

**CITY OF SACRAMENTO
COMMUNITY DEVELOPMENT DEPARTMENT
DIRECTOR HEARING**
300 Richards Blvd, 3rd Floor, Sacramento, CA 95811

STAFF RECOMMENDATION

Staff recommends the Zoning Administrator deny a Conditional Use Permit and recommends the Design Director deny Site Plan and Design Review for the project known as **Z20-043**. Draft Findings of Fact for denial of the project are included below.

REQUESTED ENTITLEMENTS

1. **Conditional Use Permit** to establish a new storefront Cannabis Dispensary in an existing ±2,760-square-foot building on approximately 0.30 acres in the General Commercial Zone (C-2).
2. **Site Plan and Design Review** for exterior renovations to an existing building and site in the Citywide Design Review area.

PROJECT INFORMATION

Location:	8551 Folsom Boulevard (Council District 6)
Assessor's Parcel Number:	078-0180-004-0000
Applicant:	Kevin McCarty, Karapetyan Living Trust 701 12th Street Sacramento, CA 95814
Property Owner:	Garib Karapetyan, Joe Karapetyan, Karapetyan Living Trust 701 12th Street Sacramento, CA 95814
Project Planner:	Robert W. Williams, Associate Planner, (916) 808-7686
Existing Land Use of Site:	Commercial Building
General Plan Designation:	Suburban Corridor (SCOR)
Community Plan Area:	East Sacramento
Parking District:	Traditional Parking District
Historic District:	Not Applicable
Design Review Area:	Citywide
Special Planning District:	None (Note: Folsom Boulevard East SPD (FBE-SPD) pending)
Existing Zoning of Site:	C-2 (General Commercial Zone)
Future Zoning of Site:	C-2-SPD (pending)

Surrounding Land Use and Zoning (All properties below will be part of the FBE-SPD)

North:	C-2	Mobile Home Park
South:	M-2S, C-2-SWR	Light Rail Line, Industrial
East:	C-2	Mobile Home Park, Commercial
West:	C-2	Mobile Home Park, Commercial

Property Area:	±13,125 square feet / ±0.30 acres
Property Dimensions:	±125'W x ±105'L
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Existing Building Size:	2,760 square feet (one-story)
Parking Required per code:	6 parking spaces
Parking Provided:	9 parking spaces

Project Plans:	See Exhibit
Previous Planning Files:	None

Background

Existing Site

The subject property is located on the north side of Folsom Boulevard, 1,400 feet east of the intersection of Folsom Boulevard, Julliard Drive, and Florin Perkins Road. The subject project's vicinity contains commercial and office buildings and is zoned for General Commercial use (C-2). The south side of Folsom Boulevard contains the light rail line tracks. There are industrial properties south of the tracks that do not have access onto Folsom Boulevard.

The subject property contains a single building which dates back to at least 1957. It was constructed as a gas station, prior to its annexation into the City of Sacramento in 1964. It was remodeled for an office use in 1972 with the construction of a large addition and a mansard roof parapet. In the early 2000's the building was used as a childcare center and, until recently, contained a spa/massage tenant. There still is a portion of the original, attached fueling canopy on the front of the building as the outer portion was removed in 2010 due to auto damage. The existing building has stucco siding. There are five existing windows and two entry doors on the front façade of the building. The structure is listed as a 2,760-square-foot one-story building, per the Sacramento County Assessor.

The property is 125 feet wide and 105 feet deep. It has two existing driveways in the front which are left over from its days as a gas station. There are five parking spaces in front of the building. With the exception of its frontage on Folsom Boulevard, the property is surrounded by a mobile home park. The rear, east side of the property is accessed by the driveway through the adjacent mobile home park. The rear of the building has unpermitted parking spaces that were added when the facility was a childcare center.

Proposed Project and Analysis

Conditional Use Permit (CUP)

The applicant is requesting to convert the existing building into a storefront cannabis dispensary that will include a cannabis delivery service as well. This request requires a CUP from the Zoning Administrator, rather than the Planning and Design Commission, because there are no storefront dispensaries or sensitive uses within 600 feet of the site, and it is more than 300 feet from a residential zone. The applicant is not proposing any cannabis production uses (cultivation, distribution, and manufacturing) in the building.

Should the CUP be approved, the applicant is planning to relocate from his existing storefront at 6435 Florin Perkins Road. The Florin Perkins site will retain their CUP for a storefront dispensary, and it would be available for a potential new operator. If the Florin Perkins site does not continue to operate as a cannabis dispensary for two years or more, that CUP will expire.

Staff does not support the CUP request for a storefront dispensary as the site is within a pending Folsom Boulevard East Special Planning District (FBE-SPD) proposed for much of Folsom Boulevard. The FBE-SPD would run from Howe Avenue on the west side to the City limit on the east side. The FBE-SPD would prohibit cannabis dispensaries along with, somatic practitioners (massage parlors), check cashing centers, and tobacco retailers, with the intent of promoting a greater mix of land uses and attracting new private investment.

The pending FBE-SPD has been in process since December 2019 and the prohibition of cannabis dispensaries has been included in it since January 2020. On September 10, 2020, the Planning and Design Commission recommended approval of the FBE-SPD. Additionally, the FBE-SPD was again recommended for approval by the City's Law and Legislation Committee on October 13, 2020. At the time of writing, the FBE-SPD is proposed to be heard by City Council on November 17, 2020. Given the support of two separate, recommending bodies, Staff does not anticipate that it will be modified by City Council.

The Council hearing to approve the FBE-SPD is scheduled to be held two days before this CUP hearing before the Zoning Administrator. If Council approves it as is, staff recommends the CUP be denied as it would be in direct conflict with the proposed code change prohibiting dispensaries. The FBE-SPD would take effect on December 17, 2020, 30 days from Council approval. If at the time of the ZA hearing, the Council has not yet taken action, staff recommends the project be continued until the proposed code update is confirmed.

Site Plan and Design Review (SPDR)

The applicant is also requesting SPDR for renovations to improve the existing building and site and tailor it to the proposed cannabis retail use. The existing one-story building will be retained with no additions proposed. The stucco siding will remain as the primary siding. The mansard roof parapet will be removed and a new stucco parapet to match the existing building is proposed to screen rooftop mechanical. The two existing doors on the front of the building will be removed as well as couple of the windows. A new glass entry door will be installed on the right side of the front elevation. A decorative metal panel accent will be installed over a portion of the parapet. Three new pilasters with hardwood horizontal planks, new landscape trellis and decoctive light fixtures are also proposed. The rear of the building will retain stucco siding and new raised parapet.

The project site is proposed also be improved for use as a dispensary. The existing two driveways will be removed at the request of the Public Works Department and instead a single

center driveway will be installed. An existing planter on the east side will be removed to provide additional access. A new planter adjacent to the sidewalk will be provided and additional planters to provide required parking lot shading will be installed in front parking lot. The property will contain nine vehicle parking spaces. New bicycle parking spaces will be provided and a new pedestrian walkway from sidewalk will be added. The unpermitted parking on the rear side of the building will be removed and a new fenced loading enclosure will be added.

Staff has reviewed the proposed design and has determined that no deviations from development standards are required. The proposed project is in compliance with applicable design guidelines of the Citywide Commercial Design Principles. However, because the proposed renovations are specifically for a proposed cannabis dispensary that is recommended for denial, staff is recommending that the SPDR request also be denied. A renovation for a different use can be approved for SPDR in the future.

Agency Comments

The proposed project has been reviewed by the City's Public Works Department (DPW), the Utilities Department (DOU), the Parks and Recreation Department (Parks), and the Fire Department (Fire). Additionally, the Sacramento Municipal Utility District (SMUD), the Sacramento Area Regional Sanitation District (SRCSD), and the Sacramento Area Sewer District (SASD) have reviewed the project.

Public/Neighborhood Outreach and Comments

This project was routed to Folsom Boulevard Alliance, the College Glen Neighborhood Association, the Power Inn Alliance, and to Preservation Sacramento, who did not provide comments on the proposed project. On November 06, 2020, the site was posted for hearing, and all property owners and residents within 500 feet of the subject site, were mailed a public hearing notification. At the time of the writing of this report, staff received one email of opposition from a nearby property owner.

Environmental Considerations

CEQA does not apply to projects which a public agency rejects or disapproves (CEQA Guidelines, Section 15270(a)).

Director Hearing

The public hearing is scheduled for November 19, 2020. Staff recommends that the Zoning Administrator deny the CUP based on Findings of Fact and staff recommends that the Design Director deny the SPDR based on Findings of Fact.

Findings of Fact – Conditional Use Permit

1. The proposed use and its operating characteristics are not consistent with the proposed code Folsom Boulevard East Special Planning District (FBE-SPD) Special Planning District, a proposed specific plan; and
2. The proposed use and its operating characteristics are detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will result in the creation of a nuisance in that approval of this project would be in conflict with an approved City Council Ordinance set to take effect in mid-December.

Findings of Fact – Site Plan and Design Review

1. The design, layout, and physical characteristics of the proposed development are not consistent with the general plan and any applicable specific plan or transit village plan; in that, if the if the CUP request is denied, then there is no need for the associated SPDR request.

Respectfully Submitted: **Robert W. Williams**

Digitally signed by Robert W. Williams
DN: cn=Robert W. Williams, o=City of Sacramento, ou=Community Development, email=RWilliams@CityofSacramento.org, c=US
Date: 2020.11.12 18:24:35 -08'00'

Robert W. Williams
Associate Planner

The decision of the Zoning Administrator may be appealed to the Planning and Design Commission. An appeal must be filed within 10 days of the hearing. If an appeal is not filed, the action of the Zoning Administrator and Design Director is final.



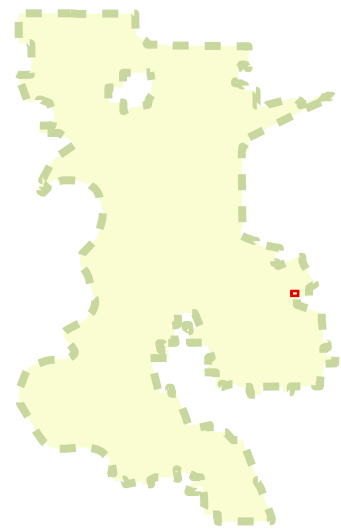
City Of Sacramento
Community Development
Department
Current Planning
Division

Z20-043

8551 Folsom Blvd.
078-0180-004-0000
C-2 zone - CD #6

Citywide SPDR
SCOR - Gen-Plan
Traditional Parking Dist.

