CITY OF SACRAMENTO COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR HEARING

300 Richards Blvd, 3rd Floor, Sacramento, CA 95811

STAFF RECOMMENDATION

Staff recommends the Zoning Administrator deny a Conditional Use Permit and recommends the Design Director deny Site Plan and Design Review for the project known as **Z20-043**. Draft Findings of Fact for denial of the project are included below.

REQUESTED ENTITLEMENTS

- Conditional Use Permit to establish a new storefront Cannabis Dispensary in an existing ±2,760-square-foot building on approximately 0.30 acres in the General Commercial Zone (C-2).
- 2. Site Plan and Design Review for exterior renovations to an existing building and site in the Citywide Design Review area.

PROJECT INFORMATION

Location:	8551 Folsom Boulevard (Council District 6)
Assessor's Parcel Number:	078-0180-004-0000
Applicant:	Kevin McCarty, Karapetyan Living Trust
, ppnoarm	701 12th Street
	Sacramento, CA 95814
Property Owner:	Garib Karapetyan, Joe Karapetyan, Karapetyan Living Trust
	701 12th Street
	Sacramento, CA 95814
Project Planner:	Robert W. Williams, Associate Planner, (916) 808-7686
Existing Land Use of Site:	Commercial Building
General Plan Designation:	Suburban Corridor (SCOR)
Community Plan Area:	East Sacramento
Parking District:	Traditional Parking District
Historic District:	Not Applicable
Design Review Area:	Citywide
Special Planning District:	None (Note: Folsom Boulevard East SPD (FBE-SPD) pending)
Existing Zoning of Site:	C-2 (General Commercial Zone)
Future Zoning of Site:	C-2-SPD (pending)

Surrounding Land Use and Zoning (All properties below will be part of the FBE-SPD)

North:	C-2	Mobile Home Park
South:	M-2S, C-2-SWR	Light Rail Line, Industrial
East:	C-2	Mobile Home Park, Commercial
West:	C-2	Mobile Home Park, Commercial

Property Area:	±13,125 square feet / ±0.30 acres
Property Dimensions:	±125'W x ±105'L
Topography:	Flat
Street Improvements:	Existing
Utilities:	Existing
Existing Building Size:	2,760 square feet (one-story)
Parking Required per code:	6 parking spaces
Parking Provided:	9 parking spaces
Project Plans:	See Exhibit

Project Plans:	See Exhibit
Previous Planning Files:	None

Background

Existing Site

The subject property is located on the north side of Folsom Boulevard, 1,400 feet east of the intersection of Folsom Boulevard, Julliard Drive, and Florin Perkins Road. The subject project's vicinity contains commercial and office buildings and is zoned for General Commercial use (C-2). The south side of Folsom Boulevard contains the light rail line tracks. There are industrial properties south of the tracks that do not have access onto Folsom Boulevard.

The subject property contains a single building which dates back to at least 1957. It was constructed as a gas station, prior to its annexation into the City of Sacramento in 1964. It was remodeled for an office use in 1972 with the construction of a large addition and a mansard roof parapet. In the early 2000's the building was used as a childcare center and, until recently, contained a spa/massage tenant. There still is a portion of the original, attached fueling canopy on the front of the building as the outer portion was removed in 2010 due to auto damage. The existing building has stucco siding. There are five existing windows and two entry doors on the front façade of the building. The structure is listed as a 2,760-square-foot one-story building, per the Sacramento County Assessor.

The property is 125 feet wide and 105 feet deep. It has two existing driveways in the front which are left over from its days as a gas station. There are five parking spaces in front of the building. With the exception of its frontage on Folsom Boulevard, the property is surrounded by a mobile home park. The rear, east side of the property is accessed by the driveway through the adjacent mobile home park. The rear of the building has unpermitted parking spaces that were added when the facility was a childcare center.

Proposed Project and Analysis

Conditional Use Permit (CUP)

The applicant is requesting to convert the existing building into a storefront cannabis dispensary that will include a cannabis delivery service as well. This request requires a CUP from the Zoning Administrator, rather than the Planning and Design Commission, because there are no storefront dispensaries or sensitive uses within 600 feet of the site, and it is more than 300 feet from a residential zone. The applicant is not proposing any cannabis production uses (cultivation, distribution, and manufacturing) in the building.

Should the CUP be approved, the applicant is planning to relocate from his existing storefront at 6435 Florin Perkins Road. The Florin Perkins site will retain their CUP for a storefront dispensary, and it would be available for a potential new operator. If the Florin Perkins site does not continue to operate as a cannabis dispensary for two years or more, that CUP will expire.

Staff does not support the CUP request for a storefront dispensary as the site is within a pending Folsom Boulevard East Special Planning District (FBE-SPD) proposed for much of Folsom Boulevard. The FBE-SPD would run from Howe Avenue on the west side to the City limit on the east side. The FBE-SPD would prohibit cannabis dispensaries along with, somatic practitioners (massage parlors), check cashing centers, and tobacco retailers, with the intent of promoting a greater mix of land uses and attracting new private investment.

The pending FBE-SPD has been in process since December 2019 and the prohibition of cannabis dispensaries has been included in it since January 2020. On September 10, 2020, the Planning and Design Commission recommended approval of the FBE-SPD. Additionally, the FBE-SPD was again recommended for approval by the City's Law and Legislation Committee on October 13, 2020. At the time of writing, the FBE-SPD is proposed to be heard by City Council on November 17, 2020. Given the support of two separate, recommending bodies, Staff does not anticipate that it will be modified by City Council.

The Council hearing to approve the FBE-SPD is scheduled to be held two days before this CUP hearing before the Zoning Administrator. If Council approves it as is, staff recommends the CUP be denied as it would be in direct conflict with the proposed code change prohibiting dispensaries. The FBE-SPD would take effect on December 17, 2020, 30 days from Council approval. If at the time of the ZA hearing, the Council has not yet taken action, staff recommends the proposed code update is confirmed.

Site Plan and Design Review (SPDR)

The applicant is also requesting SPDR for renovations to improve the existing building and site and tailor it to the proposed cannabis retail use. The existing one-story building will be retained with no additions proposed. The stucco siding will remain as the primary siding. The mansard roof parapet will be removed and a new stucco parapet to match the existing building is proposed to screen rooftop mechanical. The two existing doors on the front of the building will be removed as well as couple of the windows. A new glass entry door will be installed on the right side of the front elevation. A decorative metal panel accent will be installed over a portion of the parapet. Three new pilasters with hardwood horizontal planks, new landscape trellis and decoctive light fixtures are also proposed. The rear of the building will retain stucco siding and new raised parapet.

The project site is proposed also be improved for use as a dispensary. The existing two driveways will be removed at the request of the Public Works Department and instead a single

center driveway will be installed. An existing planter on the east side will be removed to provide additional access. A new planter adjacent to the sidewalk will be provided and additional planters to provide required parking lot shading will be installed in front parking lot. The property will contain nine vehicle parking spaces. New bicycle parking spaces will be provided and a new pedestrian walkway from sidewalk will be added. The unpermitted parking on the rear side of the building will removed and a new fenced loading enclosure will be added.

Staff has reviewed the proposed design and has determined that no deviations from development standards are required. The proposed project is in compliance with applicable design guidelines of the Citywide Commercial Design Principles. However, because the proposed renovations are specifically for a proposed cannabis dispensary that is recommended for denial, staff is recommending that the SPDR request also be denied. A renovation for a different use can be approved for SPDR in the future.

Agency Comments

The proposed project has been reviewed by the City's Public Works Department (DPW), the Utilities Department (DOU), the Parks and Recreation Department (Parks), and the Fire Department (Fire). Additionally, the Sacramento Municipal Utility District (SMUD), the Sacramento Area Regional Sanitation District (SRCSD), and the Sacramento Area Sewer District (SASD) have reviewed the project.

Public/Neighborhood Outreach and Comments

This project was routed to Folsom Boulevard Alliance, the College Glen Neighborhood Association, the Power Inn Alliance, and to Preservation Sacramento, who did not provide comments on the proposed project. On November 06, 2020, the site was posted for hearing, and all property owners and residents within 500 feet of the subject site, were mailed a public hearing notification. At the time of the writing of this report, staff received one email of opposition from a nearby property owner.

Environmental Considerations

CEQA does not apply to projects which a public agency rejects or disapproves (CEQA Guidelines, Section 15270(a)).

Director Hearing

The public hearing is scheduled for November 19, 2020. Staff recommends that the Zoning Administrator deny the CUP based on Findings of Fact and staff recommends that the Design Director deny the SPDR based on Findings of Fact.

Findings of Fact – Conditional Use Permit

- 1. The proposed use and its operating characteristics are not consistent with the proposed code Folsom Boulevard East Special Planning District (FBE-SPD) Special Planning District, a proposed specific plan; and
- 2. The proposed use and its operating characteristics are detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will result in the creation of a nuisance in that approval of this project would be in conflict with an approved City Council Ordinance set to take effect in mid-December.

Findings of Fact – Site Plan and Design Review

1. The design, layout, and physical characteristics of the proposed development are not consistent with the general plan and any applicable specific plan or transit village plan; in that, if the if the CUP request is denied, then there is no need for the associated SPDR request.

Respectfully Submitted:	Robert W. Williams	Digitally signed by Robert W. Williams DN: cn=Robert W. Williams, o=City of Sacramento, ou=Community Development, email=RWWilliams@CityofSacramento.org, c=US Date: 2020.11.12 18:24:35 -08'00'	
respectivity oublinited.	Robert W. Williams Associate Planner		

The decision of the Zoning Administrator may be appealed to the Planning and Design Commission. An appeal must be filed within 10 days of the hearing. If an appeal is not filed, the action of the Zoning Administrator and Design Director is final.



City Of Sacramento Community Development Department Current Planning Division

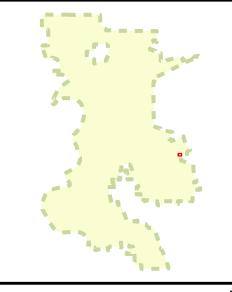
Z20-043

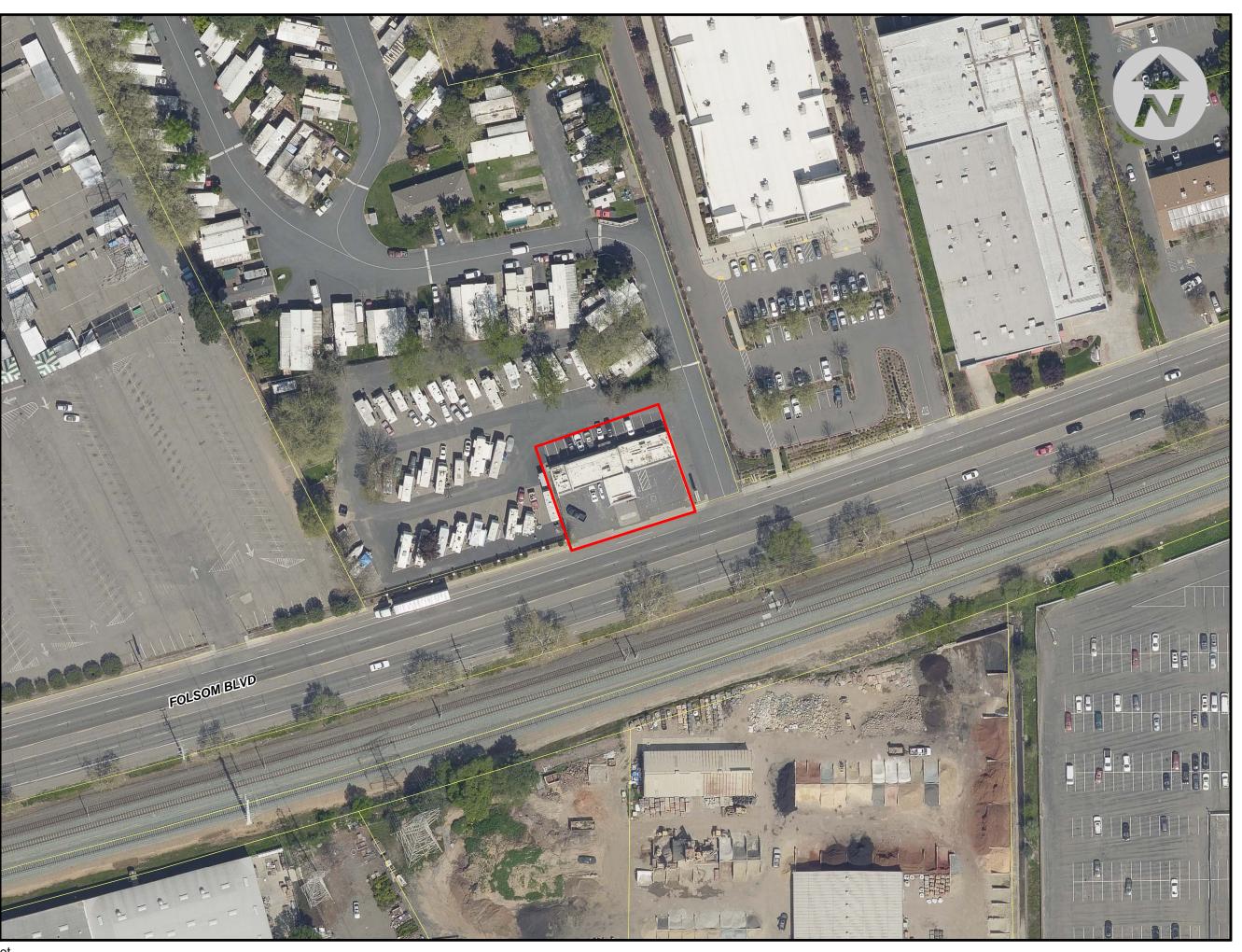
8551 Folsom Blvd. 078-0180-004-0000 C-2 zone - CD #6

Citywide SPDR SCOR - Gen-Plan Traditional Parking Dist.

