrenko@gmail.com _____

PROFESSIONAL.: Dan Holt, -Holt Engineering and Consulting _____

ADDRESS: 592 Route 22, Pawling, NY 12564 _____

PHONE: _____ MOBILE: 914-760-1800 _____

EMAIL: dan@holtengineering.net _____

Section IV- PROPERTY INFORMATION:

Zone: R-2A Tax ID (lot designation) block 1, lot #3 _____

December 10, 2021

Wetland Delineation Report

33 Woodland Road
North Castle, New York

Introduction:

A wetland delineation was conducted at 33 Woodland Road on November 30, 2021 by Mary Jaehnig, soil scientist. The property is located to the south of Woodland Road and supports a single family dwelling, driveway, well and septic system disposal area.

The highest elevations are located along the eastern portion of the site. Slopes generally descend to the west. A portion of a man made lake is located centrally along the western property line. The site is within the watershed to the Mianus River.

A locally regulated wetland is located on site east of the pond and was flagged in the field with chronologically labeled pink ribbon from number 1 to 25.

A New York State Department of Environmental Conservation (NYSDEC) regulated wetland, K-33, is located approximately 300 feet downstream from the pond outflow structure.

Soils and Vegetation:

Soil samples were obtained using a spade and auger. Features noted include color, texture and depth to hydric indicators. Soils were classified according to guidelines established by the USDA NRCS.

The upland soils on site are the Charlton-Chatfield complex, very rocky. Charlton-Chatfield consists of the deep and well drained Charlton loam and the somewhat deep and well drained Chatfield loam in an undulating landscape with stones, boulders and occasional areas of exposed bedrock. The depth to bedrock in Charlton loam usually exceeds 5 feet below grade and the depth to bedrock for Chatfield loam averages 20 to 40 inches below

PFIZER – JÄHNIG
ENVIRONMENTAL CONSULTING

grade. The depth to the water table usually exceeds 6 feet below grade for both loams.

Included within the upland mapping is dredged material from the pond excavation that was smoothed over the surface in the lawn area near the pond. The soil does not have a high water table.

The uplands are maintained as grassed lawn with woodland south and east of the dwelling. The mature trees include red oak, yellow poplar, American beech, Norway maple and sugar maple. The shrub layer includes honeysuckle, multiflora rose and brambles. Groundcover includes Christmas fern and garlic mustard.

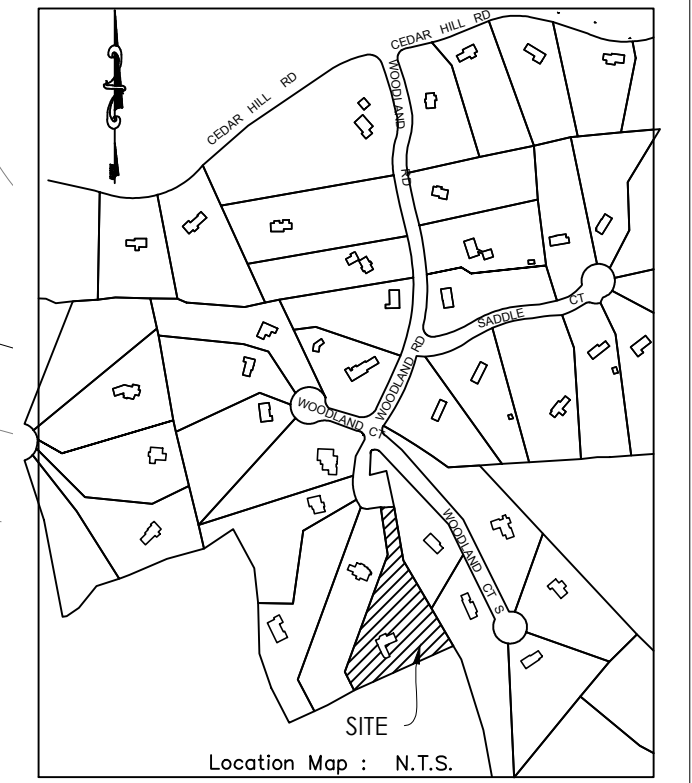
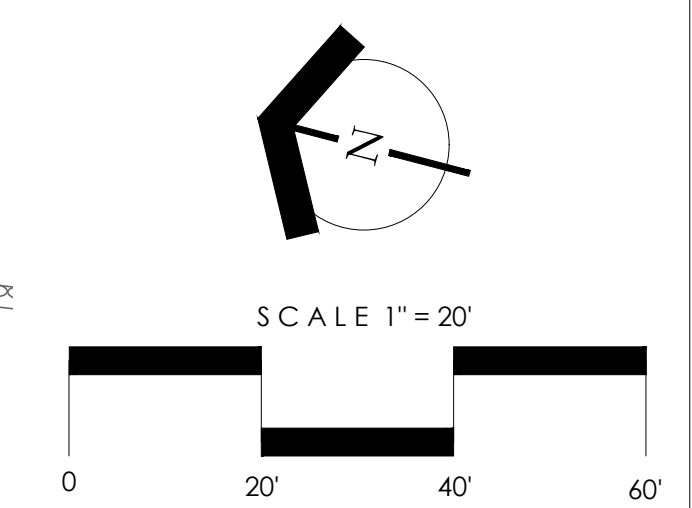
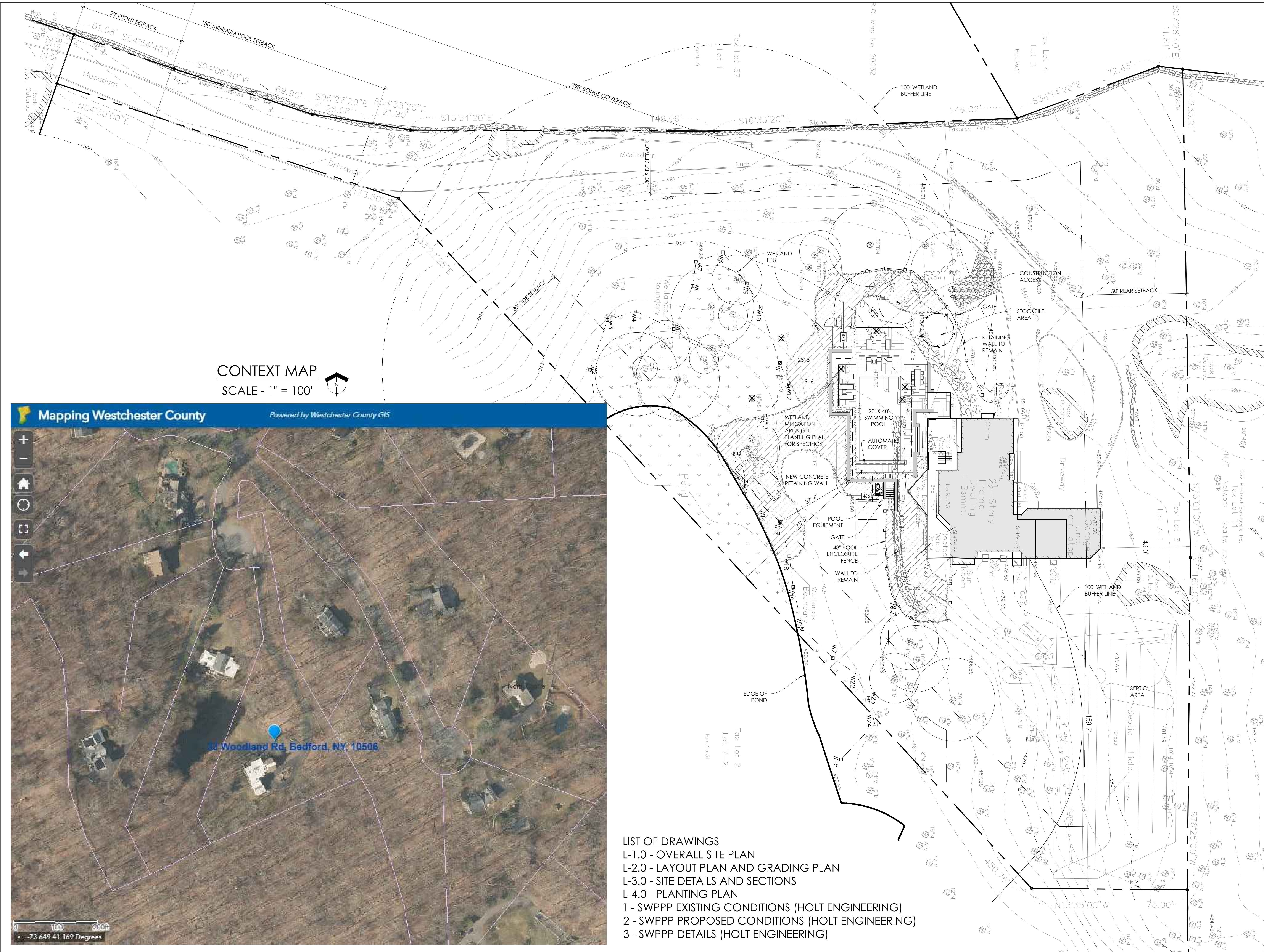
The wetland soils include Leicester loam, stony, and Aquent. The Leicester loam is located in the vegetated wetland and is a deep, poorly drained soil formed in glacial till. Stones and boulders occur on the surface and the water table is located close to the surface from late fall into early spring.

The wetland supports red maple, birch spp., ash. The shrub story includes spicebush, summersweet, multiflora rose, winterberry with sensitive fern and skunk cabbage in the groundcover.

The Aquent is located adjacent to the pond and is excavated material from the pond with a high water table. This area is maintained as grassed lawn. The edge of the pond supports bulrush and soft rush.

Sincerely,





GENERAL NOTES

BASE INFORMATION ENTITLED "PROPERTY AND TOPOGRAPHIC SURVEY DEPICTING 33 WOODLAND ROAD, BEDFORD, NY" HAS BEEN PROVIDED IN DIGITAL FORMAT BY RONALD PERSAUD, LAND SURVEYOR OF 15 SOUTH TENTH AVE, MOUNT VERNON, NY DATED MARCH 31, 2021

WETLAND HAVE BEEN FLAGGED BY MARY JAEHNIG SOIL SCIENTIST.

ZONING DATA

ZONE - R-2A ZONE RESIDENTIAL
 LOT AREA - 2.169 ACRES (94,473 S.F.)
 MAX BUILDING COVERAGE - 8%
 FRONT YARD - 50'
 SIDE YARD - 50'
 REAR YARD - 50'
 POOL FRONT - 150' (355-15(C))
 MAX ACCESSORY - 800 S.F. (MAX 25% HOUSE)
 MAX HT. ACCESSORY - 1 STORY (15)
 AREA OF WETLANDS - 8925 S.F.
 AREA OF SLOPES - 13,912 S.F.



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13 Kimberly Drive
 Brookfield, CT 06804

revision: _____
 date: MARCH 23, 2022

PETRENKO RESIDENCE

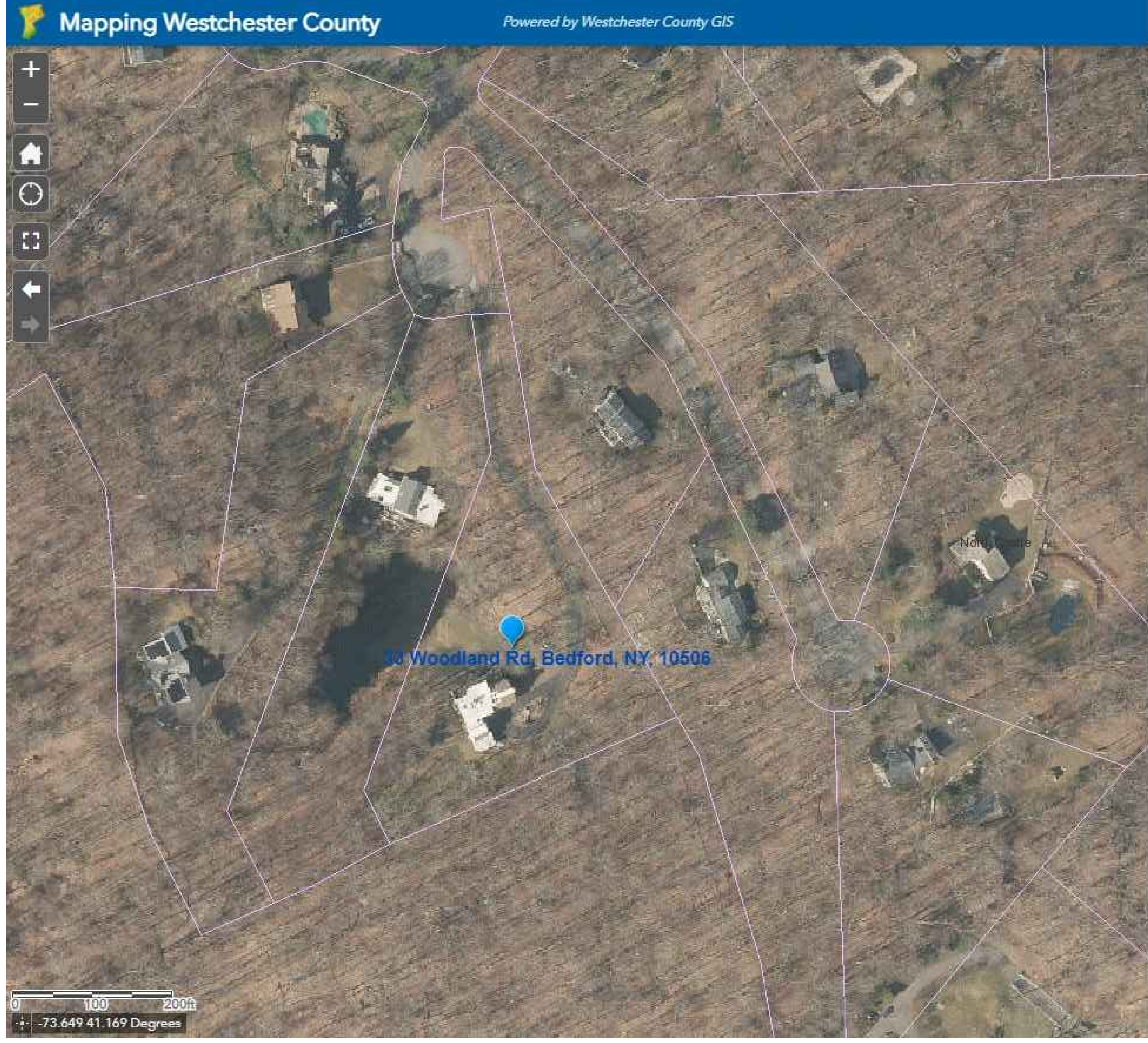
33 WOODLAND ROAD
 BEDFORD, NY
 TOWN OF NORTH CASLLE

OVERALL SITE PLAN

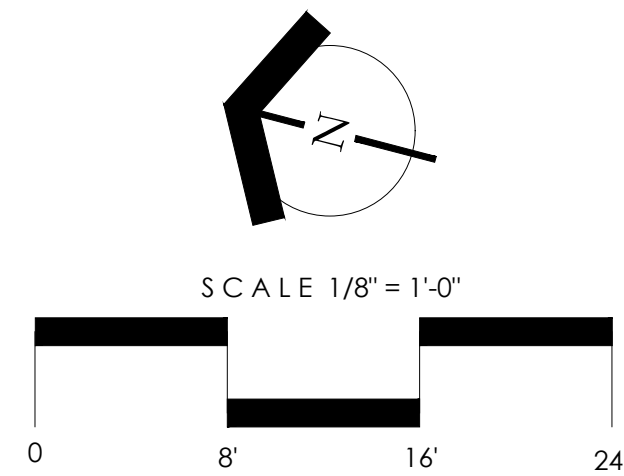
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 scale: as shown
 drawn by: dpp

drawing number: **L-1.0**

CONTEXT MAP
 SCALE - 1" = 100'