CUP Storefront
Cannabis Dispensary
SPDR Renovations





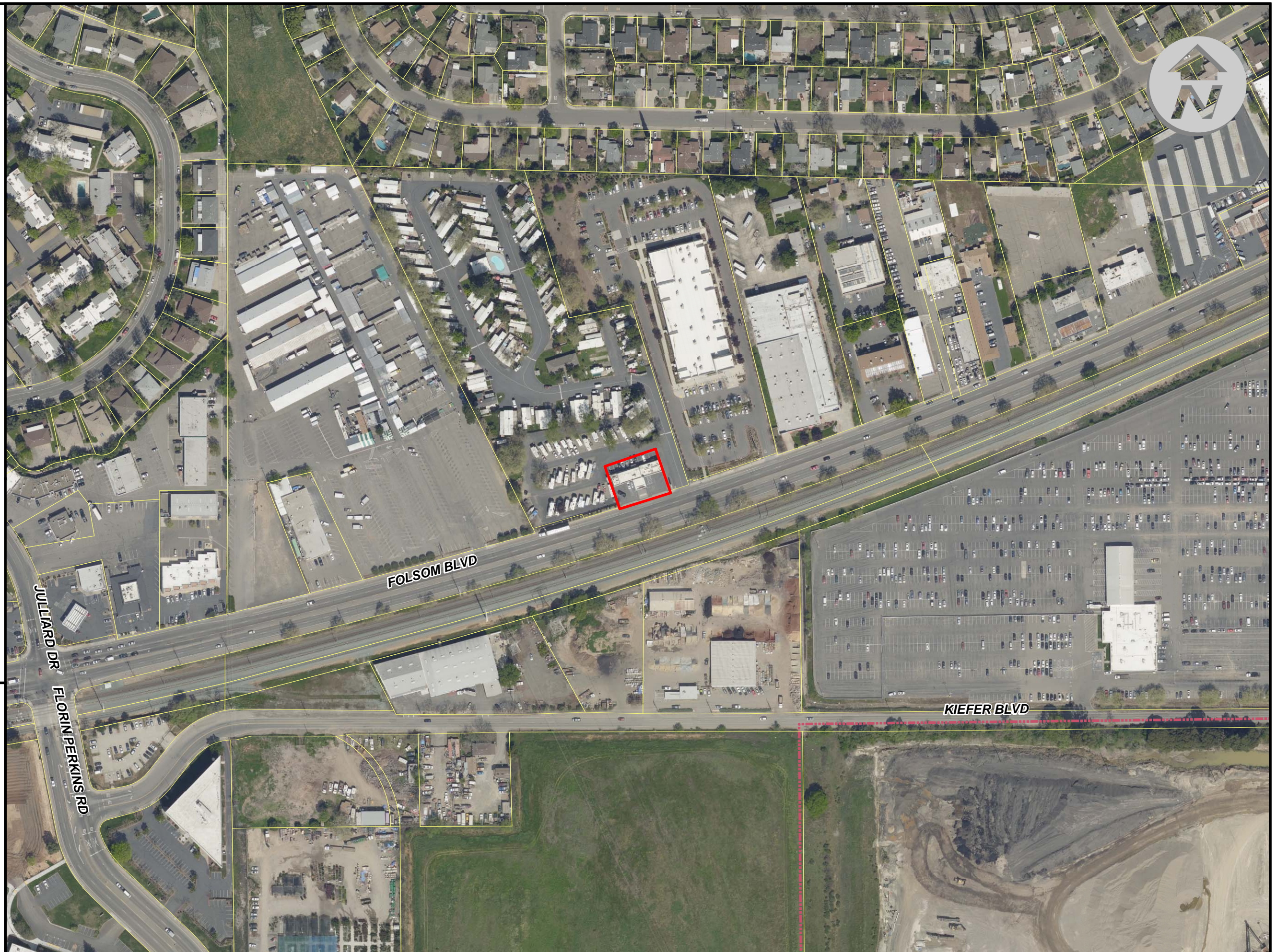
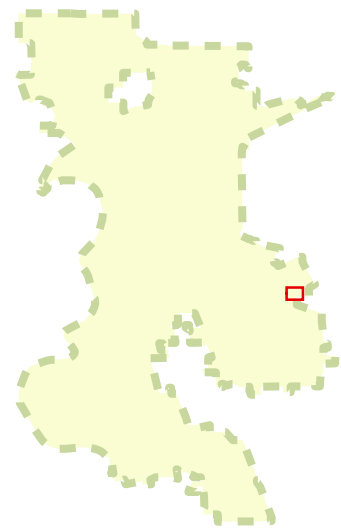
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Citywide SPDR
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CUP Storefront
Cannabis Dispensary
SPDR Renovations



Exhibits: 220-043 CC101 CANNABIS DISPENSARY RELOCATION

TENANT REMODEL CONDITIONAL USE PERMIT DRAWINGS

PROJECT ADDRESS:
8551 FOLSOM BLVD.,
SACRAMENTO, CA 95826

APN#: 078-0180-004-0000

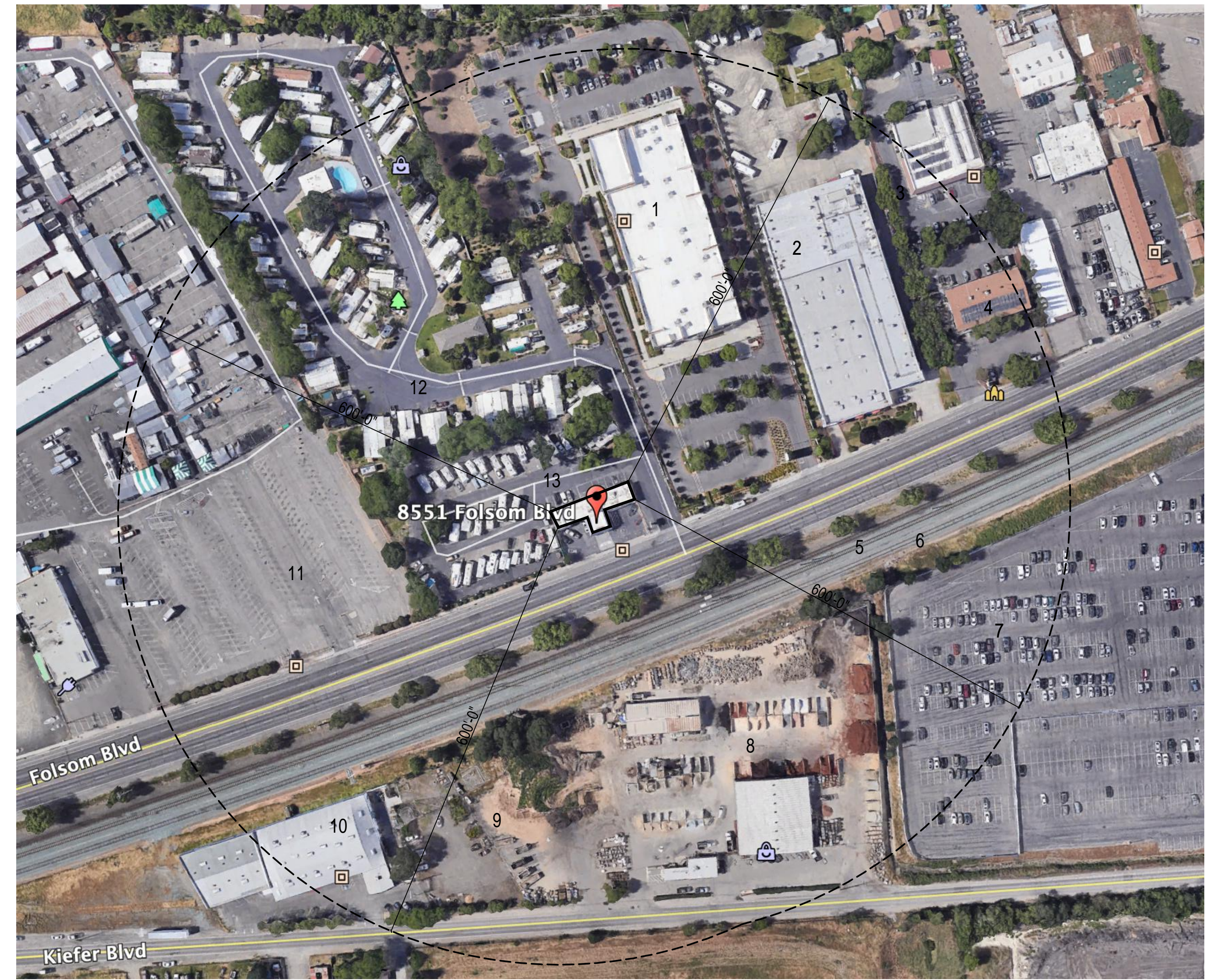
SHEET INDEX

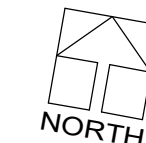
.GENERAL.

- G0.0 COVER SHEET
- G0.1 SYMBOLS AND ABBREVIATIONS
- G1.0 NEIGHBORHOOD CONTEXTUAL MAP

.ARCHITECTURAL.

- A1.0 CONTEXT PHOTOS
- A1.1 CONTEXT PHOTOS
- A1.2 FLOOR / SITE PLAN - DEMO
- A1.3 SITE PLAN - PROPOSED
- A1.5 EXTERIOR ELEVATIONS - DEMO
- A1.7 PRELIMINARY BUILDING SECTIONS
- A1.4 FLOOR PLAN - PROPOSED
- A1.6 EXTERIOR ELEVATION - PROPOSED
- A1.8 ROOF PLAN



 600' RADIUS MAP
SCALE: NOT TO SCALE

PROJECT INFORMATION

SCOPE OF WORK

THE SCOPE OF WORK DESCRIBED HEREIN INCLUDES NEW INTERIOR WALL LAYOUT, HVAC, LIGHTING, AND FINISHES.

UPGRADES TO THE EXTERIOR INCLUDE REMOVING THE EXISTING MANSARD ROOF AND PORTE COCHERE IN THEIR ENTIRETY, ADDING NEW DECORATIVE ACCENT ELEMENTS AND NEW FINISHES TO THE SOUTH ELEVATION, AND A NEW PARKING LAYOUT AND ACCESSIBLE STALLS.

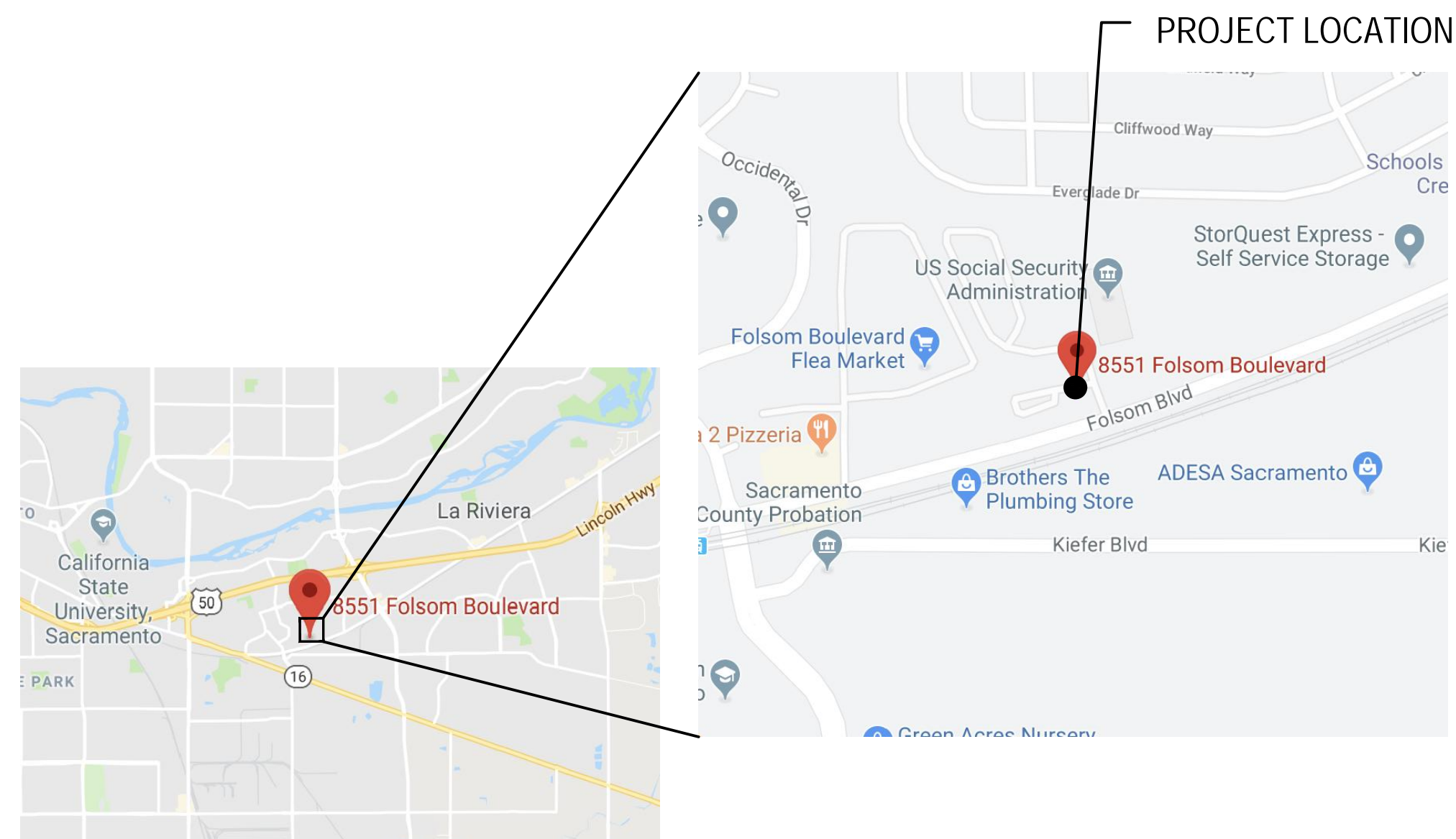
BUILDING INFORMATION

CONSTRUCTION TYPE:	TYPE VB
NUMBER OF STORIES:	1-STORY
ACTUAL BUILDING AREA:	2,780 S.F.
OCCUPANCY (BUILDING):	M, B, S-1
FIRE SPRINKLER:	NO
FIRE ALARM:	NO

APPLICABLE CODES

- 2019 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
- 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
- 2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
- 2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
- 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
- 2019 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.
- 2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN), PART 11, TITLE 24 C.C.R.