CUP Storefront Cannabis Dispensary SPDR Rennovations









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Z20-043

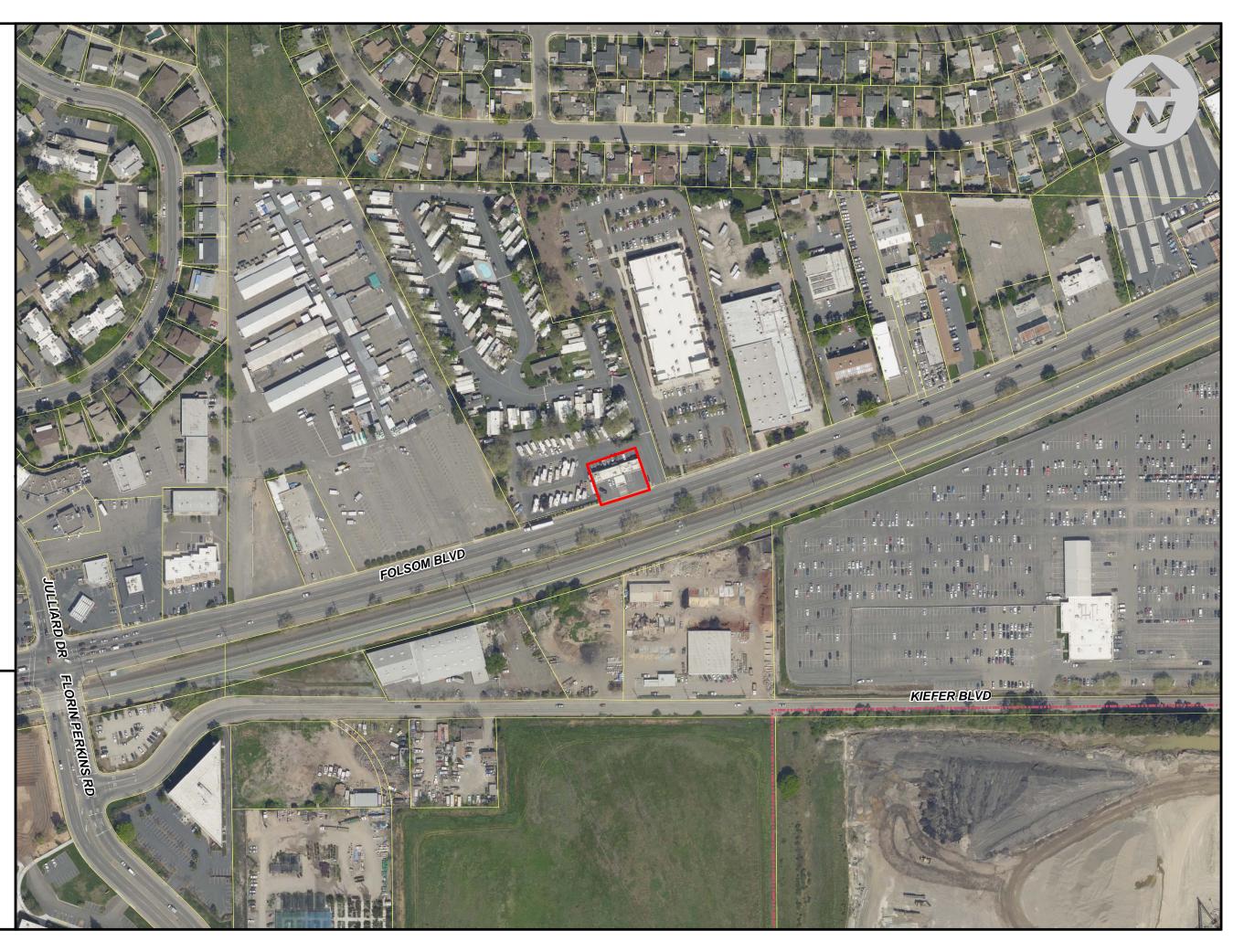
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CUP Storefront Cannabis Dispensary SPDR Rennovations







Feet 0 100 200

ECANNABIS DISPENSARY RELOCATION

TENANT REMODEL CONDITIONAL USE PERMIT DRAWINGS

PROJECT ADDRESS: 8551 FOLSOM BLVD., SACRAMENTO, CA 95826 APN#: 078-0180-004-0000

SHEET INDEX

.GENERAL.

- G0.0 COVER SHEET
- SYMBOLS AND ABBREVIATIONS NEIGHBORHOOD CONTEXTUAL MAR G1.0

.ARCHITECTURAL

- A1.0 CONTEXT PHOTOS
- CONTEXT PHOTOS
- FLOOR / SITE PLAN DEM SITE PLAN - PROPOSE
- EXTERIOR FLEVATIONS DEM
- FLOOR PLAN PROPOSE
- A1.6 **EXTERIOR FLEVATION - PROPOS**
- A1.8 ROOF PLAN

PROJECT INFORMATION

SCOPE OF WORK

THE SCOPE OF WORK DESCRIBED HEREIN INCLUDES NEW INTERIOR WALL LAYOUT, HVAC, LIGHTING, AND FINISHES.

UPGRADES TO THE EXTERIOR INCLUDE REMOVING THE EXISTING MANSARE ROOF AND PORTE COCHERE IN THEIR ENTIRETY. ADDING NEW DECORATIVE ACCENT ELEMENTS AND NEW FINISHES TO THE SOUTH ELEVATION. AND A NEW PARKING LAYOUT AND ACCESSIBLE STALLS.

> TYPE VB 1-STORY

2,760 S.F.

M, B, S-1

NO NO

CONSTRUCTION TYPE: NUMBER OF STORIES: ACTUAL BUILDING AREA: OCCUPANCY (BUILDING): FIRE SPRINKLER: FIRE ALARM:

APPLICABLE CODES

2019 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.

2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.

2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R

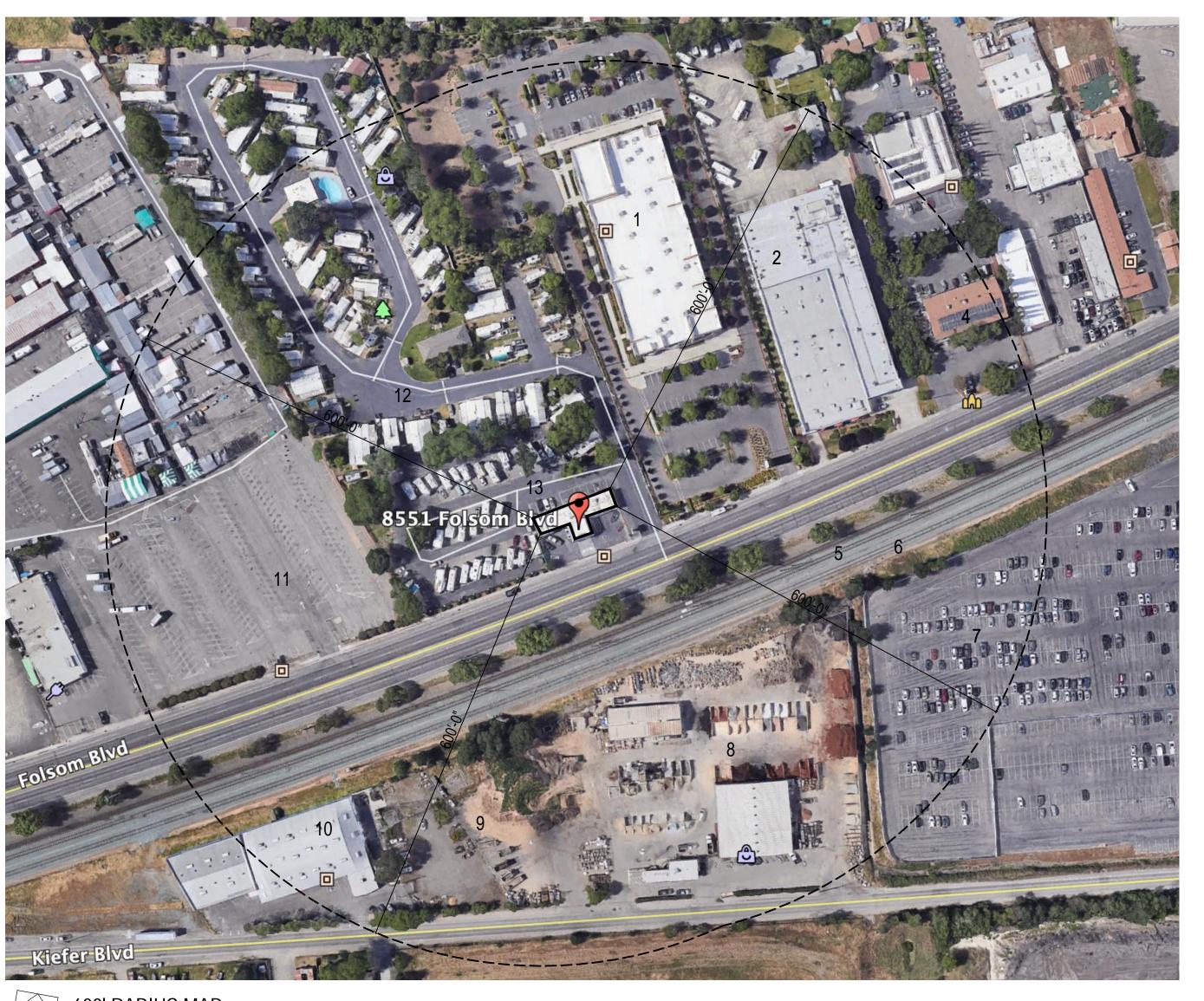
2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.F

2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.

2019 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.

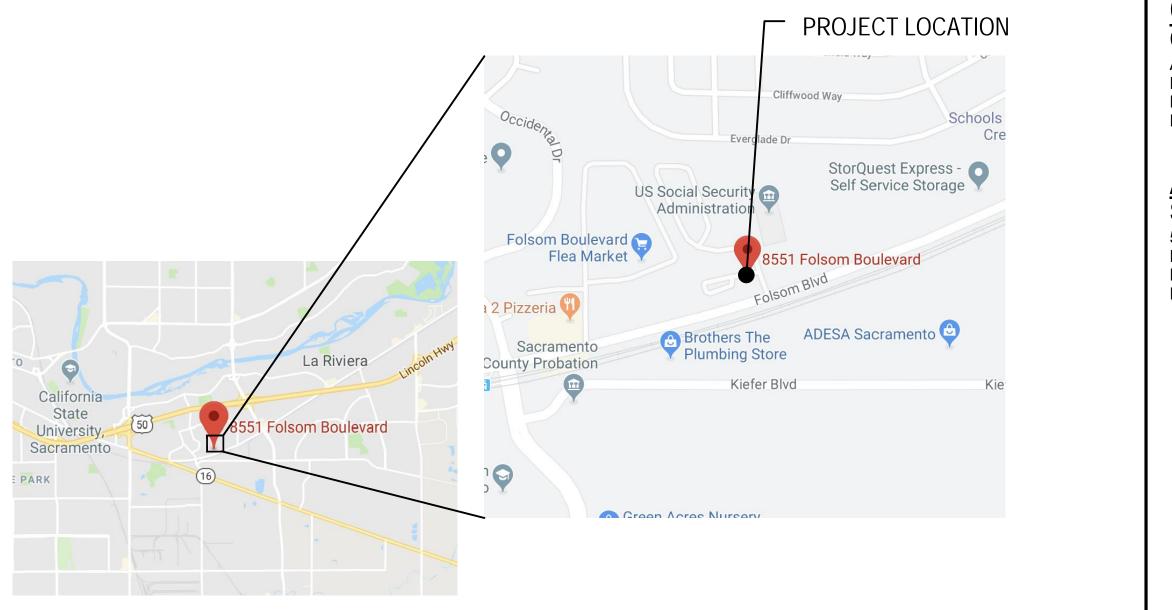
2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN), PART 11, TITLE 24 C.C.R.



600' RADIUS MAP SCALE: NOT TO SCALE NORTH

VICINITY MAP



PROJECT TEAM

OWNER

CAPITOL COMPLIANCE MANAGEMENT ANTHONY NOONIS PROJECT MANAGER PH: 916.389.2858 EMAIL: ANTHONY@CCMUP.COM

ARCHITECT STACEY HALL 5732 CAMAS CT.

