



# City of Tarpon Springs, Florida

PLANNING AND ZONING DEPARTMENT  
324 EAST PINE STREET  
P.O. BOX 5004  
TARPON SPRINGS, FLORIDA 34688-5004  
(727) 942-5611  
FAX (727) 943-4651

Renea Vincent, AICP, CPM  
Director

**HERITAGE PRESERVATION BOARD  
JANUARY 8, 2024, AT 6:30 PM  
CITY HALL AUDITORIUM  
324 EAST PINE STREET, TARPON SPRINGS, FLORIDA**

## **A G E N D A**

- 1. CALL TO ORDER, ROLL CALL**
- 2. PUBLIC COMMENTS**
- 3. APPROVAL OF MINUTES**
  - a) **July 10, 2023**
  - b) **October 2, 2023**
  - c) **November 6, 2023**
  - d) **December 4, 2023**
- 4. QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS**
- 5. APPLICATION 23-140: 439 E Lemon Street: After-the-fact new deck.**
- 6. APPLICATION 23-145: 10 S Pinellas Avenue: New additions.**
- 7. APPLICATION #23-151: 410 W Lemon Street: Curb cut and new driveway.**
- 8. APPLICATION #23-152: 150 N Spring Boulevard: Replace existing shingle roof with standing seam metal roof.**
- 9. STAFF COMMENTS**
- 10. BOARD COMMENTS**
- 11. ADJOURNMENT**

If a person decides to appeal any decision made by the Heritage Preservation Board with respect to any matter considered at this meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. You are invited to attend that meeting to express your views or to present facts in regard to the case. Written comments may be addressed to the Planning & Zoning Department, P.O. Box 5004, Tarpon Springs, Florida 34688-5004, and will become part of the record. All documents submitted with the applications are on file and available for inspection in the Planning & Zoning Department, City Hall. Further information may be obtained from the Planning &

Zoning Department, (727) 942-5611. Said hearing may be continued from time to time pending adjournment. Any person with a disability requiring reasonable accommodation in order to participate in this meeting should call (727) 942-5611 or email a written request to [kyothers@ctsfl.us](mailto:kyothers@ctsfl.us).

## SECRETARY OF THE INTERIOR'S STANDARDS

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its environment.*
- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alterations of features and spaces that characterize a property shall be avoided.*
- 3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
- 4. Most properties change over time. Those changes that have acquired historic significance in their own right shall be retained and preserved.*
- 5. Distinctive features, finishes, construction techniques or examples of craftsmanship that characterize a property shall be preserved.*
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.*
- 7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
- 9. New additional, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.*
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

M I N U T E S\*  
HERITAGE PRESERVATION BOARD  
CITY OF TARPON SPRINGS, FLORIDA  
REGULAR SESSION – JULY 10, 2023

THE HERITAGE PRESERVATION BOARD OF THE CITY OF TARPON SPRINGS, FLORIDA, MET IN REGULAR SESSION IN THE CITY HALL AUDITORIUM, 324 EAST PINE STREET, ON MONDAY, JULY 10, 2023, AT 6:30 P.M., WITH THE FOLLOWING PRESENT:

	Bill Sprecher	Chairperson
	Philip Mrozinski	Vice Chairperson
	Kathleen Hallett	Member
	Rita Kaplan	Alternate
ABSENT/PRIOR NOTICE PROVIDED	Michelle Ryan	Member
	Jean Dinoff	Member
ALSO PRESENT:	Caroline Lanford	Principal Planner
	Regina Kardash	Board Attorney
	Kimberly Yothers	Secretary to the Board

1. **CALL TO ORDER, ROLL CALL**

Mr. Sprecher called the meeting to order at 6:30 p.m.

Recording Secretary Creighton called the roll.

2. **PUBLIC COMMENTS**

There were no public comments.

3. **QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS**

Ms. Kardash read the quasi-judicial announcement and swore in all who were to testify. She asked the Board to disclose ex-parte communications or conflicts of interest; there were none.

4. **APPLICATION 23-70: 467 CYPRESS STREET: AFTER-THE-FACT REQUEST TO REPLACE TWO WOOD DECKS.**

**Staff:**

Ms. Lanford provided background information and noted that Staff recommends approval of the application with the following condition:

1. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

**Applicant:**

Roy Sipel, 467 Cypress Street, noted that the original decks were rotten and needed to be replaced to gain access to the rear unit.

(Continued)

**APPLICATION 23-70 (Continued)**

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MOTION: Mr. Mrozinski  
SECOND: Ms. Hallett

To approve application 23-70, as presented with the conditions recommended by Staff.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Ms. Kaplan	Yes
Ms. Hallett	Yes
Mr. Mrozinski	Yes
Mr. Sprecher	Yes

**5. APPLICATION 23-41: 53 W TARPON AVENUE: AFTER-THE-FACT REQUEST TO REPLACE CHIMNEYS.**

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Staff:

Ms. Lanford provided background information and noted that Staff recommended approval of the project as presented by the applicant was an acceptable remedy to the code violation. However, this application was an opportunity to reflect on the threat that incremental demolition by neglect presents to the integrity of the City's historic district. Demolition by neglect could be the result of benign indifference or a deliberate attempt to circumvent regulations. Whatever the cause, the effect was the same; the loss of irreplaceable resources and the erosion of the district's integrity.

Applicant:

Maureen Cravey, 1504 Riverside Drive, noted that she asked John Hoffman to design the chimneys so that the new chimneys would be as close to the old chimneys as possible.

MOTION: Ms. Hallett  
SECOND: Mr. Mrozinski

To approve 23-41 as presented with the conditions recommended by Staff.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Ms. Kaplan	Yes
Ms. Hallett	Yes
Mr. Mrozinski	Yes
Mr. Sprecher	Yes



**6. APPLICATION 23-76: 53 W TARPON AVENUE: NEW SIGN ON SOUTH ELEVATION.**

Staff:

Ms. Lanford provided background information and noted that Staff recommended approval of Application #23-76, as presented, for a Certificate of Approval, with the following condition:

- 1. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

Applicant:

Alvin Ramos, 4590 118<sup>th</sup> Ave N, noted that he was available to answer questions.

MOTION: Ms. Kaplan  
SECOND: Ms. Hallett

To approve 23-72 as presented with the conditions recommended by Staff.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Ms. Kaplan	Yes
Ms. Hallett	Yes
Mr. Mrozinski	Yes
Mr. Sprecher	Yes

**7. STAFF COMMENTS**

Staff had no comments.

**8. BOARD COMMENTS**

Mr. Mrozinski asked about whether there was a member of the City that drove around to look for properties that were being neglected; in order to prevent properties from becoming so dilapidated that they require demolition.

Ms. Kardash noted that most communities were complaint based; and Code Enforcement did not generally, actively seek violations.

Ms. Lanford mentioned that historic structures were not allowed to be demolished just because it was not cared for, and that pieces of historic structures should be thought of in the same way. The owner of a historic structure should not be allowed to replace a wood door with a vinyl door, simply because it rotted due of lack of maintenance. Ms. Lanford further noted that incremental change to a historic structure slowly chipped away at the district.

**9. ADJOURNMENT**

With no further business, Chairperson Sprecher adjourned the meeting at 7:22 p.m.

\_\_\_\_\_  
Bill Sprecher, Chairperson

**\*SECRETARY’S NOTE:** The preceding are action minutes and are not the official meeting record.

MINUTES\*  
HERITAGE PRESERVATION BOARD  
CITY OF TARPON SPRINGS, FLORIDA  
REGULAR SESSION – OCTOBER 2, 2023

THE HERITAGE PRESERVATION BOARD OF THE CITY OF TARPON SPRINGS, FLORIDA, MET IN REGULAR SESSION IN THE CITY HALL AUDITORIUM, 324 EAST PINE STREET, ON MONDAY, OCTOBER 2, 2023, AT 6:30 P.M., WITH THE FOLLOWING PRESENT:

Bill Sprecher	Chairperson
Philip Mrozinski	Vice Chairperson
Kathleen Hallett	Member
Michelle Ryan	Member
Jean Dinoff	Member
Rita Kaplan	Alternate

ABSENT/PRIOR  
NOTICE PROVIDED

ALSO PRESENT:	Caroline Lanford	Principal Planner
	Regina Kardash	Board Attorney
	Kimberly Creighton	Secretary to the Board

1. **CALL TO ORDER, ROLL CALL**

Mr. Sprecher called the meeting to order at 6:33 p.m.

Recording Secretary Creighton called the roll.

2. **PUBLIC COMMENTS**

There were no public comments.

3. **QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS**

Ms. Kardash read the quasi-judicial announcement and swore in all who were to testify. She asked the Board to disclose ex-parte communications or conflicts of interest; there were none.

4. **APPLICATION 23-105: 150 N. SPRING BOULEVARD: REPLACE WINDOWS. (APPLICATION DEFERRED, TO BE READVERTISED).**

5. **APPLICATION 23-114: 451 E. TARPON AVENUE: ADDITION TO PRIMARY STRUCTURE. (APPLICATION DEFERRED, TO BE READVERTISED)**

**6. APPLICATION 23-115: 316 W. LEMON STREET: NEW PATIO.**

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**Staff:**

Ms. Lanford provided background information and noted that Staff recommended approval of the project with the following conditions:

1. The patio be relocated closer to the rear of the property.
2. The patio must continue to be screened from view with landscaping or vegetation.
3. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

**Applicant:**

John Geiger, 2707 Haverhill Court, Clearwater, noted that he was available to answer questions. He further noted that they oriented the patio so it would not affect trees.

MOTION: Mr. Mrozinski  
SECOND: Ms. Dinoff

To approve 23-115 as presented with the conditions recommended by Staff.

Motion withdrawn to reopen the public hearing.

MOTION: Mr. Mrozinski  
SECOND: Ms. Hallett

To reopen the public hearing so Mr. Geiger could speak.

Vote on Motion: Upon a viva voce vote, the motion was passed unanimously.

To approve 23-115 as presented but to push the patio back so that it was in line with the house and to continue screening the patio from view of Lemon Street with landscaping or vegetation.

MOTION: Mr. Mrozinski  
SECOND: Ms. Hallett

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Ms. Dinoff	Yes
Ms. Hallett	Yes
Ms. Ryan	Yes
Mr. Mrozinski	Yes
Mr. Sprecher	Yes

**7. STAFF COMMENTS**

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Ms. Lanford mentioned that the cultural resources survey that was being done for the Union Academy area and for the Greektown Traditional Cultural District. The Greektown District was adopted nationally but not adopted locally when it was created and there were no design guidelines or protections in place. They were now looking at different alternatives for historic preservation in the Greektown District to adopt so they could create a local district.

**8. BOARD COMMENTS**

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Ms. Ryan indicated that it appeared as though they were covering the rosettes on the building at 20 Hibiscus Street. She noted that the Board conditioned the approval for that building on the rosettes being preserved.

Ms. Lanford indicated that she was looking into the issue.

**9. ADJOURNMENT**

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With no further business, Chairperson Sprecher adjourned the meeting at 7:07 p.m.

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Bill Sprecher, Chairperson

**\*SECRETARY'S NOTE:** The preceding are action minutes and are not the official meeting record.

MINUTES\*  
HERITAGE PRESERVATION BOARD  
CITY OF TARPON SPRINGS, FLORIDA  
REGULAR SESSION – NOVEMBER 6, 2023

THE HERITAGE PRESERVATION BOARD OF THE CITY OF TARPON SPRINGS, FLORIDA, MET IN REGULAR SESSION IN THE CITY HALL AUDITORIUM, 324 EAST PINE STREET, ON MONDAY, NOVEMBER 6, 2023, AT 6:30 P.M., WITH THE FOLLOWING PRESENT:

	Bill Sprecher	Chairperson
	Kathleen Hallett	Member
	Rita Kaplan	Alternate
ABSENT/PRIOR NOTICE PROVIDED	Philip Mrozinski	Vice Chairperson
	Michelle Ryan	Member
	Jean Dinoff	Member
ALSO PRESENT:	Caroline Lanford	Principal Planner
	Regina Kardash	Board Attorney
	Kimberly Creighton	Secretary to the Board

**1. CALL TO ORDER, ROLL CALL**

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Mr. Sprecher called the meeting to order at 6:30 p.m.

Recording Secretary Creighton called the roll.

**2. PUBLIC COMMENTS**

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There were no public comments.

**3. APPROVAL OF MINUTES**

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**a. April 3, 2023**

**b. May 1, 2023**

MOTION: Ms. Hallett

SECOND: Ms. Kaplan

To approve the April 3, 2023, minutes as presented.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Ms. Kaplan	Yes
Ms. Hallett	Yes
Mr. Sprecher	Yes

(Continued)

**APPROVAL OF MINUTES (CONTINUED)**

MOTION: Ms. Hallett  
SECOND: Ms. Kaplan

To approve the May 1, 2023, minutes as presented.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Ms. Kaplan	Yes
Ms. Hallett	Yes
Mr. Sprecher	Yes

**4. QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS**

Ms. Kardash read the quasi-judicial announcement and swore in all who were to testify. She asked the Board to disclose ex-parte communications or conflicts of interest; there were none.

**5. APPLICATION 23-97: NE CORNER OF BATH AND LEMON STREETS: NEW SINGLE-FAMILY DWELLING (TAKEN AFTER ITEM 6)**

**Staff:**

Ms. Lanford provided background information and noted that Staff recommends approval for project with the following conditions:

1. A variance is required for the Bath Street facing balcony. If a variance is not issued, plans will be revised to comply with the Land Development Code.
2. Details for fencing will be provided with building permit applications for staff review for compliance with the DRGM and the Land Development Code.
3. Shutters are to be wood, full height and one-half the width of the window, and attached to the window casing, not the exterior finish.
4. The garage shall utilize carriage style doors and hardware.
5. The landscaping plan should maximize stormwater retention and will require review and approval from the Municipal Arborist through the building permit process.
6. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

**Applicant:**

Bryan Glaus, 524 Rebstock Blvd, noted that he was building the home for his family.

Frankie Gilcrest Jr., 401 N Walton Avenue, noted that he supported the application.

(Continued)

**APPLICATION 23-97 (CONTINUED)**

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MOTION: Ms. Hallett  
SECOND: Ms. Kaplan

To approve 23-97 as presented with the conditions presented by Staff.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Ms. Kaplan	Yes
Ms. Hallett	Yes
Mr. Sprecher	Yes

**6. APPLICATION 23-105: 150 N. SPRING BOULEVARD: ENCLOSED PORCH RENOVATION (TAKEN BEFORE ITEM 5)**

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**Staff:**

Ms. Lanford provided background information and noted that Staff recommended approval of the application, with the following conditions:

1. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

**Applicant:**

Dean Theophilopoulos, 150 N Spring Blvd, noted that the porch was added to the home prior to him having purchased it. He wanted to make it look more like the rest of the house.

MOTION: Ms. Hallett  
SECOND: Ms. Kaplan

To approve 23-105 as presented with conditions recommended by Staff.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Ms. Kaplan	Yes
Ms. Hallett	Yes
Mr. Sprecher	Yes



**7. APPLICATION 23-114: 451 E. TARPON AVENUE: NEW SIGN ON SOUTH ELEVATION**

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**Staff:**

Ms. Lanford provided background information and noted that Staff recommended denial of the application, based on the review criteria. However, the addition was generally consistent with the Historic District Design Review Guidelines Manual (DRGM) Section 4.10 “Universal Guidelines for Additions.” If the Heritage Preservation Board approved the application, the following conditions were recommended:

1. Siding materials must be specified by the Heritage Preservation Board (HPB) and approved by staff during the building permitting process.
2. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

**Applicant:**

Lori Rainaldi, 451 E Tarpon Ave., noted that she they did not plan to take any brick down and they were unable to find brick to match the brick that was used in 1916, so they thought that having the contrasting Hardi-board would be appropriate. She further noted that she was willing to use brick if the Board wanted them too.

Scott Weaver, 451 E Tarpon Ave., noted that the door that they were proposing was expected to lead to the pool.

Frankie Gilcrest Jr., 401 N Walton Avenue, noted that he supported the application.

MOTION: Ms. Hallett  
SECOND: Ms. Kaplan

To approve 23-114, with conditions recommended by staff and for the after-the-fact approval for the windows and doors to the circa 1960’s addition.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Ms. Kaplan	Yes
Ms. Hallett	Yes
Mr. Sprecher	Yes

**8. STAFF COMMENTS**

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Ms. Lanford mentioned that Mrs. Patricia McNeese will present the resiliency plan at the next meeting and there will be a kickoff for the new historic survey.

**9. BOARD COMMENTS**

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Ms. Hallett noted that the house at Spring Boulevard across from Craig Park appeared to be neglected. She thought the house should be fixed by now.

Ms. Lanford noted that the applicant may have been waiting for permits.

**10. ADJOURNMENT**

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With no further business, Chairperson Sprecher adjourned the meeting at 7:39 p.m.

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Bill Sprecher, Chairperson

**\*SECRETARY'S NOTE:** The preceding are action minutes and are not the official meeting record.

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MINUTES\*  
HERITAGE PRESERVATION BOARD  
CITY OF TARPON SPRINGS, FLORIDA  
REGULAR SESSION – DECEMBER 4, 2023

THE HERITAGE PRESERVATION BOARD OF THE CITY OF TARPON SPRINGS, FLORIDA, MET IN REGULAR SESSION IN THE CITY HALL AUDITORIUM, 324 EAST PINE STREET, ON MONDAY, DECEMBER 4, 2023, AT 6:30 P.M., WITH THE FOLLOWING PRESENT:

	Bill Sprecher	Chairperson
	Philip Mrozinski	Vice Chairperson
	Kathleen Hallett	Member
	Michelle Ryan	Member
	Jean Dinoff	Member
ABSENT/PRIOR NOTICE PROVIDED	Rita Kaplan	Alternate
ALSO PRESENT:	Patricia McNeese	Planning Supervisor
	Caroline Lanford	Principal Planner
	Regina Kardash	Board Attorney
	Kimberly Creighton	Secretary to the Board

**1. CALL TO ORDER, ROLL CALL**

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Mr. Sprecher called the meeting to order at 6:30 p.m.

Recording Secretary Creighton called the roll.

**2. PUBLIC COMMENTS**

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There were no public comments.

**3. APPROVAL OF MINUTES**

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**a. June 5, 2023**

MOTION: Mr. Mrozinski

SECOND: Ms. Kaplan

To approve the June 5, 2023, minutes as presented.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Ms. Dinoff	Yes
Ms. Hallett	Yes
Ms. Ryan	Yes
Mr. Mrozinski	Yes
Mr. Sprecher	Yes

**4. QUASI-JUDICIAL ANNOUNCEMENT AND SWEARING IN OF SPEAKERS**

Ms. Kardash did not read the quasi-judicial announcement, but she swore in all who were to testify.

**5. APPLICATION 23-140: 439 E LEMON STREET: AFTER-THE-FACT NEW DECK**

The applicant was absent from the meeting, so Mr. Mrozinski noted that he wanted to continue the application to the next hearing since the applicant was not available for questions.

MOTION: Mr. Mrozinski  
SECOND: Ms. Dinoff

To continue application 23.140 to the January 8, 2023, Heritage Preservation Board Meeting at 6:30 P.M.

Ms. Ryan noted that she thought it was a simple application that could be heard without the applicant present.

Vote on Motion: Upon a roll call vote, the motion was passed as follows:

Ms. Dinoff	Yes
Ms. Ryan	No
Ms. Hallett	Yes
Mr. Mrozinski	Yes
Mr. Sprecher	Yes

**6. PRESENTATION: TARPON SPRINGS ADAPTATION AND RESILIENCY PLAN FOR THE HISTORIC DISTRICT AND GREEKTOWN**

**Staff:**

Mrs. McNeese presented the item marked Exhibit "A".

**Board:**

Mr. Sprecher noted that he wanted a month to review the plan to make comments.

**7. WORKSHOP: DRAFT HISTORIC AND CULTURAL RESOURCES ELEMENT OF THE COMPREHENSIVE PLAN**

The Board and Staff held a workshop.

**8. STAFF COMMENTS**

There were not additional Staff comments.

**9. BOARD COMMENTS**

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There were no additional Board comments.

**10. ADJOURNMENT**

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With no further business, Chairperson Sprecher adjourned the meeting at 7:41 p.m.