VICINITY MAP



PROJECT TEAM

OWNER

CAPITOL COMPLIANCE MANAGEMENT
ANTHONY NOONIS
PROJECT MANAGER
PH: 916.389.2858
EMAIL: ANTHONY@CCMUP.COM

ARCHITECT

STACEY HALL
5732 CAMAS CT.
POLLOCK PINES, CA 95726
PH: 510.220.1193
EMAIL: SBOWEN505@YAHOO.COM

CONDITIONAL
USE PERMIT

STACEY HALL
C-31704

10-16-2020
REVISIONS:

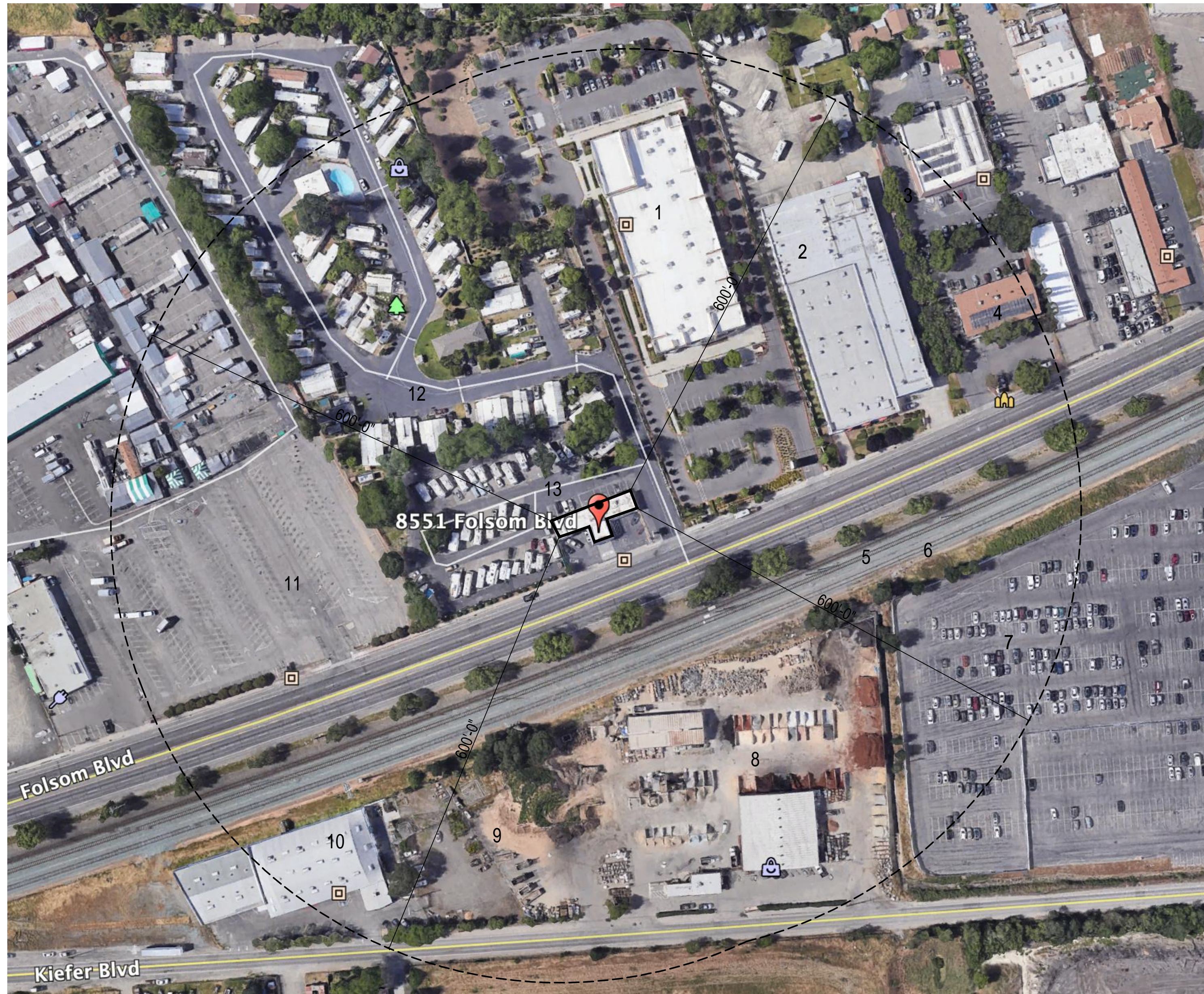


COVER SHEET
8551 FOLSOM BLVD. CANNABIS RETAIL
8551 FOLSOM BLVD., SACRAMENTO, CA 95826
CCM ID: 107.20.00

G0.0

Exhibits 720-043

A/C	AIR CONDITIONING(ER)	CR	CORROSION RESISTANT	FB	FACE BRICK	IAQ	INDOOR AIR QUALITY	NC	NOISE CRITERIA	RPM	REVOLUTIONS PER MINUTE	UGE	UNDERGROUND ELECTRICAL
A AMP	AMPERE	CS	COUNTERSINK	FCU	FOOT CANDLE	IAW	IN ACCORDANCE WITH	NC	NORMALLY CLOSED	RPZ	REDUCED PRESSURE BACKFLOW PREVENTER	UGT	UNDERGROUND TELEPHONE
A	COMPRESSED AIR	CS	COMBINATION SEWER	FCCM	FLUTED CONCRETE MASONRY UNIT	IBC	INTERNATIONAL BUILDING CODE	RS	REFRIGERANT	UH	UNIT HEATER	UL	UNDERWRITERS LABORATORIES
AAP	AREA ALARM PANEL	CSK	CONDENSER WATER SUPPLY	FCO	FLOOR CLEAN OUT	IC	INTERCOM	NEC	NATIONAL ELECTRICAL CODE	UNEX	UNEXCAVATED	UNFIN	UNFINISHED
AAV	AUTOMATIC AIR VENT	CSK	COUNTERSINK	FCCU	FAN COIL UNIT	ID	INTERIOR DIAMETER	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSN.	UNO	UNLESS NOTED OTHERWISE	UR	UNDERGROUND RESIDENTIAL DISTRIBUTION
AB	ANCHOR BOLT	CSMU	CALCIUM SILICATE MASONRY UNIT	FD	FLOOR DRAIN	IE	IN JOIST SPACE	NEUT	NEUTRAL	UR	UNLESS NOTED OTHERWISE	URD	UNDERGROUND RESIDENTIAL DISTRIBUTION
ABS	ACRYLONITRILE-BUTADIENE-STYRENE	CSP	COMBINATION STANDPIPE	FDC	FIRE DEPARTMENT CONNECTION	IES	ILLUMINATING ENGINEERING SOCIETY	NIC	NOT IN CONTRACT	US	UTILITY SHELF	UTL	UTILITY
AC	ACUSTICAL CEILING	CSTJ	CONSTRUCTION JOINT	FDF	FIRE DEPARTMENT CONNECTION	IF	INSIDE FACE	NO	NORMALLY OPEN	SA	SHOCK ABSORBER	UV	UNIT VENTILATOR
ACC	ALTERNATING CURRENT	CSWK	CASEWORK	FDN	FOUNDATION	IG	ISOLATED GROUND	NO	NUMBER	SA	SUPPLY AIR	UVL	UNIT VENTILATOR
ACC	AIR COOLED CONDENSER	CT	COOLING TOWER	FDR	FEEDER	IH	INTAKE HOOD	NO	NITROUS OXIDE	SAN	SANITARY WASTE	V	VOLT
ACCU	AIR COOLED CONDENSING UNIT	CT	CERAMIC TILE	FE	FIRE EXTINGUISHER	IJ	ISOLATION JOINT	NOM	NOMINAL	SC	SECURITY	V	VACUUM
ACM	ALUMINUM COMPOSITE MATERIAL	CT	CURRENT TRANSFORMER	FF	FIRE EXTINGUISHER CABINET	IN	IN JOIST SPACE	NS	NEUTRAL SENSOR	SC	SOLID CORE	VA	VALVE
ACST	ACOUSTIC CENTER	CTR	CENTER	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	NTS	NOT TO SCALE	SCD	SEAT COVER DISPENSER	VAC	VACUUM
AD	ACCESS DOOR	CU	COPPER	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	O&M	OPERATION AND MAINTENANCE	SCD	SEAT COVER DISPENSER	VAV	VARIABLE AIR VOLUME
AD	AREA DRAIN	CU	CONDENSING UNIT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	O to O	OUT TO OUT	SCH	SCHEDULE	VBS	VAPOR BARRIER
ADDN	ADDITION OR ADDITIONAL	CJ	CURB	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OA	OVERALL	SCH	SCHEDULE	VBS	VAPOR BARRIER
ADJ	ADJUSTABLE	CUH	COMBINATION UNIT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OBSC	OBSCURE	SCH	SCHEDULE	VBS	VAPOR BARRIER
ADJT	ADJACENT	CUH	CABINET UNIT HEATER	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OC	ON CENTER	SCH	SCHEDULE	VBS	VAPOR BARRIER
ADMIN	ADMINISTRATION	CW	COLD WATER	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
AF	AIR FILTER	CV	CONDOM VENDOR	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OF	OUTSIDE FACE	SCH	SCHEDULE	VBS	VAPOR BARRIER
AFF	ABOVE FINISH FLOOR	CWR	CHILLED WATER RETURN	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
AHJ	AUTHORITY HAVING JURISDICTION	CWS	CHILLED WATER SUPPLY	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
AHU	AIR HANDLING UNIT	FLUOR	FLOOR	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
AI	AREA INLET	CYL	CYLINDER	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
ALT	ALTERNATE	D	DRAIN	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
ALUM	ALUMINUM	D	DEPTH	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
AMB	AMBIENT	D	DATA	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
ANCH	ANCHOR	DB	DRY BULB	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
AP	ACCESS PANEL	DCB	DEFORMED BAR ANCHOR	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
APC	ACOUSTICAL PANEL CEILING	DBA	DEFORMED BAR ANCHOR	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
APPROX	APPROXIMATE	DBL	DOUBLE	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
AR	ACID RESISTING	DC	DIRECT CURRENT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
ARCH	ARCHITECTURAL	DC	DUST COLLECTOR	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
ASB	ASBESTOS	DCJ	DUMMAY CONTROL JOINT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
ASPH	ASPHALT	D	DRAIN	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
AUTO	AUTOMATIC	DDC	DIRECT DIGITAL CONTROL	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
AV	AIR VENT	DE	DEIONIZED WATER	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
AV	AVERAGE	DEG	DEGREE	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
AW	ACID WASTE	DEPR	DEPRESSION(ED)	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
AWG	AMERICAN WIRE GAUGE	DEPT	DEPARTMENT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
AWP	ACOUSTICAL WALL PANEL	DET	DETENTION	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
B to B	BACK TO BACK	DFR	DRINKING FOUNTAIN	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BBO	BOILER BLOW OFF	D	DATA	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BC	BALANCING COCK	D	DEPTH	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BCMU	BURNISHED CONCRETE MASONRY UNIT	D	DATA	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BD	BOARD	D	DEPTH	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BD	BACK DRAFT DAMPER	D	DATA	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BET	BETWEEN	D	DATA	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BFP	BACKFLOW PREVENTOR	DIA	DIAMETER	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BFR	BELOW FLOOR	DIAG	DIAGONAL	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BF	BOILER FEED	DIFF	DIFFUSER	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BFV	BUTTERFLY VALVE	DIM	DIMENSION	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BHP	BREAK HORSE POWER	DISC SW	DISCONNECT SWITCH	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BKR	BREAKER	DISC	DISCONNECT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BL	BUILDING LINE	DISCH	DISCHARGE	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BLDG	BUILDING	DISTR	DISTRIBUTION	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BLK	BLOCK	DL	DEAD LOAD	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BLKG	BLOCKING	DM	DAMPER MOTOR	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BLKHD	BULKHEAD	DMPR	DAMPER	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BM	BEAM	DN	DOWN	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BM	BENCH MARK	DN	DOWNSPOUT NOZZLE	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BOD	BOTTOM OF DUCT	DO OR	DITTO	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BOF	BOTTOM OF FOOTING	DPFG	DAMPING	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BOTT	BOTTOM	DPS	DIFFERENTIAL PRESSURE SWITCH	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BRDG	BRIDGING	DR	DOOR	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BRG	BEARING	DR	DOOR	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BRKT	BREAKER	DS	DOWNSPOUT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BSMT	BASEMENT	DS	DOWNSPOUT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BT	BATH TUB	DSP	DRAIN STANDPIPE	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BTU	BRITISH THERMAL UNIT	DTL	DETAIL	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BTUH	BRITISH THERMAL UNIT PER HOUR	DTR	DUCT THRU ROOF	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BUR	BUILT UP FINISH	DISHWASHER	DISHWASHER	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
BY	BALL VALVE	DWG	DRAWING	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
C	CONDENSER WATER	DWL	DOWEL	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
C	CONDUIT	DWR	DRAWER	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CA	COMBUSTION AIR	DXS	DOUBLE EXTRA STRONG	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CAB	CABINET	EAST	EAST	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CAN	CANTILEVER	EACH	EACH	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CAP	CAPACITY	EA	EXHAUST AIR	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CAS	CASING	EAT	ENTERING AIR TEMPERATURE	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CB	CHALKBOARD	EB	EXPANSION BOLT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CD	CONDENSATE DRAIN	EC	ELECTRICAL CONTRACTOR	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CDTV	CLOSED CIRCUIT TELEVISION	EC	ELECTRIC DUCT HEATER	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CE	COVER ELEVATION	EE	EACH END	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CEM	CEMENT	EER	ENERGY EFFICIENCY RATIO	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CENT	CENTRIFUGAL	EER	ENERGY EFFICIENCY RATIO	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CER	CERAMIC	EER	ENERGY EFFICIENCY RATIO	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CF	CUBIC FEET PER HOUR	EF	EACH FACE	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CFH	CUBIC FEET PER HOUR	EF	EACH FACE	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CFM	CUBIC FEET PER MINUTE	EF	EFFICIENCY	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CG	CORNER GUARD	EH	ELECTRICAL HEATER	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CH	CHANNEL	EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CJ	CAST IRON	EJ	EXPANSION JOINT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CIP	CAST IRON PIPE	EJ	EXPANSION JOINT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CIRC	CIRCULATING	EJ	EXPANSION JOINT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CJA	CONTROL JOINT	EJ	EXPANSION JOINT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CJ	CONTROL JOINT ABOVE	EJ	EXPANSION JOINT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CKT	CIRCUIT	EJ	EXPANSION JOINT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CKT BK	CIRCUIT BREAKER	EJ	EXPANSION JOINT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CL	CIRCUIT LINE	EJ	EXPANSION JOINT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CLG	CEILING	EMD	END OF MAIN DRIP	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CLOS	CLOSE	EP	ELECTRO-PNEUMATIC	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CM	CEILING MOUNTED	EP	EXPLOSION PROOF	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CMP	CORRUGATED METAL PIPE	EPO	EMERGENCY POWER OFF	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CMU	CONCRETE MASONRY UNIT	ERF	EPOXY RESIN FLOORING	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CO	CLEAN OUT	EQ	EQUAL	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER
CO	CONDUIT ONLY	EQUIP	EQUIPMENT	FF	FIRE EXTINGUISHER CABINET	IN	INTERMEDIATE METAL CONDUIT	OD	OVERFLOW DRAIN	SCH	SCHEDULE	VBS	VAPOR BARRIER