- LIST OF DRAWINGS**
- L-1.0 - OVERALL SITE PLAN
 - L-2.0 - LAYOUT PLAN AND GRADING PLAN
 - L-3.0 - SITE DETAILS AND SECTIONS
 - L-4.0 - PLANTING PLAN
 - 1 - SWPPP EXISTING CONDITIONS (HOLT ENGINEERING)
 - 2 - SWPPP PROPOSED CONDITIONS (HOLT ENGINEERING)
 - 3 - SWPPP DETAILS (HOLT ENGINEERING)



- TREE REMOVALS**
- #1 24" ASH (DEAD OR DISEASED)
 - #2 14" ASH (DEAD OR DISEASED)
 - #3 32" TULIP (WITHIN LIMITS OF WORK)
 - #4 22" RED MAPLE (WITHIN LIMITS OF WORK)
 - #5 18" RED MAPLE (WITHIN LIMITS OF WORK)
 - #6 14" BLACK BIRCH (WITHIN LIMITS OF WORK)

CUT AND FILL CALCULATIONS
 EXCAVATION POOL - 75 CU. YDS.
 EXCAVATION FOR DRYWELLS - 35 CU. YDS.
 EXCAVATION STEPS AND SEATWALL - 30 CU. YDS.
 PROPOSED TOTAL CUT - 140 CU. YDS.
 PROPOSED TOTAL FILL (SOIL) - 120 CU. YDS. (FROM SITE)*

CONCRETE FOR POOL - 40 CU. YDS.
 GRAVEL UNDER POOL - 35 CU. YDS.
 CONCRETE FOR PATIOS - 20 CU. YDS.
 GRAVEL UNDER PATIOS - 25 CU. YDS.
 CONCRETE FOR LOWER WALLS - 45 CU. YDS.
 CONCRETE FOR UPPER WALLS - 6 CU. YDS.
 CONCRETE FOR STEPS - 17 CU. YDS.
 GRAVEL FOR DRYWELLS - 23 CU. YDS.

WORK ITEM LEGEND

- | KEY # - DESCRIPTION | SYMBOL - # |
|--|------------|
| 1. STONE PAVING ON CONCRETE (THERMAL FINISH BLUESTONE OR SIMILAR) | (Symbol 1) |
| 2. 3" MINI CHANNEL DRAIN - NDS OR SIMILAR | (Symbol 2) |
| 3. CONCRETE RETAINING WALL | (Symbol 3) |
| 4. STONE STEPS WITH FIELDSTONE RISERS (BLUESTONE STEPS OR SIMILAR) | (Symbol 4) |
| 5. SPLIT RAIL POOL ENCLOSURE FENCE AND GATES | (Symbol 5) |
| 6. FIELDSTONE SEATWALL WITH STONE CAP | (Symbol 6) |
- *** SEE L-3.0 FOR INSTALLATION DETAILS



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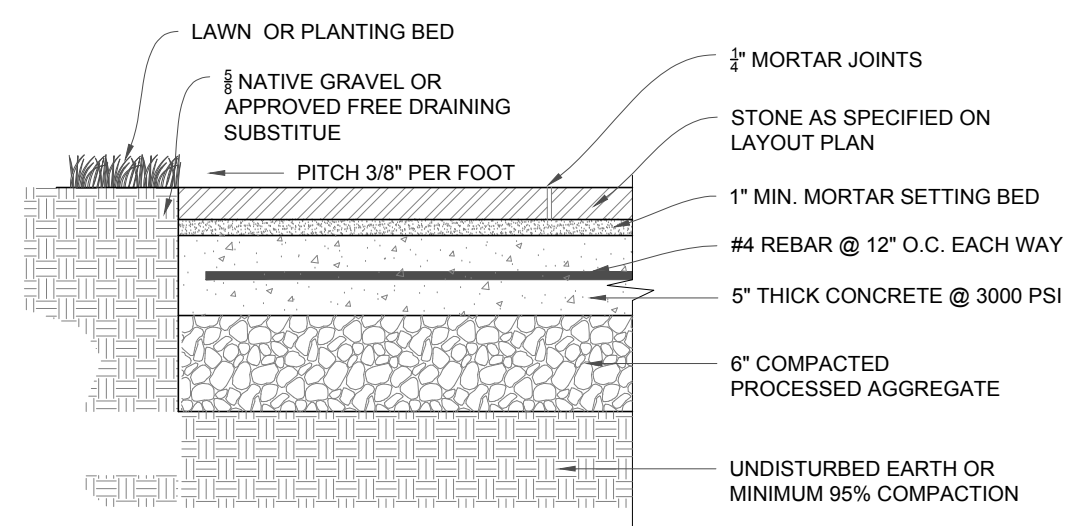
revision:
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PETRENKO RESIDENCE
 33 WOODLAND ROAD
 BEDFORD, NY
 TOWN OF NORTH CASLLE

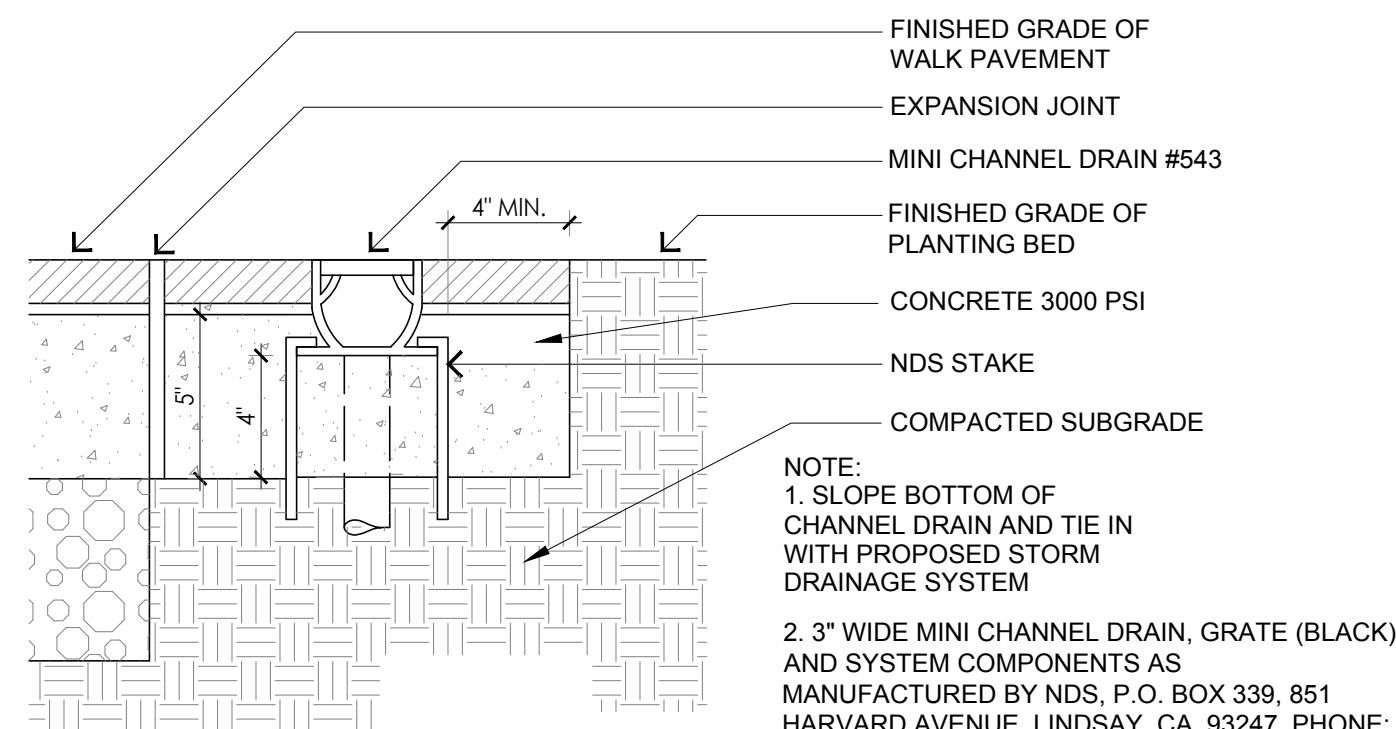
LAYOUT AND GRADING PLAN

job number: xxx
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 drawn by: dpp
 drawing number: **L-2.0**