POLLOCK PINES, CA 95726 PH: 510.220.1193 EMAIL: SBOWEN505@YAHOO.COM

CONDITIONAL USE PERMIT
STACEY HALL
C-31704
10-16-2020
REVISIONS:



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Examination 220-043

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FACE BRICK FB FOOT CANDLE FC FCMU FLUTED CONCRETE MASONRY UNIT FCO FLOOR CLEAN OUT FAN COIL UNIT FCU FD FIRE DAMPER FD FLOOR DRAIN FDC FIRE DEPARTMENT CONNECTION FDN FOUNDATION FDR FEEDER FE FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FFC **FINISH FLOOR** FFE FINISH FLOOR ELEVATION FIRF HYDRANT FH FHC FIRE HOSE CABINET FIG FIGURE FIN FINISH FIX FIXTURE FLOOR FL FLASH FLASHING FLEX FLEXIBLE FLUOR FLUORESCENT FLG FLOORING FLM FULL LENGTH MIRROR FACTORY MUTUAL FM FIRE MAIN FM FME FLOW MEASURING EQUIPMENT FACE OF FO FINISH OPENING FO FACE OF CONCRETE FOC FACE OF FINISH FOF FOF FUEL OIL FILL FOM FACE OF MASONRY FOR FUEL OIL RETURN FOS FACE OF STUD FOS FUEL OIL SUPPLY FOV FUEL OIL VENT FOW FACE OF WALL FP FIREPROOFING FPD FIRE PUMP DISCHARGE FPM FEET PER MINUTE FR FIRE RESISTIVE FRAME FR FRP FIBERGLASS REINFORCED PANEL FS FLOOR SINK FLOW SWITCH FS FSD FIRE/SMOKE DAMPER FSS FOLDING SHOWER SEAT FEET (FOOT) FT FT FIN TUBE FLOW TRANSMITTER FT FTG FOOTING FUT FUTURE FVC FIRE VALVE CABINET FWC FABRIC WALL COVERING GRILLE G NATURAL GAS GAUGE GA GAL GALLON GALV GALVANIZED GB GRAB BAR GC GENERAL CONTRACTOR GCO GRADE CLEAN OUT GCMU GLAZED CONCRETE MASONRY UNIT GD GARBAGE DISPOSAL GEN GENERAL GEN GENERATOR GROSS FLOOR AREA GFA GFI GROUND FALL T INTERRUPTER GFRC GLASS FIBER REINFORCED CONCRETE GHR GLYCOL-WATER HEATING RETURN GLYCOL-WATER HEATING SUPPLY GHS GALVANIZED IRON GLUE LAMINATED GLASS GI GLASS MASONRY UNIT GMU GND GROUND GOVT GOVERNMENT GPH GALLONS PER HOUR GPM GALLONS PER MINUTE GR GUARD RAIL GR GRADE GR GRILLE GRC GLAVANIZED RIGID CONDUIT GRC GLASS REINFORCED CONCRETE GRGP GLASS REINFORCED GYPSUM PLASTER GRS GALVANIZED RIGID STEEL GASOLINE GS GATE VALVE GV GW GREASE WASTE GWB GYPSUM WALL BOARD GYP GYPSUM HEIGHT HOOK ONE END H 1E HOSE BIB HB HANDICAP HC HOLLOW CORE HC HCB HANDICAP BENCH HCR HOT / CHILLED WATER RETURN HCS HOT / CHILLED WATER SUPPLY HD HAND DRYER OR HAIR DRYER HDBD HARDBOARD HDR HEADER HDWD HARDWOOD HDWR HARDWARE HEV HOSE END VALVE HIGH INTENSITY DISCHARGE HID HOLLOW METAL HM HOA HAND OFF AUTOMATIC HORIZ HORIZONTAL HEAT PUMP HP HP HIGH PRESSURE HP HORSEPOWER HIGH PRESSURE STEAM RETURN HPR HPS HIGH PRESSURE SODIUM HPS HIGH PRESSURE STEAM SUPPLY HR HANDRAIL HR HOUR HEADSTUD HS HOLLOW STRUCTURAL SECTION HSS HSTR HIGH STRENGTH ΗT HEIGHT HTG HEATING HTR HEATER HTWR HIGH TEMP HOT WATER RETURN HTWS HIGH TEMP HOT WATER SUPPLY HUM HUMIDIFIER HEATING VENTILATING UNIT HV HEATING VENTILATING AND AIR CONDITIONING MW HVAC HW DOMESTIC HOT WATER DOMESTIC HOT WATER RECIRCULATING HWC LOW TEMP HOT WATER RETURN HWR LOW TEMP HOT WATER SUPPLY HWS HEAT EXCHANGER HX

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JL	INSULATION INTERIOR	OA	OVERALL		SPECIAL COATING	VA	VALVE
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	INDIRECT WASTE JANITOR	OC	ON CENTER	SCHED	SCHEDULE	VB	VAPOR BARRIER
	JUNCTION BOX	OD OD			SHOWER CURTAIN ROD STRUCTURAL CLAY TILE	VB VBF	VINYL BASE VENT BELOW FLOOR
	JUNCTION	OF	OVERFLOW DRAIN OUTSIDE FACE	SCUT	SCUTTLE	VCB	VENTED COVE BASE
	JOIST JOINT FILLER BOARD		OVERFLOW OWNER FURNISHED CONTRACTOR INSTALLED		SOFT COLD WATER SOAP DISPENSER	VCP VCT	VITRIFIED CLAY PIPE VINYL COMPOSITION TILE
	JOINT	OFC OFF	OFFICE	SD	SMOKE DAMPER	VD	VOLUME DAMPER - MANUAL
	KEYED CONSTRUCTION JOINT KEENE'S CEMENT PLASTER	OFOI	OWNER FURNISHED OWNER INSTALLED		SMOKE DETECTOR	VEL	VELOCITY
	KNOCKDOWN	OHP OHT	OVERHEAD POWER OVERHEAD TELEPHONE		STORM DRAIN STEAM EXHAUST VENT	VENT VENT	VENTILATION VENTILATOR
	KITCHEN HOOD KITCHEN HOOD EXHAUST FAN	OPG	OPENING		SECONDARY	VERT	VERTICAL
	KITCHEN HOOD SUPPLY FAN	OPP OSD	OPPOSITE OVERFLOW STORM DRAIN		SECTION SECRETARY	VEST VF	VESTIBULE VINYL FLOOR
	KITCHEN KNOCKOUT	OS&Y	OUTSIDE SCREW AND YOKE	SENS	SENSIBLE	VFD	VARIABLE FREQUENCY DRIVE
	KITCHEN SINK	OTCS OVHD	OPEN TO CEILING SPACE OVERHEAD		SQUARE FOOT SUPPLY FAN	VM VOL	VOLTMETER VOLUME
	KILOVOLT	OVED	OXYGEN	SFCMU	SPLIT-FACED CONCRETE MASONRY UNIT	VP	VENEER PLASTER
R	KILOVOLT AMPERES KILOVOLT AMPERES REACTIVE	P P	PAINT		STRUCTURAL FACING UNIT SINGLE	VP VSMC	VACUUM PUMP VARIABLE SPEED MOTOR CONTROLLER
	KILOWATT	Р Р/Т	POLE PRESSURE/TEMPERATURE TEST PORT	SH	SHOWER	VSIVIC	VINYL TILE
1	KILOWATT HOUR ANGLE	Р	PUMP		SHEATHING SECURITY HOLLOW METAL	VTR	VENT THROUGH ROOF
	LAVATORY	PA PAN B	PUBLIC ADDRESS PANIC BOLT	SHT	SHEET	VWC W	VINYL WALLCOVERING WATER SERVICE
	LABORATORY COMPRESSED AIR LABORATORY	PAR	PARALLEL	SHW	SOFT HOT WATER	W	WIDE; WIDTH
	LAMINATE(D)	PB PB	PARTICLE BOARD PULL BOX		SIMILAR SHORT LEG	W W	WASTE (PLUG) WATT
	LEAVING AIR TEMPERATURE LAVATORY	PB	PUSH BUTTON	SLNT	SEALANT	W	WEST
	POUND	PBS PC	PUSH BUTTON STATION PRECAST		SHEET METAL SPRINKLER MAIN	W W/	WIDE FLANGE WITH
	LUMBER	PC	PUMPED CONDENSATE	SND	SANITARY NAPKIN DISPOSAL	W/O	WITHOUT
	POUNDS LOADING	PCD	PAPER CUP DISPENSER	-	SANITARY NAPKIN VENDOR STATIC PRESSURE (H2O)	WB WC	WET BULB WALL COVERING
	LINEAR FOOT (FEET)	PCF PCT	POUNDS PER CUBIC FOOT PORCELAIN CERAMIC TILE	SP	STAND PIPE	WC	WATER COLUMN
	LENGTH (LONG) LINEAR	PD	PRESSURE DROP		STATIC PRESSURE SPECIFICATIONS	WC WCC	WATER CLOSET WATER COOLED CONDENSER
)	LINOLEUM	PD PDI	PUMP DISCHARGE PLUMBING & DRAINAGE INSTITUTE	SPK	SPRINKLER	WCC	WATER COOLED CONDENSER WATER CLOSET/LAVATORY COMBINATION
	LOCKER LIVE LOAD	PENT	PENTHOUSE		SOUND PRESSURE LEVEL	WCO	WALL CLEAN OUT
	LONG LEG HORIZONTAL		PERFORATED PERPENDICULAR		SPECIAL SPLASH BLOCK	WD WDW	WOOD WINDOW
	LONG LEG VERTICAL LOCATION	PF	POWER FACTOR		SQUARE STAINLESS STEEL	WF	WASH FOUNTAIN
G	LONGITUDINAL	PG PH	PRESSURE GAGE PHASE		STORM SHELTER AREA	WH WFMD	WALL HYDRANT WATER FLOW MEASURING DEVICE
	LIQUID OXYGEN LIQUEFIED PETROLEUM GAS	PI	POINT OF INTERSECTION		SERVICE SINK SOLID SURFACE	WH	WATER HEATER
	LOW PRESSURE STEAM RETURN	PI PIC	PRESSURE INDICATOR PORTABLE INSTRUMENT CONNECTION	ST	STAIR	WHM WI	WATT HOUR METER WROUGHT IRON
	LOW PRESSURE STEAM SUPPLY LIVING ROOM	PIV	POST INDICATOR VALVE		STORM SEWER STAGGERED	WLR	WATER LOOP RETURN
	LAWN SPRINKLER	PL PL		STC	SOUND TRANSMISSION CLASS	WLS WMG	WATER LOOP SUPPLY WATER MOTOR GONG
	LIFE SAFETY CODE LIGHT	PLAM;PL	PLASTIC LAMINATE		STANDARD SINGLE TAPERED END	WNSCT WP	WAINSCOT WEATHERPROOF
	LINED TRANSFER DUCT		PLUMBING	STGR	STRINGER		WHIRLPOOL BATH
	LIGHTING LOUVER	PLYWD	PLYWOOD		STEEL STORAGE	WPF	WATERPROOF
	LABORATORY VACUUM	PNEU PNL	PNEUMATIC PANEL	STR	STRUCTURAL - STRUCTURE	WPFG WR	WATERPROOFING WATER RESISTANT
	LONG WAY LEAVING WATER TEMPERATURE	POC	POINT OF CONNECTION		SUBSTATION SUBFLOOR	WR WSP	WASTE RECEPTACLE WET STAND PIPE
	THOUSAND	PORC PPM	PARTS PER MILLION	SURF	SURFACE	WSP	WEIGHT
	MIXED AIR MEDICAL COMPRESSED AIR	PR	PAIR		SUSPENDED SHEET VINYL	WW WWF	WARM WHITE WELDED WIRE FABRIC
,	MACHINE		PREFABRICATED PROJECTION	SV	SOLENOID VALVE		TRANSFORMER
) NT	MAGNETIC MAINTENANCE	PRV	PRESSURE REDUCING VALVE		SHORT WAY SWITCH		TRANSMITTER
l	MANUAL	PS PS	PIPE SUPPORT PROJECTION SCREEN	SWBD	SWITCH BOARD	YD YH	YARD YARD HYDRANT
; T	MASONRY MATERIAL	PSF PSI	POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH		STEAM WORKING PORESSURE SYMMETRICAL	Z	IMPEDANCE
	MAKEUP AIR UNIT	PSV	PRESSURE SAFETY VALVE	Т	TEMPERED	ZCV ZVB	ZONE CONTROL VALVE ZONE VALVE BOX
	MANUAL AIR VENT MAXIMUM	PT PT	PLASTER TRAP POINT		THERMOSTAT TOP & BOTTOM	&	AND
	MACHINE BOLT	PT	POTENTIAL TRANSFORMER	T& G	TONGUE & GROOVE	@	AT
)	MOP BASIN MARKER BOARD	PTD PTD/R	PAPER TOWEL DISPENSER COMBINATION TOWEL DISPENSER/RECEPTACLE		TREAD TRANSFER AIR	i.e. #	THAT IS NUMBER
 _	THOUSAND BTU PER HOUR	PTN	PARTITION	TAB	TEST AND BALANCE		
υH	THOUSAND BTU PER HOUR MECHANICAL CONTRACTOR	PVC PVI	POLYVINYL CHLORIDE POINT OF VERTICAL INTERSECTION		TANGENT TERMINAL BOX	THF FOI	LLOWING ABBREVIATIONS
	MEDICINE CABINET	PVT	POINT OF VERTICAL TANGENCY	ТВ	TOWEL BAR		ED WITH GLAZING:
\ }	MINIMUM CIRCUIT AMPS MAIN CIRCUIT BREAKERJ	PWL PWR	SOUND POWER LEVEL POWER		TACK BOARD TEMPERATURE CONTROL	CG	CLEAR FLOAT GLASS
1	THOUSAND CIRCULAR MILLS	QT	QUARRY TILE	ТС	TIME CLOCK	CIG CTG	CLEAR INSULATING GLASS CLEAR TEMPERED FLOAT GLASS
)	MANUAL VOLUME DAMPER MEDIUM DENSITY OVERLAY	QTR RNI	DQUARTER ROUND		TRANSFER DUCT TRENCH DRAIN	CTIG	CLEAR TEMPERED INSULATING GLASS
H	MECHANICAL	R RA	RISER RETURN AIR	TDH	TOTAL DYNAMIC HEAD	LG PG	LAMINATED GLASS PATTERN GLASS
1B	MEMBRANE METAL	RAD	RADIATOR		TELEPHONE TEMPERED - TEMPORARY	PIG	PATTERN INSULATING GLASS
Ζ	MEZZANINE	RAD or F RB	RADIUS RUBBER BASE	TEMP	TEMPERATURE	SG TG	SPANDREL GLASS
G	MANUFACTURER MANUFACTURING	RC	REMOVE CONTROL		TERRAZZO TEXTURED	TG TIG	TINTED FLOAT GLASS TINTED INSULATING GLASS
0	MOTOR GENERATOR	RCP RCP	REFLECTED CEILING PLAN	TGL	TOGGLE	TTG	TINTED TEMPERED FLOAT GLASS
	MANHOLE METAL HALIDE	RCU	REINFORCED CONCRETE PIPE RECIPROCATING CHILLER JOINT		THRESHOLD TOWEL HOOK	TTIG WG	TINTED TEMPERED INSULATING GLASS POLISHED WIRE GLASS
	MOP HOLDER	RD RD	ROOF DRAIN REFRIGERANT DISCHARGE	THK	THICK(NESS)	-	
C	MINIMUM MISCELLANEOUS	RECP	RECEPTACLE		TILT MIRROR UNIT THERMOSTATIC MIXING VALVE		
	MOTORIZED LOUVER	REF REFL	REFERENCE REFLECTED	ТОВ	TOP OF BEAM		
G	MOLDING MAIN LUGS ONLY		REFRIGERANT		TOP OF CONCRETE TOP OF FOOTING		
/K	MILLWORK	REFR REG	REFRIGERATOR REGISTER	TOIL	TOILET		
2	MASONRY OPENING MEDIUM PRESSURE GAS		REINFORCEMENT	TOP	TOP OF PAVING TOP OF STEEL		
ĺ	MEDIUM PRESSURE STEAM RETURN	REM	REMOVABLE REQUIRE(D)	TOW	TOP OF WALL		
	MEDIUM PRESSURE STEAM SUPPLY MIRROR	RESIL	RESILIENT		TRAP PRIMER TRIP		
S	MIRROR WITH SHELF	RET REV	RETAINING (WALL) REVISIONS	TRANS	TRANSVERSE		
)	MAGNETIC STARTER MOUNTED	RF	RETURN FAN		TREAD TEMPERATURE SENSOR		
ì	MOUNTING	RF RFM	RUBBER FLOOR RECESSED FLOOR MAT	TSP	TOTAL STATIC PRESSURE		
/R	METAL MEDIUM TEMP HOT WATER RETURN	RH	RELATIVE HUMIDITY		TEMPERATURE TRANSMITTER TERRAZZO TILE		
	MEDIUM TEMP HOT WATER SUPPLY	RH RHC	RELIEF HOOD REHEAT COIL	TTD	TOILET TISSUE DISPENSER		
	MULLION MERCURY VAPOR	RH	ROBE HOOK		TELEVISION TACK WALL		
	MEDICAL VACUUM	RHG RI&C	REFRIGERANT HOT GAS ROUGH IN AND CONNECT	TYP	TYPICAL		
	MARKER WALL NITROGEN	RIJS	RISE IN JOIST SPACE		URINAL UNIT COOLER		
	NORTH NITROUS OXIDE	RL RM	REFRIGERANT LIQUID ROOM		UNDERGROUND		
	NOT APPLICABLE	RND RO	ROUND ROUGH OPENING				