Ref #	Address	Parcel #	Business Type	Zone
1	8581, 8571, 8561 FOLSOM BLVD	078-0180-030	WESTSIDE GSA HOLDING & US SOCIAL SECURITY ADMINISTRATION & PARKING LOT	C-2 - GENERAL COMMERCIAL
2	8597, 8599, 8591 FOLSOM BLVD	078-0180-029	ALLSTAR SELF STORAGE	C-2 - GENERAL COMMERCIAL
3	8609, 8605 FOLSOM BLVD	078-0180-028	BERGQUAM ENERGY SYSTEMS & CALVARY CHRISTIAN CENTER	C-2 - GENERAL COMMERCIAL
4	8611 FOLSOM BLVD	078-0180-027	SHINING STARS MASSAGE	C-2 - GENERAL COMMERCIAL
5	FOLSOM BLVD	078-0180-043	RAILROAD	M-2S - HEAVY INDUSTRIAL - SITE IMPROVEMENTS
6	FOLSOM BLVD	078-0180-034	RAILROAD	M-2S - HEAVY INDUSTRIAL - SITE IMPROVEMENTS
7	8649 KIEFER BLVD	078-0190-026	ADESA SACRAMENTO	C-2-SWR - GENERAL COMMERCIAL/SOLID WASTE RESTRICTED
8	8585 KIEFER BLVD	078-0190-023	CASCADE ROCK INC	C-2-SWR - GENERAL COMMERCIAL/SOLID WASTE RESTRICTED
9	8583 KIEFER BLVD	078-0190-049	VACANT LAND	C-2-SWR - GENERAL COMMERCIAL/SOLID WASTE RESTRICTED
10	8581 KIEFER BLVD	078-0190-048	BROTHERS THE PLUMBING STORE	C-2-SWR - GENERAL COMMERCIAL/SOLID WASTE RESTRICTED
11	8525 FOLSOM BLVD	078-0180-002	VACANT	C-2 - GENERAL COMMERCIAL
12	8545 FOLSOM BLVD	078-0180-003	BAMBOO TREE MOBILE HOME PARK	C-2 - GENERAL COMMERCIAL
13	8551 FOLSOM BLVD	078-0180-004	FATHERS RESOURCES CENTER	C-2 - GENERAL COMMERCIAL
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Exhibits: Z20-043



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6



PHOTO 7



PHOTO 8



PHOTO 9



PHOTO 10



PHOTO KEY MAP - BUILDING
SCALE: NOT TO SCALE

CONDITIONAL
USE PERMIT

STACEY HALL
C-31704
10-16-2020
REVISIONS:



CONTEXT PHOTOS
8551 FOLSOM BLVD. CANNABIS RETAIL
8551 FOLSOM BLVD., SACRAMENTO, CA 95826
CCM ID: 107.20.00

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Exhibits: Z20-043



PHOTO 1



PHOTO 2



PHOTO 3



PHOTO 4



PHOTO 5



PHOTO 6

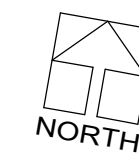


PHOTO KEY MAP - SITE
SCALE: NOT TO SCALE



PHOTO 7

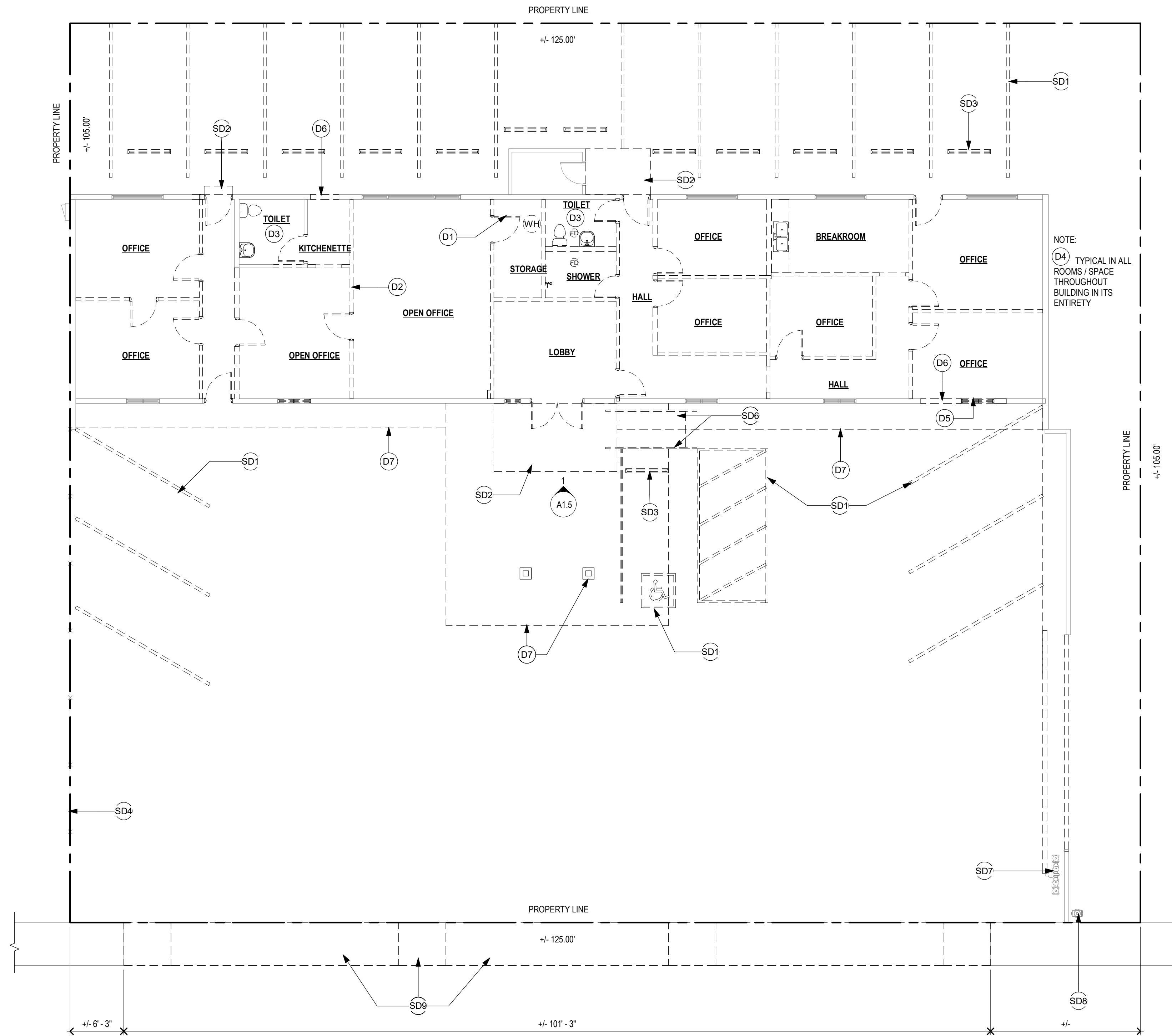
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STACEY HALL
C-31704
10-16-2020
REVISIONS:



CONTEXT PHOTOS
8551 FOLSOM BLVD., SACRAMENTO, CA 95826
CCM ID: 107.20.00

A1.1



FLOOR / SITE PLAN - DEMO

SCALE: 1/8" = 1'-0"

NOTES

KEYNOTES - SITE DEMO	
Key Value	Keynote Text
SD1	(E) STRIPING TO BE GROUND OFF IN ITS ENTIRETY. TYP. SHOWN DASHED.
SD2	(E) CONCRETE LANDING TO BE DEMOLISHED.
SD3	(E) WHEELSTOP TO BE REMOVED. TYP. SHOWN DASHED.
SD4	(E) CHAINLINK FENCING TO REMAIN.
SD6	(E) CONCRETE RAMP AND HANDRAILS TO BE DEMOLISHED/REMOVED.
SD7	(E) BACKFLOW PREVENTER TO REMAIN.
SD8	(E) FIRE-HYDRANT TO REMAIN.
SD9	(E) DRIVEWAY, CURB RAMPS, AND ASSOCIATED CONCRETE WALKWAY TO BE DEMOLISHED IN THEIR ENTIRETY. EXTENTS SHOWN DASHED.