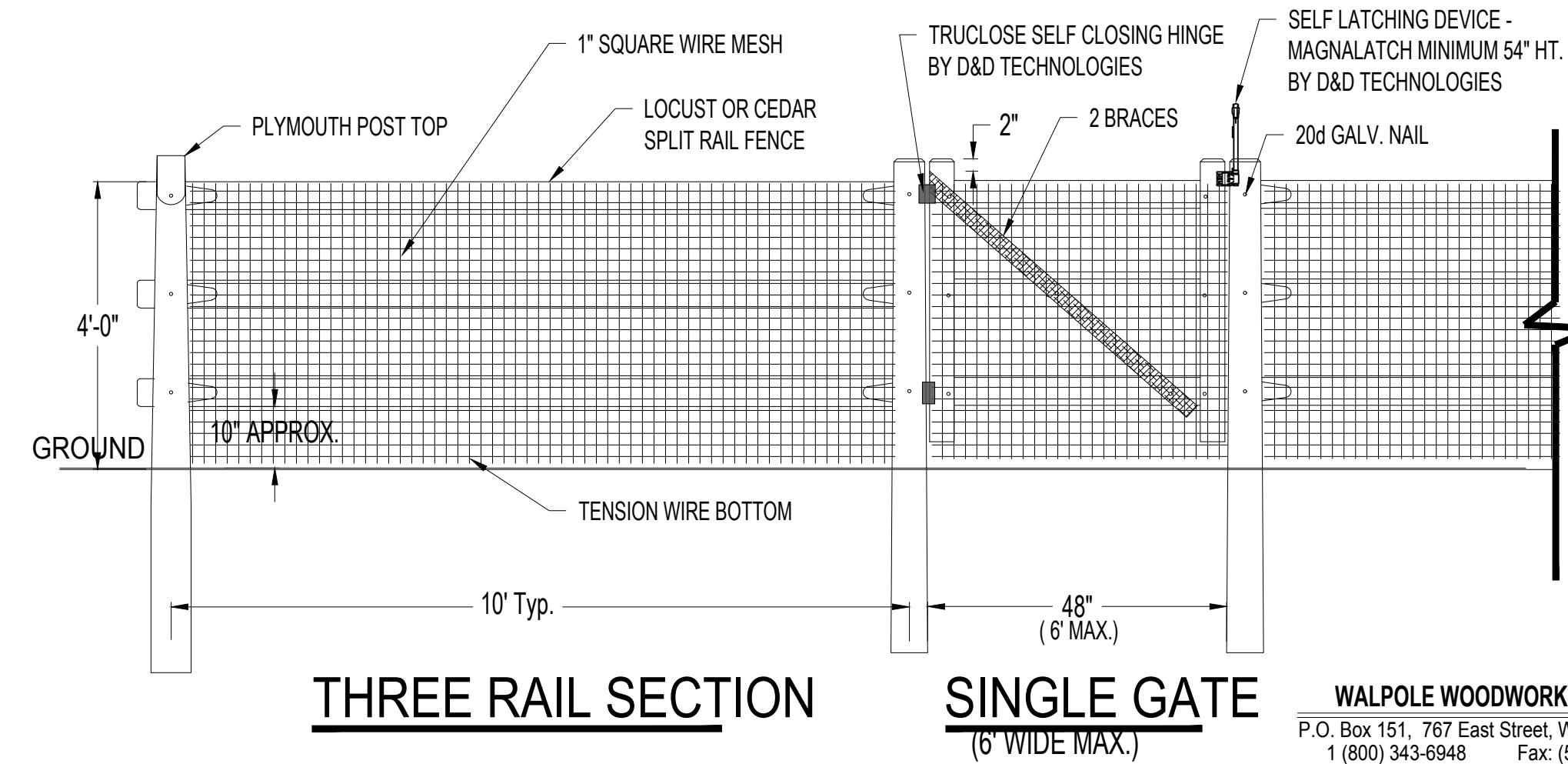




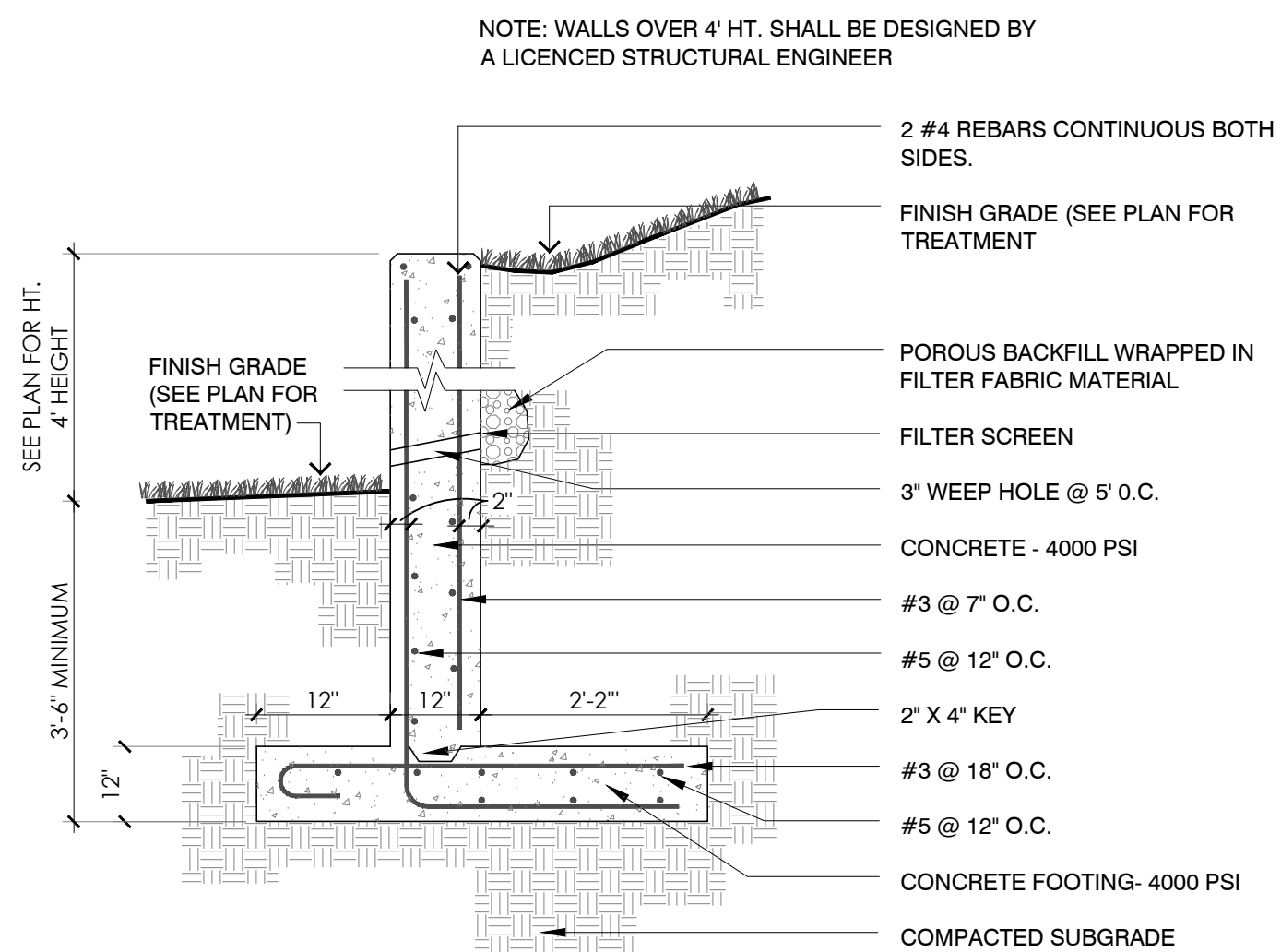
1 STONE PAVING ON CONCRETE BASE WITH J-DRAIN
SCALE = N.T.S.



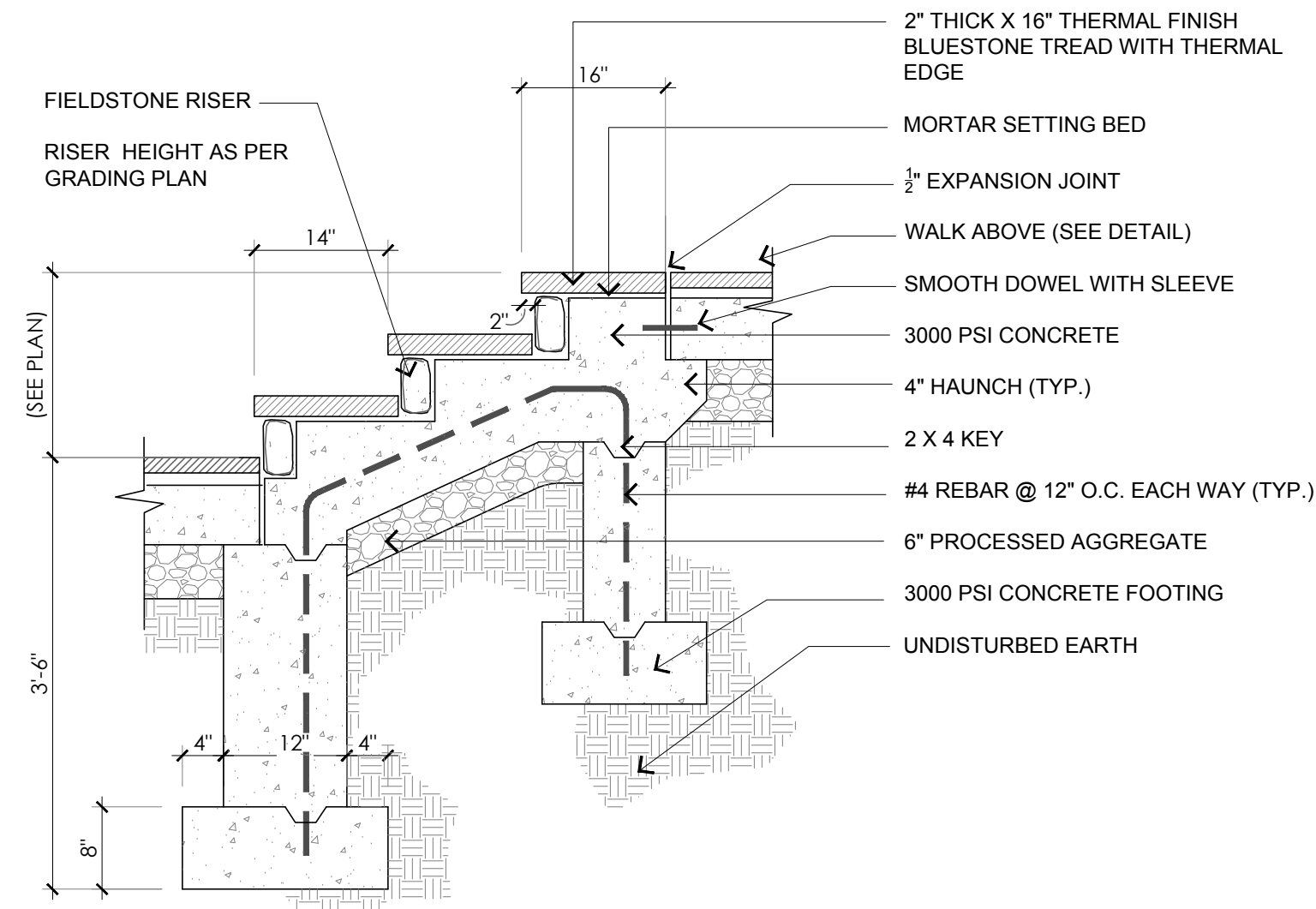
2 MINI CHANNEL DRAIN
SCALE = N.T.S.



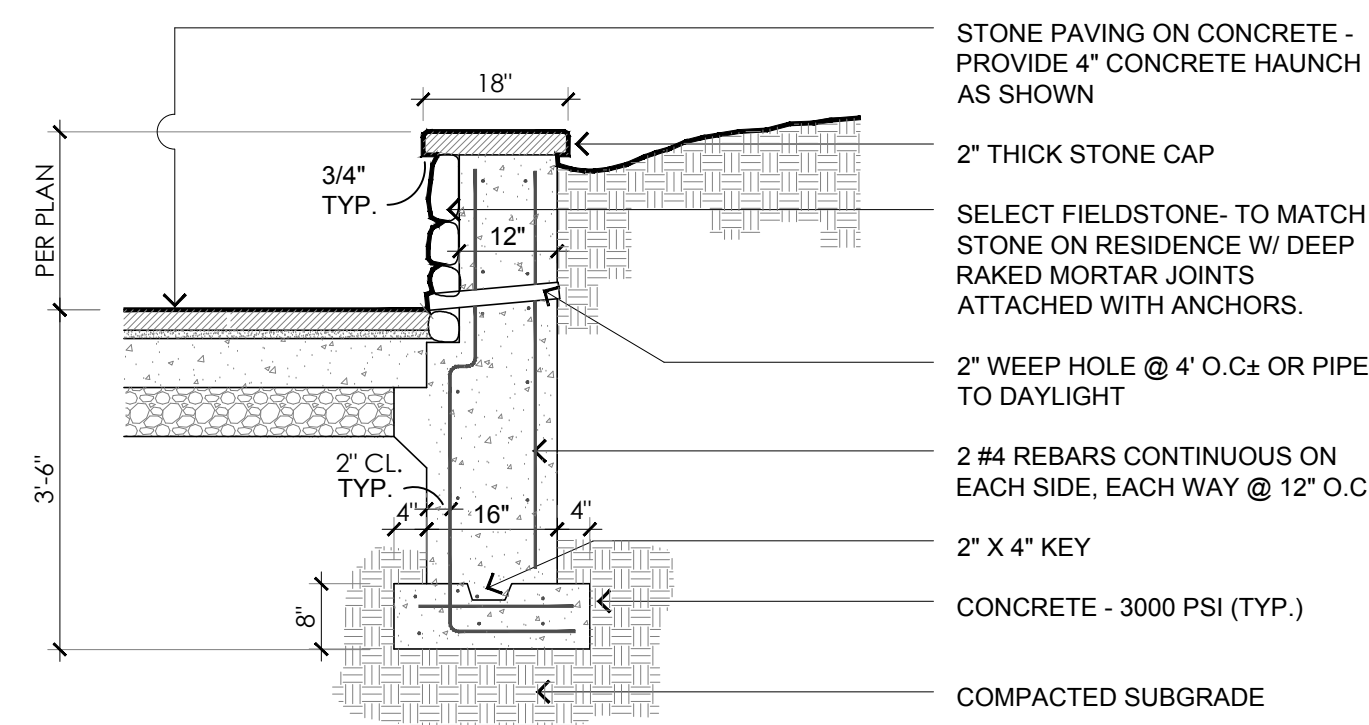
5 SPLIT RAIL FENCE WITH 1" WIRE MESH
SCALE = N.T.S.



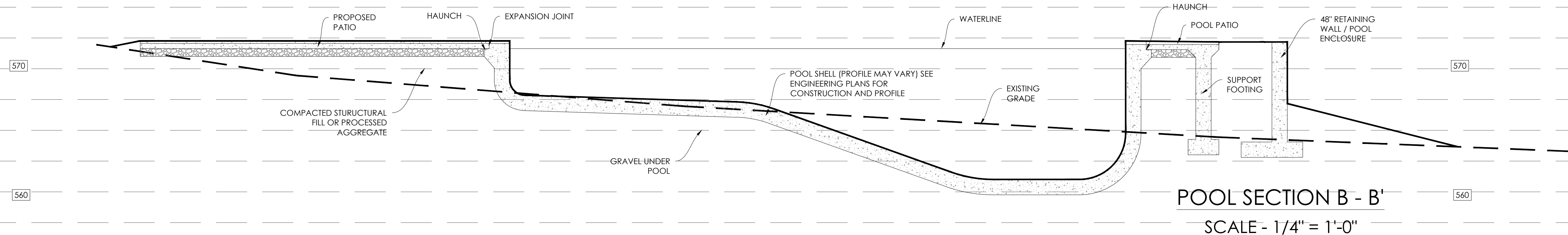
3 CONCRETE RETAINING WALL
SCALE = N.T.S.



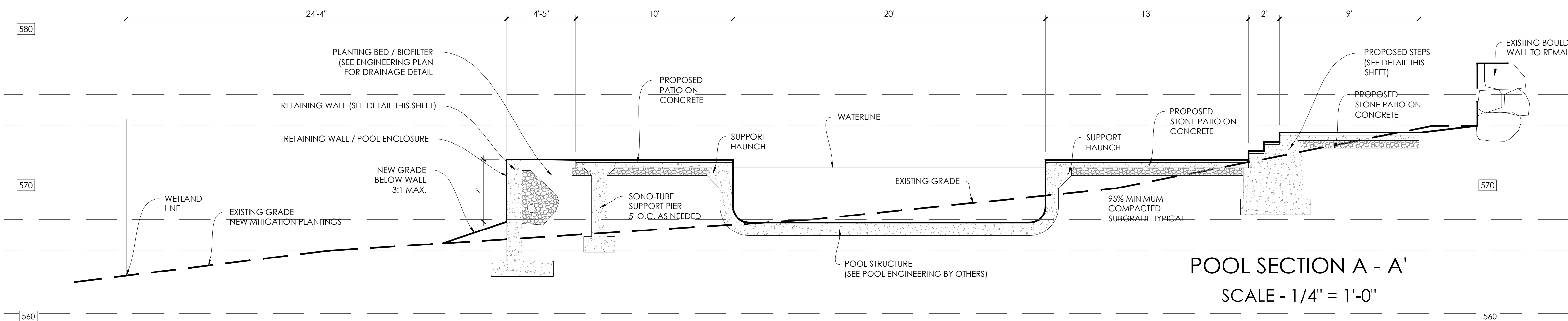
4 BLUESTONE STEPS AND FIELDSTONE RISERS
SCALE = N.T.S.



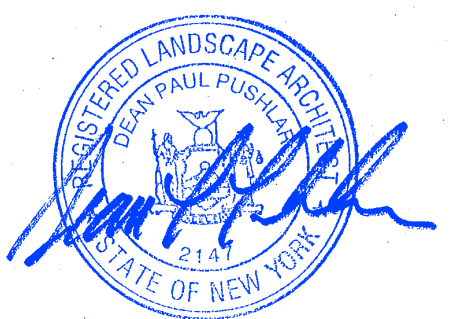
6 FIELDSTONE SEAT WALL WITH STONE CAP
SCALE = N.T.S.