GENERAL SY	MBOLS		
??? SIM ???	DETAIL NUMBER CROSS REFERENCE SHEET ON WHICH DRAWN		EARTH
	SIMILAR OR TYPICAL REFERENCE		GRAVEL/BALLAST
? SIM	WALL SECTION		SAND
233	SIMILAR OR TYPICAL REFERENCE		CONCRETE
? SIM		0 0	PRECAST CONCRETE
???	DETAIL REFERENCE		STEEL
	М		GYM FLOOR
777 777	BUILDING SECTION		WOOD (CONTINUOUS BLOCKING)
? East	BUILDING ELEVATION		WOOD (NON-CONTINUOS BLOCKING)
???	INTERIOR ELEVATION		WOOD (TRIM/FINISH)
			GLASS
XX/ A11.X	CASEWORK ELEVATION		STONE
			SHINGLES
(?)	LEGEND/KEY NOTE		CONCRETE MASONRY UNIT
(?)	COLUMN LINE	77777	BRICK VENEER
\bigcirc			METAL STUDS
ROOM NAME	ROOM NUMBER		STEEL (LARGE SCALE)
			PLYWOOD (LARGE SCALE)
(101)	DOOR NUMBER		GYPSUM WALL BOARD (LARGE SCALE)
(1t)	WINDOW NUMBER		BATT INSULATION
	WALL TYPE		RIGID INSULATION
			PROTECTION BOARD
	REVISION NUMBER		CARPET (LARGE SCALE)
			ACOUSTICAL TILE (LARGE SCALE)
			TILE (LARGE SCALE)

GENERAL NOTES:

- 1. SCOPE DOCUMENTS: THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT. THE DIMENSIONS OF THE BUILDING. THE MAJOR ARCHITECTRUAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DEXRIBED, THE CONTRACTOR SHALL FURNISH ALL ITESM REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. DECISIONS OF THE ARCHITECT AS TO THE ITEMS OF WORK INCLUDED WITHIN THE
- SCOPE OF THESE DOCUMENTS SHALL BE FINAL AND BINDING ON THE CONTRACTOR AND THE OWNER. 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING THE WORK. SHOULD THE CONTRACTOR BECOME AWARE OF A DISCREPENCY, OR ITEM OF NON-CONFORMANCE, IN THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY BOTH THE ARCHITECT AND THE OWNER AT ONCE FOR INSTRUCTION. IF CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT INSTRUCTION OR APPROVAL FROM THE ARCHITECT AND OWNER, THE CONTRACTOR SHALL PROCEED AT THEIR OWN RISK AND SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE ARCHITECT. SHOULD A CONFLICT OCCUR ON OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIAL AND/OR CONSTRUCTION METHOD INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES AND ALTERNATE METHOD AND/OR MATERIAL. CONTRACTO SHALL ALSO NOTIFY THE ARCHITECT OF ANY SUCH DISCREPENCY IMMEDIATELY.
- ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFICED AND AS REQUIRED BY THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, LOCAL CODES AND AUTHORITIES.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE. 5. ALL MATERIAL SOTRES ON THE SITE SHALLBE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND
- DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CASUE FOR REJECTION OF THE WORK. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS ON TEH SITE TO AREAS PERMITTED BY THE OWNER AND IS DEEMED NECESSARY TO COMPLETE THE WORK. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTO IMMEDATIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS OPERATIONS.
- 7. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING OR PATCHING OF HIS WORK THAT MAY BE REQUIRED TO MAKE SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF THE WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES
- 8. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION, AS OUTLINED BY THE SPECIFICATIONS, SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN APPROVED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS AND SAMPLES. CONTRACTOR TO REVIEW AND APPROVED THAT ALL SAMPLES, SHOP DRAWINGS, DIAGRAMS, ETC. ARE IN CONFORMANCE WITH THE CONTRACT DOCUMENTS PRIOR TO SENDING TO THE ARCHITECT FOR REVIEW. 9. PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A.C.
- EQUIPMENT AND ALL OTHER ITEMS AS REQUIRED. 10. WHERE LARGER SUTDS OR FURRINGS ARE REQUIRED TO COVER DUCTS, PIPING AND CONDUITS, THE LARGER STUD SIZE OR FURRING SHALL EXTEND TO THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
- 11. DETAILS MARKED AS "TYPICAL" SHALL APPLY IN ALL INSTANCES U.N.O. 12. CONTRACTOR TO VERIFY HOURS OF CONSTRUCTION WITH J.H.A. AND OWNER PRIOR TO WORK COMMENCING.

ENERGY NOTES:

- 1. GENERAL: CONSTRUCTION SHALL COMPLY WITH THE AIR LEAKAGE REQUIREMENTS OF THE CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, PART 6, DIVISION T20, CHAPTER 2, SUBCHAPTER 4, ARTICLE 2, SECTION T20-1495-1495 FOR WINDOWS, DOORS, CAULKING AND SEALING.
- 2. CAUKLING AND SEALING: OPEN EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES, BETWEEN WALL AND FOUNDATION, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS, AT PENETRATIONS OF UTILITY SERVICES THROUGH WALLS, FLOORS AND ROOF, AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED, CAULKED, GASKETED OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.
- 3. WINDOWS: FIXED WINDOWS CONSTRUCTION AND/OR ERECTED ON SITE SHALL BE SEALED TO LIMIT AIR INFILTRATION.
- 4. DOORS: ALL EXTERIOR DOORS SHALL BE SO DESIGNED TO LIMIT AIR LEAKAGE AROUND THEIR PERIMETER WHEN IN A CLOSED POSITION. 5. ALL DOORS SHALL BE PROVIDED WITH A SEAL, ASTRAGAL, OR BAFFLE AT THE HEAD AND SILL.
- 6. DOORS MOUNTED ON EITHER THE INSIDE OR OUTISDE OF AN EXTERIOR WALL SHALL HAVE A MINIMUM ONE-HALF
- INCH LAP AT EACH JAMB. 7. DOORS REQUIRING VERTICAL TRACK OR GUIDES SHALL USE A CONTINUOUS MOUNTING ANGLE, SEALED IN
- ACCORDANCE WITH SECTION T-20-1495 (E), AT EACH JAMB. 8. DORRS MOUNTED BETWEEN THE JAMBS SHALL HAVE A CONTINUOUS SEAL OR BAFFLE AT EACH JAMB.
- MEETING RAILS OF SECTIONLAL DOORS AND MEETING STILES OF RAILS OF BI-PARTING DOORS SHALL BE PROVIDED WITH A SEAL, ASTRAGAL, OR BAFFLE.
- 10. SWINGING AND REVOLVING DOORS SHALL BE WEATHERSTRIPPED AT THE HEAD, SILL AND JAMB. 11. DOUBLE DOORS SHALL BE PROVIDED WITH A WEATHERTIGHT ASTRGAL OR CLOSURE AT THE CENTER CRACK.