KEYNOTES - DEMO	
Key Value	Keynote Text
D1	(E) DOOR AND FRAME TO BE REMOVED. TYP. SHOWN DASHED.
D2	(E) NON-LOAD BEARING WALL PARTITION TO BE DEMOLISHED. TYP. SHOWN DASHED.
D3	(E) PLUMBING FIXTURE TO BE REMOVED. TYP.
D4	(E) FLOOR, WALL AND CEILING FINISHED TO BE DEMOLISHED IN THEIR ENTIRETY. TYP.
D5	(E) WINDOW TO BE REMOVED.
D6	(E) PORTION OF EXTERIOR WALL TO BE DEMOLISHED.
D7	(E) MANSARD ROOF PORT COCHERE TO BE DEMOLISHED IN ITS ENTIRETY.

DEMOLITION NOTES

- A. DEMOLITION GENERAL NOTES APPLY TO ALL DEMOLITION SHEETS.
- B. COORDINATE DEMOLITION AND PHASING EFFORTS WITH ARCHITECT AND OWNER'S REPRESENTATIVES. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF OWNER'S OPERATIONS AND TO PROVIDE BUILDING USER'S SAFETY. EXCESSIVE NOISE OR VIBRATION SHALL BE PRE-APPROVED AND COORDINATED WITH OWNER'S REPRESENTATIVE.
- C. COORDINATE DISRUPTION OF UTILITY SERVICES WITH OWNER AND AS SPECIFIED.
- D. CONSTRUCT TEMPORARY CONSTRUCTION PARTITIONS WITHIN EXISTING BUILDING WHICH OFFER A ONE-HOUR ENCLOSURE TO ISOLATE DEMOLITION AND CONSTRUCTION WORK FROM GENERAL PUBLIC AND AS DEEMED NECESSARY BY OWNER AND CODE OFFICIAL HAVING JURISDICTION. COORDINATE LOCATIONS WITH OWNER AND MAINTAIN MEANS OF EGRESS THROUGHOUT THE WORK.
- E. MAINTAIN A SECURE AND WEATHER-TIGHT ENCLOSURE.
- F. VERIFY EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS AND NOTIFY ARCHITECT OF DISCREPANCIES.
- G. REMOVE EXISTING WALLS, DOORS, MILLWORK, PLUMBING FIXTURES, CEILINGS, SOFFITS, ETC. IN THEIR ENTIRETY AND AS REQUIRED TO EXECUTE DEMOLITION AND CONSTRUCTION WORK DESCRIBED ON THE DRAWINGS.
- H. THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE ANY MATERIALS.
- I. PROVIDE PROTECTION FOR EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO DEMOLITION OR CONSTRUCTION-RELATED INCIDENT PERFORMED UNDER THIS CONTRACT.
- J. REPAIR OR REPLACE ITEMS DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION TO MATCH EXISTING FINISH AND/OR CONDITION.
- K. EXISTING MATERIALS SHALL NOT BE REUSED UNLESS NOTED OTHERWISE OR AS AUTHORIZED BY ARCHITECT.
- L. VERIFY AND MAINTAIN LOCATION OF EXISTING POWER, COMMUNICATION AND DATA CABLES TO PREVENT INTERRUPTION OF SERVICE.
- M. PATCH FLOOR, WALL AND CEILING PENETRATIONS RESULTING FROM REMOVAL OR REROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, ETC. AS REQUIRED TO MAINTAIN FIRE SEPARATIONS. MATCH FINISH OF NEW OR EXISTING ADJACENT SURFACES.
- N. CAP DISCONNECTED MECHANICAL PIPING LINES WITHIN WALL OR FLOOR. PATCH AND FINISH AS REQUIRED TO MATCH NEW OR EXISTING ADJACENT SURFACES.
- O. AVOID DISTURBING OR SOILS WITHIN ZONE OF INFLUENCE AROUND EXISTING FOOTINGS AND FLOOR SLABS AS DIRECTED BY GEOTECHNICAL ENGINEER.
- P. WHERE PLASTER/STUD WALLS ARE INDICATED TO BE REMOVED, PREPARE ADJACENT WALLS TO RECEIVE NEW PATCH/FINISH BY SAWCUTTING ADJACENT PLASTER FINISH A MINIMUM OF 12 INCHES BEYOND DEMOLITION.

WALL LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED
- NEW INFILL WALL - SEE
- F.O. STUD DIMENSION
- F.O. FINISH

CONDITIONAL
USE PERMIT

STACEY HALL
C-31704

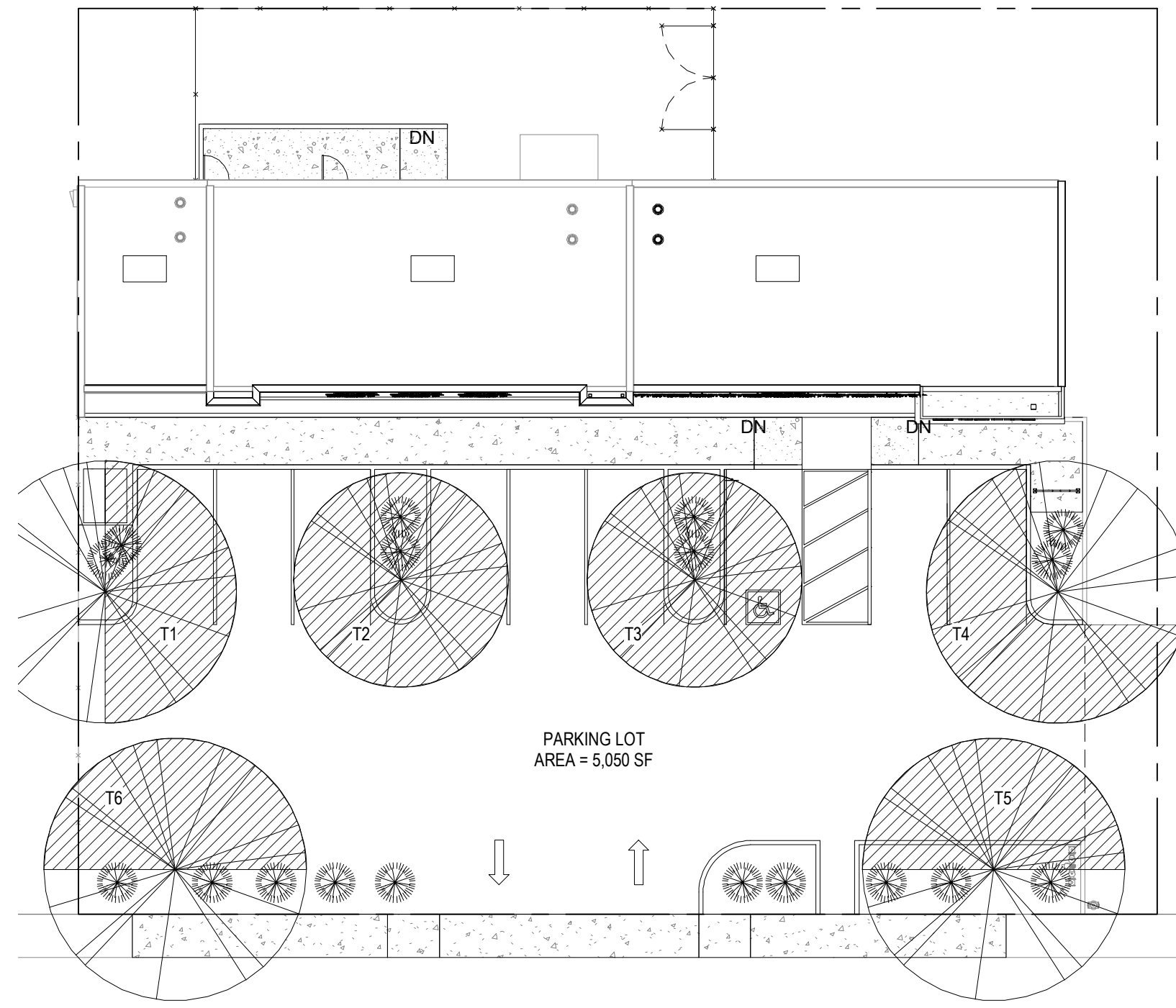
10-16-2020
REVISIONS:



FLOOR / SITE PLAN - DEMO
8551 FOLSOM BLVD. CANNABIS RETAIL
8551 FOLSOM BLVD., SACRAMENTO, CA 95826
CCM ID: 107.20.00

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Exhibits: Z20-043

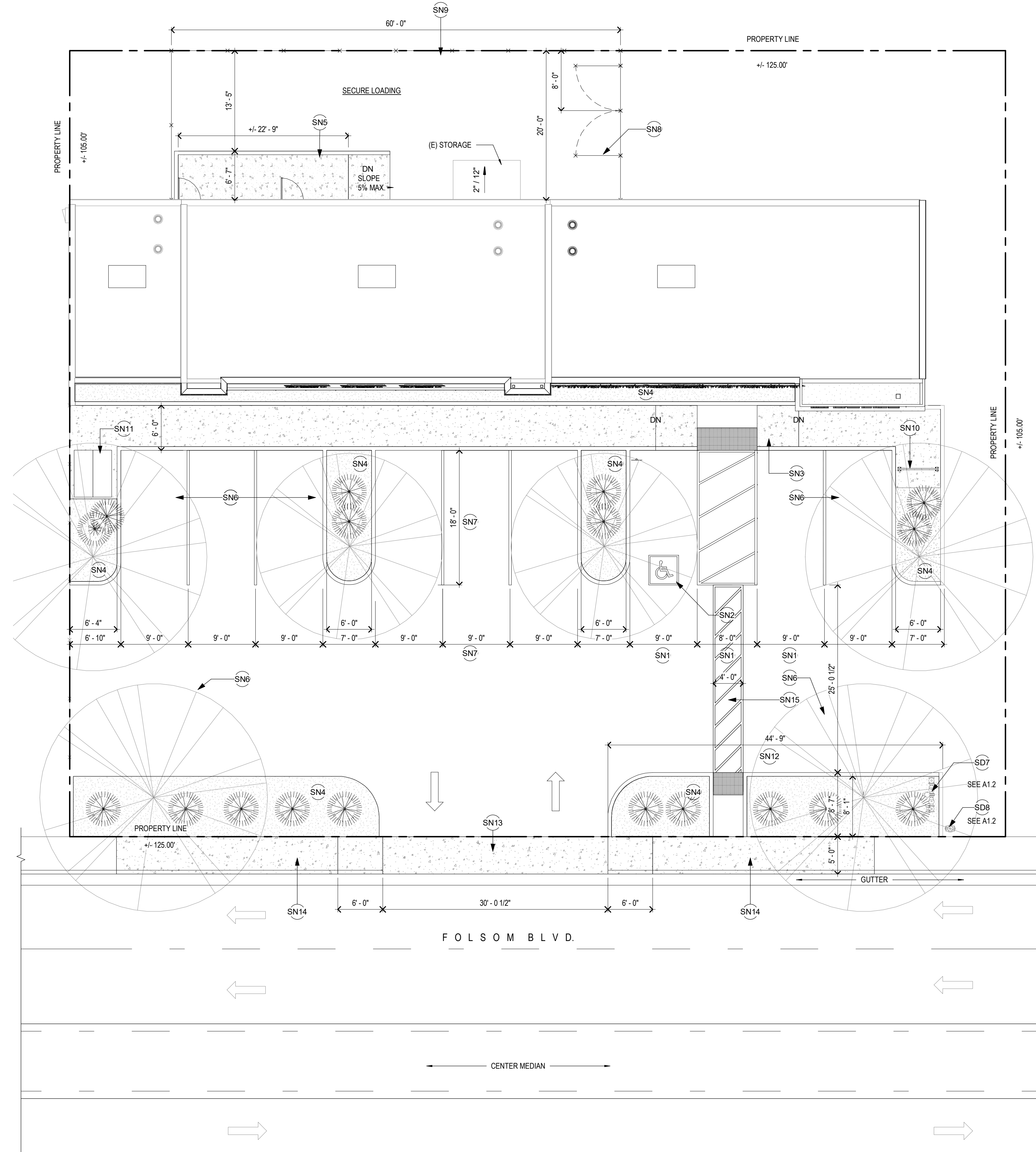


SHADE DIAGRAM

SCALE: 1/16" = 1'-0"