POOL SECTION B - B'
SCALE - 1/4" = 1'-0"



POOL SECTION A - A'
SCALE - 1/4" = 1'-0"



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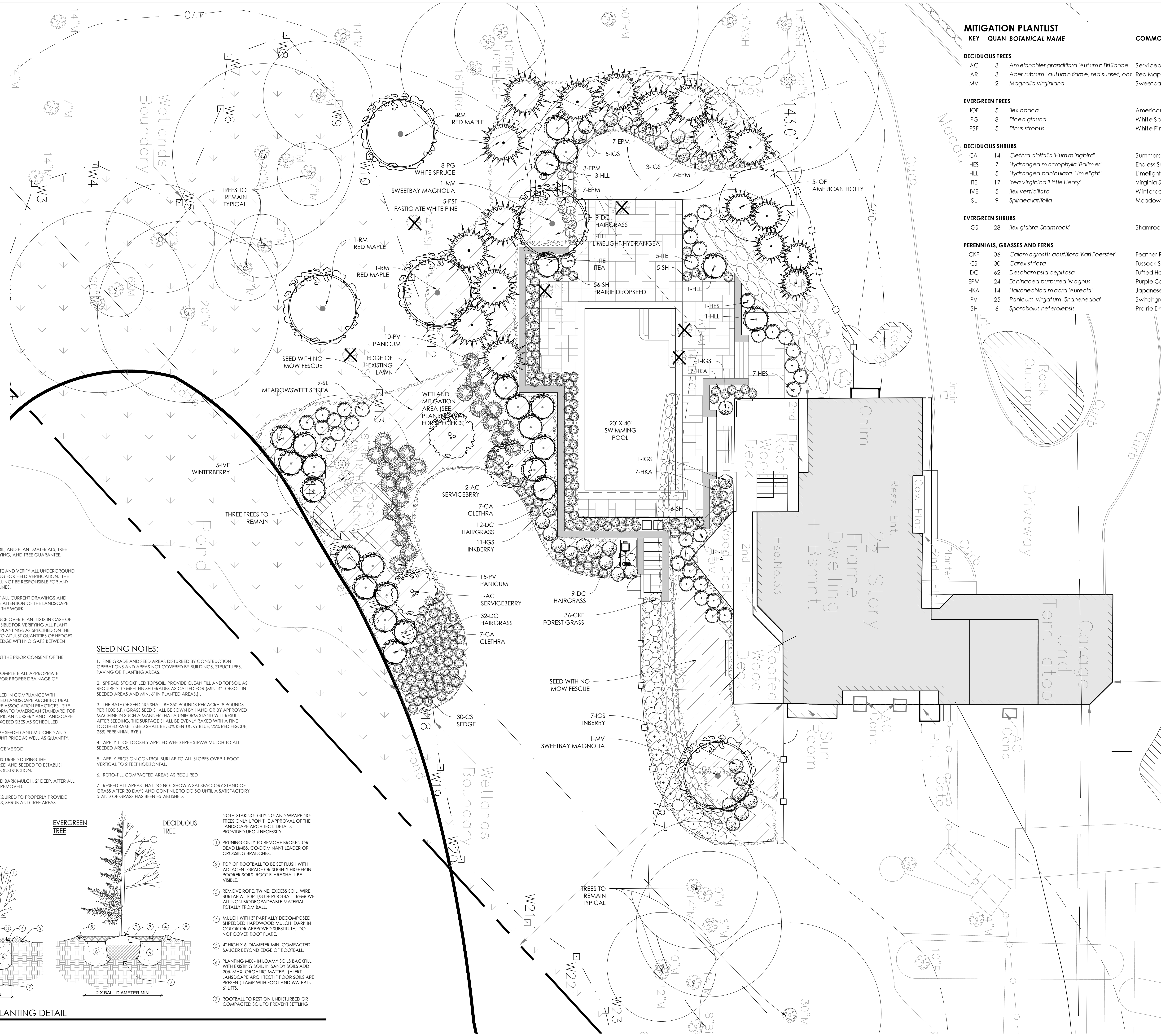
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33 WOODLAND ROAD
BEDFORD, NY
TOWN OF NORTH CASLLE

CONSTRUCTION
DETAILS

job number: xxx
scale: as shown
drawn by: dpp

drawing number: **L-3.0**

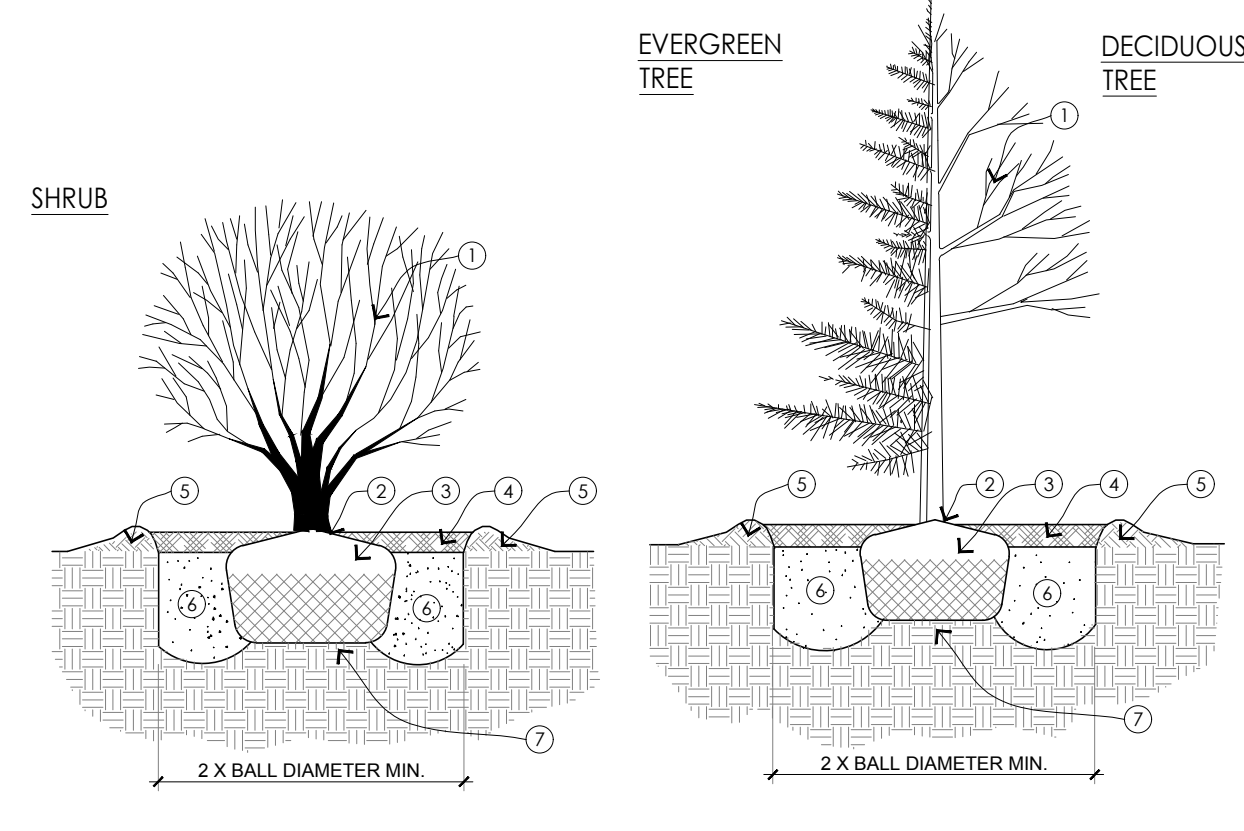


KEY	QUAN	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES					
AC	3	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	Serviceberry	5-6 clump	B&B white april \$ 937.50
AR	3	<i>Acer rubrum</i> 'autumn flame, red sunset, oct'	Red Maple	2-2.5' cal.	B&B \$ 1,500.00
MV	2	<i>Magnolia virginiana</i>	Sweetbay	6-8' ht.	B&B white may/june \$ 925.00
EVERGREEN TREES					
IOF	5	<i>Ilex opaca</i>	American Holly	5-6' ht.	B&B \$ 2,937.50
PG	8	<i>Picea glauca</i>	White Spruce	7-8' ht.	B&B \$ 3,900.00
PSF	5	<i>Pinus strobus</i>	White Pine	7-8' ht.	B&B \$ 2,325.00
DECIDUOUS SHRUBS					
CA	14	<i>Clethra alnifolia</i> 'Hummingbird'	Summersweet	#3 cont.	white jul/aug \$ 840.00
HES	7	<i>Hydrangea macrophylla</i> 'Balmier'	Endless Summer Hydrangea	#3 cont.	pink to blue july/sept \$ 420.00
HLL	5	<i>Hydrangea paniculata</i> 'Limelight'	Limelight Hydrangea	#3 cont.	5' o.c. green jul/sept \$ 300.00
ITE	17	<i>Itea virginica</i> 'Little Herry'	Virginia Sweetspire	#3 cont.	4' o.c. white jun/jul \$ 1,020.00
IVE	5	<i>Ilex verticillata</i>	Winterberry	#3 cont.	5' o.c. green jun/jul \$ 300.00
SL	9	<i>Spiraea latifolia</i>	Meadowsweet Spirea	#2 cont.	4' o.c. whypink june \$ 315.00
EVERGREEN SHRUBS					
IGS	28	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	#3 cont.	18-21 \$ 1,260.00
PERENNIALS, GRASSES AND FERNS					
CKF	36	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Feather Reed Grass	#1 cont.	2' o.c. \$ 720.00
CS	30	<i>Carex stricta</i>	Tussock Sedge	#1 cont.	2' o.c. \$ 600.00
DC	62	<i>Deschampsia cespitosa</i>	Tufted Hair Grass	#1 cont.	18' o.c. \$ 1,240.00
EPM	24	<i>Echinacea purpurea</i> 'Magnus'	Purple Coneflower	#1 cont.	18' o.c. jul/aug \$ 420.00
HKA	14	<i>Hakonechloa macrochaeta</i> 'Aureola'	Japanese Forest Grass	#1 cont.	24' o.c. yellow \$ 385.00
PV	25	<i>Panicum virgatum</i> 'Shanenedoa'	Switchgrass	#3 cont.	4' o.c. fall \$ 1,125.00
SH	6	<i>Sporobolus heterolepis</i>	Prairie Dropseed	#1 cont.	30' o.c. fall \$ 120.00

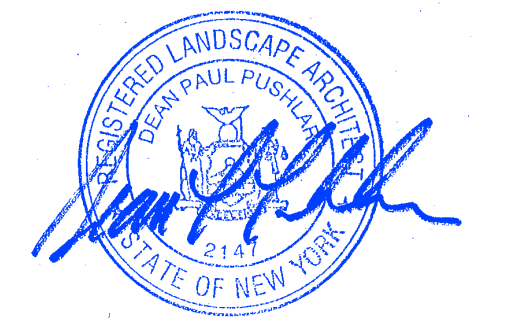
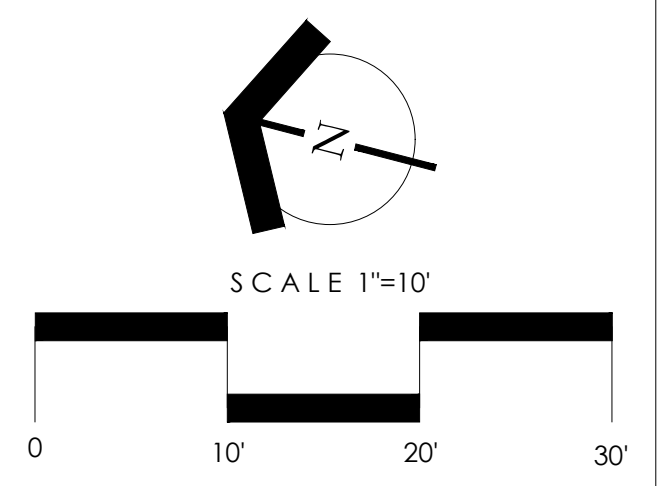
2:1 MITIGATION CALCULATIONS
 NEW IMPERVIOUS SURFACES - 2564 S.F. ±
 NEW PLANTING AREAS - 5600 S.F. ±

- PLANTING NOTES:**
1. ALL BIDS INCLUDE SITE PREPARATION, SOIL, AND PLANT MATERIALS, TREE PITS, INSTALLATION, FERTILIZER, MULCH, GUYING, AND TREE GUARANTEE, UNLESS OTHERWISE STATED.
 2. LANDSCAPE CONTRACTOR IS TO LOCATE AND VERIFY ALL UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO DIGGING FOR FIELD VERIFICATION. THE OWNER AND LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO UTILITY LINES OR IRRIGATION LINES.
 3. LANDSCAPE CONTRACTOR IS TO VERIFY ALL CURRENT DRAWINGS AND CHECK DISCREPANCIES AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WITH THE WORK.
 4. PLANTING PLANS SHALL TAKE PRECEDENCE OVER PLANT LISTS IN CASE OF DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES NECESSARY TO COMPLETE THE PLANTINGS AS SPECIFIED ON THE PLANTING PLAN. CONTRACTOR(OWNER) TO ADJUST QUANTITIES OF HEDGES AS NEEDED TO ACHIEVE A CONTINUOUS HEDGE WITH NO GAPS BETWEEN SHRUBS.
 5. NO CHANGES ARE TO BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT AND OWNER.
 6. PROVIDE ALL TOPSOIL NECESSARY TO COMPLETE ALL APPROPRIATE PLANTINGS AND BERMS AND TO PROVIDE FOR PROPER DRAINAGE OF PLANTING AREAS.
 7. ALL PLANT MATERIALS ARE TO BE INSTALLED IN COMPLIANCE WITH STANDARDS AS ESTABLISHED BY RECOGNIZED LANDSCAPE ARCHITECTURAL AND AMERICAN NURSERY AND LANDSCAPE ASSOCIATION PRACTICES. SIZE AND GRADING STANDARDS SHALL CONFORM TO "AMERICAN STANDARD FOR NURSERY STOCK", SPONSORED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANTS SHALL EQUAL OR EXCEED SIZES AS SCHEDULED.
 8. ALL AREAS INDICATED AS LAWN SHALL BE SEEDED AND MULCHED AND RE-SEEDED TO ESTABLISH LAWN. PROVIDE UNIT PRICE AS WELL AS QUANTITY.
 9. ALL AREAS INDICATED AS SOD SHALL RECEIVE SOD
 10. ALL EXISTING AREAS AND NEW LAWN DISTURBED DURING THE CONSTRUCTION PROCESS SHALL BE REPAIRED AND SEEDED TO ESTABLISH LAWN FREE OF DEPRESSIONS CAUSED BY CONSTRUCTION.
 11. TOP ALL PLANTING BEDS WITH SHREDDED BARK MULCH, 2" DEEP. AFTER ALL MATERIAL HAS BEEN PLANTED AND WEEDS REMOVED.
 12. INSTALL NEW IRRIGATION SYSTEM AS REQUIRED TO PROPERLY PROVIDE 100% COVERAGE OF ALL NEW LAWN AREAS, SHRUB AND TREE AREAS.