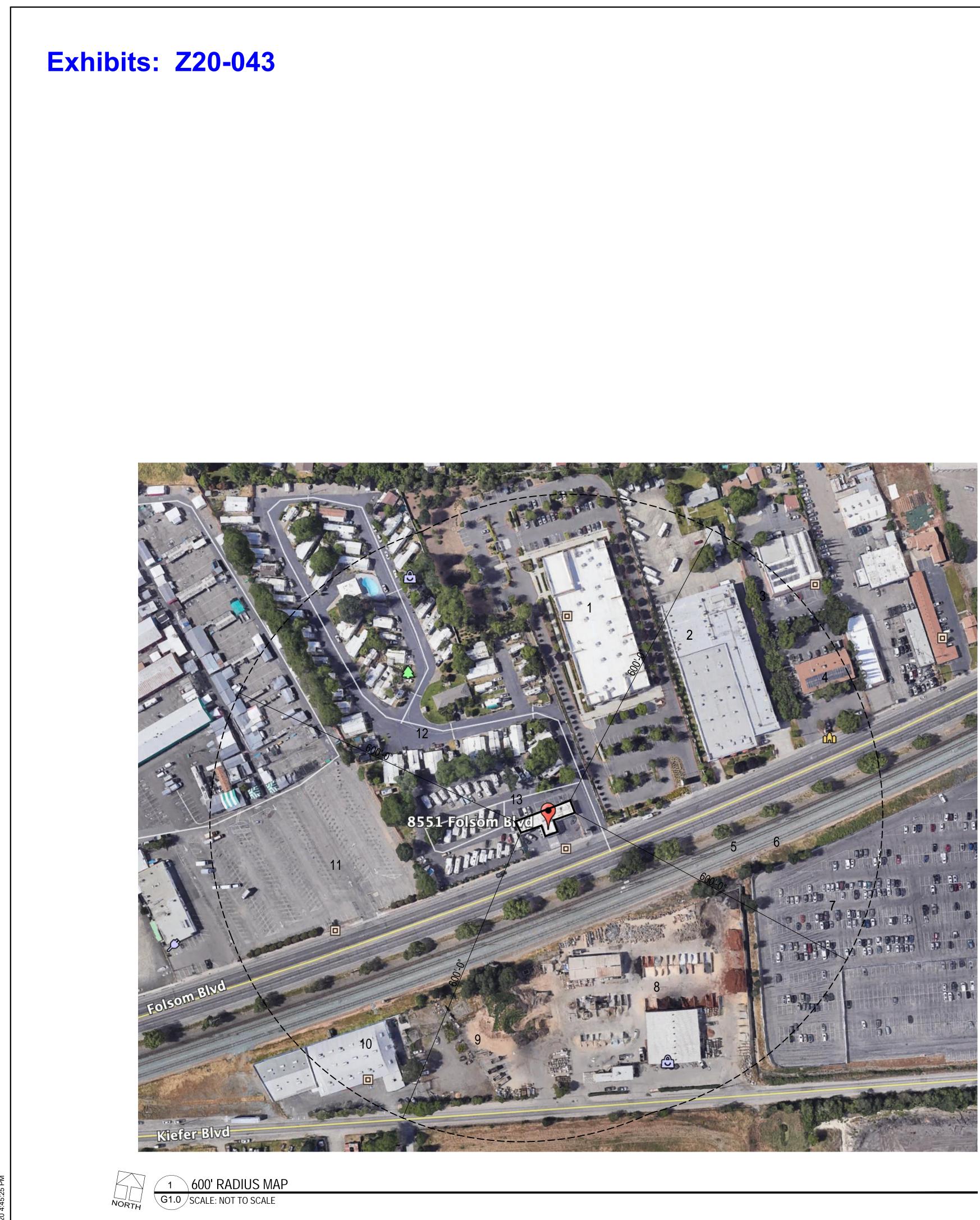


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Ref #	Address	Parcel #	Business Type	Zone
1	8581, 8571, 8561 FOLSOM BLVD	078-0180-030	WESTSIDE GSA HOLDING & US SOCIAL SECURITY ADMINISTRATION & PARKING LOT	C-2 - GENERAL COMMERCIAL
2	8597, 8599, 8591 FOLSOM BLVD	078-0180-029	ALLSTAR SELF STORAGE	C-2 - GENERAL COMMERCIAL
3	8609, 8605 FOLSOM BLVD	078-0180-028	BERGQUAM ENERGY SYSTEMS & CALVARY CHRISTIAN CENTER	C-2 - GENERAL COMMERCIAL
4	8611 FOLSOM BLVD	078-0180-027	SHINING STARS MASSAGE	C-2 - GENERAL COMMERCIAL
5	FOLSOM BLVD	078-0180-043	RAILROAD	M-2S - HEAVY INDUSTRIAL - SITE IMPROVEMENTS
6	FOLSOM BLVD	078-0180-034	RAILROAD	M-2S - HEAVY INDUSTRIAL - SITE IMPROVEMENTS
7	8649 KIEFER BLVD	078-0190-026	ADESA SACRAMENTO	C-2-SWR - GENERAL COMMERCIAL/SOLID WASTE RESTRICTED
8	8585 KIEFER BLVD	078-0190-023	CASCADE ROCK INC	C-2-SWR - GENERAL COMMERCIAL/SOLID WASTE RESTRICTED
9	8583 KIEFER BLVD	078-0190-049	VACANT LAND	C-2-SWR - GENERAL COMMERCIAL/SOLID WASTE RESTRICTED
10	8581 KIEFER BLVD	078-0190-048	BROTHERS THE PLUMBING STORE	C-2-SWR - GENERAL COMMERCIAL/SOLID WASTE RESTRICTED
11	8525 FOLSOM BLVD	078-0180-002	VACANT	C-2 - GENERAL COMMERCIAL
12	8545 FOLSOM BLVD	078-0180-003	BAMBOO TREE MOBILE HOME PARK	C-2 - GENERAL COMMERCIAL
13	8551 FOLSOM BLVD	078-0180-004	FATHERS RESOURCES CENTER	C-2 - GENERAL COMMERCIAL
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PHOTO 1



PHOTO 3



PHOTO 5





PHOTO 2



PHOTO 4



PHOTO 6



PHOTO 8

PHOTO 7





NORTH PHOTO KEY MAP - BUILDING SCALE: NOT TO SCALE





PHOTO 9



PHOTO 10



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PHOTO 1



PHOTO 2



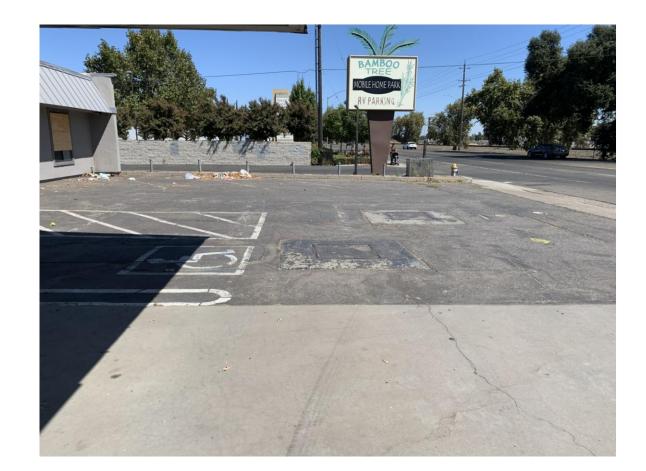


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PHOTO 5

PHOTO 6





NORTH PHOTO KEY MAP - SITE SCALE: NOT TO SCALE



PHOTO 7

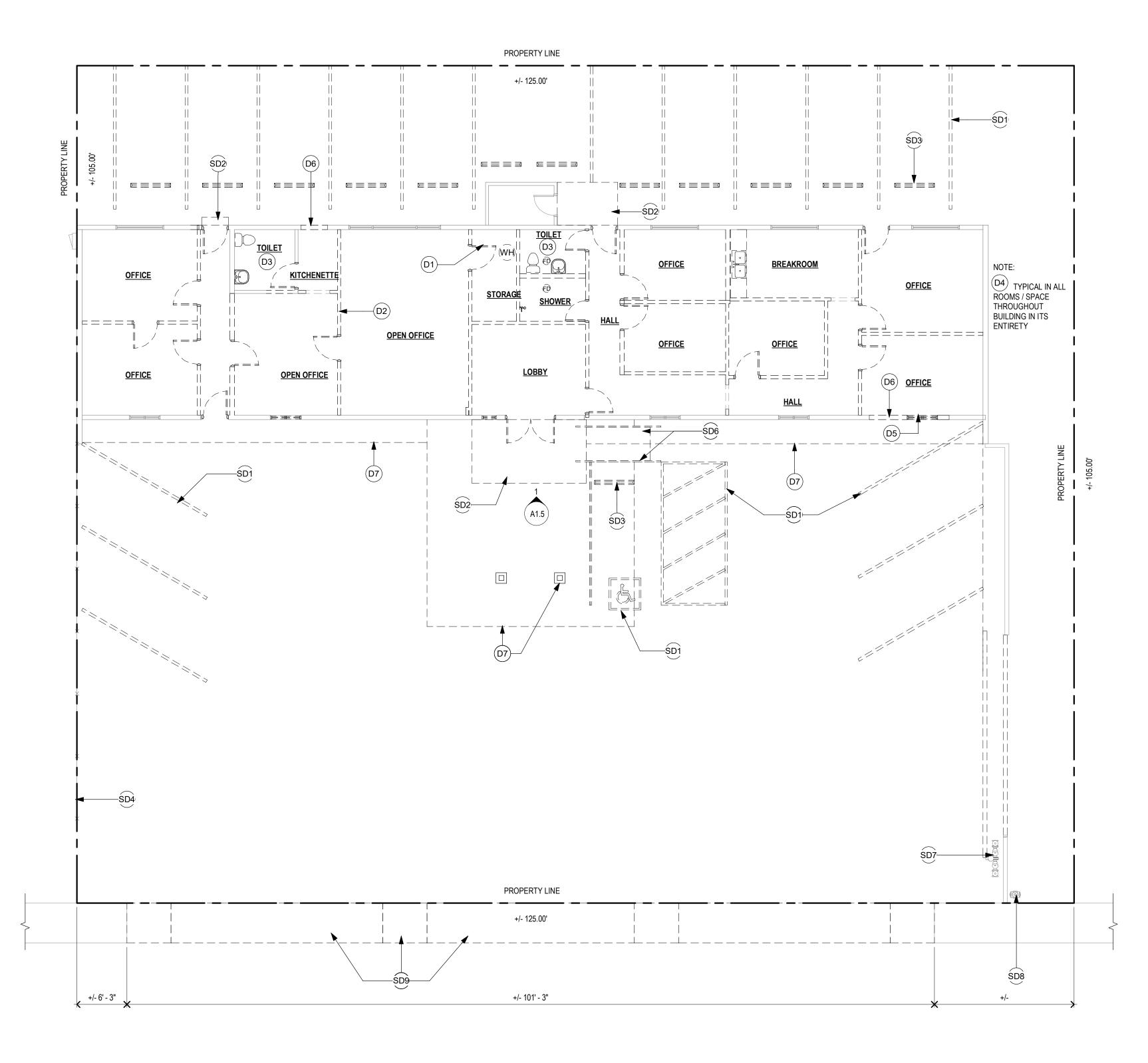


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NOTES

KEYNOTES - SITE DEMO Key Value Keynote Text SD1 (E) STRIPING TO BE GROUND OFF IN ITS ENTIRETY. 1 SHOWN DASHED. SD2 (E) CONCRETE LANDING TO BE DEMOLISHED. SD3 (E) WHEELSTOP TO BE REMOVED. TYP. SHOWN DASHED (E) CHAINLINK FENCING TO REMAIN. SD4 SD6 (E) CONCRETE RAMP AND HANDRAILS TO BE DÉMOLISHED/REMOVED. (E) BACKFLOW PREVENTER TO REMAIN. SD7 SD8 (E) FIRE-HYDRANT TO REMAIN. (E) DRIVEWAY, CURB RAMPS, AND ASSOCIATED CONCRETE WALKWAY TO BE DEMOLISHED IN THEIR SD9 ENTIRETY. EXTENTS SHOWN DASHED.

	KEYNOTES - DEMO
Key Value	Keynote Text
D1	(E) DOOR AND FRAME TO BE REMOVED. TYP. SHOWN DASHED.
D2	(E) NON-LOAD BEARING WALL PARTITION TO BE DEMOLISHED. TYP. SHOWN DASHED.
D3	(E) PLUMBING FIXTURE TO BE REMOVED. TYP.
D4	(E) FLOOR, WALL AND CEILING FINISHED TO BE DEMOLISHED IN THEIR ENTIRETY. TYP.
D5	(E) WINDOW TO BE REMOVED.
D6	(E) PORTION OF EXTERIOR WALL TO BE DEMOLISHED.
D7	(E) MANSARD ROOF PORT COCHERE TO BE DEMOLISHED IN ITS ENTIRETY.



- A. DEMOLITION GENERAL NOTES APPLY TO ALL DEMOLITION SHEETS.
- **B.** COORDINATE DEMOLITION AND PHASING EFFORTS WITH ARCHITECT AND OWNER'S REPRESENTATIVES. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF OWNER'S OPERATIONS AND TO PROVIDE BUILDING USER'S SAFETY. EXCESSIVE NOISE OR VIBRATION SHALL BE PRE-APPROVED AND COORDINATED WITH OWNER'S REPRESENTATIVE.
- COORDINATE DISRUPTION OF UTILITY SERVICES WITH OWNER AND AS SPECIFIED. D. CONSTRUCT TEMPORARY CONSTRUCTION PARTITIONS WITHIN EXISTING BUILDING WHICH OFFER A ONE-HOUR ENCLOSURE TO ISOLATE DEMOLITION AND CONSTRUCTION WORK FROM GENERAL PUBLIC AND AS DEEMED NECESSARY BY OWNER AND CODE OFFICIAL HAVING JURISDICTION. COORDINATE LOCATIONS WITH OWNER AND MAINTAIN MEANS OF EGRESS THROUGHOUT THE WORK.
- MAINTAIN A SECURE AND WEATHER-TIGHT ENCLOSURE. F. VERIFY EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS
- AND NOTIFY ARCHITECT OF DISCREPANCIES. **G.** REMOVE EXISTING WALLS, DOORS, MILLWORK, PLUMBING FIXTURES, CEILINGS, SOFFITS, ETC. IN THEIR ENTIRETY AND AS REQUIRED TO EXECUTE DEMOLITION AND CONSTRUCTION WORK
- DESCRIBED ON THE DRAWINGS. H. THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE ANY MATERIALS.
- PROVIDE PROTECTION FOR EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO DEMOLITION OR CONSTRUCTION-RELATED INCIDENT PERFORMED UNDER THIS CONTRACT.
- REPAIR OR REPLACE ITEMS DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION TO MATCH EXISTING FINISH AND /OR CONDITION.
- K. EXISTING MATERIALS SHALL NOT BE REUSED UNLESS NOTED OTHERWISE OR AS AUTHORIZED BY ARCHITECT. L. VERIFY AND MAINTAIN LOCATION OF EXISTING POWER,
- COMMUNICATION AND DATA CABLES TO PREVENT INTERRUPTION OF SERVICE. M. PATCH FLOOR, WALL AND CEILING PENETRATIONS RESULTING
- FROM REMOVAL OR REROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, ETC. AS REQUIRED TO MAINTAIN FIRE SEPARATIONS. MATCH FINISH OF NEW OR EXISTING ADJACENT SURFACES.
- N. CAP DISCONNECTED MECHANICAL PIPING LINES WITHIN WALL OR FLOOR. PATCH AND FINISH AS REQUIRED TO MATCH NEW OR EXISTING ADJACENT SURFACES.
- **0.** AVOID DISTURBING OF SOILS WITHIN ZONE OF INFLUENCE AROUND EXISTING FOOTINGS AND FLOOR SLABS AS DIRECTED BY GEOTECHNICAL ENGINEER.
- WHERE PLASTER/STUD WALLS ARE INDICATED TO BE REMOVED; PREPARE ADJACENT WALLS TO RECEIVE NEW PATCH/FINISH BY SAWCUTTING ADJACENT PLASTER FINISH A MINIMUM OF 12 INCHES BEYOND DEMOLITION.