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Bill Sprecher, Chairperson

**\*SECRETARY'S NOTE:** The preceding are action minutes and are not the official meeting record.

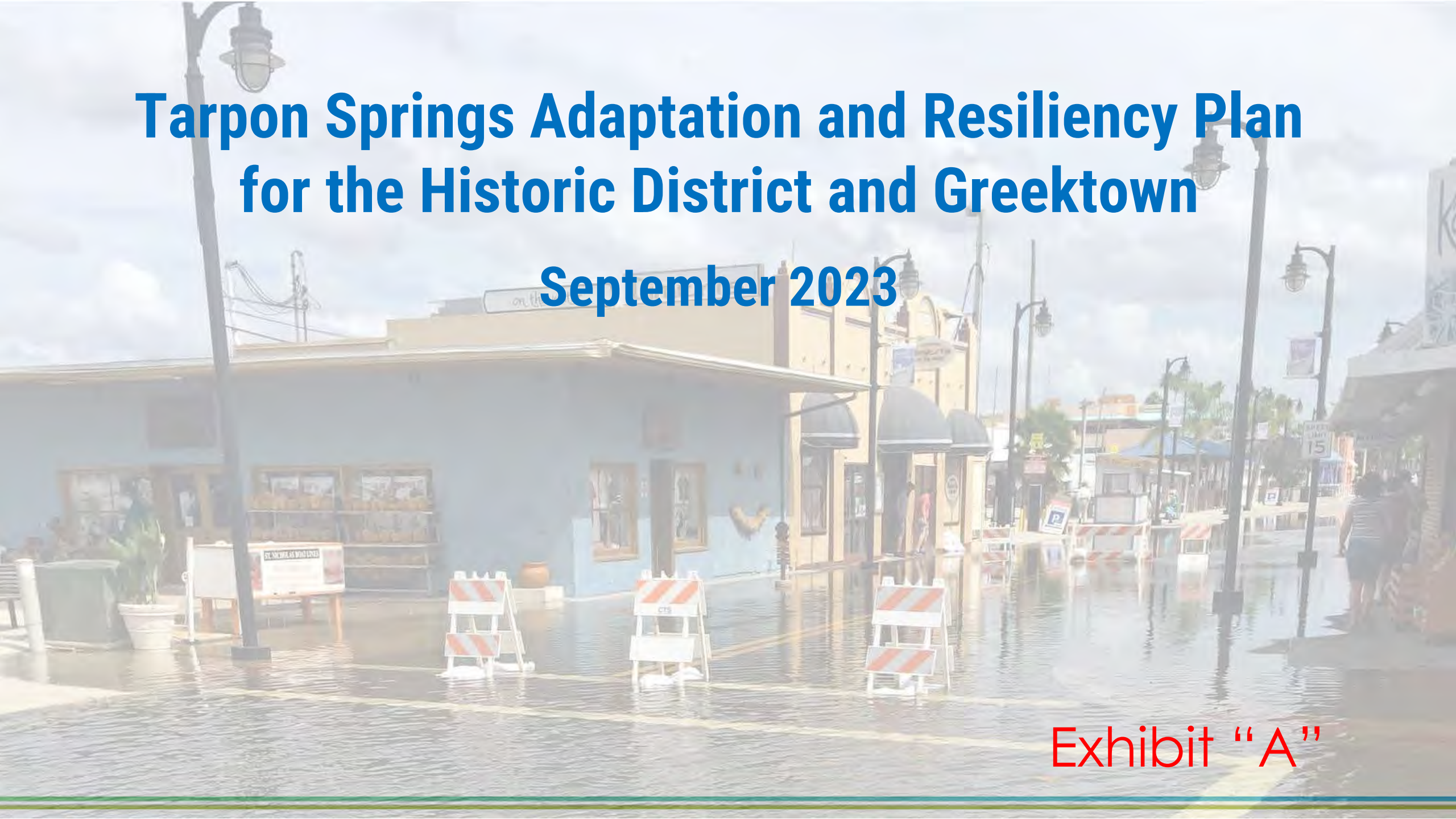
DRAFT



# Tarpon Springs Adaptation and Resiliency Plan for the Historic District and Greektown

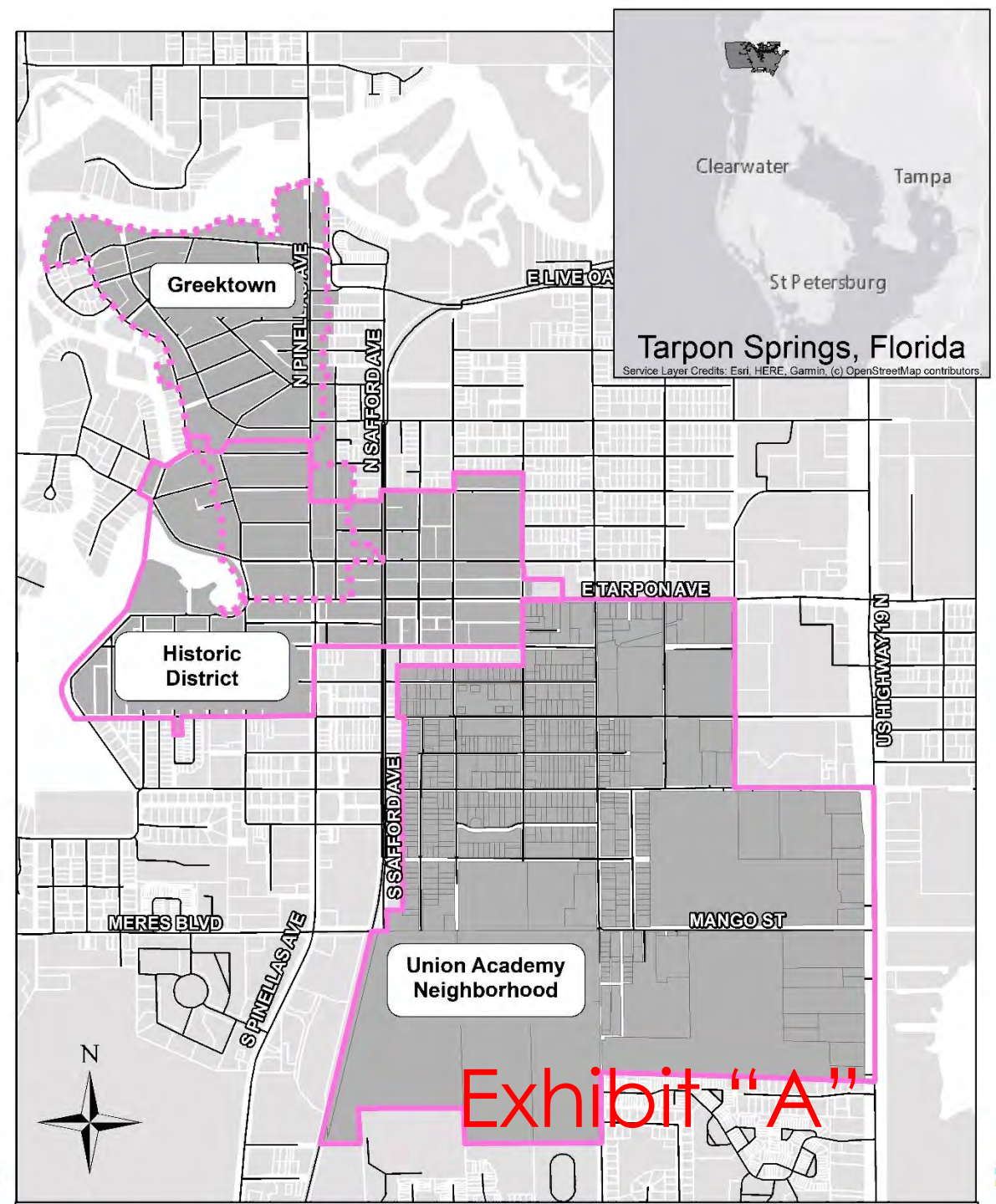
September 2023

Exhibit "A"



## Project Summary

- Assessment of historical resource assets built before 1976 (pre-dating flood regulations).
- Characterization of the primary hazards putting assets at risk.
- Asset risk exposure analysis by geographic area and by structure type.
- Description of current operating adaptation and resiliency framework and programs.
- Community engagement methods/results.
- Plan: vision, goals, objectives and action items.
- Adaptation and resiliency alternatives and tools.
- Maps, hurricane history, asset spreadsheets, public survey results.





## **Part 1 – Community Descriptions**

- Greektown National District: A Traditional Cultural Property
- Tarpon Springs Historic District: National Register District and Local District
- Union Academy Neighborhood
- Primarily masonry and wood frame structures
- Contributing and non-contributing structures

## **Part 2 – Hazard Profiles**

- High Water Events
  - Rainfall and nuisance flooding (i.e., “sunny day” tidal flooding)
  - Storm surge flooding – flood zones and Coastal High Hazard Area
  - Long-term sea level rise
- High Wind Events – Tarpon Springs is in the 145-mile per hour windborne debris region

# Adaptation and Resiliency Plan for the Historic District and Greektown

## Part 2 – Hazard Profiles: Coordinated and Related Projects

TABLE 2-1. Coordinated/Related Projects At A Glance: Historic Resources, Flooding and Sea Level Rise																	
PLANS, STUDIES, LEGISLATION			SCHEDULE						HAZARDS OF CONCERN								
									Current/Chronic Flooding	Coastal High Hazard Area (CHHA)	SFHA and 500-Year Floodplain	NOAA Intermediate Low: 2040 and 2070	NOAA Intermediate High: 2040 and 2070	Highlighted Neighborhoods			
<b>City of Tarpon Springs</b>																	
Plans & Studies	Adaptation and Resiliency Plan for Historic District and Greektown		Completed Plan - December 2022						○	○	○	○	○	■	■	■	■
	Stormwater Action Plan		Completed Plan - Updated October 2022						○					■	■	■	■
	Seawall Master Plan		Completed Plan - November 2020						○	○	○			■	■	■	■
	Strategic Plan		Completed Plan - September 2022						○	○	○	○	○	■	■	■	■
	Sustainability Action Plan		Completed Plan - September 2022						○	○	○	○	○	■	■	■	■
	Comprehensive Plan (Full Update)													■	■	■	■
	Vulnerability Assessment and Action Plan <sup>①</sup>								○			○	○	■	■	■	■
	Union Academy Cultural Resources Survey														■	■	■
	Historic District/Greektown Survey and Update													■	■	■	■
Regulatory Programs	Floodplain Management Ordinance		Ongoing Regulatory Program								○			■	■	■	■
	Stormwater Management Ordinance		Ongoing Regulatory Program						○					■	■	■	■
	Heritage Preservation Ordinance and Historic District Design Guidelines		Ongoing Regulatory Program - Updated February 2021						○	○	○			■	■	■	■
Certification Programs	National Pollutant Discharge Elimination System		Ongoing Regulatory Program with Annual Reporting						○					■	■	■	■
	National Flood Insurance Community Rating System		Ongoing Regulatory Program with Triennial Reporting								○			■	■	■	■
<b>Pinellas County</b>																	
Plans & Studies	Anclote River Watershed Management Plan		Completed Plan - February 2021						○					■	■	■	■
	Pinellas County Local Mitigation Strategy		Ongoing Program with Annual Updates											■	■	■	■
	Keeping Pinellas Above Water: Countywide Flood Mitigation Action Plan <sup>②</sup>								○	○	○	○	○	■	■	■	■
	Historic Resources Survey of Flood Hazard Areas <sup>③</sup>										○	○		■	■	■	■
<b>State of Florida</b>																	
Legislation	Statewide Flooding & SLR Resiliency Plan		Legislation passed 2021 - developing program									○	○	■	■	■	■
<b>Task Notes</b>																	
①	Focused on City's critical assets which includes historic resources.		Oct-22	Jan-23	Apr-23	Jul-23	Oct-23	Jan-24	Apr-24	Jul-24	Oct-24						
②	Imagery and LIDAR data collection currently underway																
③	Includes Tarpon Springs focus area																
<b>Primary Government Entities Involved</b>			<b>Hazard Details</b>						<b>Neighborhoods</b>								
<b>TARPON SPRINGS</b>			<b>Current/Chronic Flooding:</b> Includes stormwater problem areas and nuisance flooding						<b>Sponge Docks:</b> In Greektown District								
<b>Planning and Zoning Department</b>			<b>Coastal High Hazard Area:</b> Hurricane Category One Storm Surge						● All hazards prevalent								
<b>Public Services Department, Sustainability Coordinator</b>			<b>SFHA and 500-Year Floodplain:</b> Flood Zones A (Special Flood Hazard Area) and X (500-Year Floodplain)						● Few surveyed structures currently								
<b>Public Works Department, Streets and Stormwater Division</b>			<b>NOAA Intermediate-Low:</b> Intermediate Low Sea Level Rise (SLR) Scenario projected in by the National Oceanic and Atmospheric Administration (2040 and 2070 planning horizons)						<b>Fruit Bowl:</b> In Historic District								
<b>Project Administration</b>			<b>NOAA Intermediate-High:</b> Intermediate High Sea Level Rise (SLR) Scenario projected in by the National Oceanic and Atmospheric Administration (2040 and 2070 planning horizons)						● Chronic flooding in localized places								
<b>Building Development Department, Floodplain Coordinator</b>									● All other hazards of concern prevalent								
<b>PINELLAS COUNTY</b>									● 195+ built and older structures								
<b>Office Sustainability &amp; Resiliency</b>									<b>Union Academy</b>								
<b>Planning Department, Historic Preservation Specialist</b>									● Chronic flooding, SFHA, CHHA								
									● 500-Yr Floodplain, SLR hazards								

Exhibit "A"

## Part 3 – Risk Exposure: Flood Risk for 602 pre-1976 Extant Resources

Local and National Register Tarpon Springs Historic District Extant Resources Flood Risk Status		
Quantity	Flood Risk Zone	Notes
168	100-year (1%)	Structures listed in 2009 survey report
16	100-year (1%)	Structures built 1960-1975
55	500-year (0.2%)	Structures listed in 2009 survey report
153	X (unshaded)	Structures in minimal flood risk area
<b>392</b>	<b>Total Pre-1976 Extant Resources</b>	

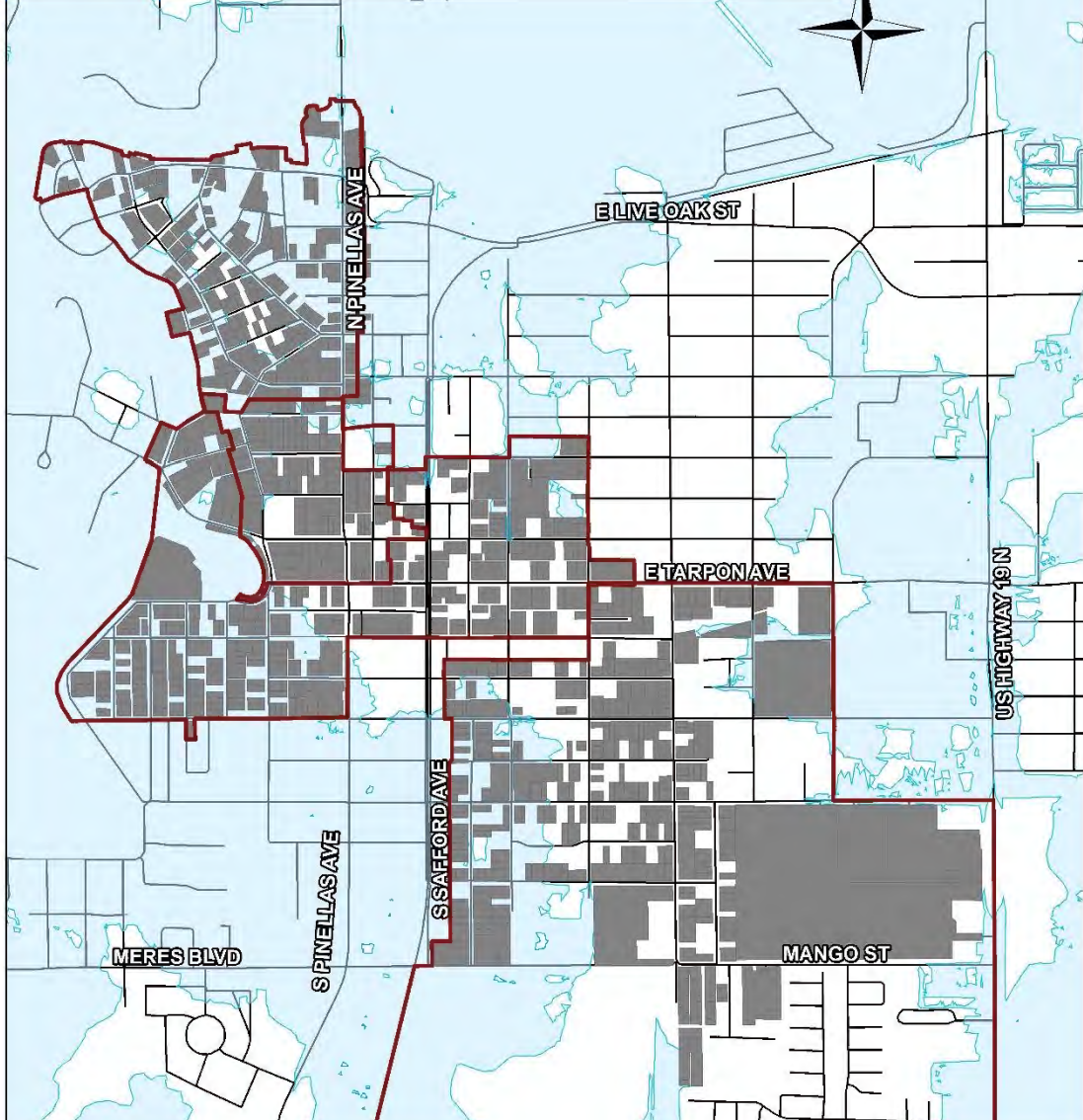
Greektown District Extant Resources Flood Risk Status (Excludes overlap of Historic District)		
Quantity	Flood Risk Zone	Notes
167	100-year (1%)	Structures built before 1975 (136 <b>contributing</b> , 31 <b>non-contributing</b> )
29	500-year (0.2%)	Structures built before 1975 (25 <b>contributing</b> , 4 <b>non-contributing</b> )
14	X (minimal risk)	Structures built before 1975 (8 <b>contributing</b> , 6 <b>non-contributing</b> )
<b>210</b>	<b>Total Pre-1976 Extant Resources</b>	
10	100-year (1%)	Structures built after 1975 (7 <b>contributing</b> , 3 <b>non-contributing</b> )
1	500-year (0.2%)	Structures built after 1975 (1 <b>contributing</b> )
1	X (minimal risk)	Structures built after 1975 (1 <b>contributing</b> )

- 58% are located in the Special Flood Hazard Area (100-Year Floodplain or “AE-zones”)
- 14% are located in the 500-Year Floodplain (“X-zone”)
- 28% are located outside the floodplain
- A total of 351 pre-1976 structures are in the Special Flood Hazard Area
- A total of 293 contributing or contributing-altered structures are in the Special Flood Hazard Area

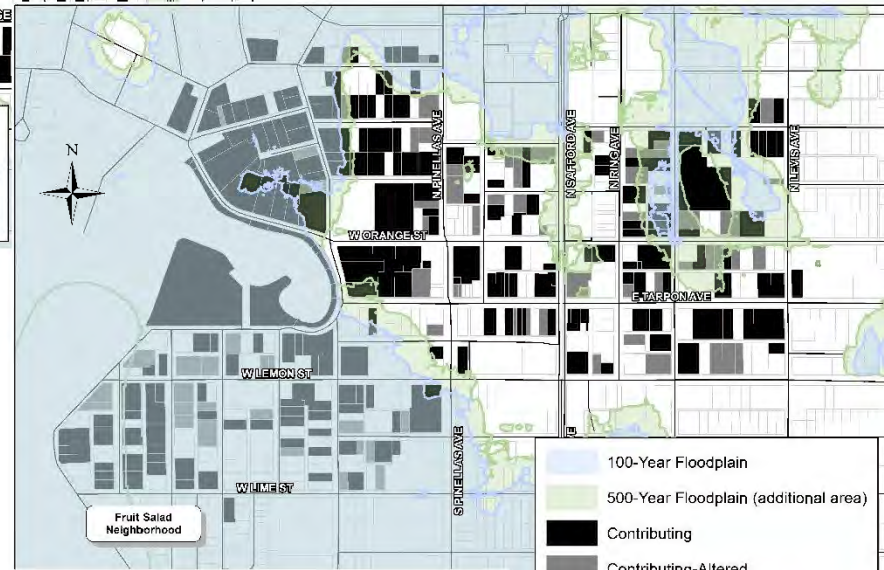
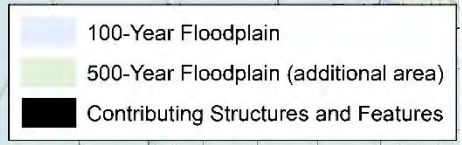
Exhibit “A”



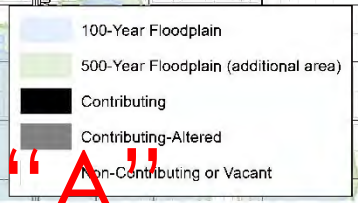
# Adaptation and Resiliency Plan for the Historic District and Greektown



**Coastal High Hazard Area affects 50% of pre-1976 structures (shaded) in Historic District and Greektown**



Fruit Salad Neighborhood



**Floodplain Coverages** Exhibit "A"



### Part 3 – Neighborhood Risks: The “Canal”



Exhibit “A”