- SEEDING NOTES:**
1. THE GRADE AND SEED AREAS DISTURBED BY CONSTRUCTION OPERATIONS AND AREAS NOT COVERED BY BUILDINGS, STRUCTURES, PAVING OR PLANTING AREAS.
 2. SPREAD STOCKPILED TOPSOIL. PROVIDE CLEAN FILL AND TOPSOIL AS REQUIRED TO MEET FINISH GRADES AS CALLED FOR (MIN. 4" TOPSOIL IN SEEDED AREAS AND MIN. 6" IN PLANTED AREAS).
 3. THE RATE OF SEEDING SHALL BE 300 POUNDS PER ACRE (8 POUNDS PER 1000 S.F.) GRASS SEED SHALL BE SOWN BY HAND OR BY APPROVED MACHINE IN SUCH A MANNER THAT A UNIFORM STAND WILL RESULT. AFTER SEEDING, THE SURFACE SHALL BE EVENLY RAKED WITH A FINE TOOTHED RAKE. (SEED SHALL BE 50% KENTUCKY BLUE, 25% RED FESCUE, 25% PERENNIAL RYE.)
 4. APPLY 1" OF LOOSELY APPLIED WEED FREE STRAW MULCH TO ALL SEEDED AREAS.
 5. APPLY EROSION CONTROL BURLAP TO ALL SLOPES OVER 1 FOOT VERTICAL TO 2 FEET HORIZONTAL.
 6. ROTO-TILL COMPACTED AREAS AS REQUIRED
 7. RESEED ALL AREAS THAT DO NOT SHOW A SATISFACTORY STAND OF GRASS AFTER 30 DAYS AND CONTINUE TO DO SO UNTIL A SATISFACTORY STAND OF GRASS HAS BEEN ESTABLISHED.



- NOTE:** STAKING, GUYING AND WRAPPING TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. DETAILS PROVIDED UPON NECESSITY.
1. PRUNING ONLY TO REMOVE BROKEN OR DEAD LIMBS. CO-DOMINANT LEADER OR CROSSING BRANCHES.
 2. TOP OF ROOTBALL TO BE SET FLUSH WITH ADJACENT GRADE OR SLIGHTLY HIGHER IN POORER SOILS. ROOT FLARE SHALL BE VISIBLE.
 3. REMOVE ROPE, TWINE, EXCESS SOIL, WIRE, BURLAP AT TOP 1/3 OF ROOTBALL. REMOVE ALL NON-BIODEGRADABLE MATERIAL TOTALLY FROM BALL.
 4. MULCH WITH 2" PARTIALLY DECOMPOSED SHREDDED HARDWOOD MULCH, DARK IN COLOR OR APPROVED SUBSTITUTE. DO NOT COVER ROOT FLARE.
 5. 4" HIGH X 6" DIAMETER MIN. COMPACTED SAUCER BEYOND EDGE OF ROOTBALL.
 6. PLANTING MIX - IN LOAMY SOILS BACKFILL WITH EXISTING SOIL. IN SANDY SOILS ADD 20% MAX. ORGANIC MATTER. (ALERT LANDSCAPE ARCHITECT IF POOR SOILS ARE PRESENT) TAMP WITH FOOT AND WATER IN 6" LIFTS.
 7. ROOTBALL TO REST ON UNDISTURBED OR COMPACTED SOIL TO PREVENT SETTLING.



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 TOWN OF NORTH CASLT

MITIGATION PLANTING PLAN

job number: xxx
 scale: as shown
 drawn by: dpp

drawing number: **L-4.0**



TOWN OF NORTH CASTLE
 WESTCHESTER COUNTY
 17 Bedford Road
 Armonk, New York 10504-1898

PLANNING DEPARTMENT
 Adam R. Kaufman, AICP
 Director of Planning

Telephone: (914) 273-3542
 Fax: (914) 273-3554
www.northcastlenv.com

GROSS LAND COVERAGE CALCULATIONS WORKSHEET

Application Name or Identifying Title: PETRENKO Date: 3/4/22

Tax Map Designation or Proposed Lot No.: 95.04-1-3

Gross Lot Coverage

- | | | |
|-----|---|-----------------------------|
| 1. | Total lot Area (Net Lot Area for Lots Created After 12/13/06): | <u>94,473[±]</u> |
| 2. | Maximum permitted gross land coverage (per Section 355-26.C(1)(a)): | <u>17,088.5[±]</u> |
| 3. | BONUS maximum gross land cover (per Section 355-26.C(1)(b)): | |
| | Distance principal home is beyond minimum front yard setback
<u>412.7</u> x 10 = | <u>4127[±]</u> |
| 4. | TOTAL Maximum Permitted gross land coverage = Sum of lines 2 and 3 | <u>21,215.5[±]</u> |
| 5. | Amount of lot area covered by principal building:
<u>2980</u> existing + <u>0</u> proposed = | <u>2980[±]</u> |
| 6. | Amount of lot area covered by accessory buildings:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 7. | Amount of lot area covered by decks:
<u>710</u> existing + <u>0</u> proposed = | <u>710[±]</u> |
| 8. | Amount of lot area covered by porches:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 9. | Amount of lot area covered by driveway, parking areas and walkways:
<u>9910</u> existing + <u>0</u> proposed = | <u>9910[±]</u> |
| 10. | Amount of lot area covered by terraces: (POOL PATIO)
<u>0</u> existing + <u>1480</u> proposed = | <u>1,480[±]</u> |
| 11. | Amount of lot area covered by tennis court, pool and mechanical equip:
<u>0</u> existing + <u>824</u> proposed = | <u>824[±]</u> |
| 12. | Amount of lot area covered by all other structures:
<u>0</u> existing + <u>0</u> proposed = | <u>0</u> |
| 13. | Proposed gross land coverage: Total of Lines 5 - 12 = | <u>15904[±]</u> |

If Line 13 is less than or equal to Line 4, your proposal complies with the Town's maximum gross land coverage regulations and the project may proceed to the Residential Project Review Committee for review. If Line 13 is greater than Line 4 your proposal does not comply with the Town's regulations.


 Signature and Seal of Professional Preparing Worksheet Date: 3/6/22



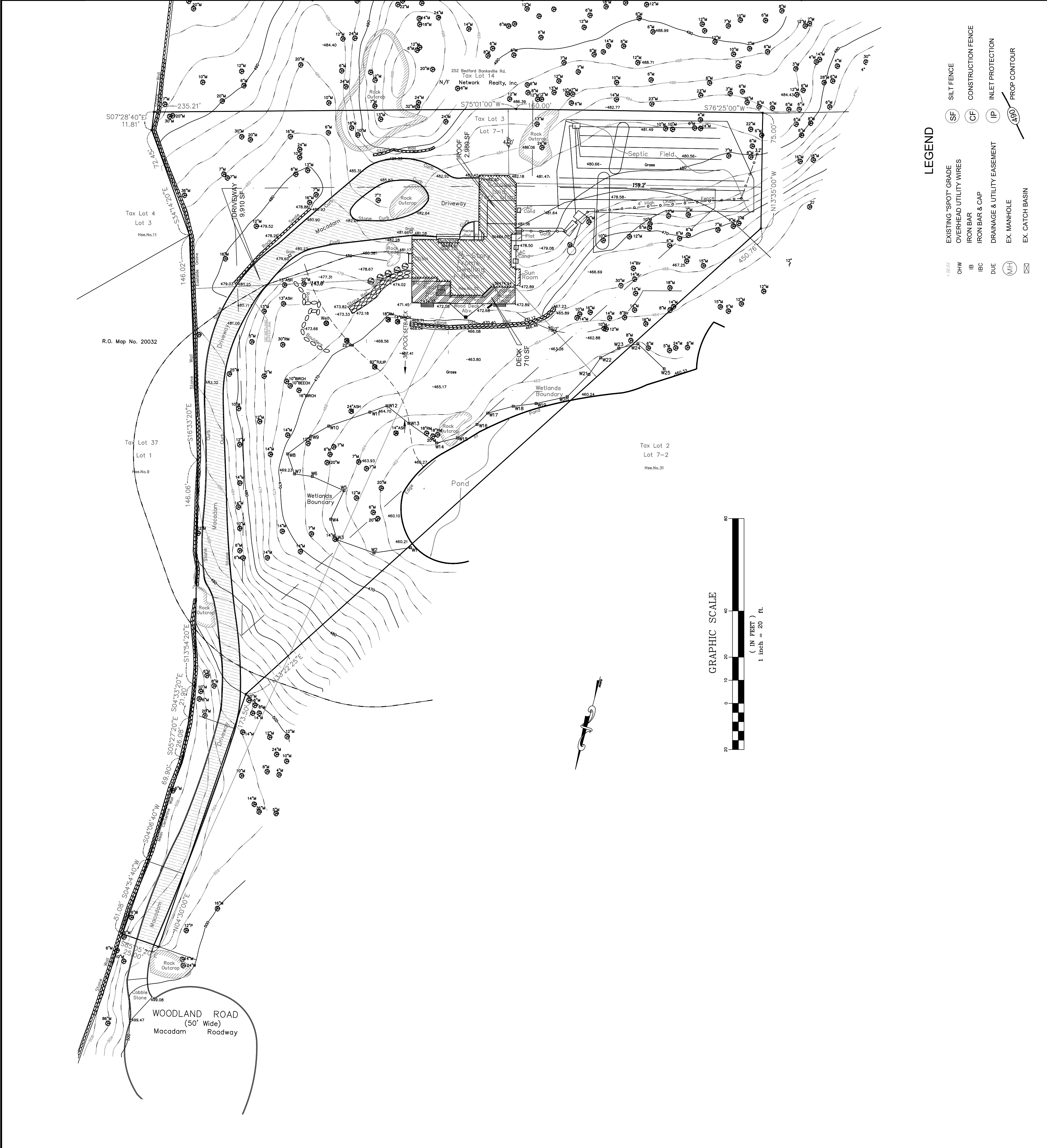
PROPOSED SWIMMING POOL
for
PETRENKO

EXISTING CONDITIONS

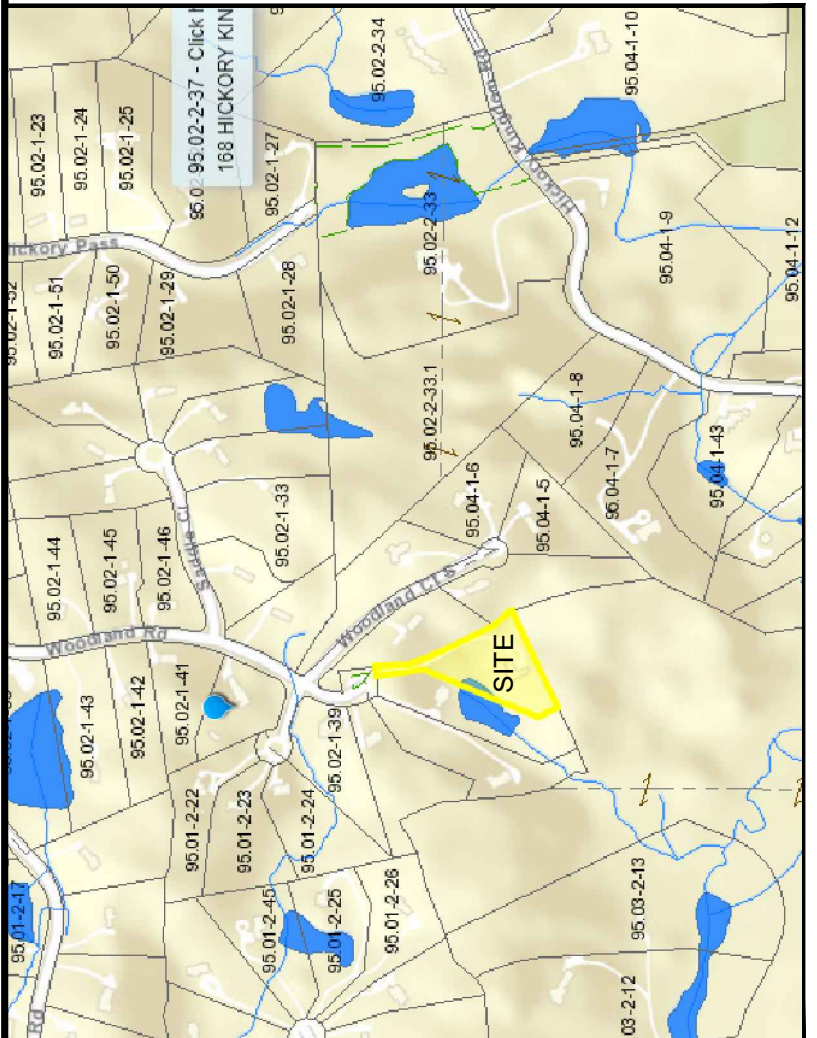
NATHANIEL J. HOLT, PE
CONSULTING ENGINEERS
592 ROUTE 22
PAWLING, NEW YORK 12564
PHONE: (914) 760-1800 FX: (772) 204-9553

DATE: _____
PROJECT NUMBER: PET-SWPPP
Original Date: March 9, 2022

SHEET: 1 of 3



- LEGEND**
- EXISTING "SPOT" GRADE
 - OVERHEAD UTILITY WIRES
 - IRON BAR
 - IRON BAR & CAP
 - DRAINAGE & UTILITY EASEMENT
 - EX. MANHOLE
 - EX. CATCH BASIN
 - SILT FENCE
 - CONSTRUCTION FENCE
 - INLET PROTECTION
 - PROP CONTOUR



OWNER APPLICANT: IGOR PETRENKO
ADDRESS: 33 WOODLAND COURT
BEDFORD (TOWN OF NORTH CASTLE), NY
PROPERTY ID: 95.04-1-3
ZONING DISTRICT: R-2A
FEMA DESIGNATION: ZONE X; 38119C0167F

- GENERAL NOTES:**
1. SURVEY INFORMATION (i.e. EXISTING LOT LINES, TOPOGRAPHY, ETC.) FROM SURVEY ENTITLED "PROPERTY AND TOPOGRAPHIC SURVEY DEPICTING 33 WOODLANDS ROAD, BEDFORD, NY, DATED MARCH 31, 2021 AND PREPARED BY RONALD PERSAUD, LS
 2. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION AND SHALL CONTACT "CALL BEFORE YOU DIG, INC." AT 1-800-982-7862, 2 DAYS BEFORE COMMENCING CONSTRUCTION.
 3. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE SECTIONS OF THE STATE OF NEW YORK AND TOWN OF NORTH CASTLE CODES AND SHALL TAKE PRECEDENT OVER THESE PLANS.
 4. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION AND THEREFORE SHOULD BE PRESUMED TO BE APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATIONS WITH TEST PITS PRIOR TO CONSTRUCTION. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 5. ALL PROPOSED DRAIN PIPING SHALL BE HDPE OF SIZE AS SPECIFIED ON THE DRAWING.
 6. LOCATION OF EXISTING SEWER TRENCHES FROM AN AS-BUILT DRAWING OBTAINED FROM WESTCHESTER COUNTY DEPARTMENT OF HEALTH RECORDS
 7. SEE LANDSCAPING PLANS BY DEAN PULSHAR, LS FOR DETAILS OF POOL FENCING, GARDEN WALLS, PROPOSED GRADING FOR RESPECTIVE CONSTRUCTION DETAILS.