WALL LEGEND

EXISTING WALLS TO REMAIN \equiv \equiv \equiv \equiv EXISTING WALLS TO BE DEMOLISHED NEW INFILL WALL - SEE

- DIM F.O. STUD DIMENSION
- ⊢ DIM ⊢ F.O. FINISH



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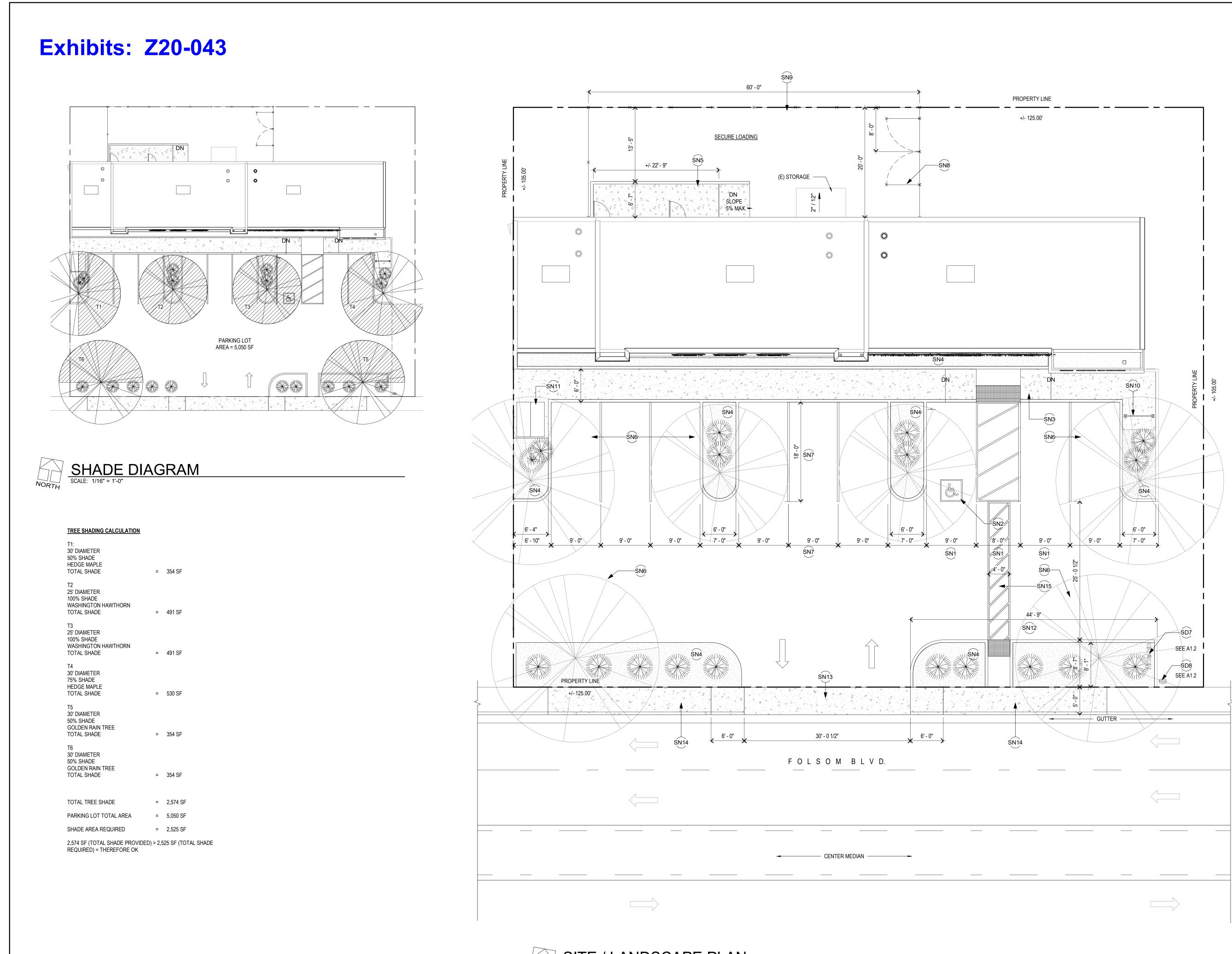
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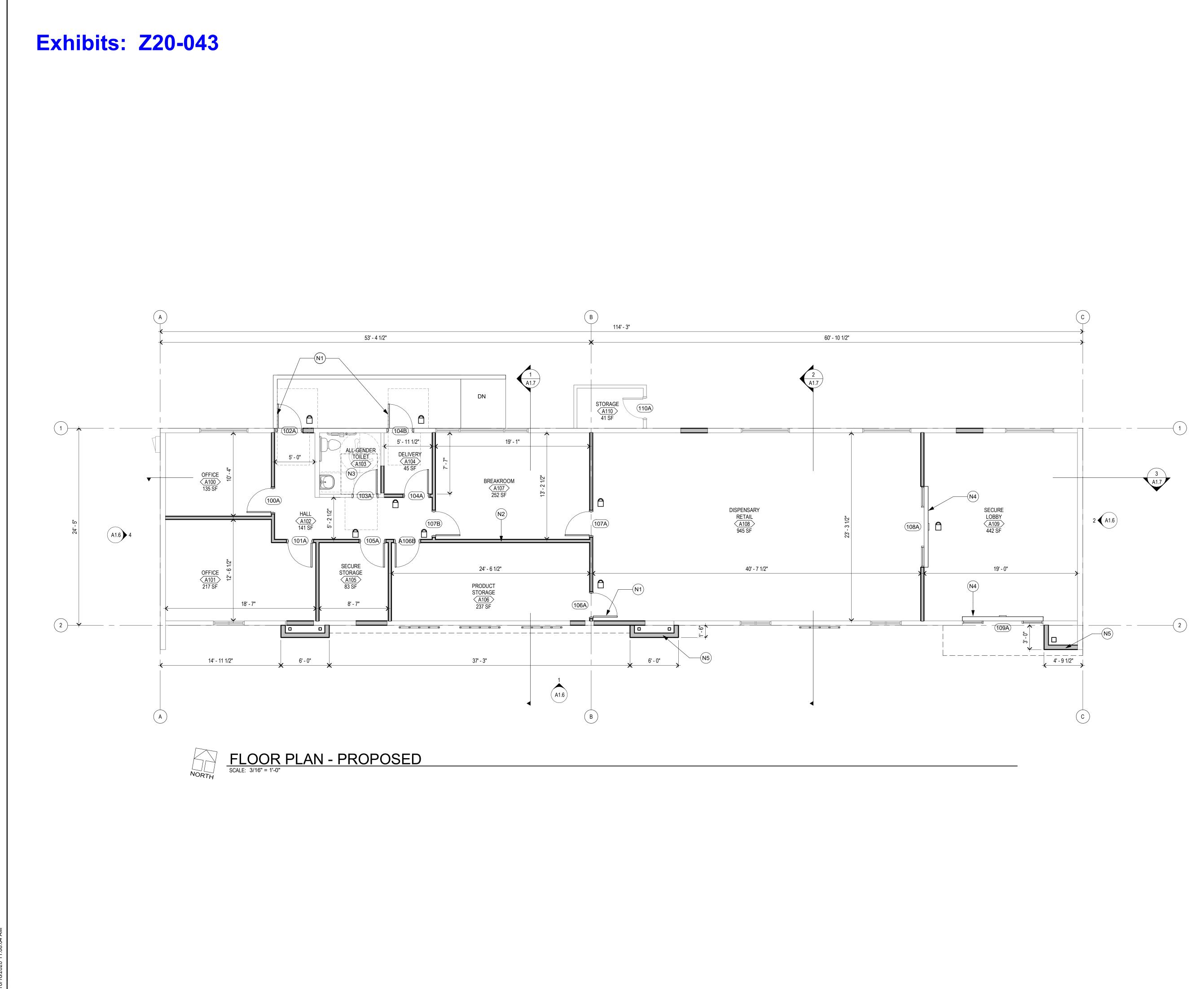
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SHADING CALCULATION FOR JUN: SZESS. STACEY SN7 NEW PARKING STALL, TYP. SN8 NEW PARKING STALL, TYP. SN9 NEW STOCHAULTON, SUNGING GATES WI BATTERY BACKUP AND ALFA APPROVED NOX BOX. SN9 NEW STOCHAULTN, SCHUTTY EINCHING. SN10 NEW SHORT-TERM U TYPE BIKE INTERCEMENTS FOR QUANTITY. SN11 NEW SHORT-TERM UTYPE BIKE STORAGE REQUIREMENTS FOR QUANTURY. SN12 SECENTATION INPLANTER, PLANTING TO BE A MAX. SN13 NEW SIGOTOSTALCOG FOR THE DRIVE STOPPING. SIGNUS COVER. SHRUBS, TREES. SN13 STACE Y HAULK RAVEWAY PER CITY OF SACRAMENTO TEXT STANDARD. SN14 PATCH AND REPARKIEL DRIVEWAY WITH NEW CONCERTE DRIVE STOPPING. SIGNUS OF THE SUM NAY DIRECTION. SN13 NEW SIDEWALK DRIVEWAY TO RIGHT OF WAY, SLOPE NOT TO EXCEED 95. IN DIRECTION OF TRAVEL AND 1.5%. SN14 DIRECTION. SN15 DERECTION. BUILDING TOTAL SF: 2.760 SF .500 = 6 STALLS REQUIRED DISTRICT: TRADITIONAL LAND USE: LAND USE: COMMERCIAL - RETAIL REQUIRED DISTRICT: TRADITIONAL COMMERCIAL - RETAIL REQUIRED DISTRICT: TRADITIONAL LAND USE: LAND USE: COMMERCIAL - RETAIL REQUIRED DISTRICT: <
BACKUP AND ANA APPROVED RATCH BOX. SNID. NEW SHORT-TERM 'U TYPE BIKE RIKE. SEE BIKE STORAGE REQUIREMENTS FOR QUANTITY. SNI1 LENGTH AND WOTH SEE BIKE STORAGE REQUIREMENTS FOR QUANTITY. SNI1 S. HEW VEGETATION IN PLANTER PLANTING TO BE A MAX. 3.54 AT PLUL MATURITY WITHIN AFEA REQUIREMENTS FOR QUANT STOPPING SIGHT DISTANCE OF THE DRIVE ABLE LANDSCHEM MY CONSTANCE OF THE DRIVE ACCESSIBLE DRIVE MAY WAY TO REAT OF WAY SLOWED DIRECTION. SNI5 NEW SIDEWALK DRIVEWAY PER CITY OF SACRAMENTO T. 21 STANDARD. SNI5 NOT TO EXCEED 15% IN DIRECTION OF TRAVEL AND 15% CROSS SLOPE. SNI5 NOT TO EXCEED 15% IN DIRECTION OF TRAVEL AND 15% CROSS SLOPE. SNI5 NOT TO EXCEED SIGN DAVE TO REAT OF WAY SLOWED DIRECTION. SNI5 NOT TO EXCEED SIGN DAVE TO REAT OF WAY SLOWED DIRECTION. SNI5 NOT TO EXCEED SIGN DAVE TO REAT OF WAY SLOWED TYPE AL STALL: AREQUIRED PROVIDED PROVIDED PROVIDED PROVIDED PROVIDED FROM REQUIREMENT: TRADITIONAL LAND USE: COMMERCIAL - NETALL LAND USE: SQUARE FEET OF BUILDING REATER SHORT-TERM REQUIREMENT: SHACE FEET OR BUILDING REATER SHORT TERM REQUIREMENT: SOURCE FEET OR BUILDING REATER SHORT TERM REQUI
FOR QUANTITY. SN12 Sep AT FULL MATURITY WITHIN AREA REQUIRED FOR ADEQUATE STOPPING SIGHT DISTANCE OF THE DRIVEASULE LANGOACH MAY CONSIST OF GRASS, ANNUALS, PERENNIALS, GROUNDCOVER, SHRUBS, TREES, OR OTHER LUNING VECTATION. SN13 NEW SIDEWALK DRIVEWAY PER CITY OF SACRAMENTO T.2: ASTANDARD. SN14 PATCH AND REPAIR ELO RIVEWAY WITH NEW CONCRETE DIRECTION. SN15 NOT TO EXCEED 5% IN DIRECTION OF TRAVEL AND 1.5% CROSS SLOPE. SN15 NEW ACCESSIBLE WALKWAY TO RIGHT OF WAY. SLOPE NOT TO EXCEED 5%. SN15 NEW ACCESSIBLE WALKWAY TO RIGHT OF WAY. SLOPE CROSS SLOPE. PARKING COUNT TRADITIONAL LAND USE: REQUIRED DISTRICT: TRADITIONAL CROSS SLOPE. BUILDING TOTAL SF: 2,760 SF 2,760 SF BUILDING TOTAL SF: 2,760 SF 2,760 SF BUILDING TOTAL SF: 2,760 SF CRCESSIBLE STALL: 8 COMMERCIAL - RETAIL PROVIDED TYPICAL STALL: 8 COMMERCIAL - RETAIL INFORMERCIAL: PROVIDED TYPICAL STALLS: 9 BUILDING TOTAL SF: 1 SPACE PER 10,000 GROSS SQUARE FEET OF BUILDING OR GR 2 SPACES, WHICHEVER IS GRAFTER SHORT-TERM REQUIREMENT: 1 SPACE PER 2,000 GROSS SQUARE FEET OR BUILDING GR 2 SPACES, WHICHEVER IS GREATER SHORT-TERM REQUIREMENT:
OR OTHER LUNING VEGETATION. SNI3 NEW SIDEWALK DRIVEWAY PER CITY OF SACRAMENTO T.21 STANDARD. SNI4 SNI4 PATCH AND REPAIR (E) DRIVEWAY WITH NEW CONCRETE TOMATCH (E). SLOPES NOT TO EXCEED 15% IN ANY DIRECTION. SNI5 NEW ACCESSIBLE WALKWAY TO RIGHT OF WAY. SLOPE ONT TO EXCEED 5% IN DIRECTION OF TRAVEL AND 15% CROSS SLOPE. PARKING COUNT. REQUIRED DISTRICT: TRADITIONAL LAND USE: COMMERCIAL - RETAIL PARKING REQUIREMENT: 1 SPACE PER 500 SQUARE FEET OF BUILDING BUILDING TOTAL SF: 2,760 SF / 500 = 6 STALLS REQUIRED DISTRICT: 1 SPACE PER 500 SQUARE TYPICAL STALL: 1 (VAN) TOTAL STALL: 1 (VAN) TOTAL STALL: 1 SPACE PER 10,000 GROSS SQUARE FEET OF BUILDING SQUARE FEET OF BUILDING OR 2 SPACES, WHICHEVER IS GREATER CSPACES, WHICHEVER IS BOXUDED 2 SPACES, WHICHEVER IS
Individual control Individual control SN15 Incw ACCESSIBLE WALKWAY TO RIGHT OF WAY. SLOPE NOT TO EXCEED 5% IN DIRECTION OF TRAVEL AND 1.5% CROSS SLOPE. PARKING COUNT REQUIRED DISTRICT: TRADITIONAL LAND USE: DISTRICT: TRADITIONAL EACCESSIBLE FOR LOW FOR STALLS REQUIRED DUSTRICT: 1.5PACE PRE 500 SOUARE FEET OF BUILDING BUILDING TOTAL SF: BUILDING TOTAL SF: 2.760 SF / 500 = 6 STALLS REQUIRED DISTRICT: 1.5PACE PRE 10,000 GROSS SQUARE FEET OF BUILDING BUILDING TOTAL SF: PROVIDED TYPICAL STALL: 8 ACCESSIBLE STALL: REQUIRED DISTRICT: TRADITIONAL LAND USE: DISTRICT: 1.5PACE PRE 10,000 GROSS SQUARE FEET OF BUILDING GREATER BICYCLE PARKING COUNT 1.5PACE PRE 10,000 GROSS SQUARE FEET OF BUILDING OR COMMERCIAL - RETAIL LAND USE: 1.5PACE PRE 10,000 GROSS SQUARE FEET OF BUILDING OR CR 2.SPACES, WHICHEVER IS GREATER SHORT-TERM REQUIREMENT: 1.5PACE PRE 10,000 GROSS SQUARE FEET OR BUILDING OR CR 2.SPACES, WHICHEVER IS GREATER PROVIDED 2.SPACES, WHICHEVER IS GREATER
PARKING COUNT REQUIRED DISTRICT: TRADITIONAL LAND USE: COMMERCIAL - RETAIL PARKING REQUIREMENT: 1 SPACE PER 500 SOUARE FEET OF BUILDING BUILDING TOTAL SF: 2,760 SF 2,760 SF / 500 = 6 STALLS REQUIRED PROVIDED TYPICAL STALL: 8 ACCESSIBLE STALL: 1 (VAN) TOTAL STALLS: 9 BICYCLE PARKING COUNT REQUIRED DISTRICT: TRADITIONAL LAND USE: 0 COMMERCIAL - RETAIL LONG-TERM REQUIREMENT: 1 SPACE PER 10,000 GROSS SQUARE FEET OF BUILDING OR 2 SPACES, WHICHEVER IS GREATER SHORT-TERM REQUIREMENT: 1 SPACE PER 2,000 GROSS SQUARE FEET OF BUILDING OR 2 SPACES, WHICHEVER IS GREATER PROVIDED