## Part 3 – Neighborhood Risks: “Fruit Salad” Neighborhood

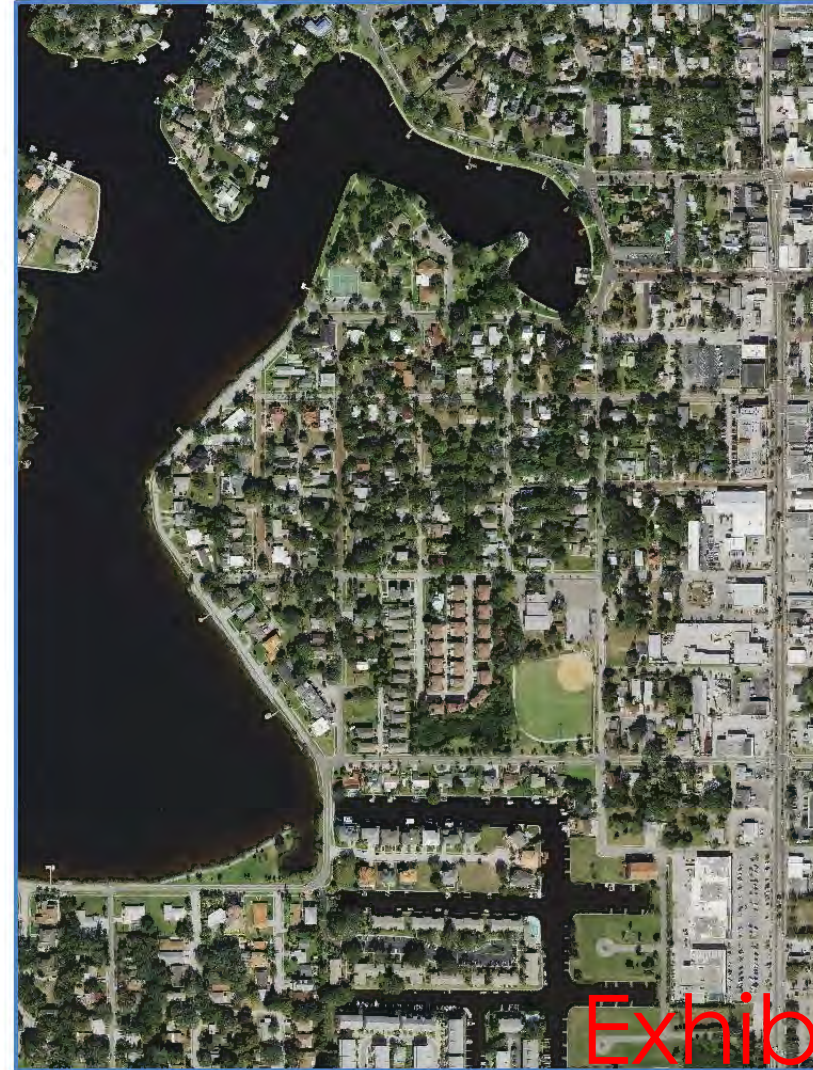
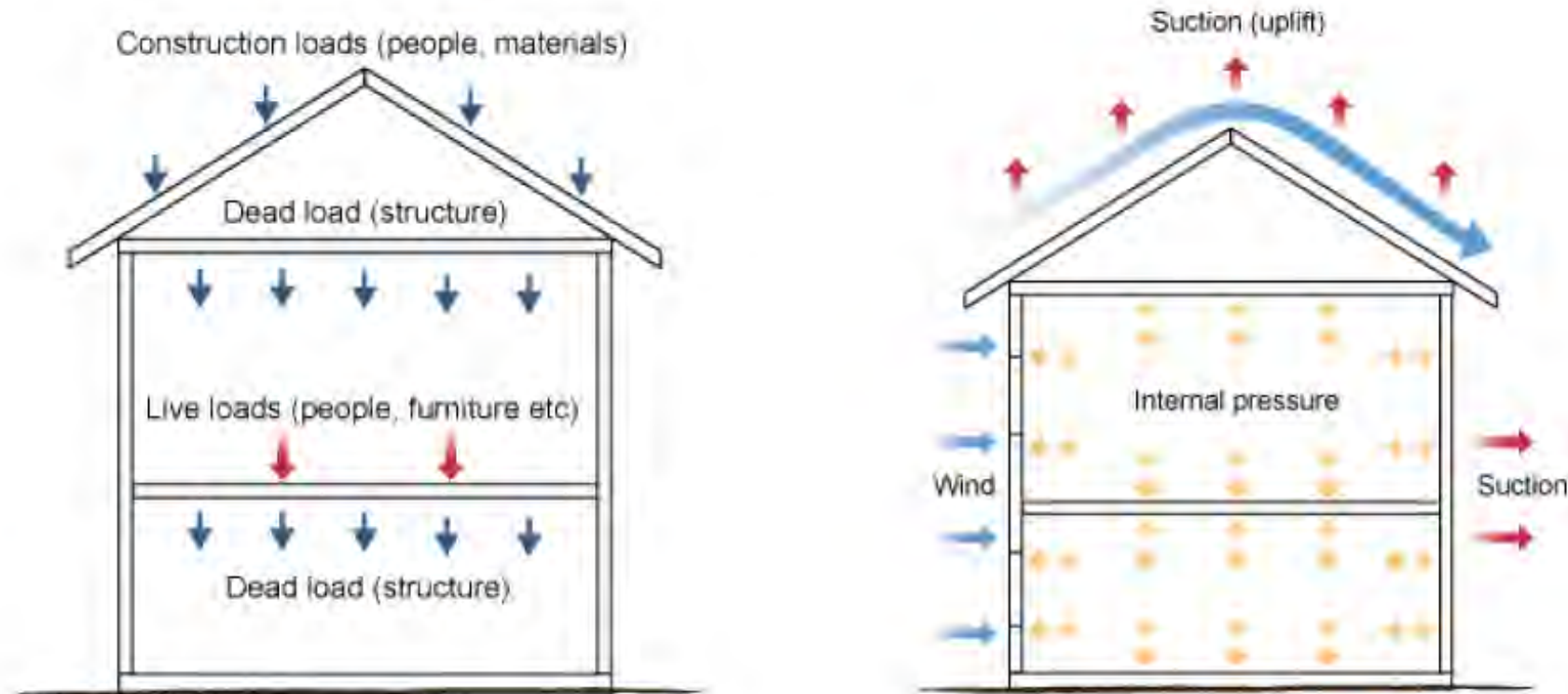


Exhibit "A"

## Part 3 – Risk Exposure: Wind

- All 602 resources evaluated are equally vulnerable to damage from high sustained winds



- Key messages are to strengthen the structural loading and to protect openings – for historic structures, this is best done with a shutter system

Exhibit “A”



## Part 4 – Community Engagement

- Workshops and survey – well-attended, much interest in this topic
- Critical Historical Asset: Located in the Special Flood Hazard Area and:
  - is publicly owned,
  - has historic district status (local or national), or,
  - was ranked of high importance by the citizens

Critical Historical Resource Assets in Tarpon Springs			
Historic Resource Asset	Ownership	Public Survey Priority	Notes
Sponge Docks	public	high importance	City-owned commercial docks
Craig Park	public	high importance	City-owned park
Union Academy Family Center	public		City-owned
Local Historic District	public/private	high importance	SFHA primarily covers Fruit Salad neighborhood which includes 171 <b>contributing</b> and <b>contributing-altered resources</b> in the SHFA
Greektown District	public/private	high importance	SFHA primarily covers commercial area which includes 182 <b>contributing resources</b> in the SHFA (plus 12 <b>resources</b> that are also <b>contributing</b> in the <b>Local Historic District</b> and included above)

Critical Historical Assets will be an important component in acquiring Florida Resiliency Act funding.

Exhibit “A”

## Part 5 – Plan

*Vision: Tarpon Springs will maintain the value of its cultural heritage through implementation of public and private historic resource adaptation and resilience efforts that reduce the risk and extent of exposure to coastal hazard impacts.*

- Goal 1: Continue to identify and analyze data on historic resources, hazard impacts and risk exposure.
- Goal 2: Identify and implement adaptation and resiliency actions for historic resources and areas.
- Goal 3: Launch a public awareness and education program on hazard risks to heritage assets.
- Goal 4: Establish a strong intergovernmental support network to integrate and share hazard characterization data, and, coordination of adaptation and resiliency planning.

Plan aligns with City's Strategic Plan, Sustainability Action Plan, and Comprehensive Plan

Exhibit “A”

## Part 6 – Property Adaptations

1. Complete an Assessment for Flood and Wind Risk
2. Temporary Protective Measures
3. Site and Landscape Adaptations
4. Protect Utilities
5. Dry Floodproofing
6. Wet Floodproofing
7. Elevate Building on a New Foundation
8. Elevate Interior Structure
9. Abandon the Lowest Floor
10. Move the Historic Building

Based on measures outlined in *The Secretary of the Interior's Standards for Rehabilitation & Guidelines on Flood Adaptation for Rehabilitating Historic Buildings*



Exhibit "A"



## Part 6 – Property Adaptations - Examples



**Temporary Measures**



**Site and Landscape Adaptations**  
**Exhibit "A"**



## Part 6 – Property Adaptations - Examples



**Neighborhood Solutions**



**Elevate the Building**



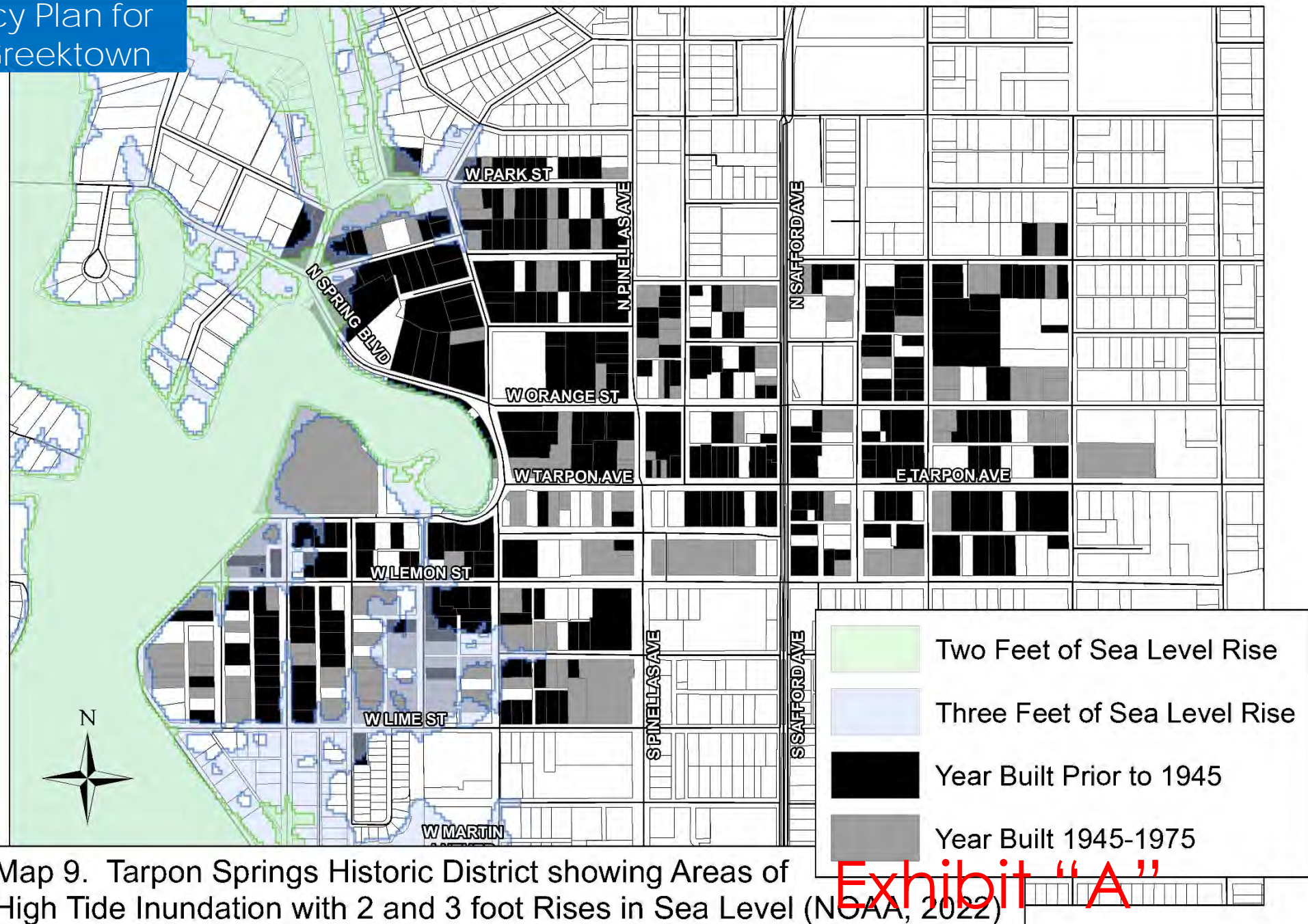
**Move the Building**

**Exhibit "A"**



## Part 6 – Longer Term Sea Level Rise

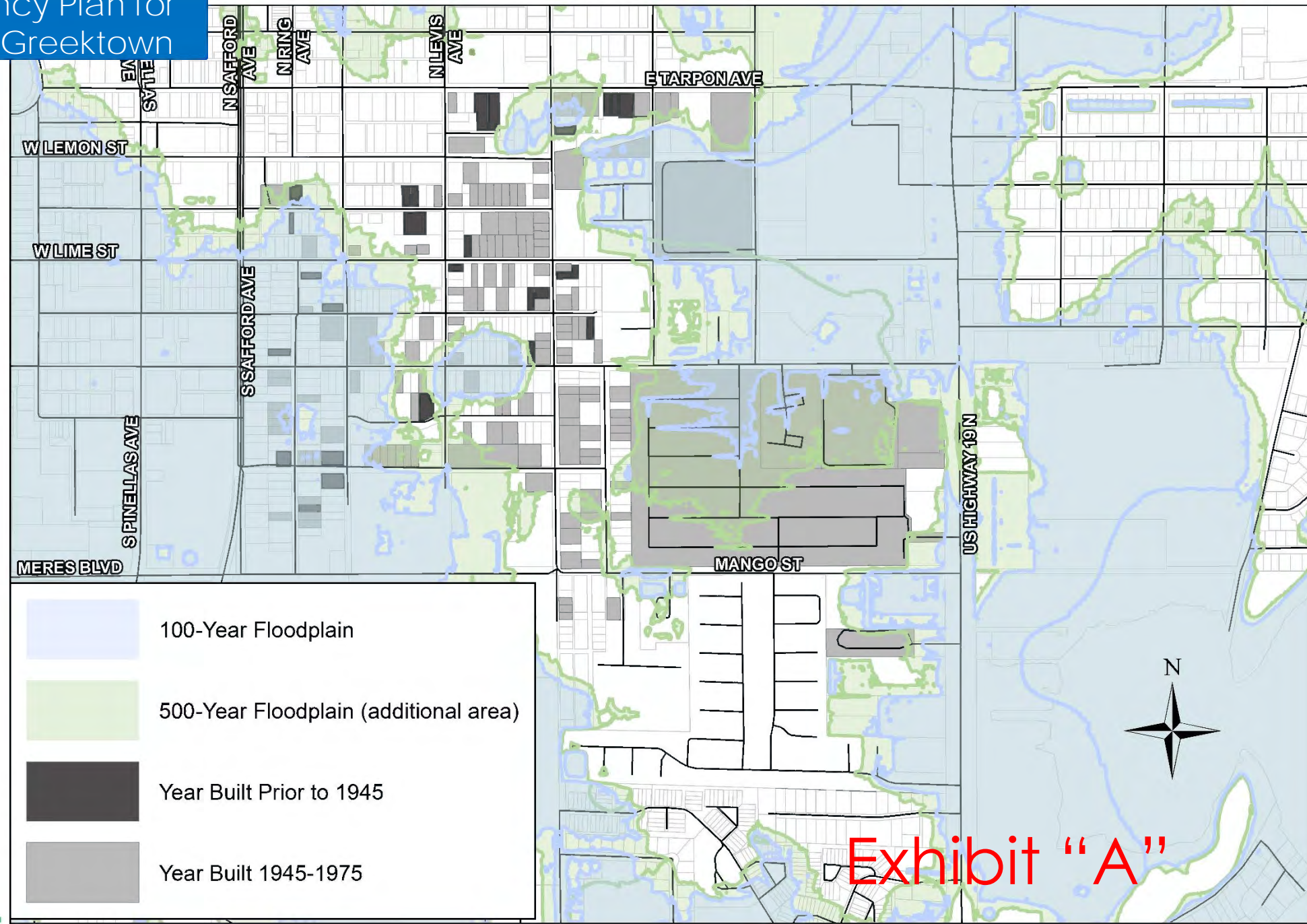
- NOAA projects increases of 2.66 feet by 2070 to 3.44 feet by 2080 under the intermediate high scenario.
- Whole neighborhood adaptation approaches are recommended and are being explored now.





## Union Academy Neighborhood

- 346 built parcels
- 64 (18%) in SFHA
- Resource survey currently underway





# Tarpon Springs Adaptation and Resiliency Plan for the Historic District and Greektown\*

## Thank You!

\*Project funded with a small-matching grant from the Florida Division of Historical Resources

\*Project conducted by the University of Florida College of Design in conjunction with City staff

Exhibit "A"



## Hurricane Idalia Recap

- Center about 130 miles offshore; winds of 125 mph; moving at 18 mph
- damage assessment of residential structures
- 47 structures identified during damage assessment
  - major = structural or significant damage requiring extensive repairs; waterline at 18 inches or above
  - minor = repairable, non-structural damage; waterline at 18 inches or below
  - affected = minimal cosmetic damage

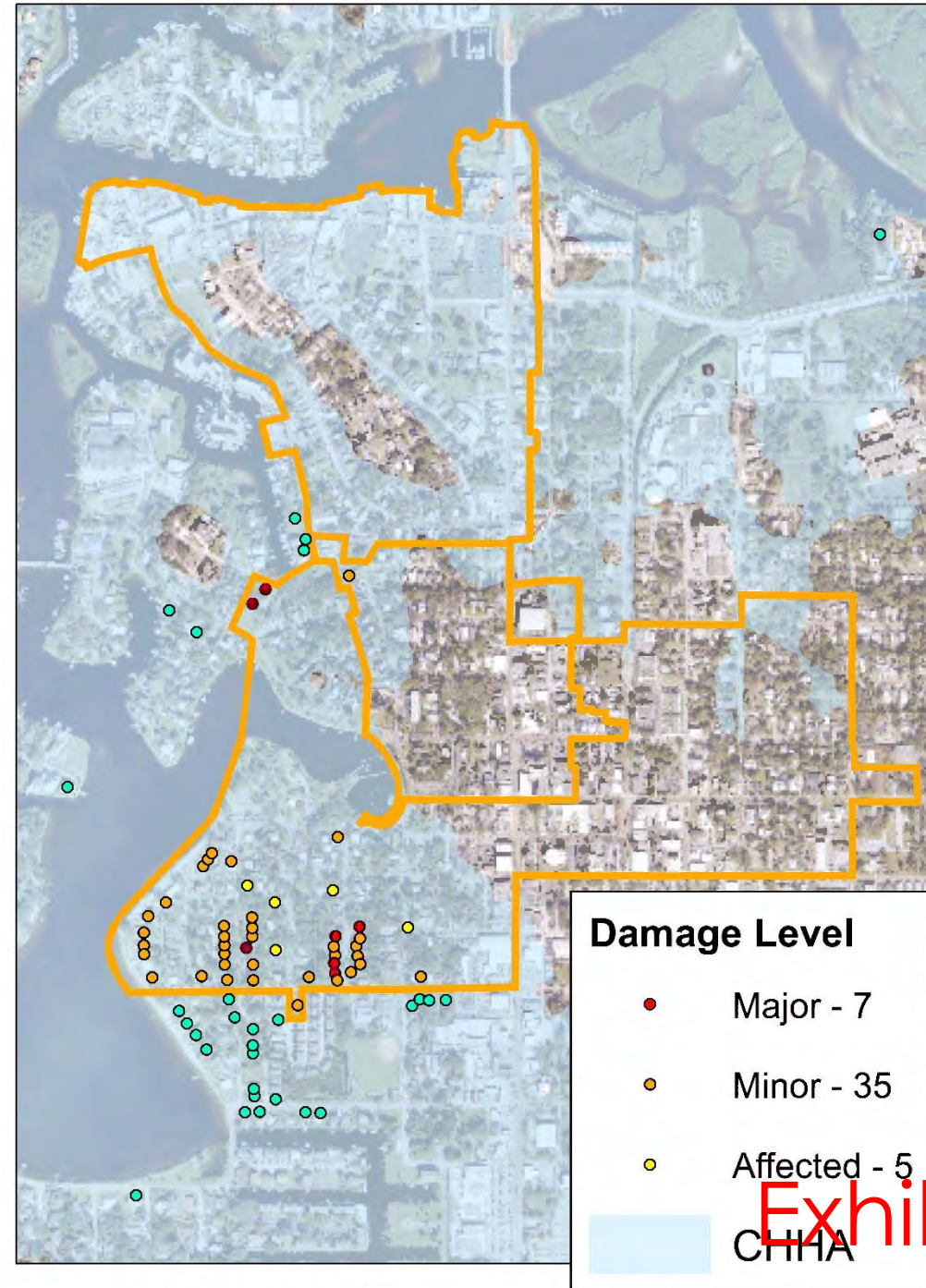


Exhibit "A"



**CITY OF TARPON SPRINGS**  
**HERITAGE PRESERVATION BOARD**  
**January 8, 2024**

**STAFF REPORT, November 27, 2023**

**Application No. / Project Title:** 23-140 / Price  
**Staff:** Caroline Lanford, AICP CTP  
Principal Planner  
**Applicant / Owner:** Anthony Price, Applicant / Owner  
**Property Size:** 8,973 square feet  
**Current Zoning:** SAP - Special Area Plan, T4b Residential + Industrial/Office  
**Future Land Use:** Community Redevelopment District  
**Current Land Use:** Office  
**Location / Parcel ID:** 439 E Lemon Street / 12-27-15-27756-002-0060  
**Architectural Type/District Status:** Frame Vernacular / Contributing-Altered

**BACKGROUND SUMMARY:**

The applicant is seeking an after-the-fact Certificate of Approval for a new deck. The Florida Master Site File (FMSF) 8PI11783 notes this circa 1910 single story frame vernacular residence has been previously altered. Despite alteration, this structure retains enough historic integrity to be considered a contributing structure in the local historic district.