GROSS LAND COVERAGE CALCULATIONS WORKSHEET*

AREA CATION NAME	PETRENKO	ZONING DISTRICT	R-2A	EXISTING	PROPOSED
TAX MAP DESIGNATION	S254-1-3			94,473 sf	94,473 sf
GROSS LOT COVERAGE				17,088.5 sf	NA
1. TOTAL LOT AREA				4,127 sf	NA
2. MAXIMUM PERMITTED GROSS LAND COVERAGE				2,860 sf	2,860 sf
3. BONUS MAXIMUM GROSS LAND COVER				0 sf	0 sf
4. TOTAL MAXIMUM PERMITTED GROSS LAND COVERAGE				2,860 sf	2,860 sf
5. AMOUNT OF LOT AREA COVERED BY PRINCIPAL BUILDING				710 sf	710 sf
6. AMOUNT OF LOT AREA COVERED BY ACCESSORY BLDGS				0 sf	0 sf
7. AMOUNT OF LOT AREA COVERED BY DECKS				0 sf	0 sf
8. AMOUNT OF LOT AREA COVERED BY PORCHES				0 sf	0 sf
9. AMOUNT OF LOT AREA COVERED BY DRIVEWAY, PARKING AREAS AND WALKWAYS				9,910 sf	9,910 sf
10. AMOUNT OF LOT AREA COVERED BY TERRACE/PATIO				0 sf	0 sf
11. AMOUNT OF LOT AREA COVERED BY TENNIS COURT, POOL & MECHANICAL EQUIP.				824 sf	824 sf
12. AMOUNT OF LOT AREA COVERED BY ALL OTHER STRUC.				0 sf	0 sf
13. PROPOSED GROSS LAND COVERAGE Total of Lines 5-12				13,800 sf	15,904 sf

ZONING CONFORMANCE TABLE - R 2A ZONE

MIN. LOT SIZE	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	2 Ac	2.169 Ac	2.169 Ac
MIN. FRONTAGE	150 ft	25 ft (Cul-De-Sac)	25 ft (Cul-De-Sac)
MIN. WIDTH	150 ft	150 ft	150 ft
MIN. DEPTH	150 ft	±300 ft	±300 ft
MIN. PRINCIPAL BUILDING SETBACKS			
FRONT YARD	50 ft	462.7 ft	462.7 ft
SIDE YARD	30 ft	78.7 ft (min)	78.7 ft (min)
REAR YARD	50 ft	43 ft	43 ft
MAX. HEIGHT (PRINCIPAL) (FEET/STORIES)	30 ft/3	<30 ft	<30 ft
MIN. PROPOSED POOL SETBACKS			
FRONT YARD	50 ft	---	411.7 ft
SIDE YARD	30 ft	---	78.2 ft (min)
REAR YARD	50 ft	---	138.6 ft