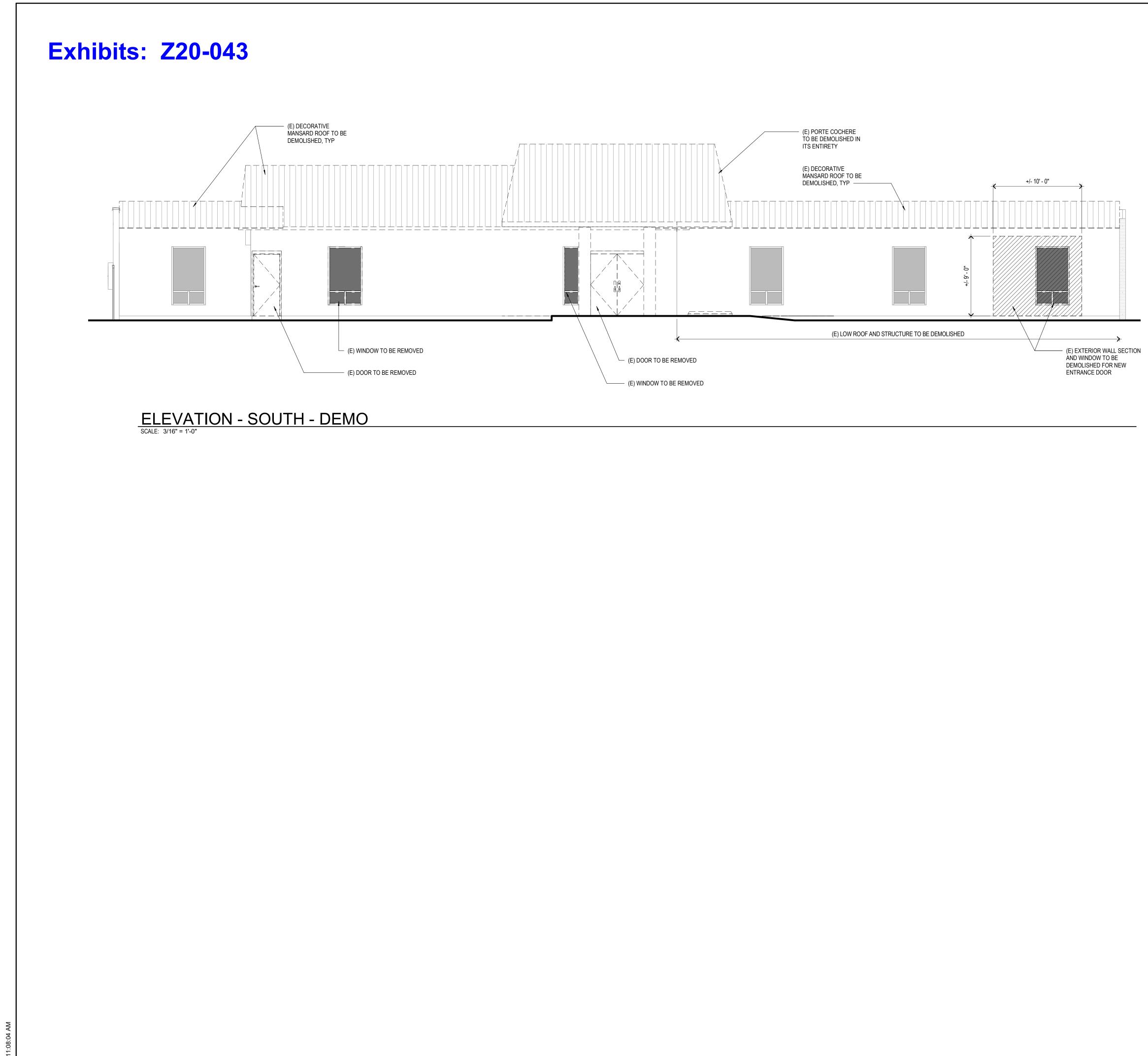
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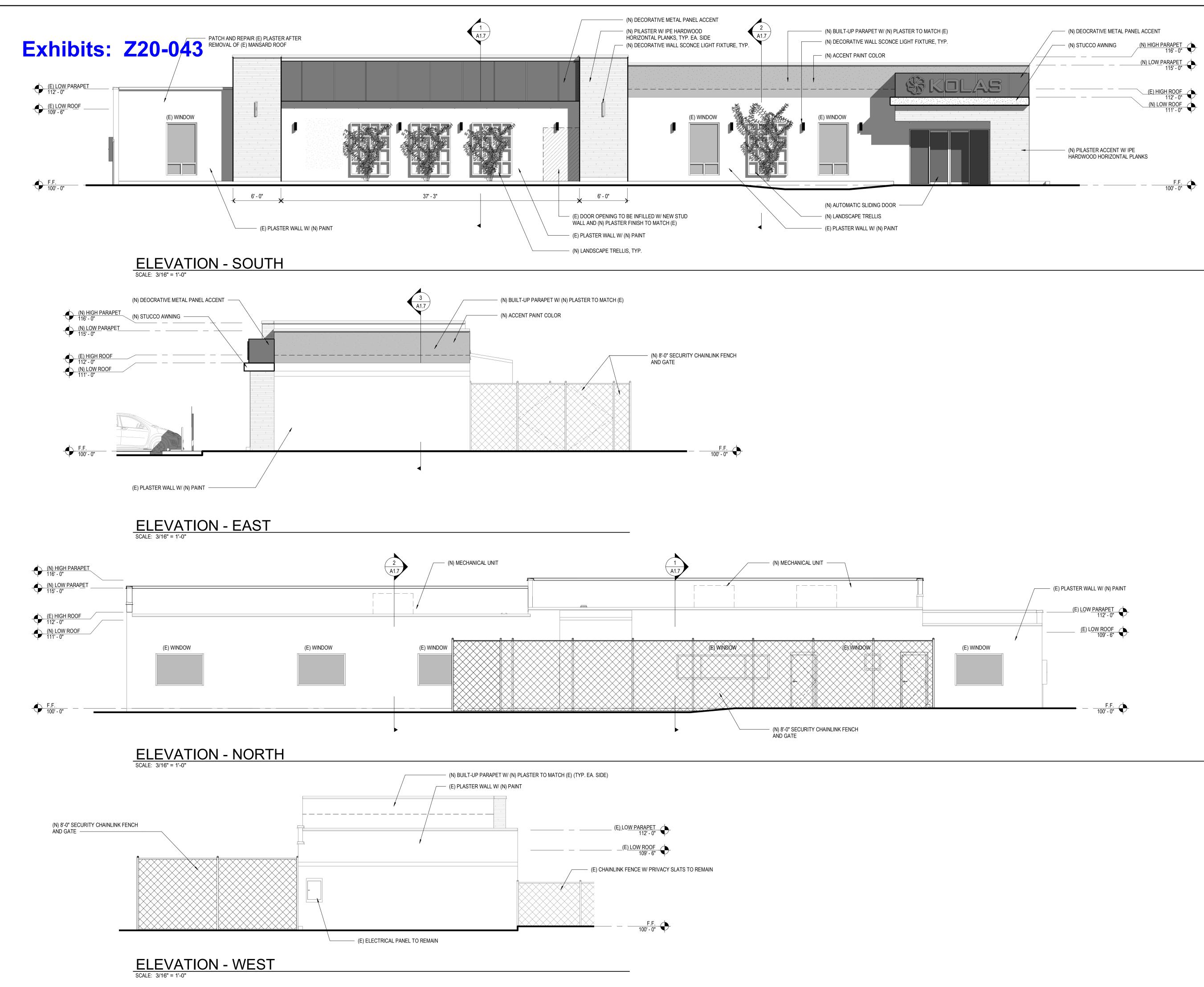
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	NOTES	
Key Value N1 N2 N3 N4 N7 NR1 NR2 NR3 NR4	Keynotes - NEW Keynote Text NEW DOOR AND FRAME, TYP. NEW INTERIOR PARTITION, TYP. NEW PLUMBING FIXTURES. TYP. NEW AUTOMATIC SLIDING DOOR WITH CONTROLLED ACCESS WHERE INDICATED. NEW EXTERIOR PILASTER AND ACCENT FEATURE. NEW HVAC UNIT. LOCATE IN CENTER OF ROOF TO AVOID SITE-LINES FROM GROUND. NEW CANOPY AND ACCENT FEATURE BELOW. NEW PILASTERS AND ACCENT FEATURE BELOW. NEW, RAISED SECTION OF ROOF, SHOWN HATCHED. RAISED +/- 2'-0" TO ACCOMMODATE NEW INTERIOR DUCT WORK. NEW ROOF MATERIAL TO MATCH (E) AND NOT VISIBLE FROM GROUND LEVEL.	INNULIAN STACEY HALL C-31704 10-16-2020 REVISIONS:
A. GE DIM FAR OT LC ST H SUN FLOS PRIVATION OF CONTROL ON CONTROL OF	AL NOTES NERAL NOTES APPLY TO ALL SHEETS. MENSIONS ARE ACTUAL AND ARE TO FACE OF STUDS, CE OF CONCRETE WALLS, FACE OF CMU WALLS, FACE OF AMES OR CENTERLINE OF COLUMNS, UNLESS NOTED HERWISE - SEE WALL TYPE LEGEND. DOR SPOT ELEVATIONS ARE SHOWN THUS XXX'-X'' E STRUCTURAL FOR CONCRETE RETAINING WALL ICKNESS. E SHEET G0.2 FOR TYPICAL WALL TYPES. ERIOR STUD WALLS SHALL EXTEND TO UNDERSIDE OF DOR OR OOF DECK ABOVE UNLESS NOTED OTHERWISE. E YPICAL WALL TYPES ON SHEET G0.2. OVISIONS SHALL BE MADE AT FULL HEIGHT NONBEARING ILLS FOR 1-INCH VERTICAL MOVEMENT OF BULDING RUCTURE WITHOUT TRANSFER OF COMPRESSIVE LOADS WALL FILL IRREGULARITIES BETWEEN TOP OF WALL D DECK ABOVE WITH FIRE SAFING INSULATION OR FIRE OPPING MATERIALS AS REQUIRED TO MEET FIRE RATING RESPECTIVE WALLS. PSUM BOARD AND PLASTER SURFACES SHALL BE DATED WITH CONTROL JOINTS WERE INDICATED ON AWINGS AND/OR AS DESCRIBED IN THE SPECIFICATIONS. NTROL JOINTS (CJ) AND CONTROL JOINTS ABOVE (CJA) ALL BE LOCATED AS INDICATED ON BUILDING SWATIONS. E OWNER SHALL FURNISH AND INSTALLE DIFEMS IN E CONSTRUCTION SCHEDULE, AND COORDINATE WITH NER FURNISHED AND INSTALLED ITEMS AND INGER AURCHANKA. 21.UDE OWNER-FURNISHED AND INSTALLED ITEMS AND INGER FURNISHED AND INSTALLED ITEMS AND INGER FURNISHED AND INSTALLED ITEMS AND INGER FURNISHED AND CONTROL OONDINATE WITH NIRA TORS. 21.UDE OWNER SHALL FURSIES AND GOORDINATE WITH NIRA TOR, CHANNELS AND OF EQUIPMENT PADS DICATED ON FLOOR PLANS. E CIVIL DRAWINGS FOR FINISH FLOOR ELECTRICAL NITRACTORS. 0RDINATE WITH MECHANICAL AND PARTITIONS TO UEGULARITIES OF DECK ABOVE SEAL TIGHTLY AROUND NETRATIONS. 0VIDE SEISMIC BRACING FOR SUSPENDED CEILINGS OR INDICATED ON DRAWINGS. 0VIDE INTERIOR GYP. BD. CONTROL JOINT EVERY 30'-0" X.	FLOOR PLAN - PROPOSED 8551 FOLSOM BLVD. CANNABIS RETAIL BEST FOLSOM BLVD. CANNABIS RETAIL
- - + -	WALL LEGEND EXISTING WALLS TO REMAIN EXISTING WALLS TO BE DEMOLISHED NEW INFILL WALL - SEE DM F.O. STUD DIMENSION DM F.O. FINISH SPURBOL LEGEND Secured ENTRY POINT	A1.4