**PRELIMINARY STAFF RECOMMENDATION:**

Staff recommends **approval** of the application with the following condition:

1. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

**HISTORIC DISTRICT CONSIDERATIONS:**

1. When considering this application, the Heritage Preservation Board (HPB) is encouraged to refer to the Historic District Design Review Guidelines Manual (DRGM), especially Guidelines 4, 5 and 19. The DRGM can be accessed at the following link: <https://www.ctsfl.us/wp-content/uploads/2021/03/Historic-District-Design-Review-Guidelines-Manual.pdf>

**REVIEW STANDARDS / STAFF ANALYSIS – CERTIFICATE OF APPROVAL**

Pursuant to Section 109.01, Standards for Review:



- (A) It shall be the intent of this Article to promote maintenance, restoration, adaptive reuses appropriate to the property, and compatible contemporary designs that are harmonious with the exterior and landscape features of neighboring buildings, sites, and streetscapes.
- (B) In reviewing an application for a Certificate of Approval, the Board shall consider the following criteria:

***(1) The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.***

**ANALYSIS:** The height and width of the proposed deck is consistent with decks found throughout the historic district.

***(2) The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.***

**ANALYSIS:** Not applicable to this project

***(3) The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.***

**ANALYSIS:** The deck is not visible from the public right-of-way and does not significantly alter the streetscape.

***(4) The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.***

**ANALYSIS:** Not applicable to this project.

***(5) The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.***

**ANALYSIS:** The deck slightly alters the footprint of the original structure but does not have a significant irreversible impact on the size or mass of the structure.

***(6) Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.***



**ANALYSIS:** Not applicable to this project.

***(7) Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.***

**ANALYSIS:** Not applicable to this project.

***(8) All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural property shall not attempt to create an earlier appearance than the original date of construction. Changes that may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.***

**ANALYSIS:** Not applicable to this project.

***(9) The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.***

**ANALYSIS:** The following standards are applicable to this project:

***2. The historic character of a property shall be retained and preserved. The removal of historic materials or alterations of features and spaces that characterize a property shall be avoided.***

***9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.***

The proposed project meets the intent of the Secretary's standards, as the deck does not destroy historic materials and are compatible with decks found throughout the historic district.

***(10) The proposed project shall conform to other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.***

**ANALYSIS:** The project is consistent with the Historic Preservation Element of the Comprehensive Plan and the Heritage Preservation Article of the Comprehensive Zoning and Land Development Code. The project conforms to other requirements of the City of Tarpon Springs Comprehensive Zoning and Land Development Code.

***(11) The impact upon archaeological sites shall preserve the integrity of the site.***



**CITY OF TARPON SPRINGS**  
**PLANNING & ZONING DEPARTMENT**

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**ANALYSIS:** No archaeological sites will be impacted.

**PUBLIC CORRESPONDENCE:**

The property owners within 500 feet were sent written notification in accordance with Section 109.00(B) of the City of Tarpon Springs Comprehensive Zoning and Land Development Code. No responses were received.

**ATTACHMENTS:**

1. Slide Presentation
2. Florida Master Site File Form #8PI11783
3. Application and supporting materials



# **ANTHONY PRICE APPLICATION #23-140**

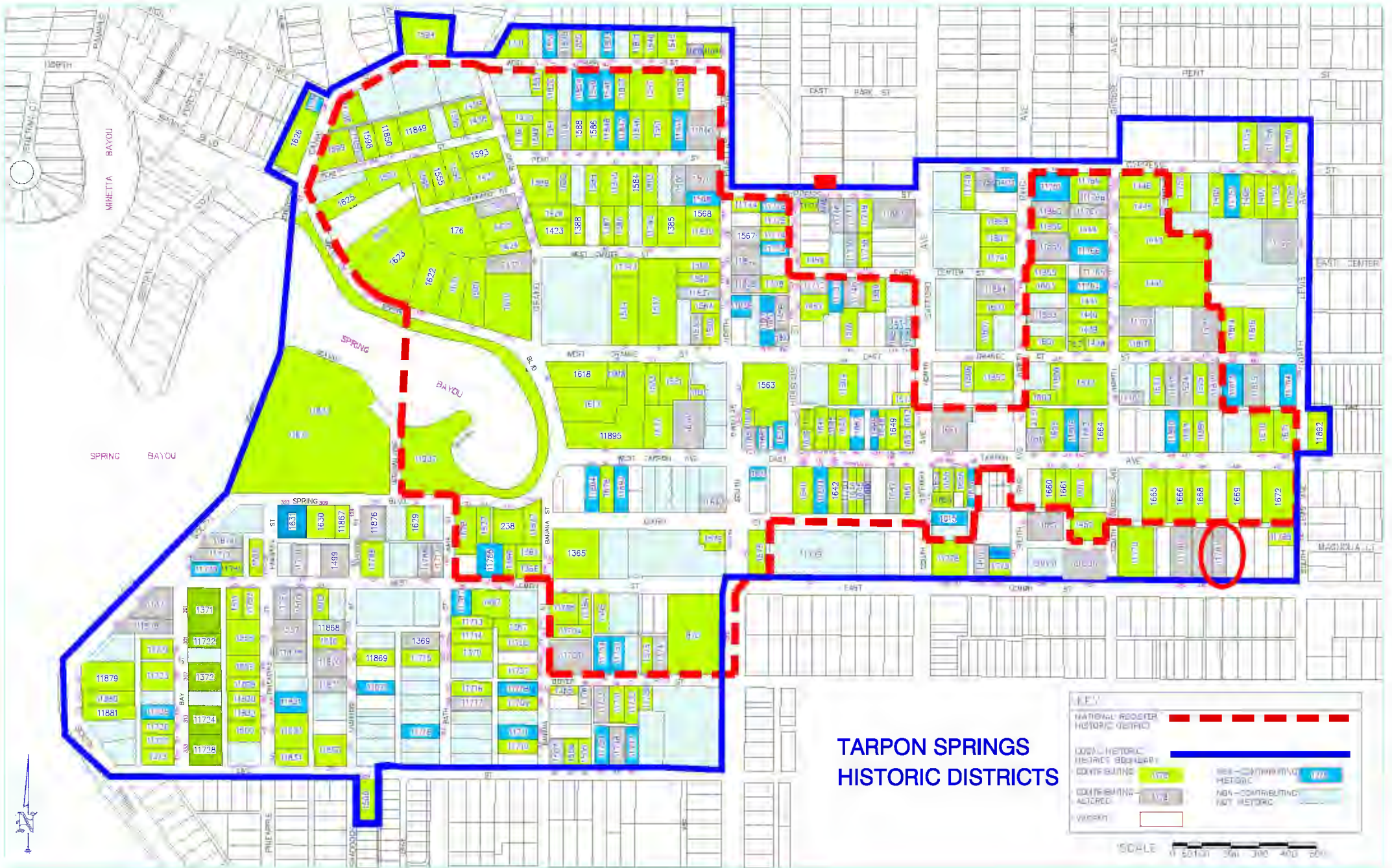
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Heritage Preservation Board, January 8, 2024









**TARPON SPRINGS  
 HISTORIC DISTRICTS**

NATIONAL REGISTER HISTORIC DISTRICT	---
LOCAL HISTORIC DISTRICT BOUNDARY	—
CONTRIBUTING	Green
CONTRIBUTING-ADAPTED	Yellow
NON-CONTRIBUTING	Light Blue
NON-HISTORIC	Dark Blue
WATER	Blue

SCALE 0 50 100 150 200



# REQUEST

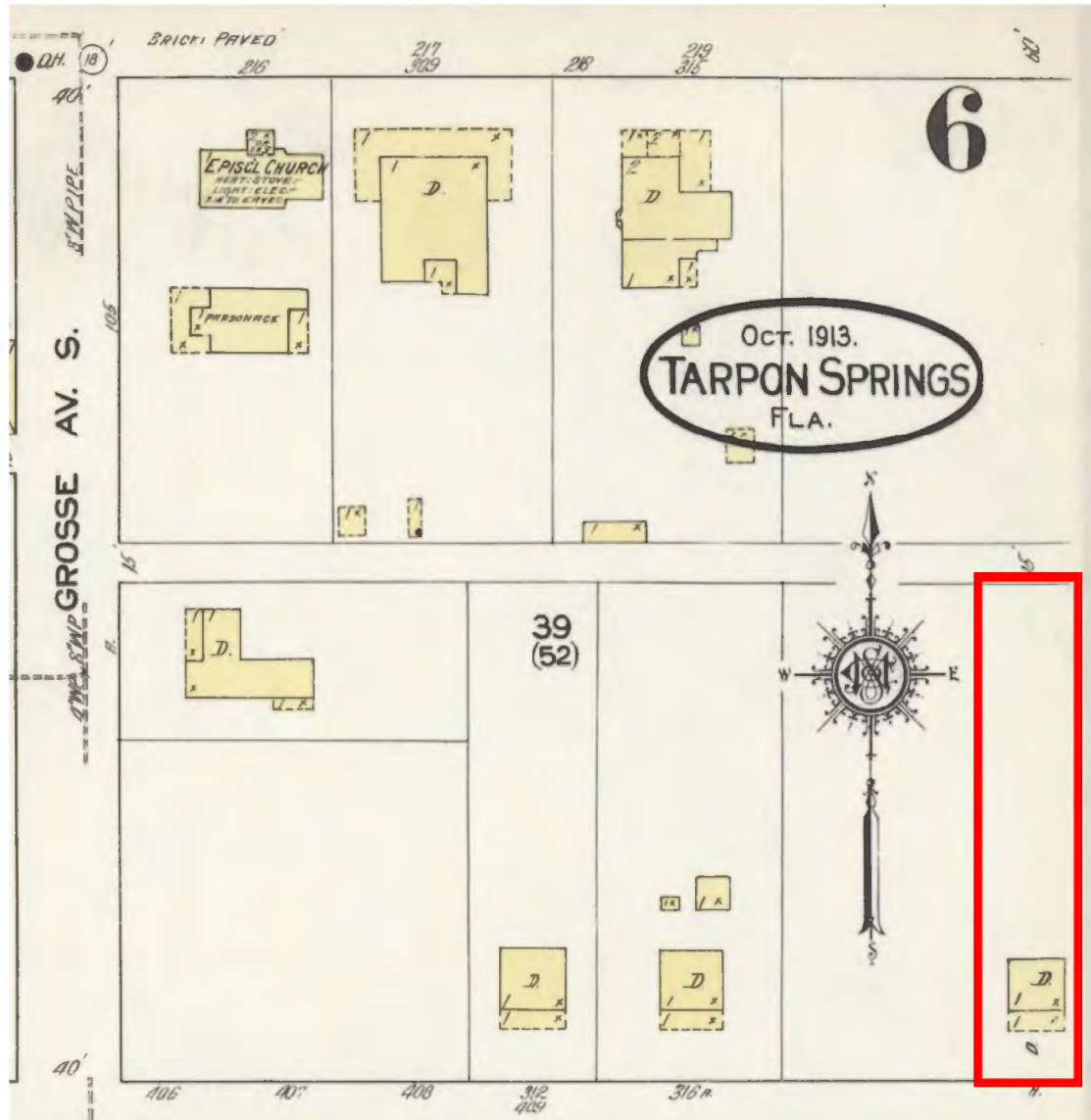
- After-the-fact Certificate of Approval for a new deck
- Lot Size: 8,973 square feet
- Architectural Type/Style: Frame Vernacular
- District Status: Contributing-Altered
- Florida Master Site File: 8P111783
- Applicant: Anthony Price



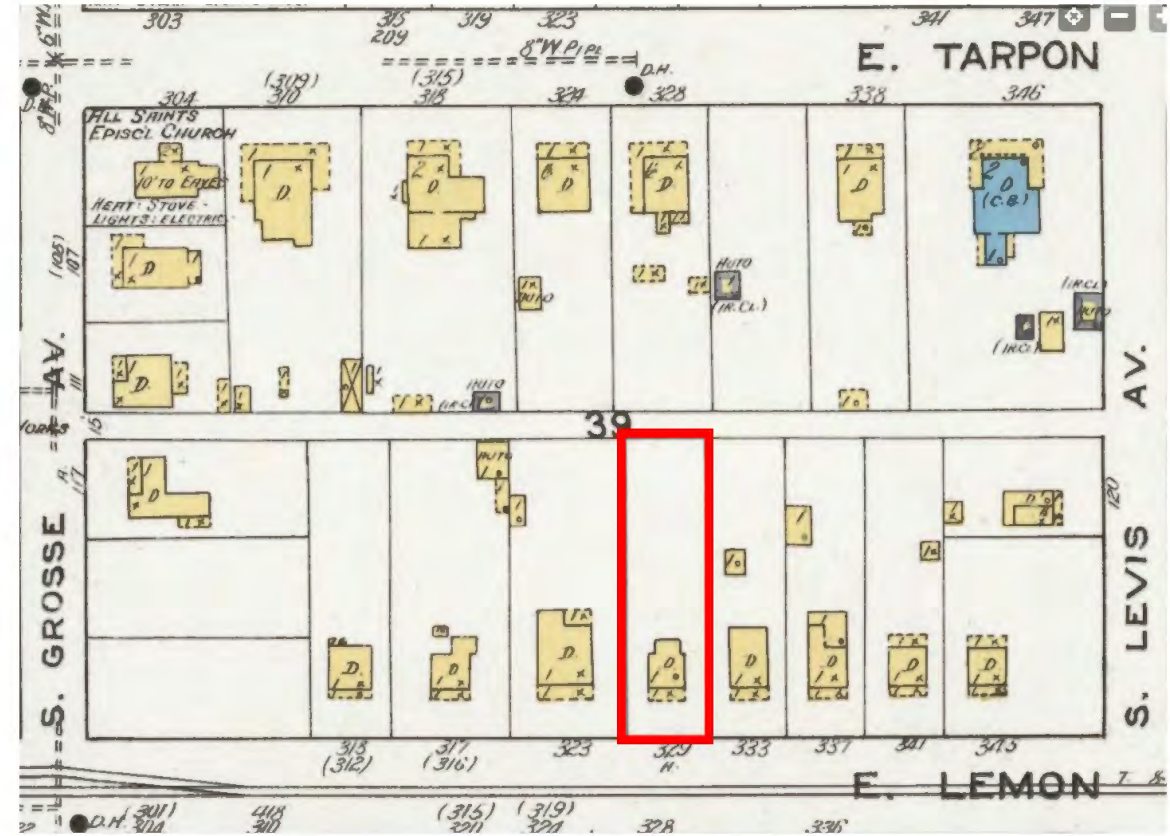
# 439 E. LEMON STREET



# 1913 SANBORN

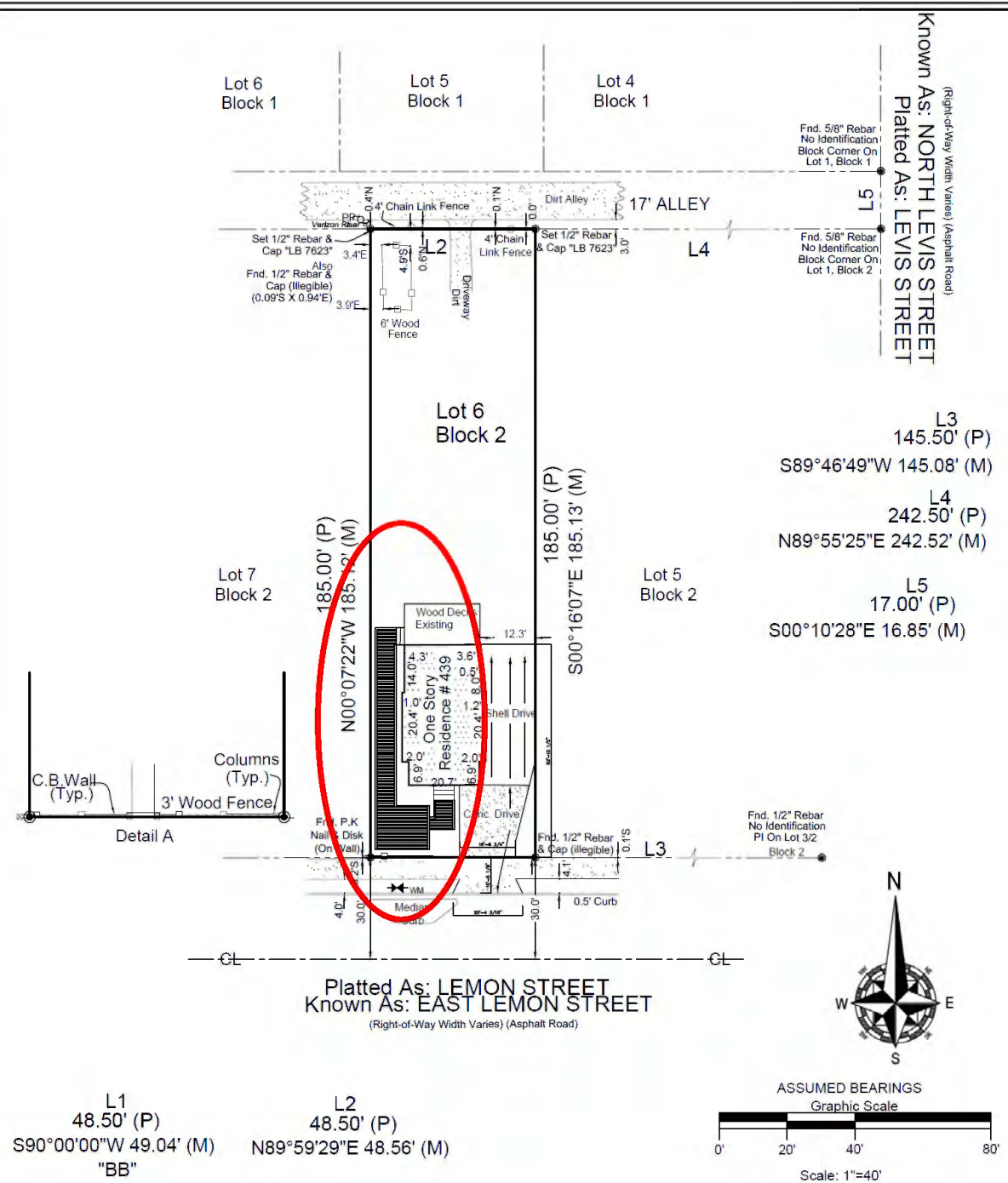


# 1919 SANBORN





# PROPOSED PROJECT





# PROPOSED PROJECT











# STANDARDS FOR REVIEW – CERTIFICATE OF APPROVAL

- 1) **New construction consistency.**
- 2) Windows, doors and entries.
- 3) **Neighborhood and district context.**
- 4) Roof shape and texture.
- 5) **Size and massing / shape.**
- 6) Landscaping.
- 7) Architectural features.
- 8) Adherence to period of construction.
- 9) **Adherence to Secretary's Guidelines.**
- 10) **Conformance with other City code requirements.**
- 11) Impact upon archeological sites.



# DESIGN GUIDELINES REVIEW MANUAL

## 4.8 Universal Guidelines for Docks and other Accessory Structures

Please see General Guidelines at the beginning of this chapter, for additional guidance.

### Guideline 19. Locating Accessory Structures

- a. Accessory structures such as a shed shall be located in the rear yard or the side yard closest to the rear yard.
- b. Accessory structures that are permitted to be located along the public right-of-way or within the public view shall be designed in the same architectural style as the principal building.
- c. New decks, patios, swimming pools, pool cages, and playground equipment requiring a permanent foundation should be situated in the rear yard of properties out of sight from the public right-of-way. If placement in a side yard is the only viable option, these additions should be screened from view with landscaping or vegetation.
- d. Bathhouses associated with pools should be in rear yards.
- e. Bike racks located throughout the historic district shall comply with the architectural standards set for bike racks within the City's Special Area Plan Infill district.



# PRELIMINARY STAFF RECOMMENDATION

Staff recommends **approval** of Application #23-140 with the following condition:

1. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

The project was publicly noticed. No formal responses to the notices have been received.