TREE SHADING CALCULATION

T1:	30' DIAMETER	
	50% SHADE	
	HEDGE MAPLE	
	TOTAL SHADE	= 354 SF
T2	25' DIAMETER	
	100% SHADE	
	WASHINGTON HAWTHORN	
	TOTAL SHADE	= 491 SF
T3	25' DIAMETER	
	100% SHADE	
	WASHINGTON HAWTHORN	
	TOTAL SHADE	= 491 SF
T4	30' DIAMETER	
	75% SHADE	
	HEDGE MAPLE	
	TOTAL SHADE	= 530 SF
T5	30' DIAMETER	
	50% SHADE	
	GOLDEN RAIN TREE	
	TOTAL SHADE	= 354 SF
T6	30' DIAMETER	
	50% SHADE	
	GOLDEN RAIN TREE	
	TOTAL SHADE	= 354 SF
TOTAL TREE SHADE		= 2,574 SF
PARKING LOT TOTAL AREA		= 5,050 SF
SHADE AREA REQUIRED		= 2,525 SF
2,574 SF (TOTAL SHADE PROVIDED) > 2,525 SF (TOTAL SHADE REQUIRED) = THEREFORE OK		



SITE / LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

NOTES

KEYNOTES - SITE NEW	
Key Value	Keynote Text
SN1	RESURFACE EXISTING AC PAVING TO ENSURE MAXIMUM CROSS SLOPE OF 1.5% IN ANY DIRECTION. TYP.
SN2	NEW ACCESSIBLE PARKING STALLS (2).
SN3	NEW CURB RAMP AND CONCRETE WALKWAY.
SN4	NEW PLANTER.
SN5	NEW CONCRETE LANDING AND RAMP.
SN6	NEW VEGETATION/TREES IN PLANTER. SEE TREE SHADING CALCULATION FOR MIN. SIZES.
SN7	NEW PARKING STALL, TYP.
SN8	NEW PR 6'-0" AUTOMATIC SWINGING GATES W/ BATTERY BACK-UP AND A JHA APPROVED KNOX BOX.
SN9	NEW 8'-0" CHAINLINK SECURITY FENCING.
SN10	NEW SHORT-TERM 'U' TYPE BIKE RIKE. SEE BIKE STORAGE REQUIREMENTS FOR QUANTITY.
SN11	NEW LONG-TERM BIKE STORAGE, MIN. 2'-0" X 6'-0" IN LENGTH AND WIDTH. SEE BIKE STORAGE REQUIREMENTS FOR QUANTITY.
SN12	NEW VEGETATION IN PLANTER. PLANTING TO BE A MAX. 3'-6" AT FULL MATURITY WITHIN AREA REQUIRED FOR ADEQUATE STOPPING SIGHT DISTANCE OF THE DRIVE-ABLE. LANDSCAPE MAY CONSIST OF GRASS, ANNUALS, PERENNIALS, GROUNDCOVER, SHRUBS, TREES, OR OTHER LIVING VEGETATION.
SN13	NEW SIDEWALK DRIVEWAY PER CITY OF SACRAMENTO T-21 STANDARD.
SN14	PATCH AND REPAIR (E) DRIVEWAY WITH NEW CONCRETE TO MATCH (E). SLOPES NOT TO EXCEED 1.5% IN ANY DIRECTION.
SN15	NEW ACCESSIBLE WALKWAY TO RIGHT OF WAY. SLOPE NOT TO EXCEED 5% IN DIRECTION OF TRAVEL AND 1.5% CROSS SLOPE.

PARKING COUNT

REQUIRED DISTRICT:	TRADITIONAL COMMERCIAL - RETAIL
LAND USE:	1 SPACE PER 500 SQUARE FEET OF BUILDING
PARKING REQUIREMENT:	2,760 SF / 500 = 6 STALLS REQUIRED
BUILDING TOTAL SF:	2,760 SF

PROVIDED

TYPICAL STALL:	8
ACCESSIBLE STALL:	1 (VAN)
TOTAL STALLS:	9

BIKE PARKING COUNT

REQUIRED DISTRICT:	TRADITIONAL COMMERCIAL - RETAIL
LAND USE:	1 SPACE PER 10,000 GROSS SQUARE FEET OF BUILDING
LONG-TERM REQUIREMENT:	2 SPACES, WHICHEVER IS GREATER
OR	
SHORT-TERM REQUIREMENT:	1 SPACE PER 2,000 GROSS SQUARE FEET OR BUILDING
OR	
	2 SPACES, WHICHEVER IS GREATER

PROVIDED

LONG-TERM:	2
SHORT-TERM:	2

CONDITIONAL USE PERMIT

STACEY HALL
C-31704

10-16-2020
REVISIONS:



SITE PLAN - PROPOSED
8551 FOLSOM BLVD. CANNABIS RETAIL
8551 FOLSOM BLVD., SACRAMENTO, CA 95826
CCM ID: 107.20.00

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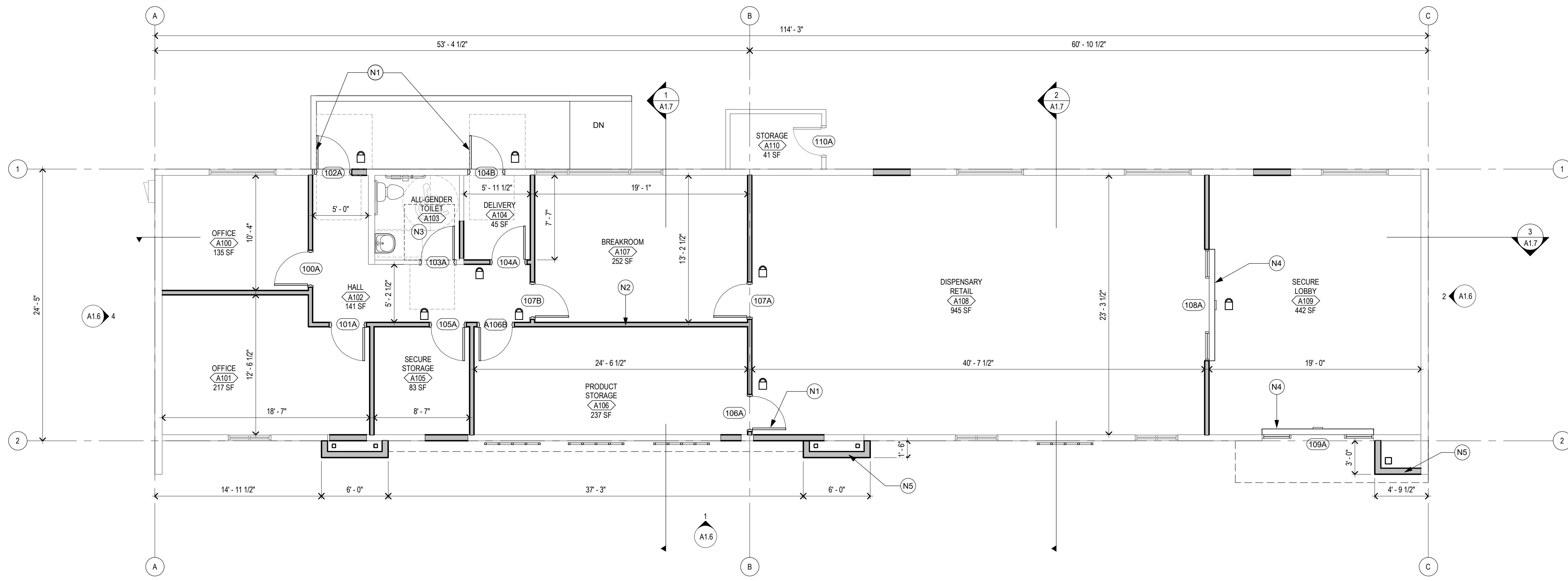
NOTES

KEYNOTES - NEW	
Key Value	Keynote Text
N1	NEW DOOR AND FRAME, TYP.
N2	NEW INTERIOR PARTITION, TYP.
N3	NEW PLUMBING FIXTURES, TYP.
N4	NEW AUTOMATIC SLIDING DOOR WITH CONTROLLED ACCESS WHERE INDICATED.
N5	NEW EXTERIOR PILASTER AND ACCENT FEATURE.
NR1	NEW HVAC UNIT. LOCATE IN CENTER OF ROOF TO AVOID SITE LINES FROM GROUND.
NR2	NEW CANOPY AND ACCENT FEATURE BELOW.
NR3	NEW PILASTERS AND ACCENT FEATURE BELOW.
NR4	NEW RAISED SECTION OF ROOF. SHOWN HATCHED. RAISED +/- 2'-0" TO ACCOMMODATE NEW INTERIOR DUCT WORK. NEW ROOF MATERIAL TO MATCH (E) AND NOT VISIBLE FROM GROUND LEVEL.

CONDITIONAL
USE PERMIT

STACEY HALL
C-31704

10-16-2020
REVISIONS:



FLOOR PLAN - PROPOSED
SCALE: 3/16" = 1'-0"

- GENERAL NOTES**
- GENERAL NOTES APPLY TO ALL SHEETS.
 - DIMENSIONS ARE ACTUAL AND ARE TO FACE OF STUDS, FACE OF CONCRETE WALLS, FACE OF CMU WALLS, FACE OF FRAMES OR CENTERLINE OF COLUMNS, UNLESS NOTED OTHERWISE - SEE WALL TYPE LEGEND.
 - FLOOR SPOT ELEVATIONS ARE SHOWN THUS 'XXX'-X" - SEE TYPICAL WALL TYPES ON SHEET G0.2
 - SEE STRUCTURAL FOR CONCRETE RETAINING WALL THICKNESS.
 - SEE SHEET G0.2 FOR TYPICAL WALL TYPES.
 - INTERIOR STUD WALLS SHALL EXTEND TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE UNLESS NOTED OTHERWISE. SEE TYPICAL WALL TYPES ON SHEET G0.2
 - PROVISIONS SHALL BE MADE AT FULL HEIGHT NONBEARING WALLS FOR 1-INCH VERTICAL MOVEMENT OF BUILDING STRUCTURE WITHOUT TRANSFER OF COMPRESSIVE LOADS TO WALL. FILL IRREGULARITIES BETWEEN TOP OF WALL AND DECK ABOVE WITH FIRE SAFING INSULATION OR FIRE STOPPING MATERIALS AS REQUIRED TO MEET FIRE RATING OF RESPECTIVE WALLS.
 - GYPSON BOARD AND PLASTER SURFACES SHALL BE ISOLATED WITH CONTROL JOINTS WERE INDICATED ON DRAWINGS AND/OR AS DESCRIBED IN THE SPECIFICATIONS. CONTROL JOINTS (CJ) AND CONTROL JOINTS ABOVE (CJA) SHALL BE LOCATED AS INDICATED ON BUILDING ELEVATIONS.
 - THE OWNER SHALL FURNISH AND INSTALL THE FOLLOWING: KITCHENETTE EQUIPMENT INCLUDING: DISHWASHER, REFRIGERATOR, MICROWAVE.
 - INCLUDE OWNER FURNISHED AND INSTALLED ITEMS AND OWNER FURNISHED AND CONTRACTOR INSTALLED ITEMS IN THE CONSTRUCTION SCHEDULE, AND COORDINATE WITH OWNER TO ACCOMMODATE THESE ITEMS.
 - COORDINATE MECHANICAL CHASE SIZES WITH MECHANICAL CONTRACTOR.
 - COORDINATE WITH MECHANICAL AND ELECTRICAL CONTRACTORS SIZE AND LOCATION OF EQUIPMENT PADS INDICATED ON FLOOR PLANS.
 - SEE CIVIL DRAWINGS FOR FINISH FLOOR ELEVATIONS.
 - EXTEND FURRING CHANNELS AND GYPSUM BOARD UP MINIMUM 4 INCHES ABOVE FINISHED CEILING.
 - SCRIBE GYPSUM BOARD OF WALL AND PARTITIONS TO IRREGULARITIES OF DECK ABOVE. SEAL TIGHTLY AROUND PENETRATIONS.
 - PROVIDE SEISMIC BRACING FOR SUSPENDED CEILING OR AS INDICATED ON DRAWINGS.
 - PROVIDE INTERIOR GYP. BD. CONTROL JOINT EVERY 30'-0" MAX.