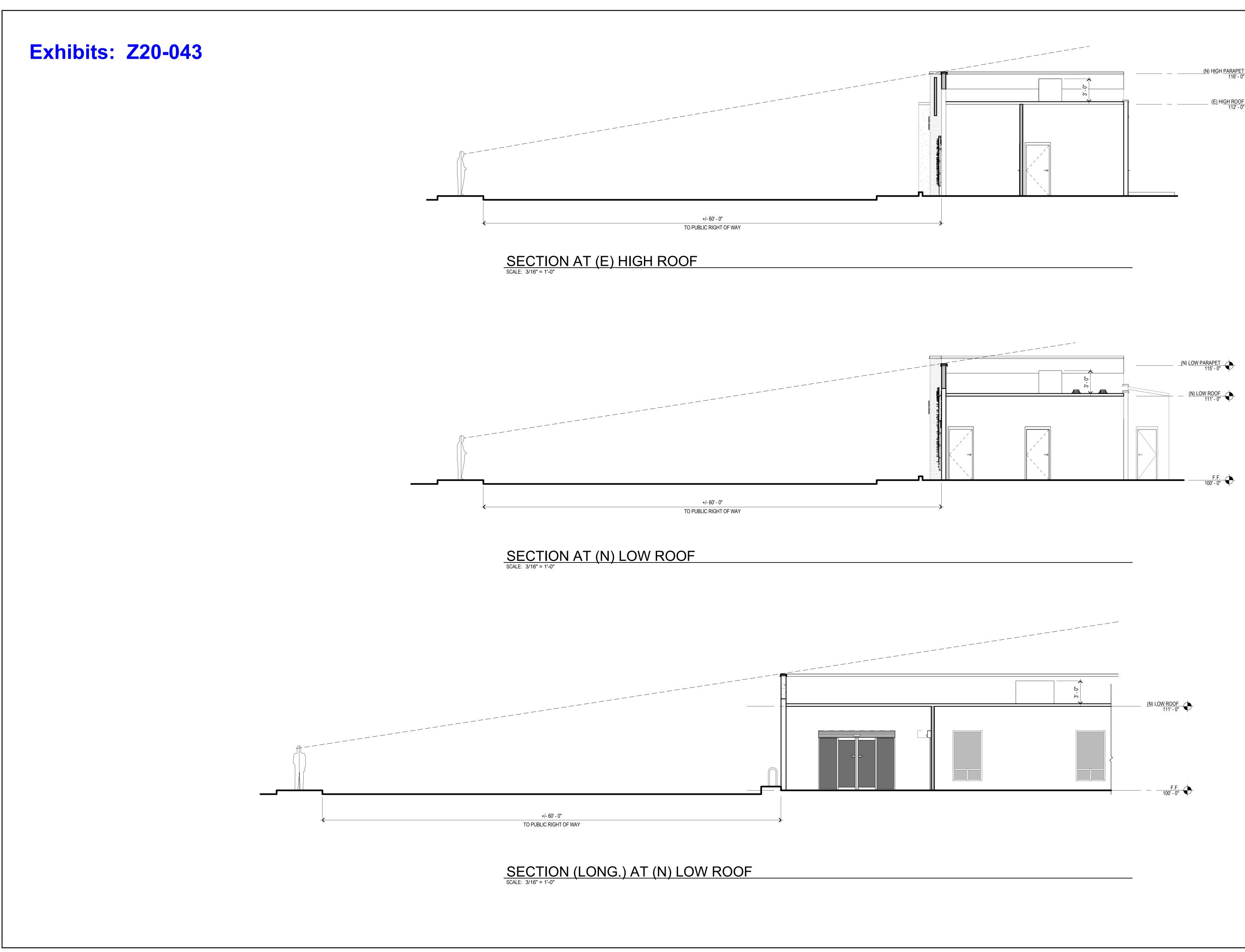
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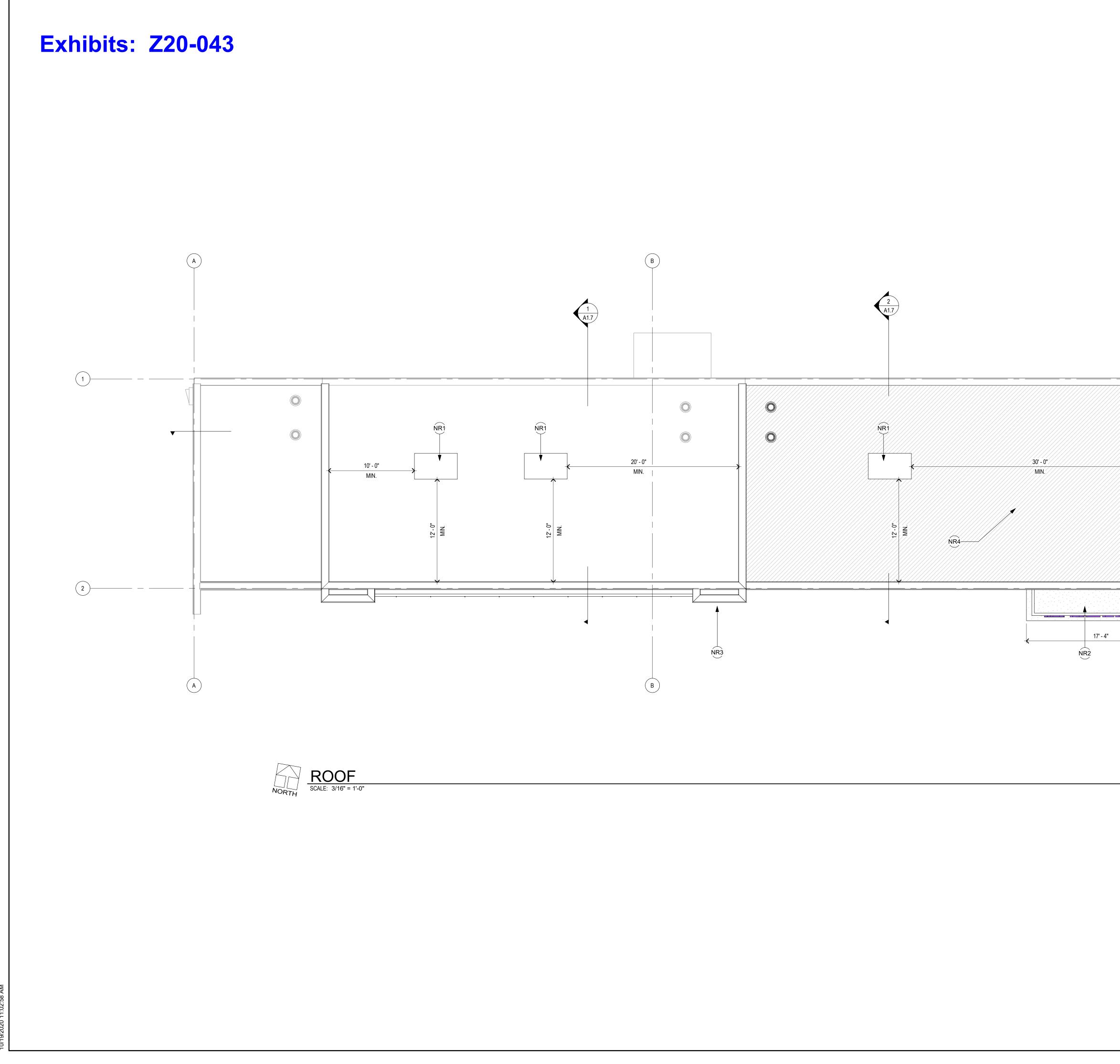
O I STAC		
10-16-20 REVISIONS		
EXTERIOR ELEVATION - PROPOSED	8551 FOLSOM BLVD. CANNABIS RETAIL	8551 FOLSOM BLVD., SACRAMENTO, CA 95826

0

	- (E) PLASTER WALL W/ (N) PAINT
	(E) <u>LOW PARAPET</u> 112' - 0"
-	(E) L <u>OW ROOF</u> 109' - 6"
	<u> </u>



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PRELIMINARY BUILDING SECTIONS 8551 FOLSOM BLVD. CANNABIS RETAIL BEGI FOLSOM BLVD. CANNABIS RETAIL
Γ.



	NOTES		
	KEYNOTES - NEW ROOF Key Keynote Text NR1 NEW HVAC UNIT. LOCATE IN CENTER OF ROOF TO AVOID SITE-LINES FROM GROUND. NR2 NEW CANOPY AND ACCENT FEATURE BELOW. NR3 NEW PILASTERS AND ACCENT FEATURE BELOW. NR4 NEW, RAISED SECTION OF ROOF, SHOWN HATCHED. RAISED +/- 2'-0" TO ACCOMMODATE NEW INTERIOR DUCT WORK. NEW ROOF MATERIAL TO MATCH (E) AND NOT VISIBLE FROM GROUND LEVEL.	CONDITIONAL USE PERMIT	
		STACEY HALL C-31704 10-16-2020 REVISIONS:	
C		STACEY HALL C-31704 C-31704 C-31704 C-31704 C-31704 C-31704 C-31704 C-31704 C-31704 C-31704 C-31704 C-31704	
	 ROOF PLAN GENERAL NOTES ROOF PLAN NOTES APPLY TO ALL ROOF PLAN SHEETS. TAPERED INSULATION SHALL PROVIDE A MINIMUM OF 14- INCH PER FOOT OF SLOPE TO ROOF DRAINS, UNLESS NOTED OTHERWISE. ALL ROOF CURBS TO BE A MINIMUM OF 8* ABOVE ROOFING LEVELS. PROVIDE TAPERED INSULATION ROOF SADDLES AT ROOF CURBS TO PROVIDE APPROPRIATE DRAINAGE. SEE STRUCTURAL FOR FRAMING AROUND ROOF PENETRATIONS. SEE STRUCTURAL FOR FRAMING AROUND ROOF PENETRATIONS. COORDINATE THE SIZE AND LOCATION OF ROOF PENETRATIONS. COORDINATE THE SIZE AND LOCATION OF ROOF PENETRATIONS. COORDINATE THE SIZE AND LOCATION OF ROOF PENETRATIONS. NO ROOF PENETRATIONS ALLOWED WITHIN 5-0° EACH SHEET. FLASH DRAINS, CURBS, VENTS AND STACKS PER MANUFACTURERS RECOMMENDATIONS IF DETAIL NOT SHOWN ON PLANS. NO ROOF PENETRATIONS ALLOWED WITHIN 5-0° EACH SIDE OF 2-HOUR AREA SEPARATION WALL MOR 2-HR FIREWALL. SEE CODE PLAN FOR WALL LOCATIONS. 	ROOF PLAN 8551 FOLSOM BLVD. CANNABIS RETAIL BELFOLSOM BLVD. CANNABIS RETAIL	
	WALL LEGEND EXISTING WALLS TO REMAIN EXISTING WALLS TO BE DEMOLISHED NEW INFILL WALL - SEE DIM F.O. STUD DIMENSION DIM F.O. FINISH	60.	