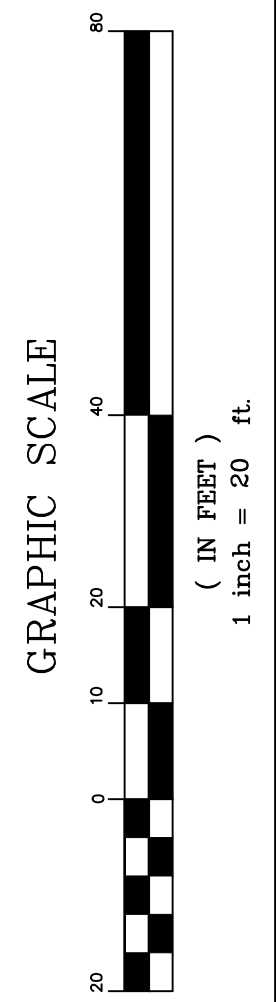
PROPOSED SWIMMING POOL
for
PETRENKO
23 WOODLAND COURT, (TNC) BEDFORD, NY

PROPOSED CONDITIONS

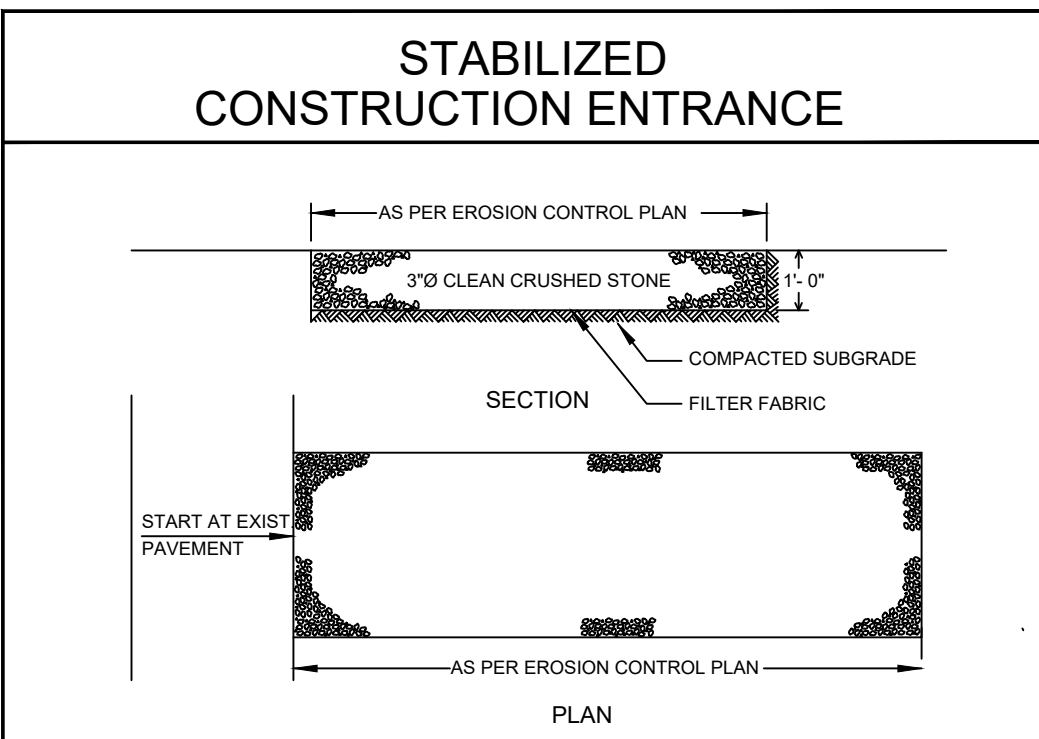
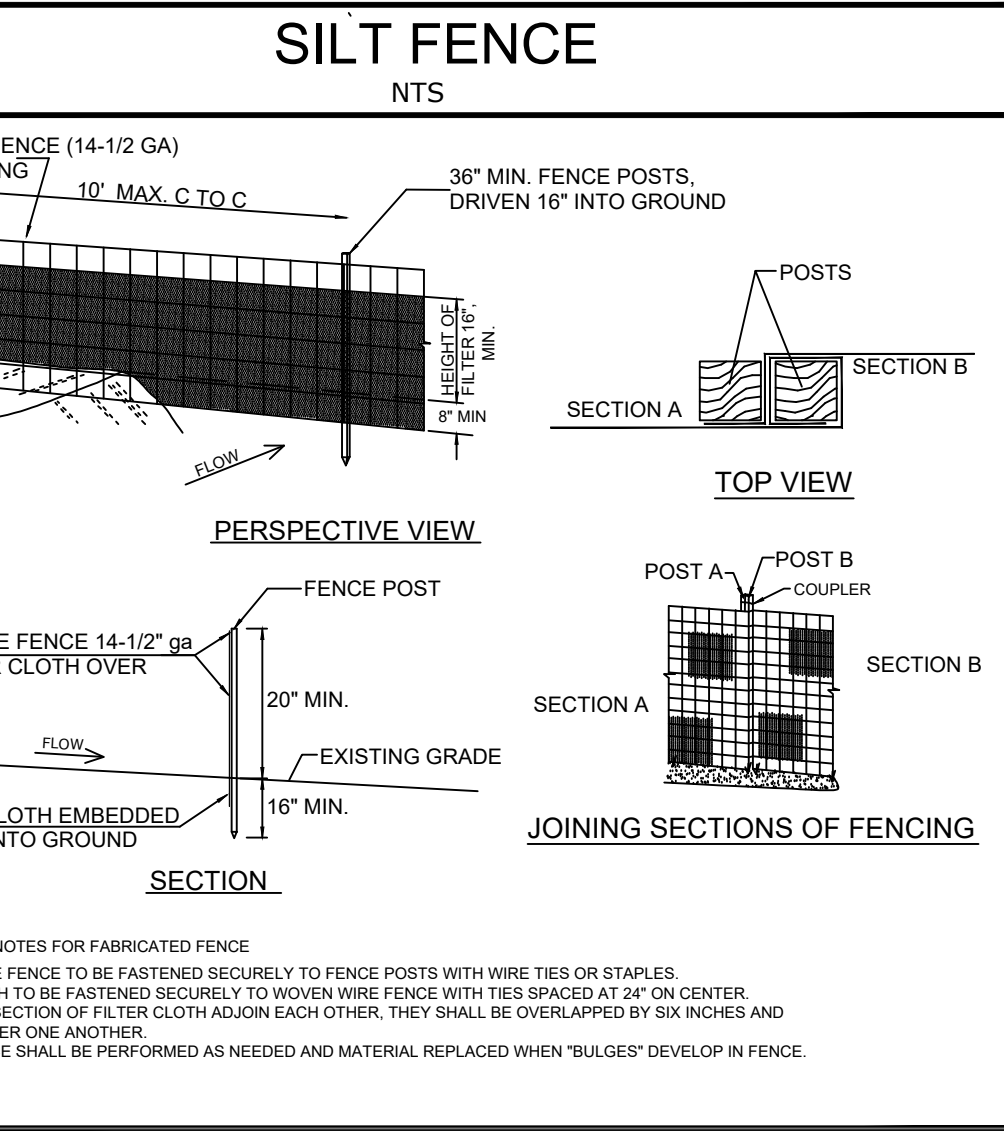
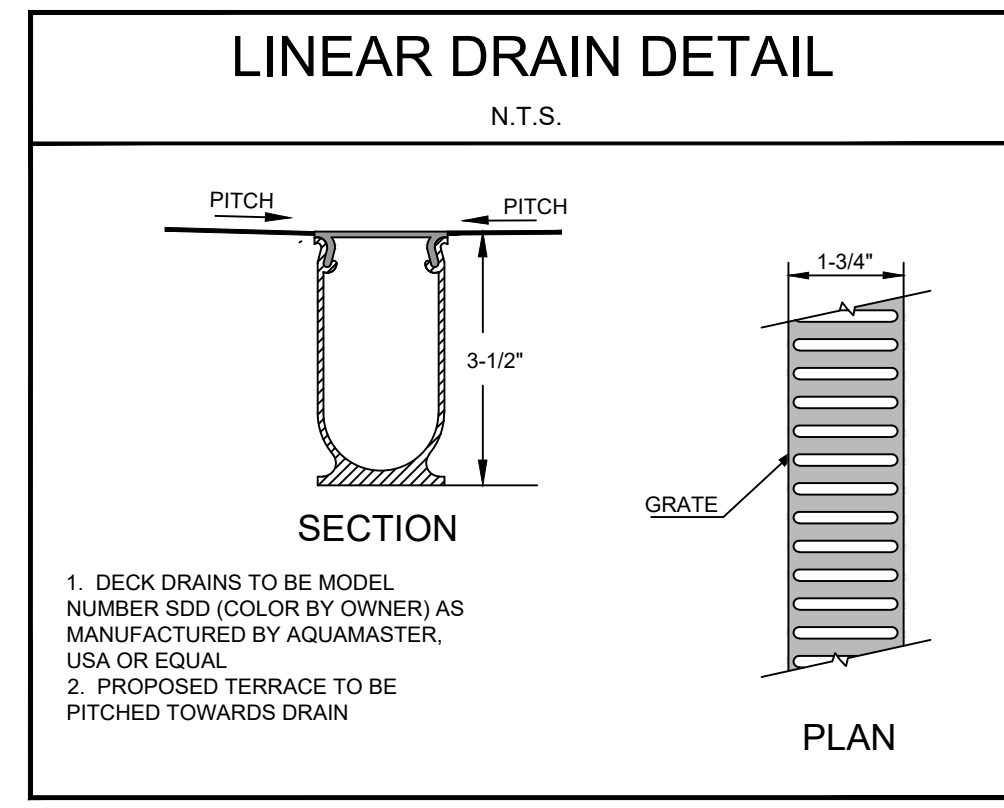
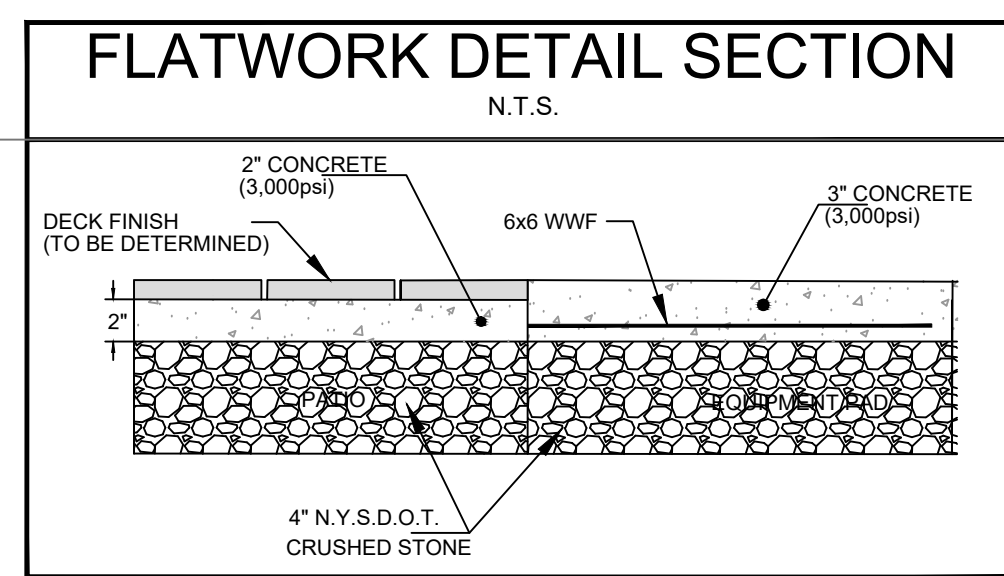
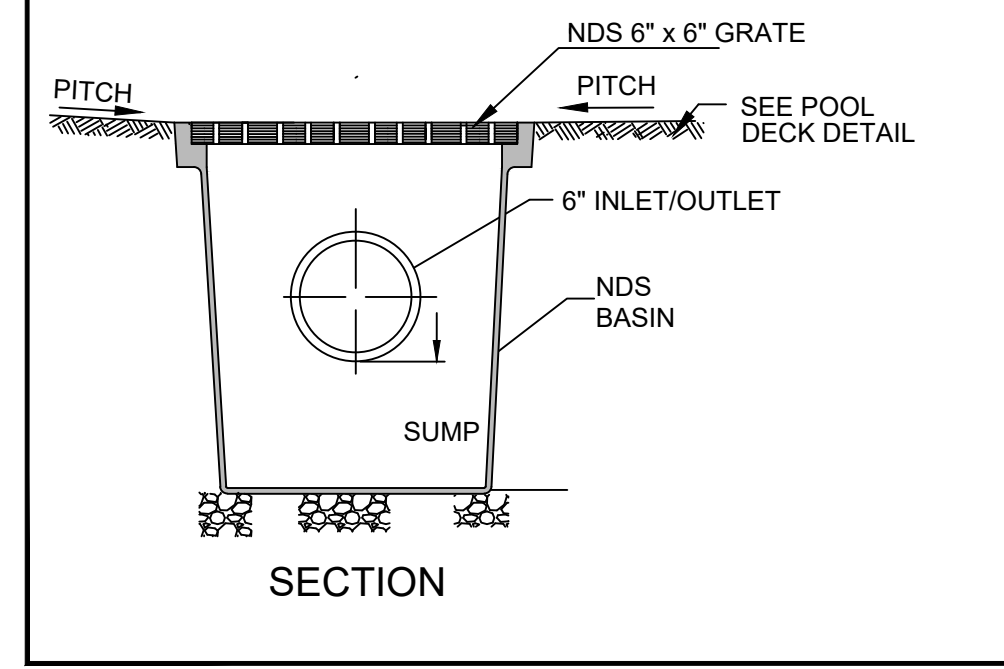
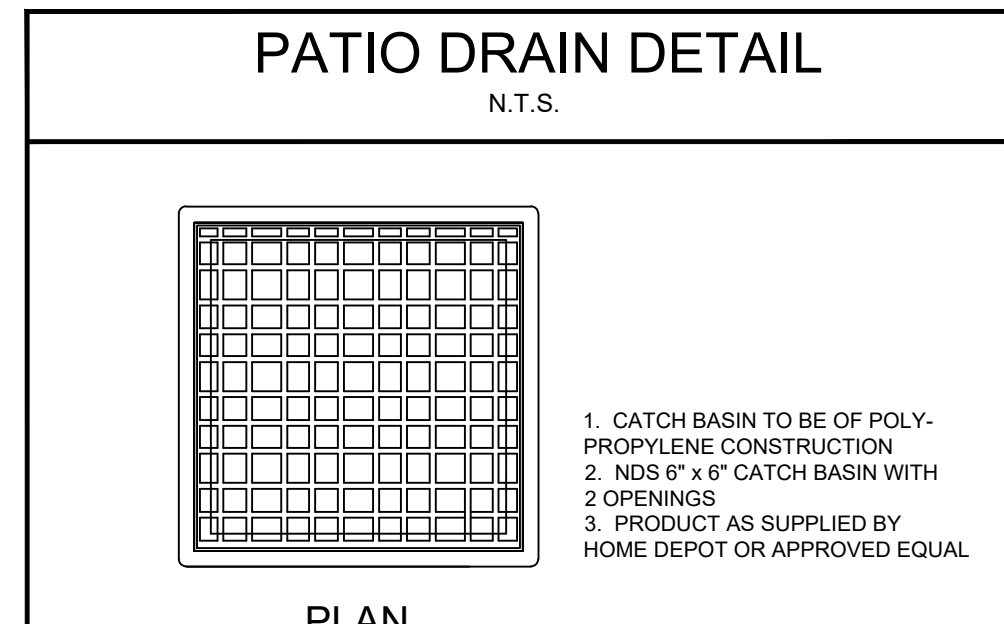
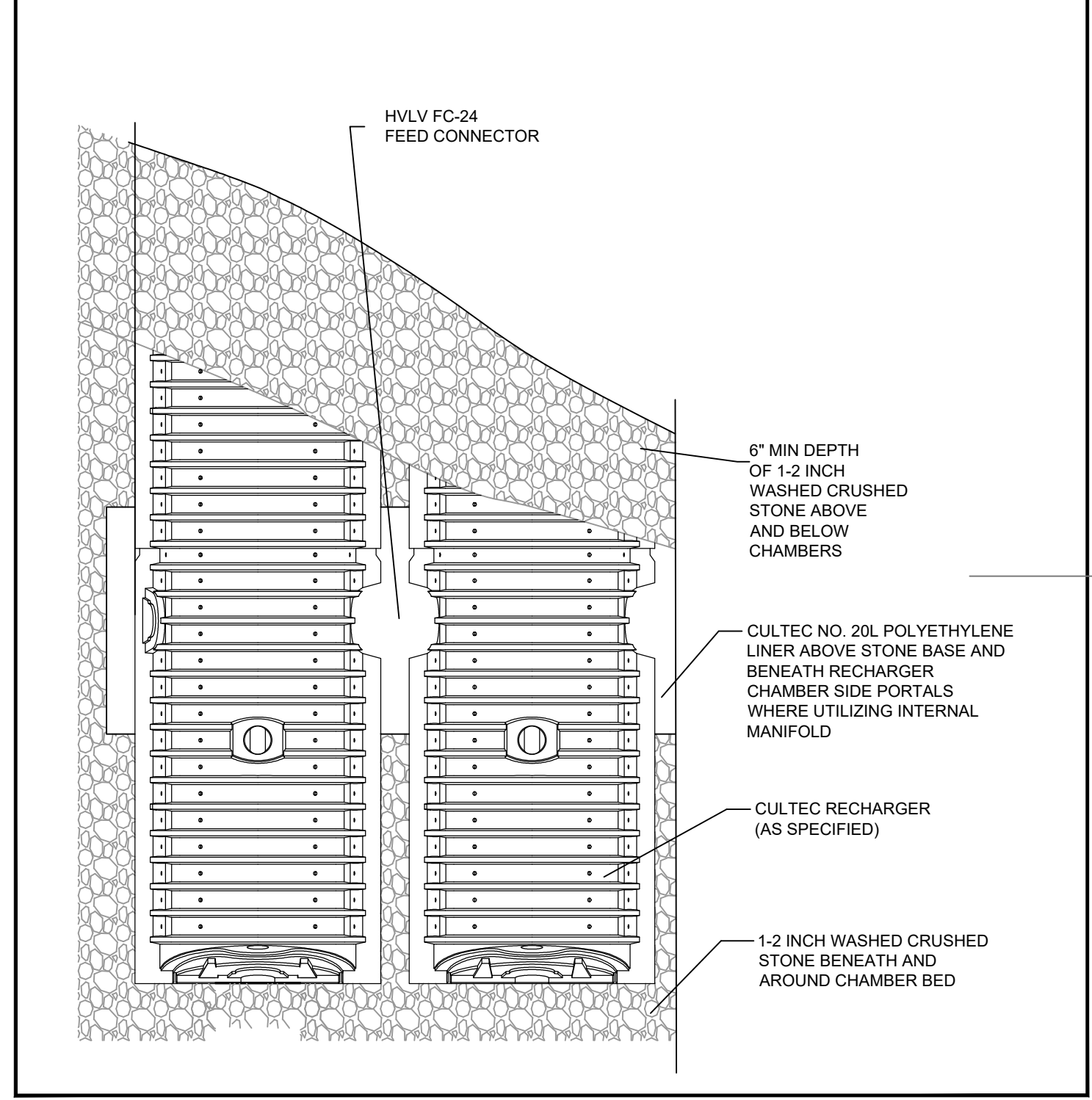
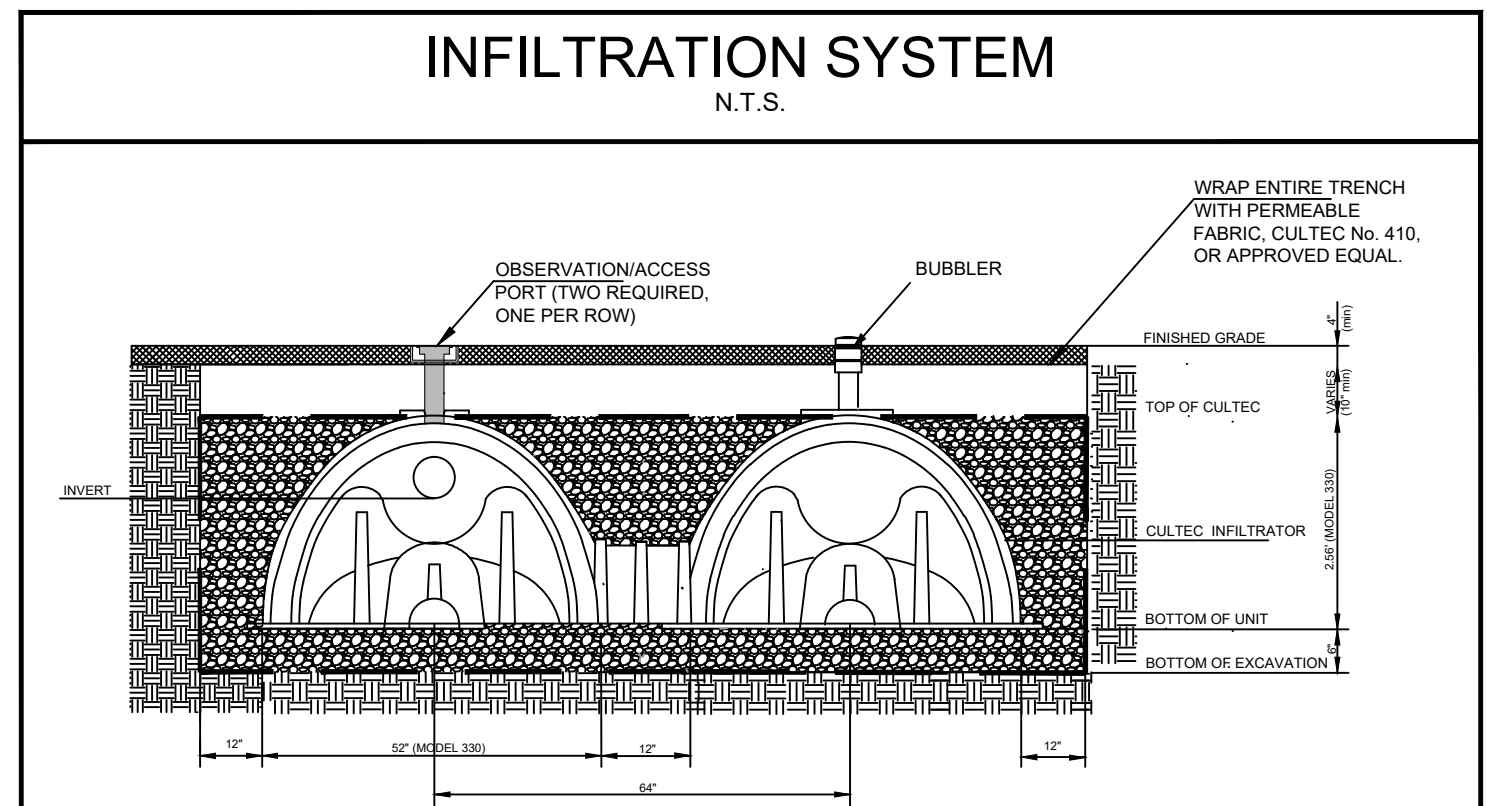
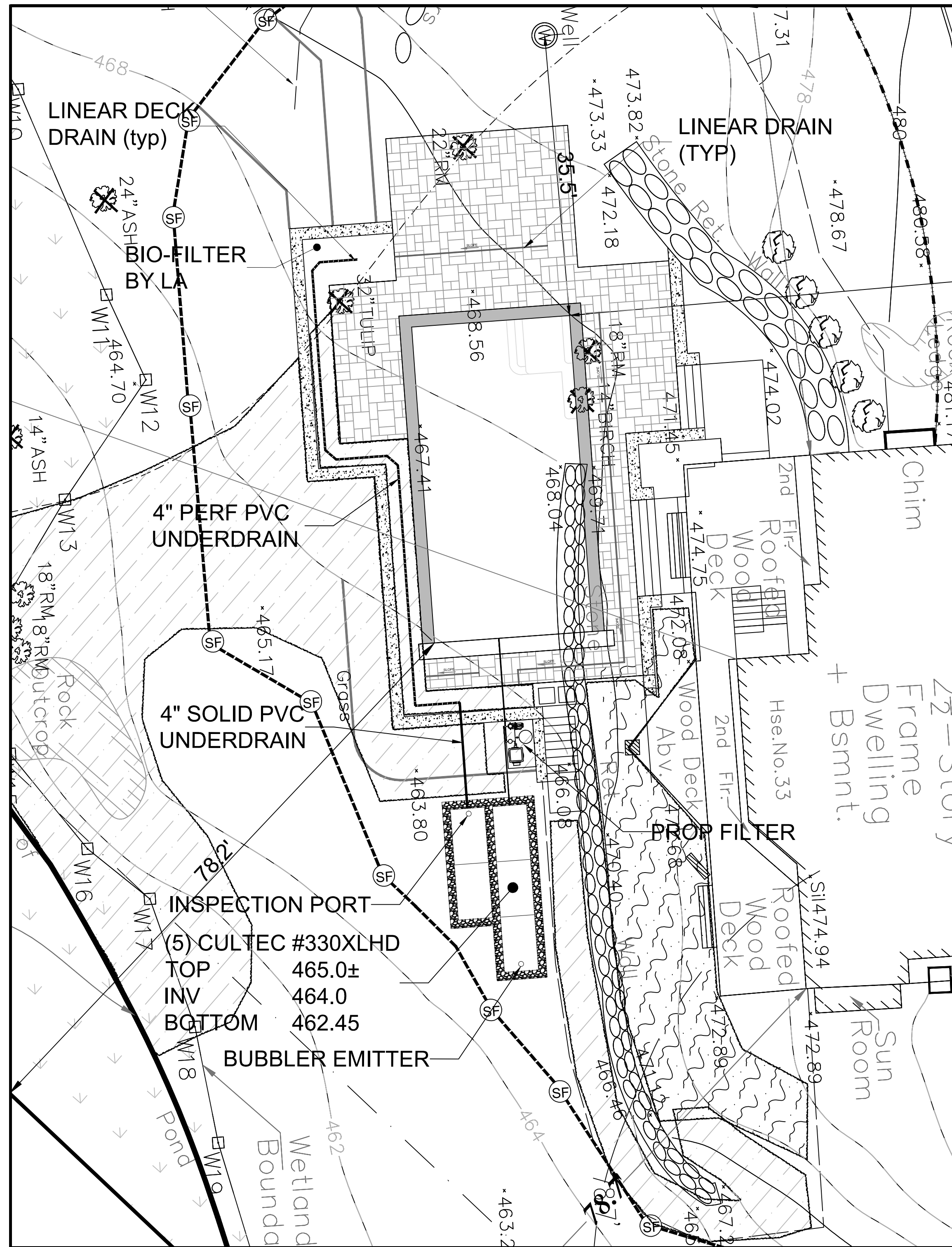
NATHANIEL J. HOLT, PE
CONSULTING ENGINEERS
582 ROUTE 22
PAWLING, NEW YORK 12564
PHONE: (914) 760-1800 FAX: (772) 204-9553