WALL LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED
- NEW INFILL WALL - SEE
- F.O. STUD DIMENSION
- F.O. FINISH

SYMBOL LEGEND

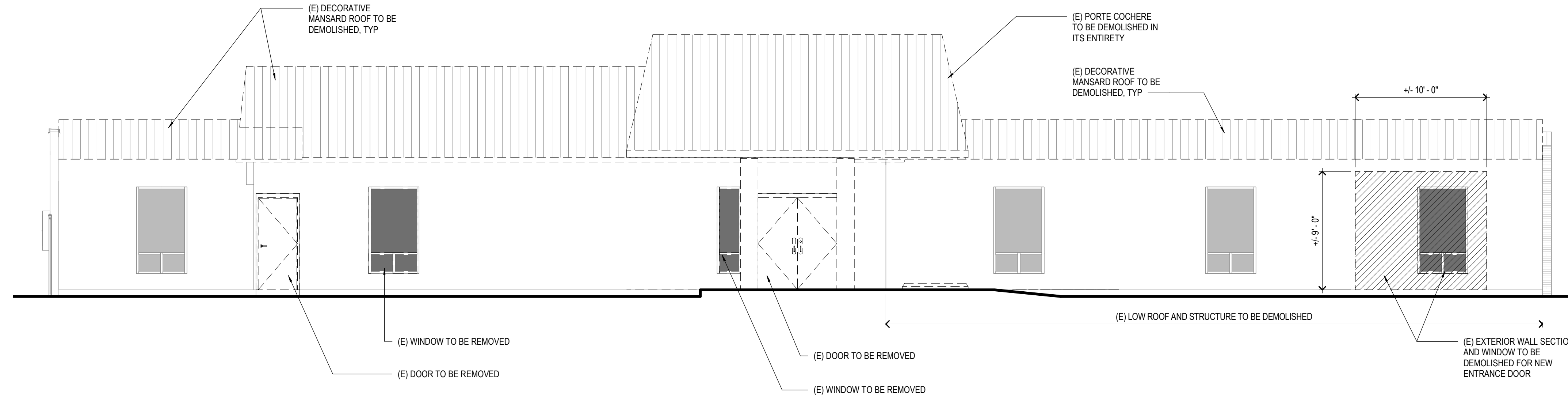
- SECURED ENTRY POINT

FLOOR PLAN - PROPOSED
8551 FOLSOM BLVD. CANNABIS RETAIL

8551 FOLSOM BLVD., SACRAMENTO, CA 95826
CCM ID: 107.20.00

A1.4

Exhibits: Z20-043



ELEVATION - SOUTH - DEMO
SCALE: 3/16" = 1'-0"

CONDITIONAL
USE PERMIT

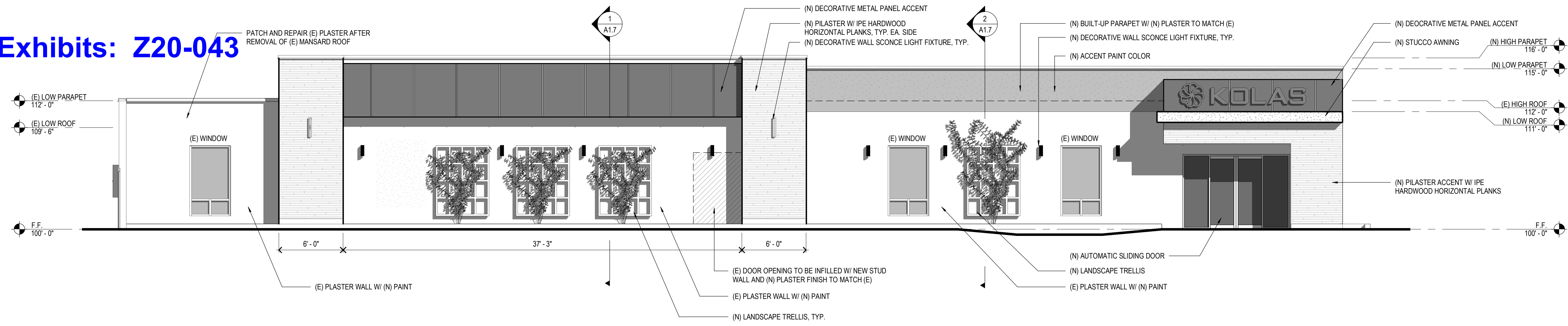
STACEY HALL
C-31704
10-16-2020
REVISIONS:



EXTERIOR ELEVATIONS - DEMO
8551 FOLSOM BLVD. CANNABIS RETAIL
8551 FOLSOM BLVD., SACRAMENTO, CA 95826
CCM ID: 107.20.00

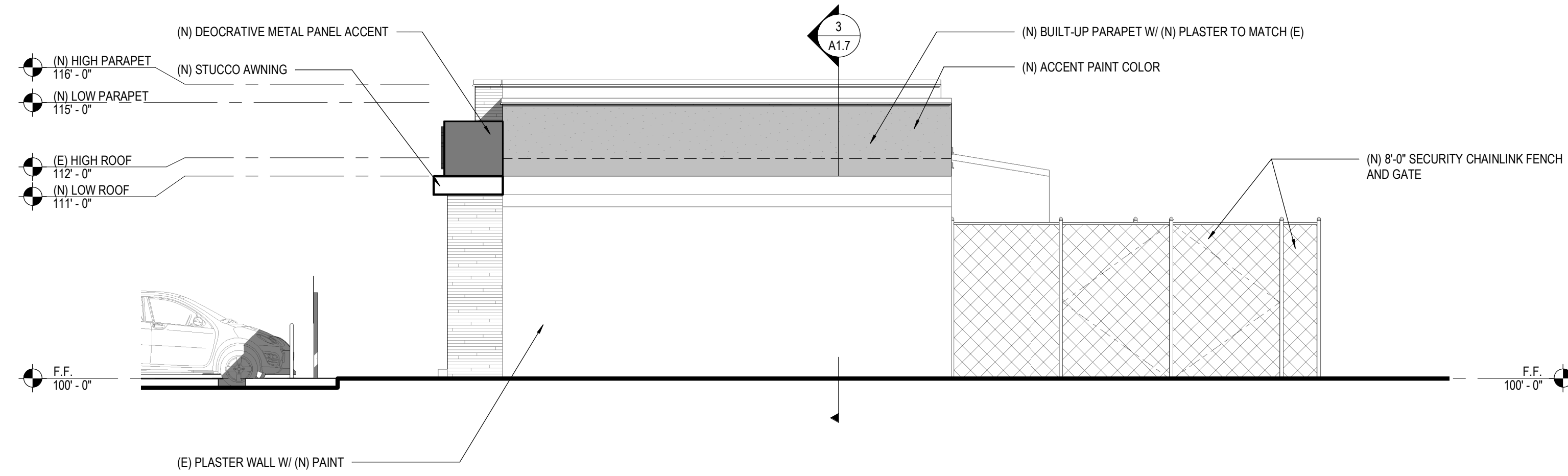
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Exhibits: Z20-043



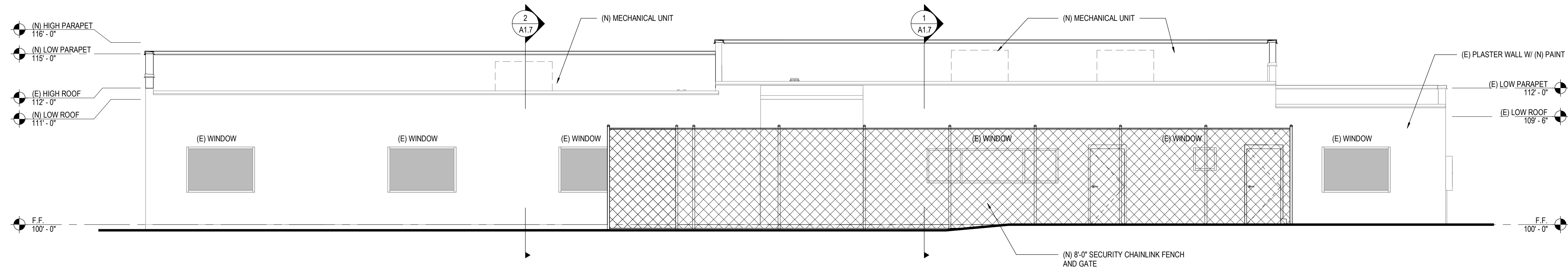
ELEVATION - SOUTH

SCALE: 3/16" = 1'-0"



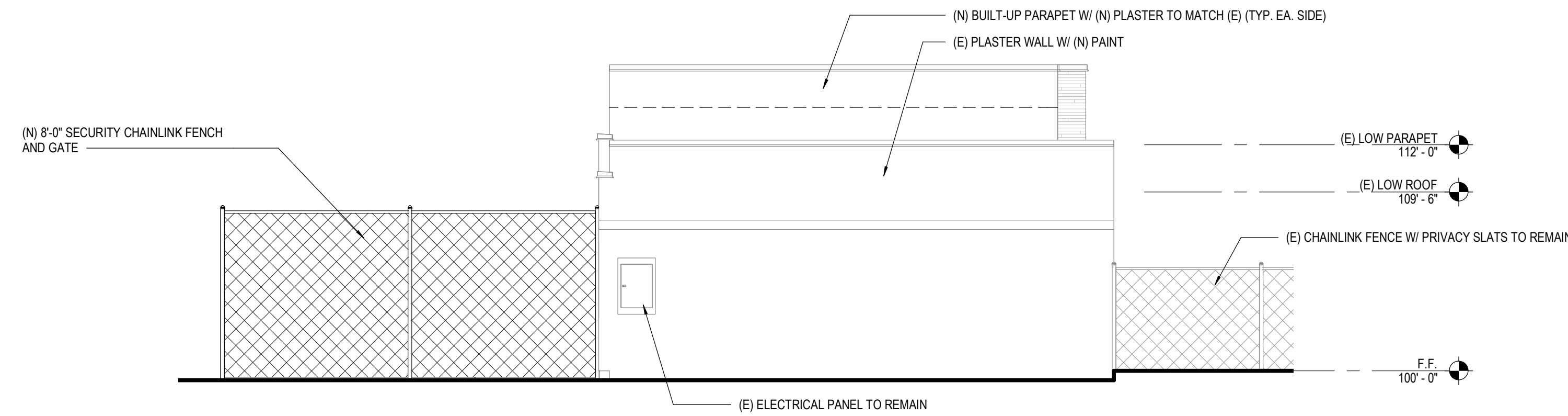
ELEVATION - EAST

SCALE: 3/16" = 1'-0"