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Consult Guide To Historical Structure Forms for detailed instructions

Site # 8P111783

Recorder # 41

Recorder Date 1/26/09

Original Update 

Site Name 439 E Lemon Street Other Names \_\_\_\_\_

Project Name Historic Resources Survey of Tarpon Springs

Historic Contexts Spanish-American War National Register Category Building

### LOCATION and IDENTIFICATION

Address 439 E Lemon Street

Vicinity of N side of Lemon St. in between Levis St. and Grosse Ave

City Tarpon Springs County Pinellas

Ownership Private-individual Subdivision \_\_\_\_\_ Block # \_\_\_\_\_ Lot # \_\_\_\_\_

### MAPPING

USGS Map TARPON SPRINGS Township 27S Range 15E Section 12

Quarter \_\_\_\_\_ Qtr Qtr \_\_\_\_\_ Irregular Section  UTM Zone 17

Easting 328036 Northing 3114531 Land Grant Unknown

Latitude \_\_\_\_\_ Longitude \_\_\_\_\_ Plat or Other Map Aerial Photographs

### HISTORY

Architect/Builder Unknown Construction Date 1910 Circa Alterations  Date c.1960 Type/Location porch enclosed, windows replacedAdditions  Date c.1930 Type/Location 1 story shed roof additionMoved  Original Location \_\_\_\_\_

Use Original Private residence Use Present Private residence

### DESCRIPTION

Style Frame Vernacular Exterior Plan Irregular Interior Plan Unknown Stories 1

Structural System Wood frame Exterior Fabric Aluminum

Foundation Piers Foundation Materials Poured concrete Foundation Infill N/A

No. of Porches 0 Locations/Features N/A

Main Entrance (stylistic details): center entry with no overhang

Outbdgs.  Number \_\_\_\_\_ Nature/Location (Describe below)

Unknown- may have outbuilding or addition hidden by foliage

Roof Type Hip Roofing Materials Composition shingles

Secondary Structures  Comments Not applicable Location \_\_\_\_\_Chimneys  Number 0 Orientation N/A Location N/A Material Not applicableWood Windows  Type \_\_\_\_\_ Light # \_\_\_\_\_Metal Windows  Type Awning Light # 4

Exterior Ornament wood surrounds

Condition Good Surroundings Residential, Commercial

Narrative (general, interior, landscape, context; 3 lines only)

This property features a low site wall with a wood picket fence added. The house has a steep pitched roof.

Archaeological Remains Present  FMSF Archaeological Site Form Completed (if yes, attach)



Consult Guide To Historical Structure Forms for detailed instructions

## RECORDER'S EVALUATION OF SITE

Individually Eligible for National Register? Yes  No  Likely, Need Information  Insufficient Information   
 Potential Contributor to Nat. Reg. District? Yes  No  Likely, Need Information  Insufficient Information

## Areas of Significance

Community planning &amp; development

## Summary of Significance

This resource is an example of residential architecture in Tarpon Springs during the Spanish-American War-era and is representative of the development of the City of Tarpon Springs. However, this building has inappropriate alterations that compromise its overall architectural integrity. Therefore, this resource is considered non-contributing to the NRHP Tarpon Springs Historic District and ineligible as an individual resource in the NRHP. The modifications to the building could possibly be removed or reversed, and subsequently, it may retain enough historic integrity to be considered contributing to the Local Historic District.

DHR USE ONLY		OFFICIAL EVALUATIONS	DHR USE ONLY	
NR DATE ____/____/____	KEEPER-NR ELIGIBILITY <input type="checkbox"/> yes <input type="checkbox"/> no		Date	____/____/____
DELIST DATE ____/____/____	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info		Date	____/____/____
	LOCAL DESIGNATION: _____		Date	____/____/____
	Local office _____			
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p. 2)				

## DOCUMENTATION

Research Methods Florida Site File for past architectural surveys; Florida Site File search; Local library; Tax records; Pedestrian; Sanborn maps

Bibliographic References \_\_\_\_\_

Location of Negatives Janus Research Negative Numbers Roll 2885, #79, Facing N

## RECORDER INFORMATION

Recorder Name Janus Research

Recorder Affiliation JANUS RESEARCH, 1107 N. Ward Street, Tampa, Florida 33607 Telephone 813-636-8200

- REQUIRED:**
1. USGS 7.5' MAP WITH STRUCTURES PINPOINTED IN RED
  2. LARGE SCALE STREET OR PLAT MAP
  3. PHOTO OF MAIN FACADE, PREFERABLY B&W, AT LEAST 3x5



SKETCH MAP



USGS QUADRANGLE MAP



Location of 8PII1783

USGS Quadrangle: Tarpon Springs (1973 PR 1987)

500 ft



**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

Return to:  
 Planning & Zoning Department  
 324 E. Pine Street  
 Tarpon Springs, FL 34689  
 (727) 942-5611

(Please type or print clearly)

**Property Owner(s)**

Name Anthony and Alexa Price		Email aprice489@gmail.com	
Address 3051 Autumn Drive			
City Palm Harbor		State FL	Zip 34683
Phone	Fax		Cellular 727-509-1224

**Applicant**

Name Anthony Price		Email aprice489@gmail.com	
Address 3051 Autumn Drive			
City Palm Harbor		State FL	Zip 34683
Phone	Fax		Cellular 727-509-1224

**Agent (if applicable)**

Name		Email	
Address			
City		State	Zip
Phone	Fax		Cellular

**General Information**

Property Location or Address 439 East Lemon Street, Tarpon Springs, FL, 34689	
Legal Description (attach additional sheets as necessary) Fernalds, L.S. Blk 2 Lot 6	
Tax Parcel Number(s) 12-27-15-27756-002-0060	<b>Current Designations of Property</b>
	Land Use Category      Zoning District
Current Use of Property Residential	Contributing Structure? <input type="checkbox"/> YES <input type="checkbox"/> NO

**Type of Proposed Activity:** [please check all that apply]

- Demolition                      Relocation \*                       Structural Addition                      Driveway  
 Renovation                       New Construction                       New Roof                       Other sample walks and deck

**\* If Relocation, please indicate new location:**

New Property Location or Address	
Legal Description (attach additional sheets as necessary)	
Tax Parcel Number(s)	<b>Current Designations of Property</b>
	Land Use Category      Zoning District

**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

**General Building Information**

Year Built 1915	Architectural Style Colonial	Porches? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Original Use Residential	Present Use Residential	Proposed Use Office/Outdoor personal Storage
Roof Type & Material Asphalt	Exterior Siding Material Aluminum/Vinyl Horizontal Siding	

**Previous Additions or Modifications:** [please describe and include dates]

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**Description of Proposed Work:**

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Remove existing concrete walks and Install new walks and decking on grade showing different decking colors. All are non structural and set on grade to showcase decking samples. We have boarded walks and deck with a boarder so that the different colors can be removed and one color installed if the place is sold.

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**For relocation or demolition, describe the property's physical condition, steps taken to save the property and whether renovation would be economically feasible:**

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**Requirements for Submission:**

Please submit those items which have been checked by City staff:

- Completed original application with digital copies of all application documents**
- \$50.00 application fee plus advertisement costs which will be invoiced upon calculation by Staff
- \$50.00 application fee for signs only
- Property survey, signed and sealed by a professional land surveyor
- Architectural floor plans and elevations (10 copies)
- Site Plan for new construction (10 copies)
- Landscaping plan (10 copies)
- Details of exterior modifications

**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

In reviewing an application for a Certificate of Approval, the Board shall consider the following Standards for Review:

(1) *The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.*

(2) *The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.*

(3) *The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.*

(4) *The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.*

(5) *The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.*

(6) *Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.*

(7) *Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.*

(8) *All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural property shall not attempt to create an earlier appearance than the original date of construction. Changes which may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.*

(9) *The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.*

(10) *The proposed project shall conform with the other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.*

(11) *The impact upon archaeological sites shall preserve the integrity of the site.*



**BOUNDARY SURVEY**

**LEGAL DESCRIPTION:**

LOT 6, BLOCK 2, L. S. FERNALD'S, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK H4, PAGE 100, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

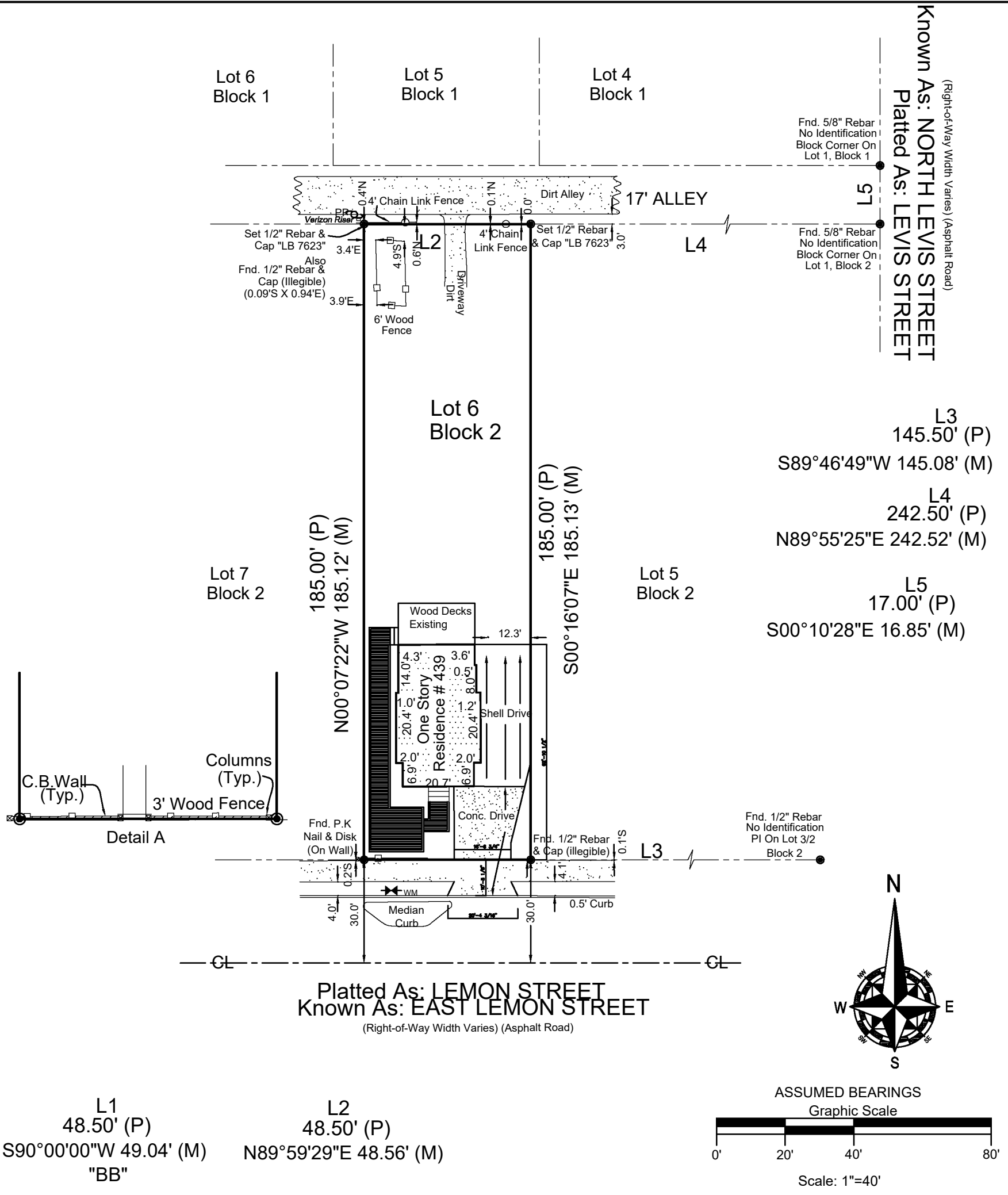
**FLOOD INFORMATION:**

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN CITY OF TARPON SPRINGS, COMMUNITY NUMBER 120259, DATED 9/3/2003.

**CERTIFIED TO:**

ALEXA PRICE AND ANTHONY PRICE; ANCLOTE TITLE SERVICES, INC; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

439 EAST LEMON STREET, TARPON SPRINGS, FLORIDA 34689



Field Date: 1/11/2021 Date Completed: 01/12/21  
 Drawn By: V.T. File Number: IS-83236

- Legend-**
- C - Calculated
  - CL - Centerline
  - CB - Concrete Block
  - CM - Concrete Monument
  - Conc. - Concrete
  - D - Description
  - DE - Drainage Easement
  - Esmt. - Easement
  - F.E.M.A. - Federal Emergency Management Agency
  - FFE - Finished Floor Elevation
  - Fnd. - Found
  - IP - Iron Pipe
  - L - Length (Arc)
  - M - Measured
  - N&D - Nail & Disk
  - N.R. - Non-Radial
  - ORB - Official Records Book
  - P - Plat
  - P.B. - Plat Book
  - WM - Wood Fence
  - PC - Point of Curvature
  - Pg. - Page
  - PI - Point of Intersection
  - P.O.B. - Point of Beginning
  - P.O.L. - Point on Line
  - PP - Power Pole
  - PRM - Permanent Reference Monument
  - PT - Point of Tangency
  - R - Radius
  - Rad. - Radial
  - R&C - Rebar & Cap
  - Rec. - Recovered
  - Rfd. - Roofed
  - Set - Set 1/2" Rebar & Nail & Disk Cap "LB 7623"
  - Typ. - Typical
  - UE - Utility Easement
  - WM - Water Meter
  - Δ - Delta (Central Angle)
  - - Chain Link Fence

**-NOTES-**

- >Survey is Based upon the Legal Description Supplied by Client.
- >Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hiatus.
- >Subject to any Easements and/or Restrictions of Record.
- >Bearing basis shown hereon, is Assumed and Based upon the Line Denoted with a "BB"
- >Building Ties are NOT to be used to reconstruct Property Lines.
- >Fence Ownership is NOT determined.
- >Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.
- >Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.
- >Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be Construed to give ANY Rights or Benefits to Anyone Other than those Certified.

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown, Based on Information furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 5J-17.052 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.

Patrick K. Ireland, P.S. 6637, LB 7623  
 This Survey is intended ONLY for the use of Said Certified Parties.  
 This Survey NOT VALID UNLESS signed and Embossed with Surveyor's Seal.

**Ireland & Associates Surveying, Inc.**  
 800 Currency Circle | Suite 1020  
 Lake Mary, Florida 32746  
 www.irelandsurveying.com  
 Office-407.678.3366 Fax-407.320.8165

**-POINTS OF INTEREST-**

NONE VISIBLE

CITY OF TARPON SPRINGS, FLORIDA  
Heritage Preservation Board  
Application for Certificate of Approval

AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that \_\_\_\_\_ is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: <u>10/30/23</u>	Title Holder/Property Owner: <u>Anthony C Price</u>
Date: <u>10/30/23</u>	Title Holder/Property Owner: <u>Alexa Price</u>
Date: _____	Title Holder/Property Owner: _____
Date: _____	Title Holder/Property Owner: _____

STATE OF FLORIDA            )  
COUNTY OF PINELLAS        )

The foregoing instrument was acknowledged before me this 30 day of October, A.D., 20 23  
by Anthony C Price, who is personally known to me or who has produced  
License as identification and who did (did not) take an oath.



NOTARY PUBLIC  
Name: Devin Nightlinger  
Signature: [Signature]  
Stamp: \_\_\_\_\_



**CITY OF TARPON SPRINGS**  
**HERITAGE PRESERVATION BOARD**  
**January 2, 2024**

**STAFF REPORT, January 8, 2024**

**Application No. / Project Title:** 24-145 / Catalina's  
**Staff:** Caroline Lanford, AICP CTP  
Principal Planner  
**Applicant / Owner:** John Stamper, Applicant / 10 S. Pinellas LLC, Owner  
**Property Size:** 6,800 square feet  
**Current Zoning:** T5b (Tarpon Ave Main Street)  
**Future Land Use:** CRD (Commercial Redevelopment District)  
**Location / Parcel ID:** 12-27-15-89982-070-0100  
**Architectural Type/District Status:** Tudor Revival/Contributing Altered

**BACKGROUND SUMMARY:**

The applicant is seeking a Certificate of Approval to extend a previously approved outdoor covered patio, reduce the footprint of a previously approved addition, and construct an accessible entry at the rear of the contributing-altered subject property. The Florida Master Site File (FMSF) 8PI11842 indicates a circa 1930 construction date for the subject property. According to the FMSF form, the original building was expanded with an addition on the north side in the 1940s and an addition to the south and rear in the 1960s. The FMSF notes the original use as a service station and notes that the storefront was replaced, and the service island canopy was removed in the 1980s. The most distinctive architectural feature of the property is the steeply pitched gable roof flanked by two brick chimneys and the remaining brick façade. The property is the only commercial property in the National and local historic districts that exhibits Tudor revival influences. The subject property is located on the site of the former Tropical Hotel, later known as the Ferns, which was managed by Walter and "Mother" Amelia Meres.

In May of 2020 a Certificate of Approval was issued to construct additions and perform other exterior renovations to the contributing-altered property.

**PRELIMINARY STAFF RECOMMENDATION:**

Staff is recommending **approval** of the application as presented with the following condition:

1. A detailed sign plan must be reviewed by the HPB.
2. The front porch extension must utilize a flat roof as depicted in the application.
3. A minimum of two bicycle parking spaces must be provided.





4. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

#### HISTORIC DISTRICT CONSIDERATIONS:

1. When considering this application, the Heritage Preservation Board (HPB) is encouraged to refer to the Historic District Design Review Guidelines Manual (DRGM), especially Guidelines 1, 2, 3, 4, 5, 6, 7, 12, 14, 25, 26, 27, 28, 29, 73, 75, 76, and 82. The DRGM can be accessed at the following link: <https://www.ctsfl.us/wp-content/uploads/2021/03/Historic-District-Design-Review-Guidelines-Manual.pdf>

#### REVIEW STANDARDS / STAFF ANALYSIS – CERTIFICATE OF APPROVAL

Pursuant to Section 109.01, Standards for Review:

- (A) It shall be the intent of this Article to promote maintenance, restoration, adaptive reuses appropriate to the property, and compatible contemporary designs that are harmonious with the exterior and landscape features of neighboring buildings, sites, and streetscapes.
- (B) In reviewing an application for a Certificate of Approval, the Board shall consider the following criteria:

***(1) The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.***

**ANALYSIS:** The subject structure is smaller in scale and height than adjacent contributing structures. The proposed project would increase the mass of the subject structure. The HPB should determine if this alteration is significantly adverse.

***(2) The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.***

**ANALYSIS:** Not applicable.

***(3) The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.***

**ANALYSIS:** The subject property is located in the Pinellas Avenue/Court Street/Tarpon Avenue streetscape at the heart of the City's National Register District. The proposed patio extension would reduce the private frontage of the subject property and activate the space between the structure and the street. The proposed patio extension would continue the transition zone between the private and public realms along the entire façade with an overall positive affect to the streetscape. However, the



proposed patio extension would partially obscure the façade of the historic structure. The HPB should determine if the impact to the streetscape is significantly adverse.

***(4) The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.***

**ANALYSIS:** The application indicates a flat roof for the proposed patio extension at the roofline of the existing historical structure. The steeply pitched roofline is one of the most significant architectural details of the historical structure, and a flat roof that does not obscure the historic roofline would have less impact than other roof types. The HPB should determine if the patio extension would pose a significantly adverse impact to the roofline of the historic building.

***(5) The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.***

**ANALYSIS:** Two previous additions have increased the size of the structure, and the proposed project would further increase the size and mass of the building from its original proportions. The proposed reduced footprint of the addition on the west elevation of the property would have less impact than the addition that was previously approved in May 2020. Although the proposed project would alter the size and mass of the subject property, the contributing buildings in the immediate vicinity are larger and have greater lot coverage. The proposed alterations could be viewed as making the subject property more consistent with the surrounding contributing properties in terms of scale and mass. The HPB should determine if the impacts of the alterations are significantly adverse.

***(6) Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.***

**ANALYSIS:** Not applicable.

***(7) Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.***

**ANALYSIS:** The subject property has been altered over time, and the proposed project is another alteration that will further impact the building's overall historical integrity. However, the adaptive re-use of the structure will prolong the life of the historical structure and preserve the remaining distinctive architectural features, namely the brick façade, steeply pitched roofline, and brick chimneys.

***(8) All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural***



*property shall not attempt to create an earlier appearance than the original date of construction. Changes that may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.*

**ANALYSIS:** Not applicable.

***(9) The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.***

**ANALYSIS:** The following standards are applicable to this project:

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The proposed project generally meets the intent of the Secretary's standards.

***(10) The proposed project shall conform to other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.***

**ANALYSIS:** The project is consistent with the Historic Preservation Element of the Comprehensive Plan and the Heritage Preservation Article of the Comprehensive Zoning and Land Development Code. The project is consistent with the City of Tarpon Springs Transect-Based Infill Code (Smart Code), with the exception of the requirement for a minimum of two bicycle parking spaces.





***(11) The impact upon archaeological sites shall preserve the integrity of the site.***

**ANALYSIS:** No archaeological sites will be impacted.

**PUBLIC CORRESPONDENCE:**

The property owners within 500 feet were sent written notification in accordance with Section 109.00(B) of the City of Tarpon Springs Comprehensive Zoning and Land Development Code. No responses were received.