DATE	
Original Date: March 6, 2022	
Project Number: PET-SWPPP	
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of
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SHEET

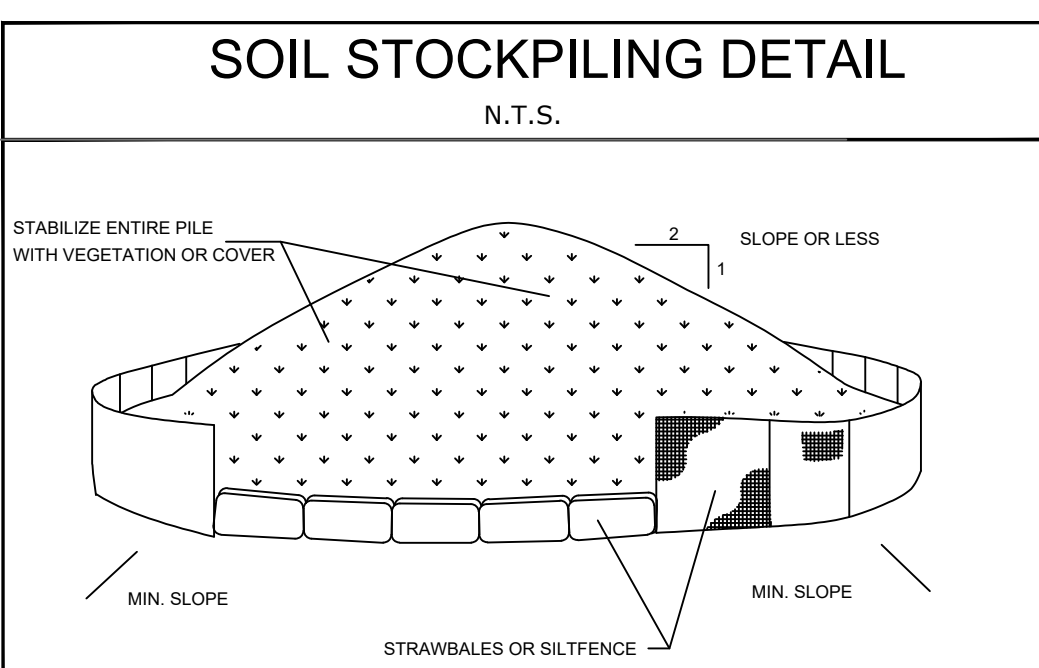


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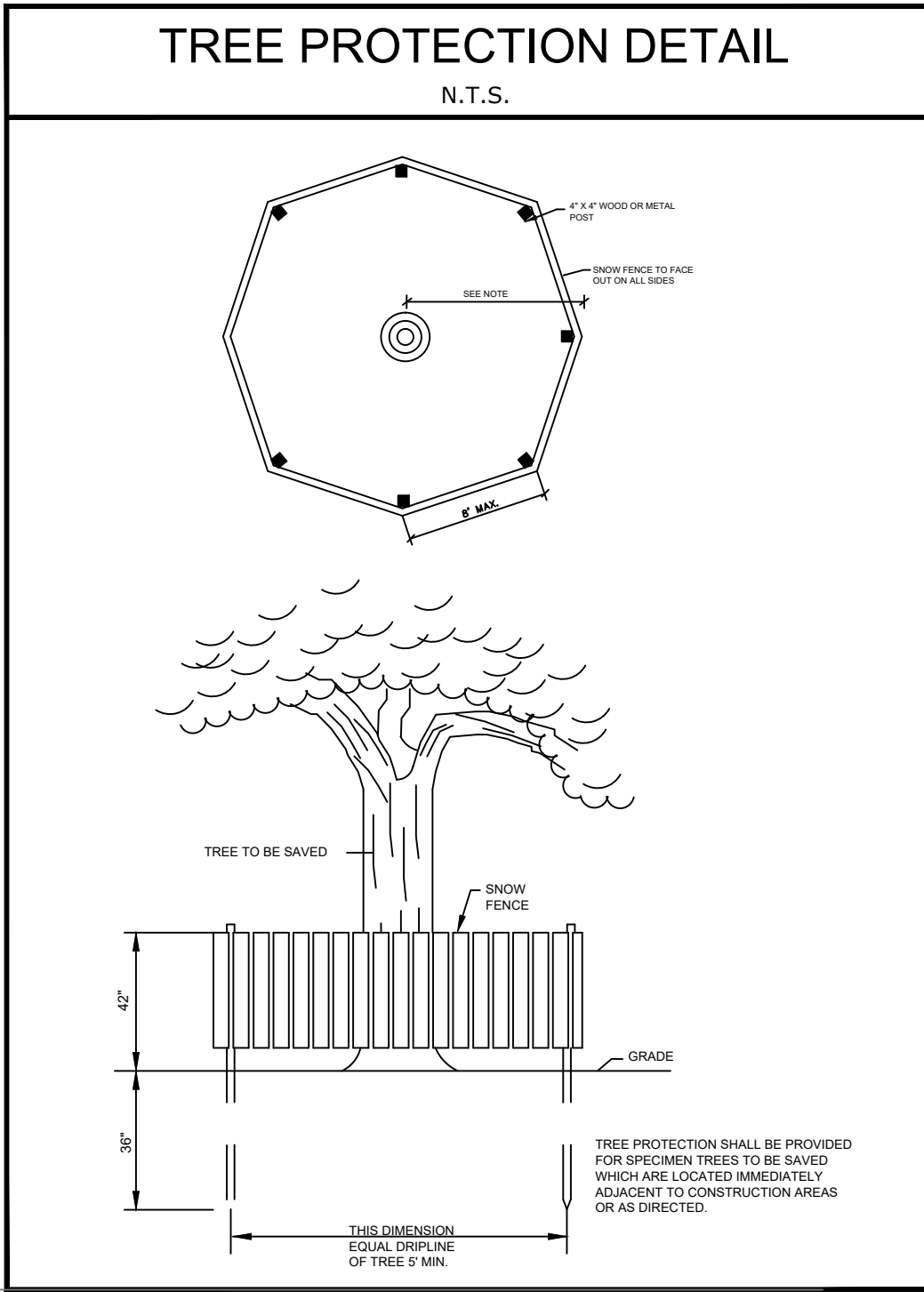
INSTALLATION NOTES

1. STONE SIZE - USE 3" CRUSHED STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS PER PLAN.
3. THICKNESS - AS DETAILED.
4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF DRIVEWAY.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. THE REPAIR AND/OR REMOVAL OF ANY MEASURES USED TO TRAP SEDIMENT, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO THE PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO THE PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE COMPLETED ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE COMPLETED AFTER EACH RAIN EVENT.



NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW HAYBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SOIL STOCKPILES SHALL BE LOCATED A MINIMUM OF 100' FROM WETLANDS AND WATERCOURSES.



STORMWATER ANALYSIS

REQUIRED:	CAPTURE 25 YR STORM EVENT (6") OVER INCREASE IN IMPERVIOUS AREA	
STUDY AREA:	9,055 SF	
EXISTING CONDITIONS		
PROPERTY AREA:	94,473 SF	
SOIL TYPE:	WdB - WOODBRIDGE	
PERVIOUS AREAS (HSG = C/D)		
LAWN-GOOD (RCN 73)	9,055 sf = 0.208 ac	
PROPOSED CONDITIONS		
POOL (NOT INCLUDED IN RUNOFF)	800 sf = 0.018 ac	
POOL PATIO (INCL EQ PAD)	1,504 sf = 0.035 ac	
LANDSCAPING	5,751 sf = 0.132 ac	
LAWN	1,000 sf = 0.023 ac	
TOTAL	9,055 sf = 0.208 ac	
RUNOFF CURVE NUMBER		
PATIO	0.035 ac x 98 = 3.43	
LAWN	0.023 ac x 73 = 1.68	
L'SCAPE	0.132 ac x 74 = 9.77	
	0.190 14.88 = 78.3	

LEGEND

- EXISTING "SPOT" GRADE
- OHW OVERHEAD UTILITY WIRES
- IB IRON BAR
- IBC IRON BAR & CAP
- DUE DRAINAGE & UTILITY EASEMENT
- EX. MANHOLE
- EX. CATCH BASIN

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RUNOFF VOLUME

THE INCREASE IN RUNOFF VOLUME DUE TO THE INCREASE IN IMPERVIOUS AREA IS:

(3.67" - 3.93") / 12 x 9,055 sf = 196 cf

WINTERIZATION DRAWDOWN

POOL VOLUME: 800 sf x 0.5ft = 400 cf

POOL DRAWDOWN VOLUME CONTROLS

PROPOSED MITIGATION

ONE CULTEC UNIT (MODEL 330XLHD) HAS THE CAPACITY OF 11.32 cft. THEREFORE:

400 cf / 11.32 cft = 35.3 fl = 5 Units;

VOLUME PROVIDED: 440 cf

****NO ALLOWANCE TAKEN FOR PERCOLATION. UPON TESTING, THE DESIGN WILL BE MODIFIED AS MAY BE NECESSARY**

POOL PATIO WILL DRAIN TO THE CULTEC UNITS AND INTO PROPOSED BIOFILTERS DESIGNED BY THE PROJECT LANDSCAPE ARCHITECT. T

PROPOSED SWIMMING POOL
for
PETRENKO

DETAILS

23 WOODLAND COURT, (TNC) BEDFORD, NY

NATHANIEL J. HOLT, PE
CONSULTING ENGINEERS

592 ROUTE 22
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PHONE: (914) 760-1800 FX: (772) 204-9553

SHEET: **3** of **3**

Original Date: March 6, 2022
Project Number: PET-SWPPP

National Flood Hazard Layer FIRMMette



73°39'16"W 41°10'30"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

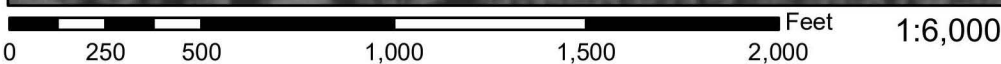
SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
MAP PANELS		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 3/6/2022 at 12:31 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



73°38'39"W 41°10'3"N



**Town of North Castle
Residential Project Review Committee**

17 Bedford Road Armonk, New York 10504
(914) 273-3542 (914) 273-3554 (fax)

RPRC COMPLETENESS REVIEW FORM

This form represents the standard requirements for a completeness review for all Residential Project Review Committee submissions. Failure to provide all of the information requested will result in a determination that the application is incomplete.

Project Name on Plan: Petrenko

Initial Submittal Revised Preliminary

Street Location: 33 Woodland Road, Bedford, NY

Zoning District: R-2A Property Acreage: 2.169 Tax Map Parcel ID: lot #3

Date: march 15, 2022

DEPARTMENTAL USE ONLY

Date Filed: _____ Staff Name: _____

Preliminary Plan Completeness Review Checklist

Items marked with a are complete, items left blank are incomplete and must be completed, "NA" means not applicable.

1. Plan prepared by a registered architect or professional engineer
2. Aerial photo (Google Earth) showing the applicant's entire property and adjacent properties and streets
3. Map showing the applicant's entire property and adjacent properties and streets
4. A locator map at a convenient scale
5. The proposed location, use and design of all buildings and structures
6. Existing topography and proposed grade elevations
7. Location of drives
8. Location of all existing and proposed site improvements, including drains, culverts, retaining walls and fences

RPRC COMPLETENESS REVIEW FORM

Page 2

- 9. Description of method of water supply and sewage disposal and location of such facilities
- 10. The name and address of the applicant, property owner(s) if other than the applicant and of the planner, engineer, architect, surveyor and/or other professionals engaged to work
- 11. Submission of a Zoning Conformance Table depicting the plan's compliance with the minimum requirements of the Zoning District
- 12. If a tree removal permit is being sought, submission of a plan depicting the location and graphical removal status of all Town-regulated trees within the proposed area of disturbance. In addition, the tree plan shall be accompanied by a tree inventory includes a unique ID number, the species, size, health condition and removal status of each tree.
- 13. If a wetlands permit is being sought, identification of the wetland and the 100-foot wetland buffer.

More information about the items required herein can be obtained from the North Castle Planning Department. A copy of the Town Code can be obtained from Town Clerk or on the North Castle homepage: <http://www.northcastleny.com/townhall.html>

_____ On this date, all items necessary for a technical review of the proposed site plan have been submitted and constitute a COMPLETE APPLICATION.