ELEVATION - NORTH

SCALE: 3/16" = 1'-0"



ELEVATION - WEST

SCALE: 3/16" = 1'-0"

CONDITIONAL
USE PERMIT

STACEY HALL

C-31704

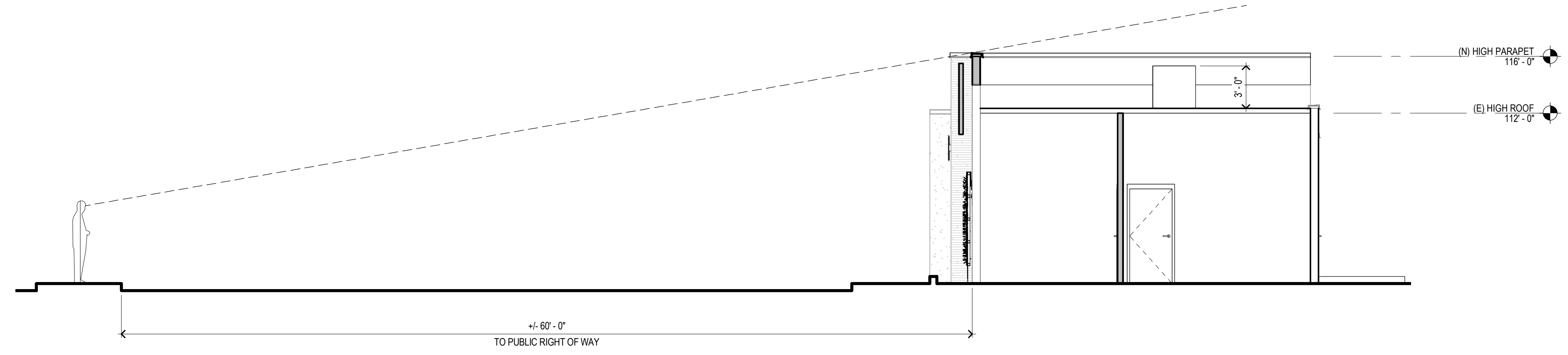
10-16-2020

REVISIONS:



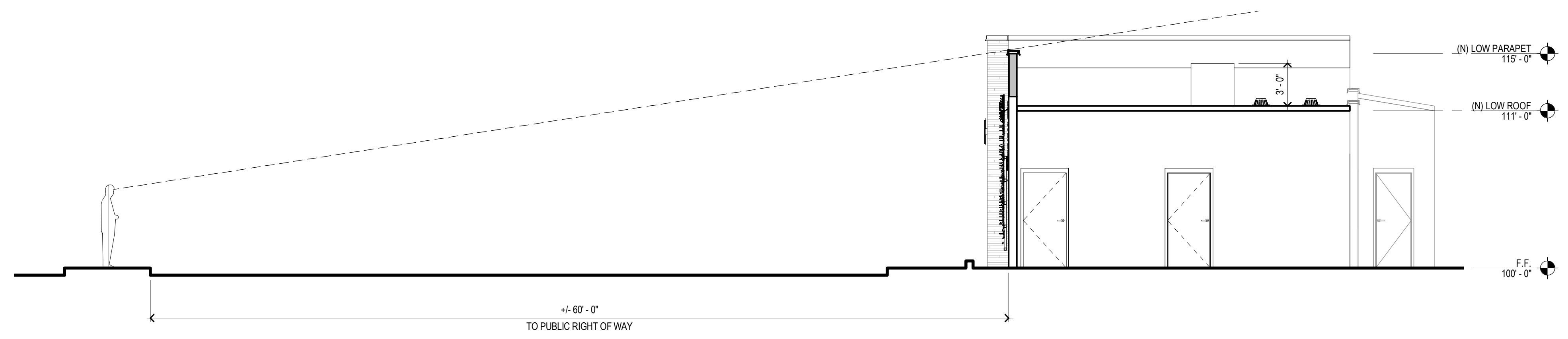
EXTERIOR ELEVATION - PROPOSED
8551 FOLSOM BLVD. CANNABIS RETAIL
8551 FOLSOM BLVD., SACRAMENTO, CA 95826

A1.6



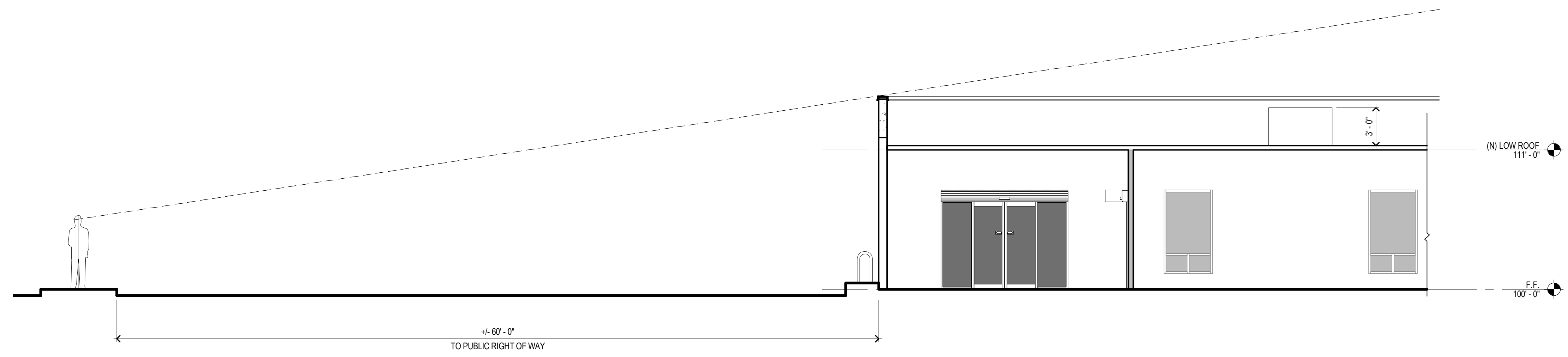
SECTION AT (E) HIGH ROOF

SCALE: 3/16" = 1'-0"



SECTION AT (N) LOW ROOF

SCALE: 3/16" = 1'-0"



SECTION (LONG.) AT (N) LOW ROOF

SCALE: 3/16" = 1'-0"



NOTES

KEYNOTES - NEW ROOF	
Key Value	Keynote Text
NR1	NEW HVAC UNIT. LOCATE IN CENTER OF ROOF TO AVOID SITE LINES FROM GROUND.
NR2	NEW CANOPY AND ACCENT FEATURE BELOW.
NR3	NEW PILASTERS AND ACCENT FEATURE BELOW.
NR4	NEW, RAISED SECTION OF ROOF. SHOWN HATCHED. RAISED +/- 2'-0" TO ACCOMMODATE NEW INTERIOR DUCT WORK. NEW ROOF MATERIAL TO MATCH (E) AND NOT VISIBLE FROM GROUND LEVEL.

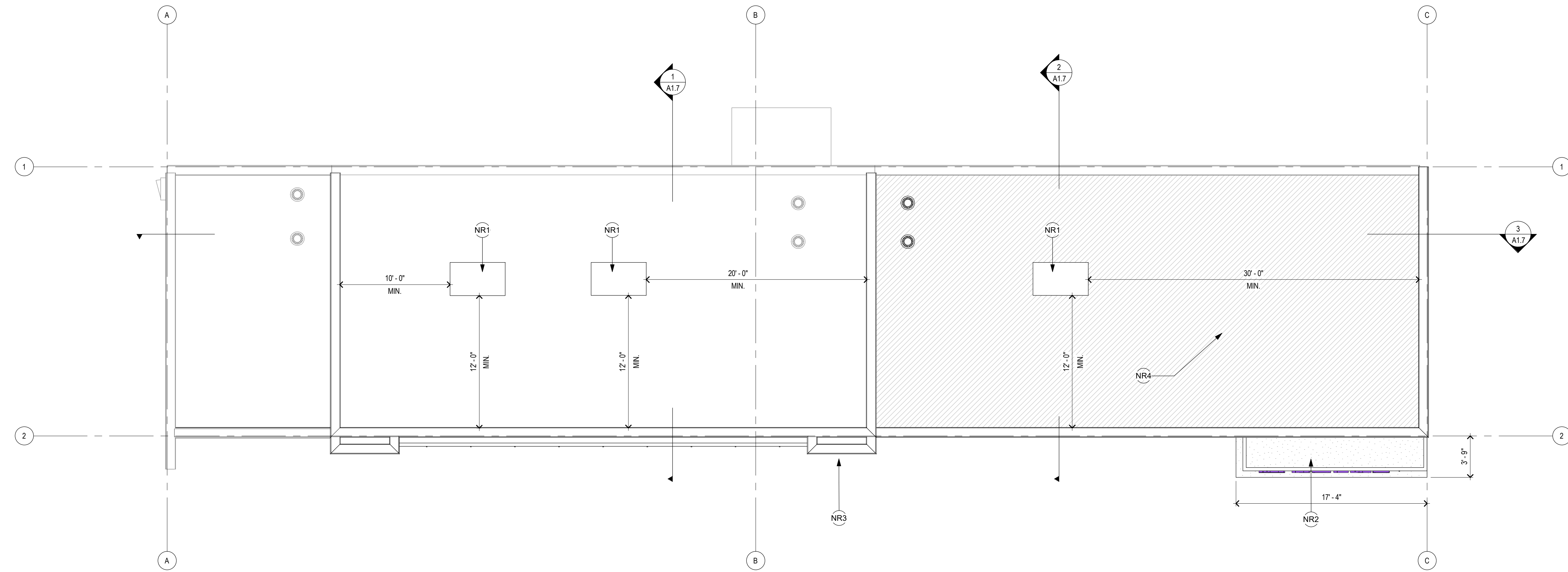
CONDITIONAL
USE PERMIT

STACEY HALL
C-31704
10-16-2020
REVISIONS:



ROOF PLAN
8551 FOLSOM BLVD. CANNABIS RETAIL
8551 FOLSOM BLVD., SACRAMENTO, CA 95826

A1.8



ROOF
SCALE: 3/16" = 1'-0"
NORTH

- ROOF PLAN GENERAL NOTES:**
- ROOF PLAN NOTES APPLY TO ALL ROOF PLAN SHEETS.
 - TAPERED INSULATION SHALL PROVIDE A MINIMUM OF 1/4-INCH PER FOOT OF SLOPE TO ROOF DRAINS, UNLESS NOTED OTHERWISE.
 - ALL ROOF CURBS TO BE A MINIMUM OF 8" ABOVE ROOFING LEVELS. PROVIDE TAPERED INSULATION ROOF SADDLES AT ROOF CURBS TO PROVIDE APPROPRIATE DRAINAGE.
 - SEE STRUCTURAL FOR FRAMING AROUND ROOF PENETRATIONS.
 - COORDINATE THE SIZE AND LOCATION OF ROOF PENETRATIONS FOR MECHANICAL AND ELECTRICAL EQUIPMENT. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR PENETRATIONS NOT SHOWN ON THIS SHEET.
 - FLASH DRAINS, CURBS, VENTS AND STACKS PER MANUFACTURER'S RECOMMENDATIONS IF DETAIL NOT SHOWN ON PLANS.
 - NO ROOF PENETRATIONS ALLOWED WITHIN 5'-0" EACH SIDE OF 2-HOUR AREA SEPARATION WALL AND 2-HR FIREWALL. SEE CODE PLAN FOR WALL LOCATIONS.

WALL LEGEND

	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED
	NEW INFILL WALL - SEE
	DIM F.O. STUD DIMENSION
	DIM F.O. FINISH