**ATTACHMENTS:**

1. Slide Presentation
2. Florida Master Site File Form # 8PI11842
3. Application and supporting materials

# CATALINA'S APPLICATION 23-145

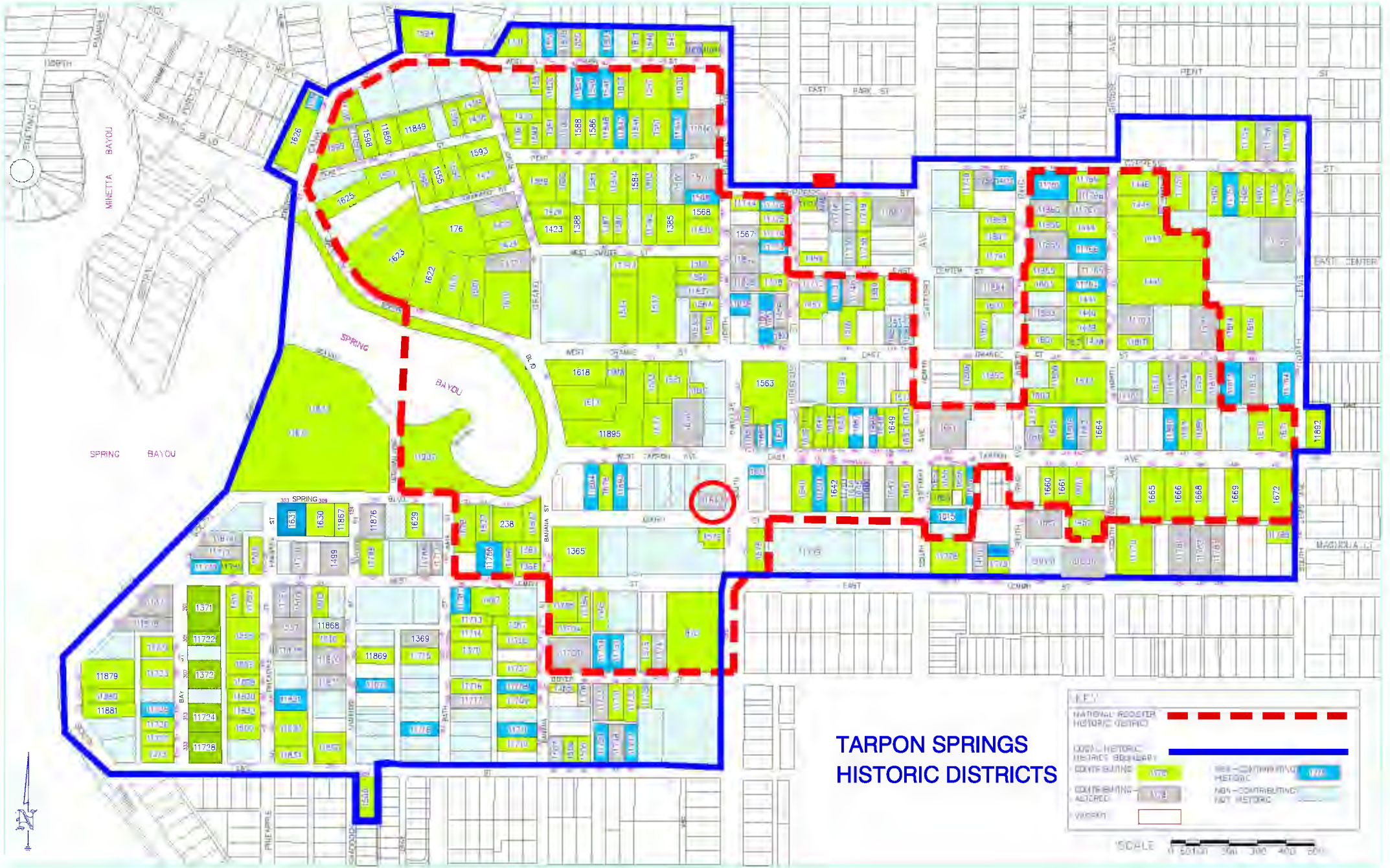
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Heritage Preservation Board, January 8, 2024











# REQUEST

- Extend a previously approved outdoor covered patio, reduce the footprint of a previously approved addition, and construct an accessible entry at the rear of the contributing-altered subject property
- Lot Size: 6,800 square feet
- Architectural Type/Style: Tudor Revival
- District Status: Contributing-Altered
- Florida Master Site File: 8P111842
- Applicant: John Stamper



# FMSF 10 S PINELLAS AVENUE





# FAÇADE PRIOR TO CONSTRUCTION



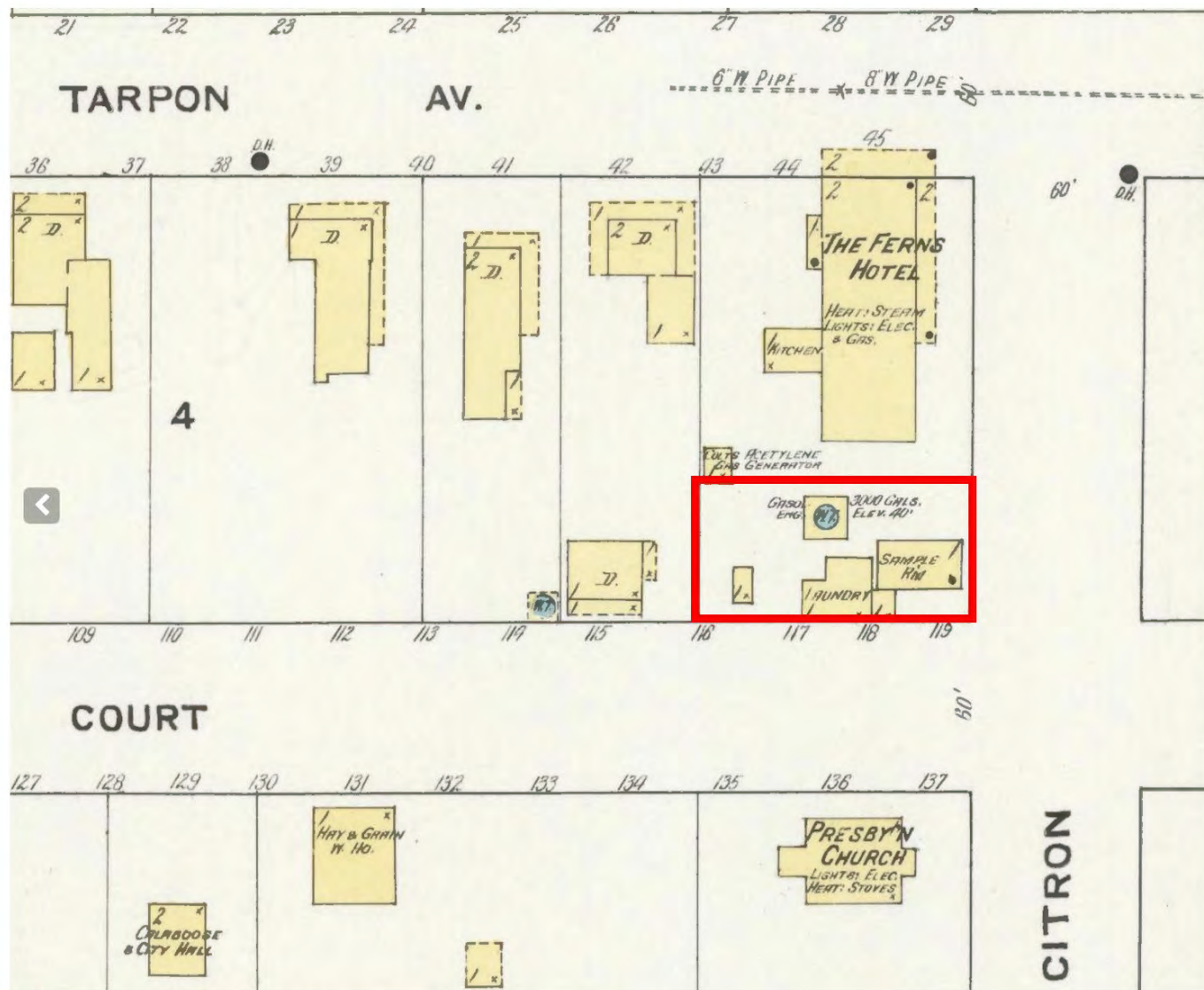


# SOUTH AND WEST ELEVATIONS PRIOR TO CONSTRUCTION

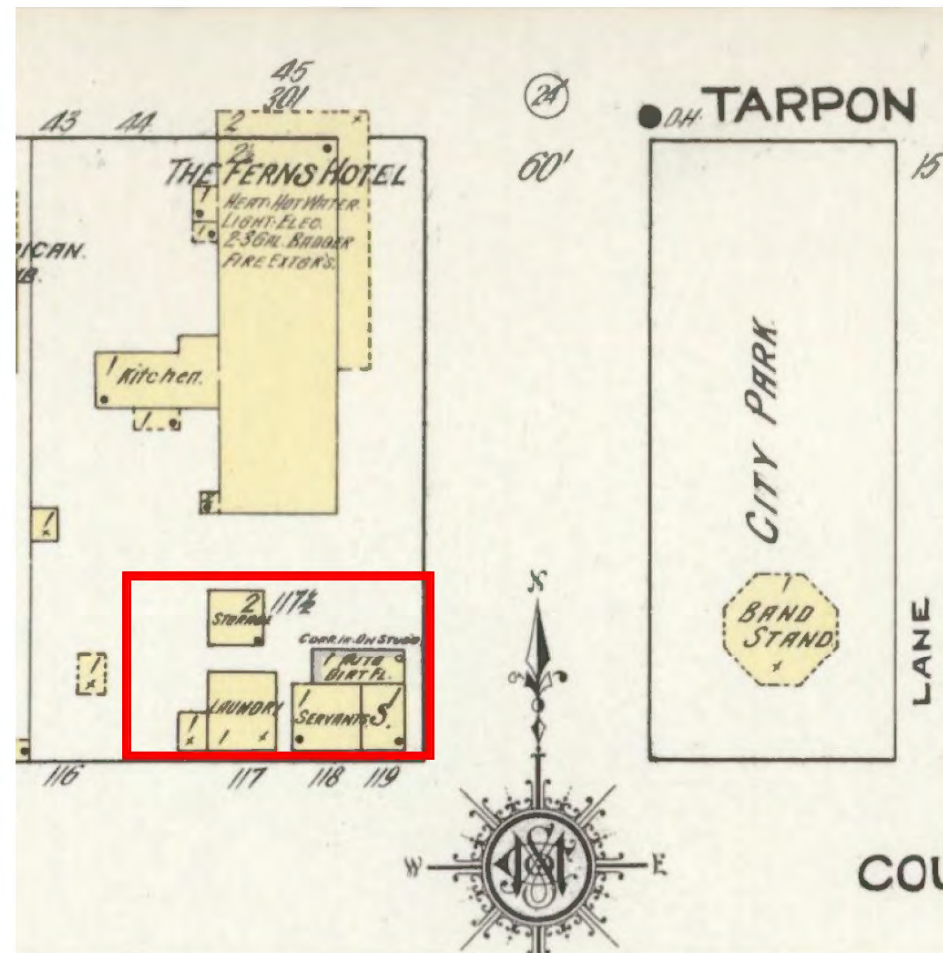




# 1909 SANBORN

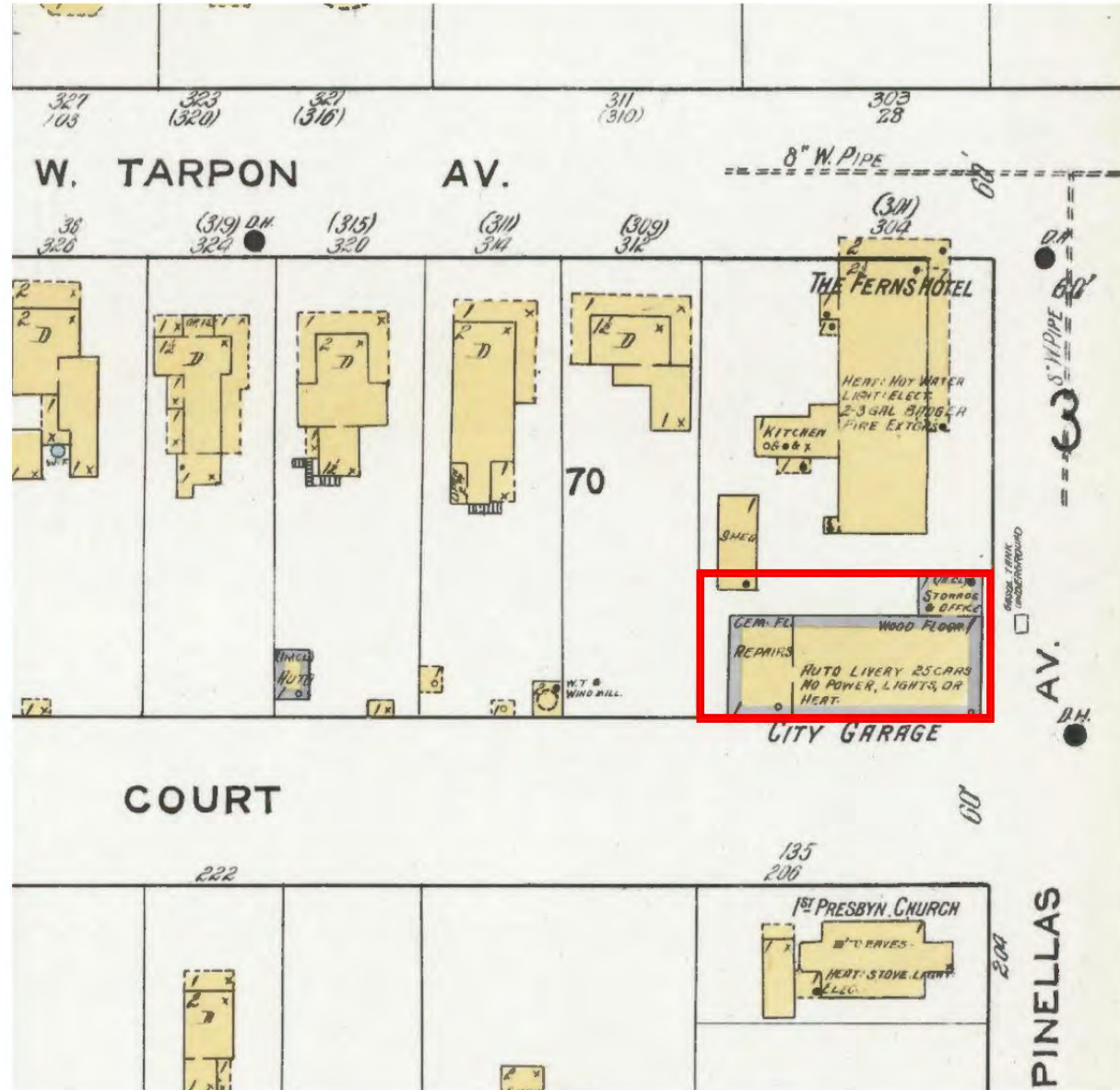


# 1913 SANBORN

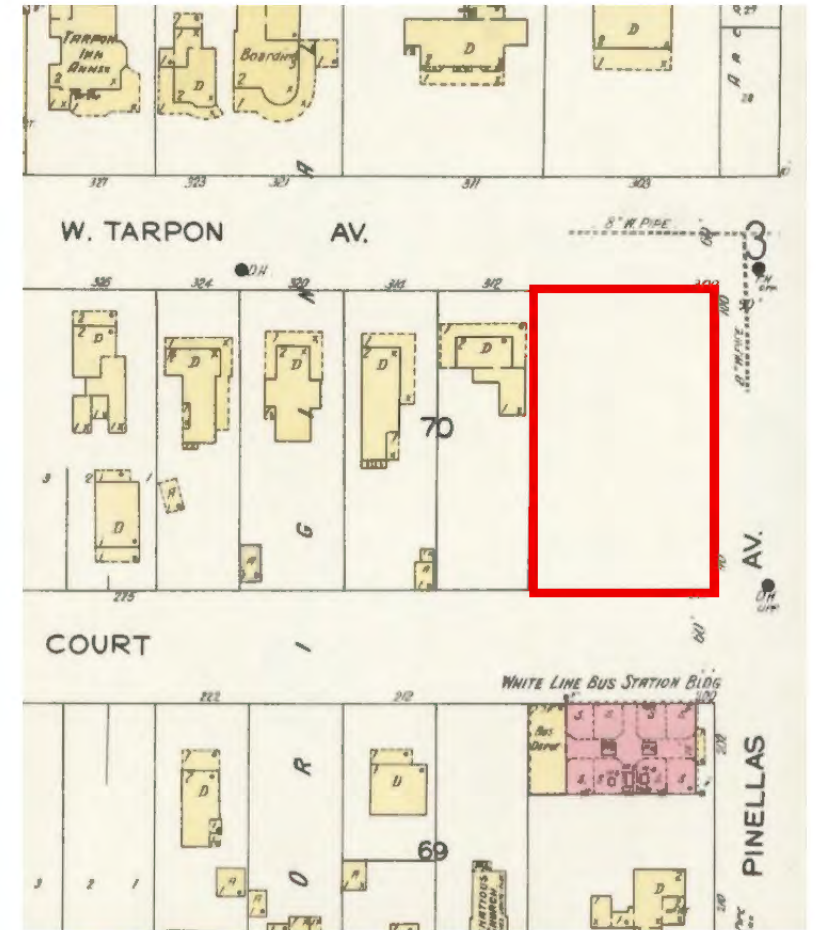




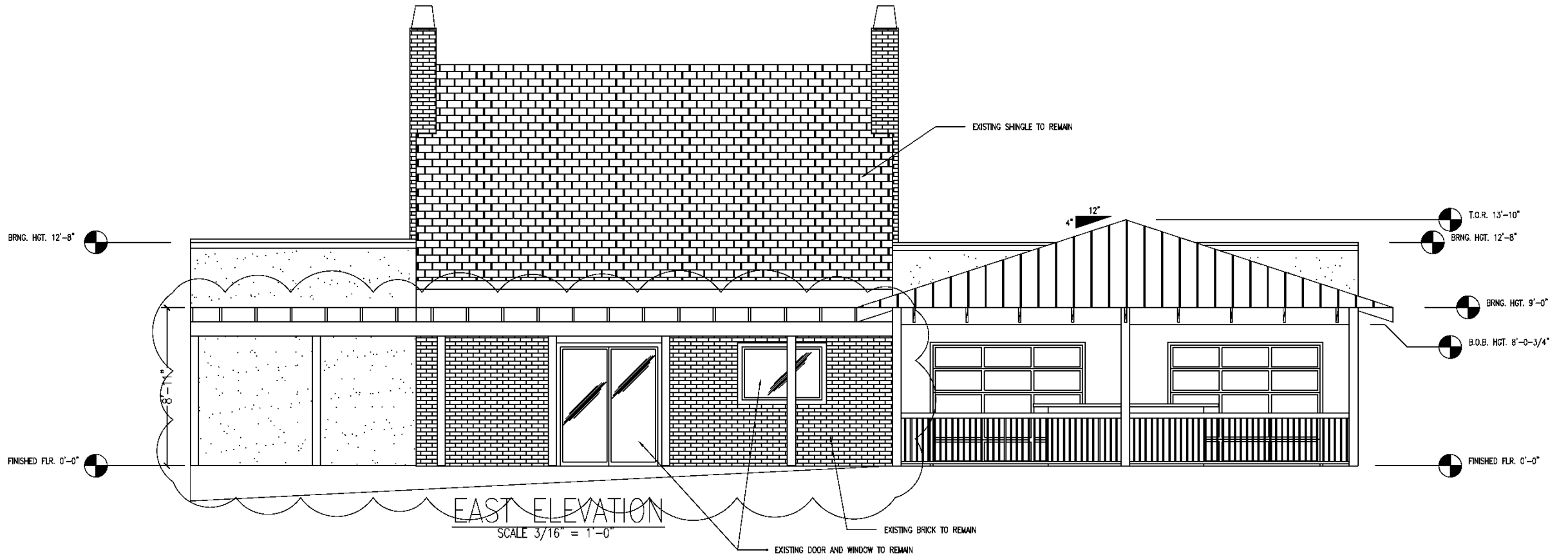
# 1919 SANBORN



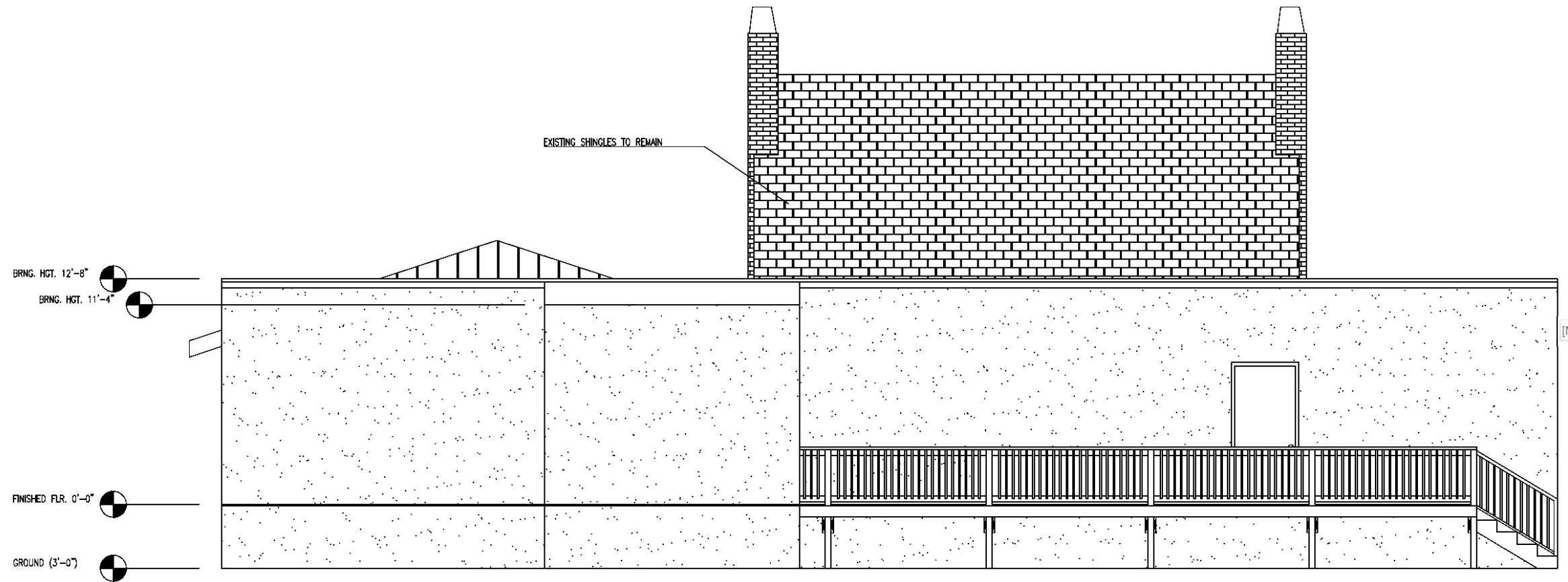
# 1926 SANBORN



# PROPOSED PROJECT



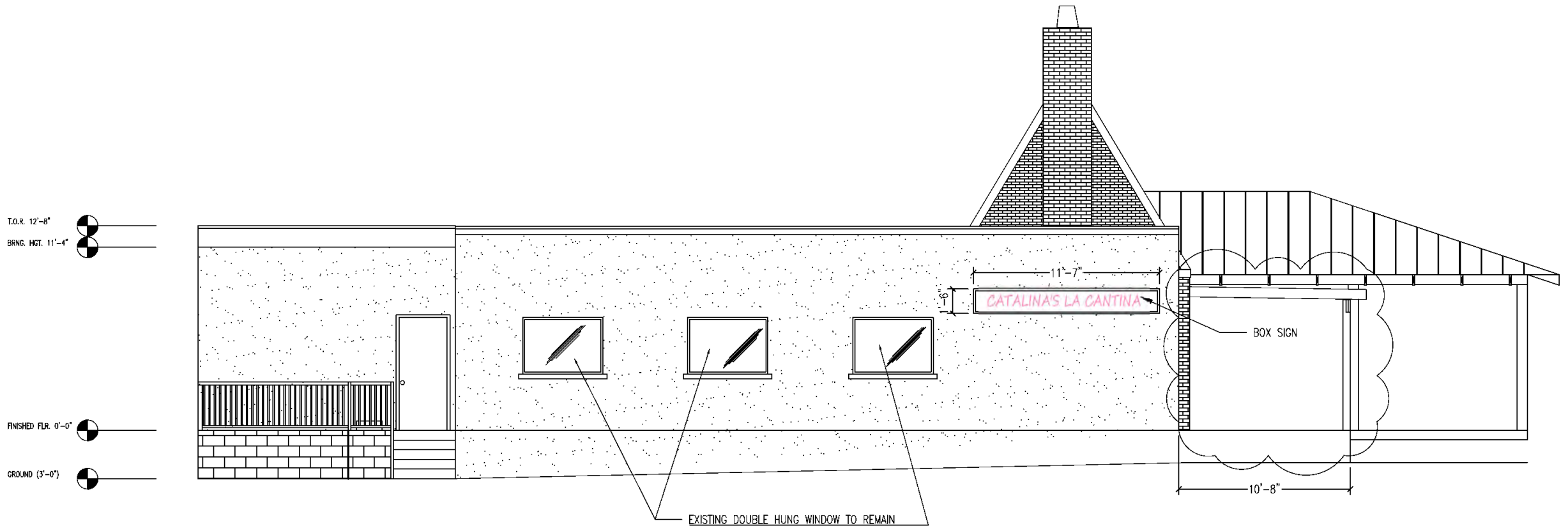
# PROPOSED PROJECT



WEST ELEVATION  
SCALE 3/16" = 1'-0"



# PROPOSED PROJECT

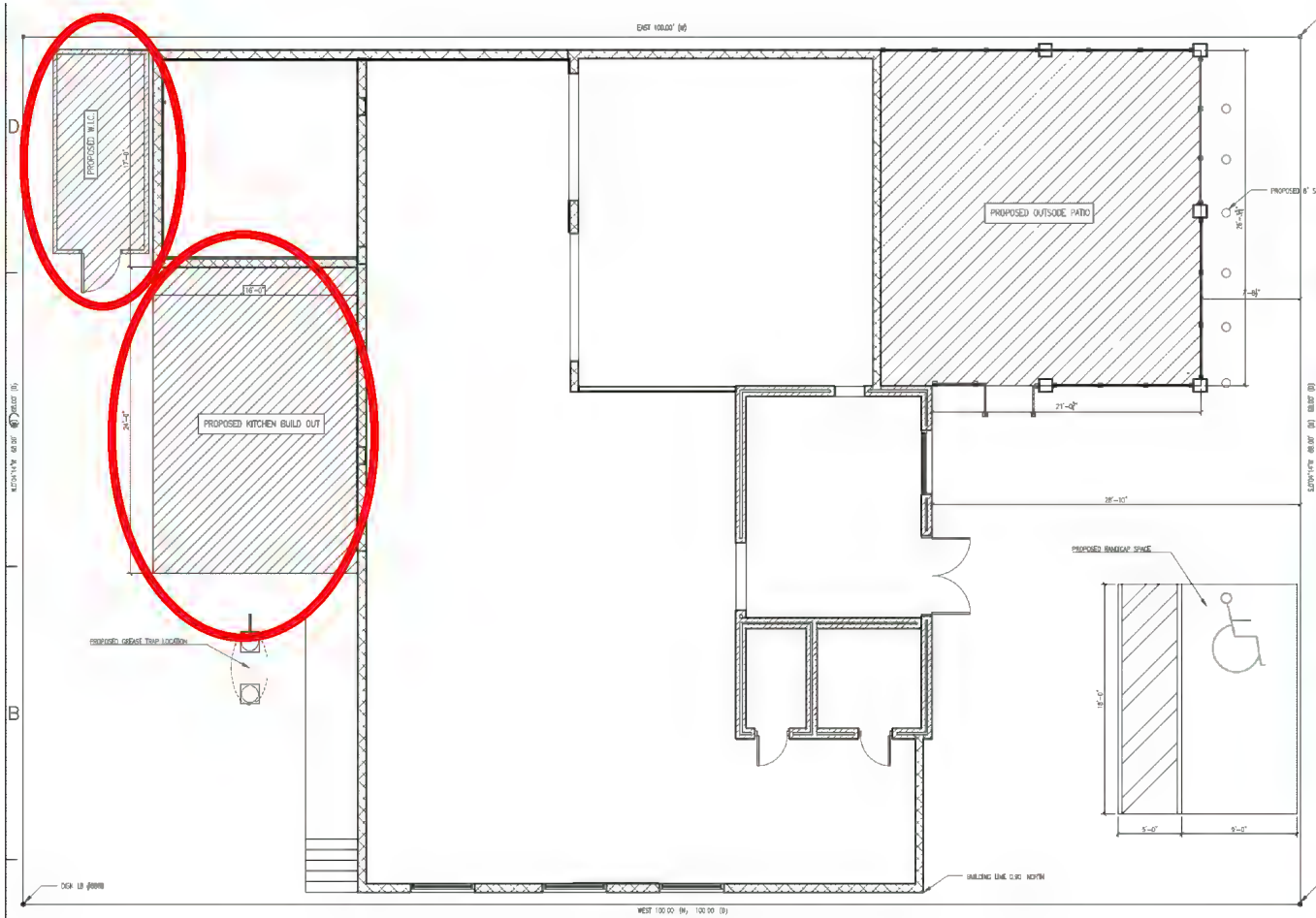


SOUTH ELEVATION

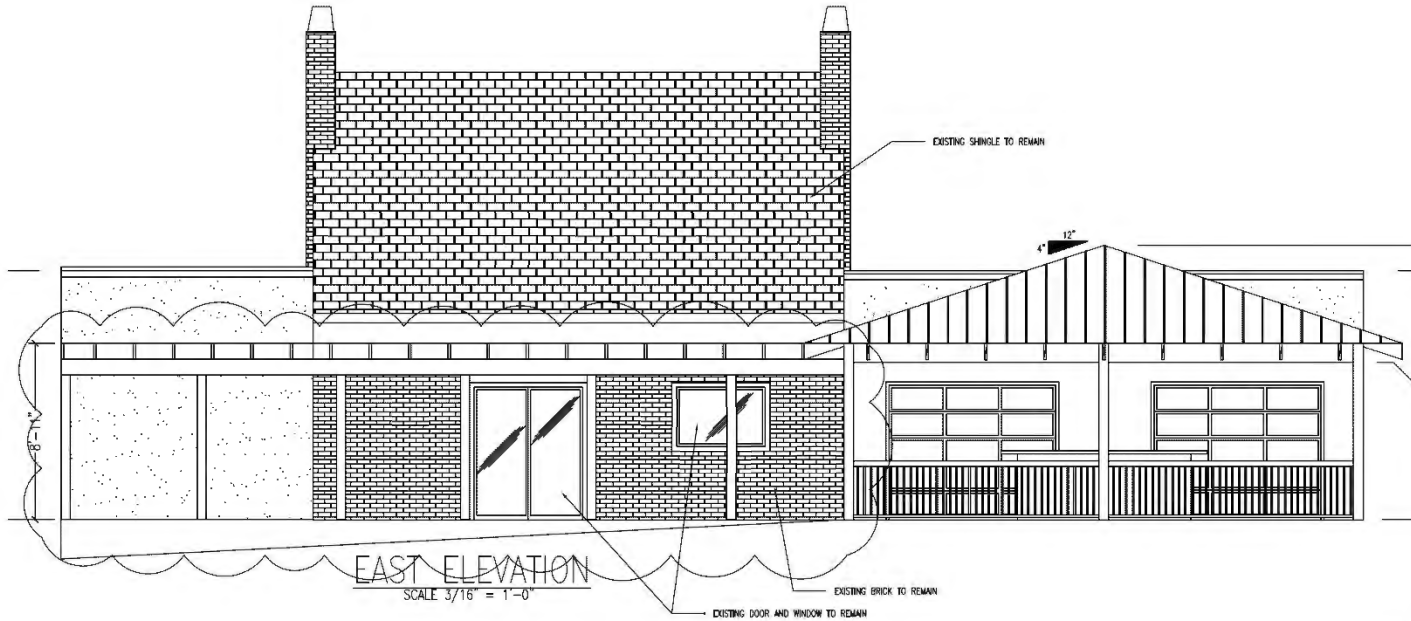
SCALE 3/16" = 1'-0"

# PREVIOUSLY APPROVED PROJECT

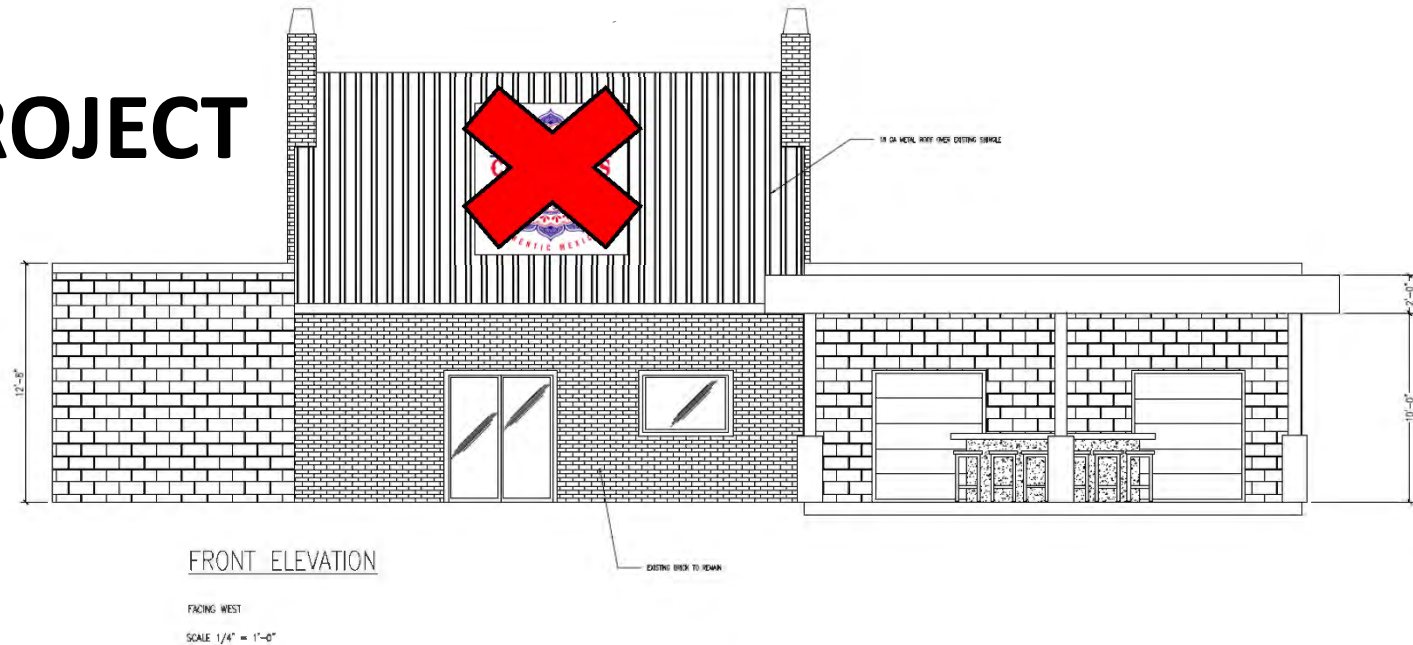
# PROPOSED PROJECT



# PROPOSED PROJECT



# PREVIOUSLY APPROVED PROJECT





# PROPOSED PROJECT





# PROPOSED PROJECT





# PROPOSED PROJECT





# PROPOSED PROJECT





# PROPOSED PROJECT





# STANDARDS FOR REVIEW – CERTIFICATE OF APPROVAL

- 1) **New construction consistency.**
- 2) Windows, doors and entries.
- 3) **Neighborhood and district context.**
- 4) **Roof shape and texture.**
- 5) **Size and massing / shape.**
- 6) Landscaping.
- 7) **Architectural features.**
- 8) Adherence to period of construction.
- 9) **Adherence to Secretary's Guidelines.**
- 10) **Conformance with other City code requirements.**
- 11) Impact upon archeological sites.





# STANDARDS FOR REVIEW – CERTIFICATE OF APPROVAL

New construction consistency – Height and width of alteration is consistent with adjacent contributing structures.

Neighborhood and district context – Proposed patio extension would continue the transition zone between the private and public realms along the entire façade, but would partially obscure the façade of the historic structure.

Roof shape and texture – Flat roof patio extension would have less impact than other roof types but would alter historic rooflines.



# STANDARDS FOR REVIEW – CERTIFICATE OF APPROVAL

Size and massing / shape – Proposed project would alter original but is consistent with adjacent contributing structures.

Architectural features – Remaining brick façade, chimneys, and steeply pitched roofline would be preserved.

Adherence to Secretary’s Guidelines – Generally meets the intent.

Conformance with other City code requirements – Conforms with the requirements of the T5b district and will be constructed in conformance with the Florida Building Code.

# DESIGN GUIDELINES REVIEW MANUAL



## Guideline 73. New Porches

- a. A new front or side porch may be added if the house belongs to a building type that typically featured a porch, and where they exist elsewhere in the district on similar buildings. The new porch should be compatible with the style of the historic building.
- b. Do not obscure the historic building entry when locating a new front or side porch. An open porch maintains the historic building entry, but an enclosed front porch would violate this guideline.





# PRELIMINARY STAFF RECOMMENDATION

Staff recommends **approval** of Application #23-145 with the following condition:

1. A detailed sign plan must be reviewed by the HPB.
2. The front porch extension must utilize a flat roof as depicted in the application.
3. A minimum of two bicycle parking spaces must be provided.
4. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

The project was publicly noticed. No formal responses to the notices have been received.



# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Consult Guide To Historical Structure Forms for detailed instructions

Site # 8P111842

Recorder # 88

Recorder Date 1/27/09

Original Update Site Name Bicycles and Outdoor Adventure Shop Other Names \_\_\_\_\_Project Name Historic Resources Survey of Tarpon SpringsHistoric Contexts Depression/New Deal National Register Category Building

### LOCATION and IDENTIFICATION

Address 10 S Pinellas AvenueVicinity of NE corner of Pinellas Ave and Court St.City Tarpon Springs County PinellasOwnership Private-individual Subdivision \_\_\_\_\_ Block # \_\_\_\_\_ Lot # \_\_\_\_\_

### MAPPING

USGS Map TARPON SPRINGS Township 27S Range 15E Section 12Quarter \_\_\_\_\_ Qtr Qtr \_\_\_\_\_ Irregular Section  UTM Zone 17Easting 327499 Northing 3114651 Land Grant UnknownLatitude \_\_\_\_\_ Longitude \_\_\_\_\_ Plat or Other Map Aerial Photographs

### HISTORY

Architect/Builder Unknown Construction Date 1930 Circa Alterations  Date c.1980 Type/Location storefront replaced, canopy removedAdditions  Date c.1940 Type/Location 1 story flat roof brick on north side; 1 story flat roof stucco on south and rear c.1960Moved  Original Location \_\_\_\_\_Use Original Service station Use Present Commercial

### DESCRIPTION

Style Tudor Revival Exterior Plan Irregular Interior Plan Unknown Stories 1Structural System Brick Exterior Fabric BrickFoundation Slab Foundation Materials Poured concrete Foundation Infill N/ANo. of Porches 0 Locations/Features N/AMain Entrance (stylistic details): off center double metal doorsOutbdgs.  Number \_\_\_\_\_ Nature/Location (Describe below) \_\_\_\_\_Roof Type Gable Roofing Materials Composition shinglesSecondary Structures  Comments Not applicable Location \_\_\_\_\_Chimneys  Number 2 Orientation North; South Location Wall Material BrickWood Windows  Type \_\_\_\_\_ Light # \_\_\_\_\_Metal Windows  Type SHS; Fixed Light # 2/2, Storefront

Exterior Ornament \_\_\_\_\_

Condition Fair Surroundings Commercial

Narrative (general, interior, landscape, context; 3 lines only)

This structure features a steep roof pitch and displays Tudor Revival influence.

Archaeological Remains Present  FMSF Archaeological Site Form Completed (if yes, attach)

Consult Guide To Historical Structure Forms for detailed instructions

## RECORDER'S EVALUATION OF SITE

Individually Eligible for National Register? Yes  No  Likely, Need Information  Insufficient Information   
 Potential Contributor to Nat. Reg. District? Yes  No  Likely, Need Information  Insufficient Information

## Areas of Significance

Community planning &amp; development

## Summary of Significance

This resource is an example of commercial architecture in Tarpon Springs during the Depression/New Deal-era and is representative of the development of the City of Tarpon Springs. However, this building has inappropriate alterations that compromise its overall architectural integrity. Therefore, this resource is considered non-contributing to the NRHP Tarpon Springs Historic District and ineligible as an individual resource in the NRHP. The modifications to the building could possibly be removed or reversed, and subsequently, it may retain enough historic integrity to be considered contributing to the Local Historic District.

DHR USE ONLY		OFFICIAL EVALUATIONS	DHR USE ONLY	
NR DATE ____/____/____	KEEPER-NR ELIGIBILITY <input type="checkbox"/> yes <input type="checkbox"/> no		Date	____/____/____
DELIST DATE ____/____/____	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info		Date	____/____/____
	LOCAL DESIGNATION: _____		Date	____/____/____
	Local office _____			
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p. 2)				

## DOCUMENTATION

Research Methods Florida Site File for past architectural surveys; Florida Site File search; Local library; Tax records; Pedestrian; Sanborn maps

Bibliographic References \_\_\_\_\_

Location of Negatives Janus Research

Negative Numbers Roll 2885, #170, Facing SW

## RECORDER INFORMATION

Recorder Name Janus Research

Recorder Affiliation JANUS RESEARCH, 1107 N. Ward Street, Tampa, Florida 33607 Telephone 813-636-8200

- REQUIRED:**
1. USGS 7.5' MAP WITH STRUCTURES PINPOINTED IN RED
  2. LARGE SCALE STREET OR PLAT MAP
  3. PHOTO OF MAIN FACADE, PREFERABLY B&W, AT LEAST 3x5

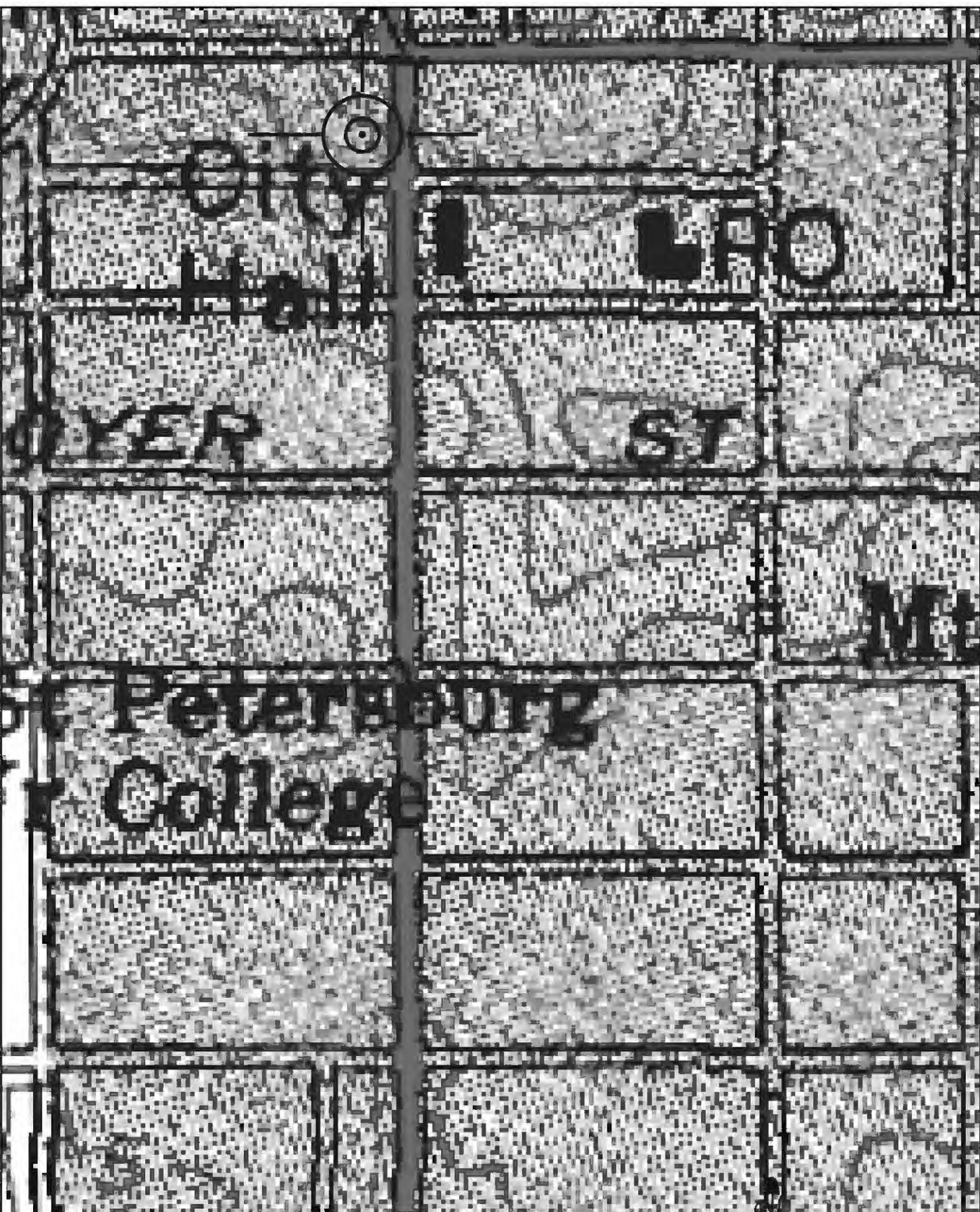




SKETCH MAP



USGS QUADRANGLE MAP



Location of 8PII1842  
USGS Quadrangle: Tarpon Springs (1973 PR 1987)





**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

Return to:  
 Planning & Zoning Department  
 324 E. Pine Street  
 Tarpon Springs, FL 34689  
 (727) 942-5611

(Please type or print clearly)

**Property Owner(s)**

Name 10 S. Pinellas LLC		Email stungstamper@gmail.com	
Address 10 S. Pinellas Ave			
City TARPON SPRINGS		State FL	Zip 34689
Phone 727-455-8695	Fax	Cellular 727-455-8695	

**Applicant**

Name John Stamper		Email jgeiger66@gmail.com	
Address 316 West Lemon St.			
City Tarpon Springs		State FL	Zip 34689
Phone 727 647 3166	Fax -	Cellular -	

**Agent (if applicable)**

Name John Geiger		Email jgeiger66@gmail.com	
Address 8707 Haverhill Ct.			
City Clearwater		State FL	Zip <del>34</del> 33761
Phone 727 647 3106	Fax	Cellular	

**General Information**

Property Location or Address 10. S. Pinellas Ave, Tarpon Springs						
Legal Description (attach additional sheets as necessary)						
Tax Parcel Number(s) 12-27-15-89982-070-0100	<table border="1"> <tr> <th colspan="2">Current Designations of Property</th> </tr> <tr> <td>Land Use Category</td> <td>Zoning District</td> </tr> </table>		Current Designations of Property		Land Use Category	Zoning District
Current Designations of Property						
Land Use Category	Zoning District					
Current Use of Property	Contributing Structure? <input type="checkbox"/> YES <input type="checkbox"/> NO					

**Type of Proposed Activity:** [please check all that apply]

- |  |   |  |                                      |
|--|---|--|--------------------------------------|
| <input type="checkbox"/> Demolition            | <input type="checkbox"/> Relocation *     | <input type="checkbox"/> Structural Addition | <input type="checkbox"/> Driveway    |
| <input checked="" type="checkbox"/> Renovation | <input type="checkbox"/> New Construction | <input type="checkbox"/> New Roof            | <input type="checkbox"/> Other _____ |

**\* If Relocation, please indicate new location:**

New Property Location or Address						
Legal Description (attach additional sheets as necessary)						
Tax Parcel Number(s)	<table border="1"> <tr> <th colspan="2">Current Designations of Property</th> </tr> <tr> <td>Land Use Category</td> <td>Zoning District</td> </tr> </table>		Current Designations of Property		Land Use Category	Zoning District
Current Designations of Property						
Land Use Category	Zoning District					



**CITY OF TARPON SPRINGS, FLORIDA  
Heritage Preservation Board  
Application for Certificate of Approval**

**General Building Information**

Year Built	Architectural Style	Porches? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
Original Use	Present Use <i>Restaurant</i>	Proposed Use <i>Restaurant</i>	
Roof Type & Material <i>Metal</i>	Exterior Siding Material		

**Previous Additions or Modifications:** [please describe and include dates]

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**Description of Proposed Work:**

*Add covered seating area with new roof*

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**For relocation or demolition, describe the property's physical condition, steps taken to save the property and whether renovation would be economically feasible:**

*N/A*

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**Requirements for Submission:**

Please submit those items which have been checked by City staff:

- Completed original application with digital copies of all application documents**
- \$50.00 application fee plus advertisement costs which will be invoiced upon calculation by Staff
- \$50.00 application fee for signs only
- Property survey, signed and sealed by a professional land surveyor
- Architectural floor plans and elevations (10 copies)
- Site Plan for new construction (10 copies)
- Landscaping plan (10 copies)
- Details of exterior modifications

CITY OF TARPON SPRINGS, FLORIDA  
Heritage Preservation Board  
Application for Certificate of Approval

AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that John Geiger is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

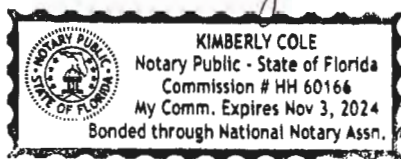
I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

X Date: 11-6-2023 Title Holder/Property Owner: Denise Decker  
Date: \_\_\_\_\_ Title Holder/Property Owner: \_\_\_\_\_  
Date: \_\_\_\_\_ Title Holder/Property Owner: \_\_\_\_\_  
Date: \_\_\_\_\_ Title Holder/Property Owner: \_\_\_\_\_

STATE OF FLORIDA )  
COUNTY OF PINELLAS )

The foregoing instrument was acknowledged before me this 6<sup>th</sup> day of Nov, A.D., 2023  
by Denise Decker, who is personally known to me or who has produced  
PROPERTY OWNER NAME PRINTED  
\_\_\_\_\_ as identification and who did (did not) take an oath.

NOTARY PUBLIC  
Name: Kimberly Cole  
Signature: Kimberly Cole  
Stamp: \_\_\_\_\_

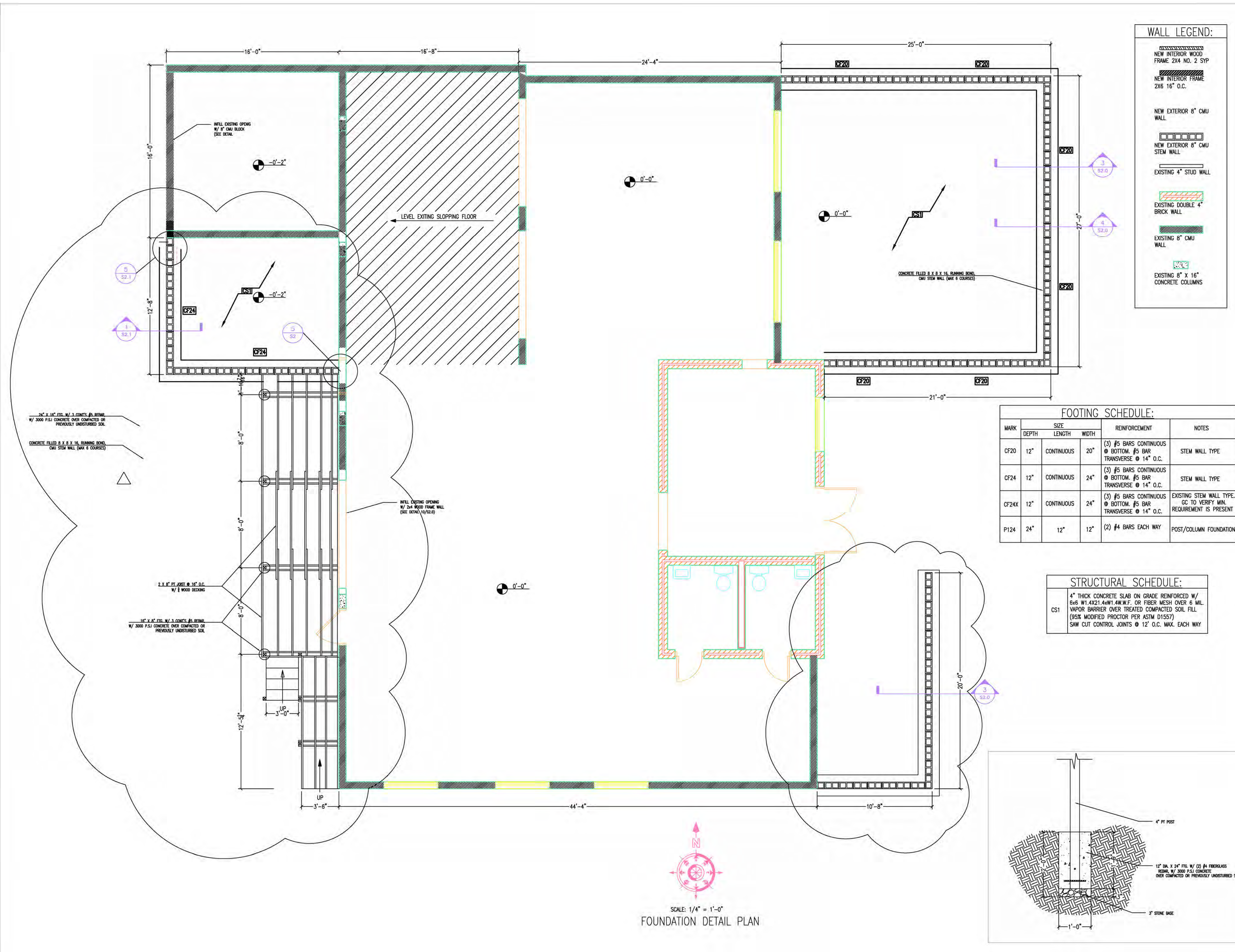


**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

In reviewing an application for a Certificate of Approval, the Board shall consider the following Standards for Review:

- (1) The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.*
- (2) The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.*
- (3) The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.*
- (4) The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.*
- (5) The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.*
- (6) Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.*
- (7) Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.*
- (8) All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural property shall not attempt to create an earlier appearance than the original date of construction. Changes which may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.*
- (9) The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.*
- (10) The proposed project shall conform with the other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.*
- (11) The impact upon archaeological sites shall preserve the integrity of the site.*





**WALL LEGEND:**

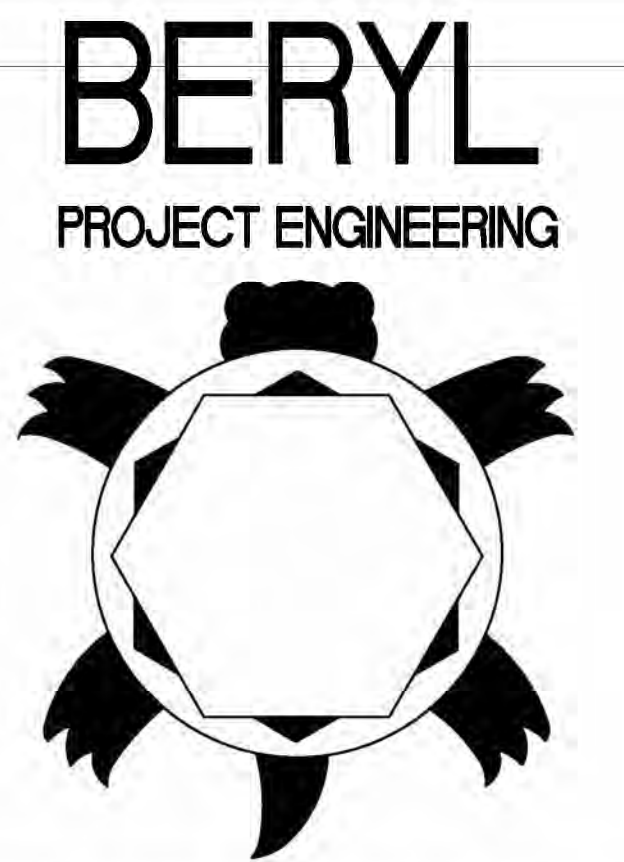
- NEW INTERIOR WOOD FRAME 2X4 NO. 2 SYP
- NEW INTERIOR FRAME 2X6 16" O.C.
- NEW EXTERIOR 8" CMU WALL
- NEW EXTERIOR 8" CMU STEM WALL
- EXISTING 4" STUD WALL
- EXISTING DOUBLE 4" BRICK WALL
- EXISTING 8" CMU WALL
- EXISTING 8" X 16" CONCRETE COLUMNS

**FOOTING SCHEDULE:**

MARK	SIZE			REINFORCEMENT	NOTES
	DEPTH	LENGTH	WIDTH		
CF20	12"	CONTINUOUS	20"	(3) #5 BARS CONTINUOUS @ BOTTOM. #5 BAR TRANSVERSE @ 14" O.C.	STEM WALL TYPE
CF24	12"	CONTINUOUS	24"	(3) #5 BARS CONTINUOUS @ BOTTOM. #5 BAR TRANSVERSE @ 14" O.C.	STEM WALL TYPE
CF24X	12"	CONTINUOUS	24"	(3) #5 BARS CONTINUOUS @ BOTTOM. #5 BAR TRANSVERSE @ 14" O.C.	EXISTING STEM WALL TYPE. GC TO VERIFY MIN. REQUIREMENT IS PRESENT
P124	24"	12"	12"	(2) #4 BARS EACH WAY	POST/COLUMN FOUNDATION

**STRUCTURAL SCHEDULE:**

4" THICK CONCRETE SLAB ON GRADE REINFORCED W/ 6x6 W1.4X21.4W1.4W.W.F. OR FIBER MESH OVER 6 MIL. VAPOR BARRIER OVER TREATED COMPACTED SOIL FILL (95% MODIFIED PROCTOR PER ASTM D1557) SAW CUT CONTROL JOINTS @ 12' O.C. MAX. EACH WAY



8202 NORTH ARMENIA AVENUE  
TAMPA, FL 33604

Office: (813) 616-3301  
Mobile (970) 703-3284  
Leo@BerylProjectEngineering.com

**REVISIONS**

No.	DESCRIPTION	DATE

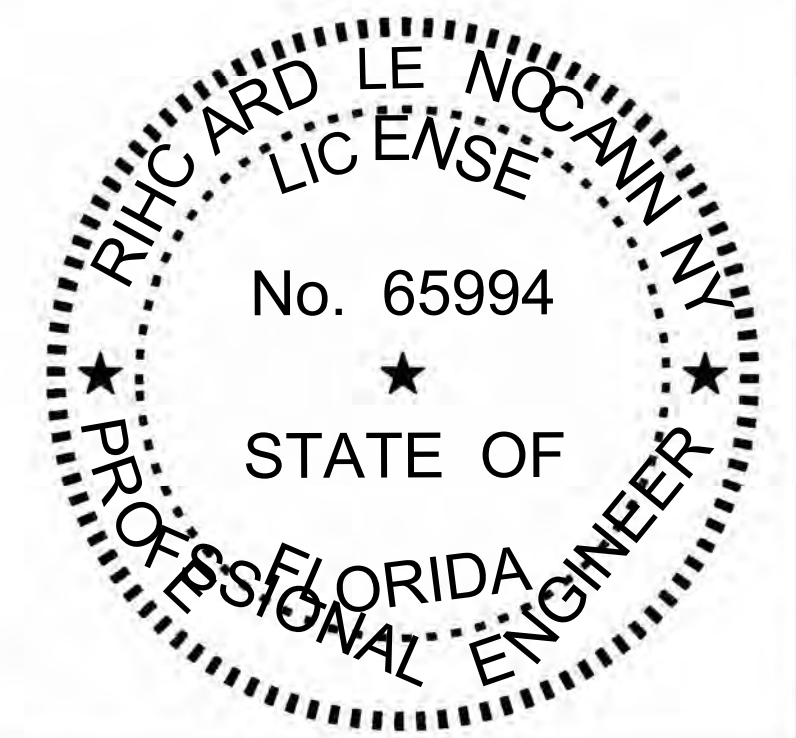
MEXICAN RESTAURANT

JOHN GEIGER

10 SOUTH PINELLAS AVENUE  
TARPON SPRINGS, FL 34689

BUILD IN ACCORDANCE WITH:  
FLORIDA BUILDING CODE,  
7TH EDITION, 2020  
(CURRENT EDITION)

**DESCRIPTION**  
PROPOSED ROOF PLAN



Richard Leon Cannyn, P.M.P., P.E.  
P.E. # 65994

SCALE AS_SHOWN	DRAWING No. S-1
PROJECT No. ISN# 20058	DRAFTER: JG REVIEWER: LC TO BE CHECKED BY: LC
DATE 9/2/2022	SHEET No. 14 OF 20





8202 NORTH ARMENIA AVENUE  
TAMPA, FL 33604

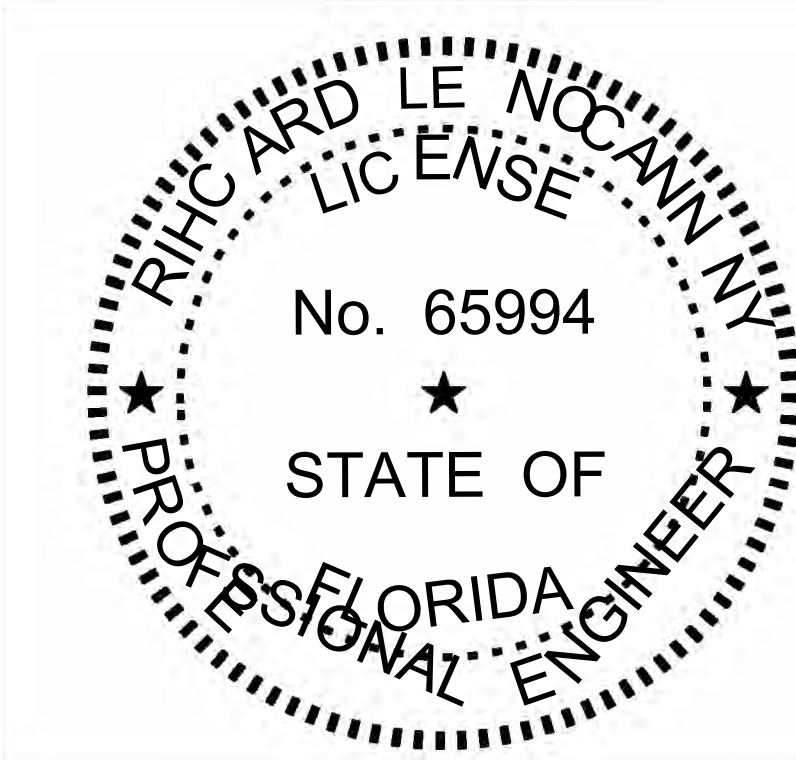
Office: (813) 616-3301  
Mobile (970) 703-3284  
Leo@BerylProjectEngineering.com

REVISIONS		
No.	DESCRIPTION	DATE

MEXICAN RESTAURANT  
JOHN GEIGER  
10 SOUTH PINELLAS AVENUE  
TARPON SPRINGS, FL 34689

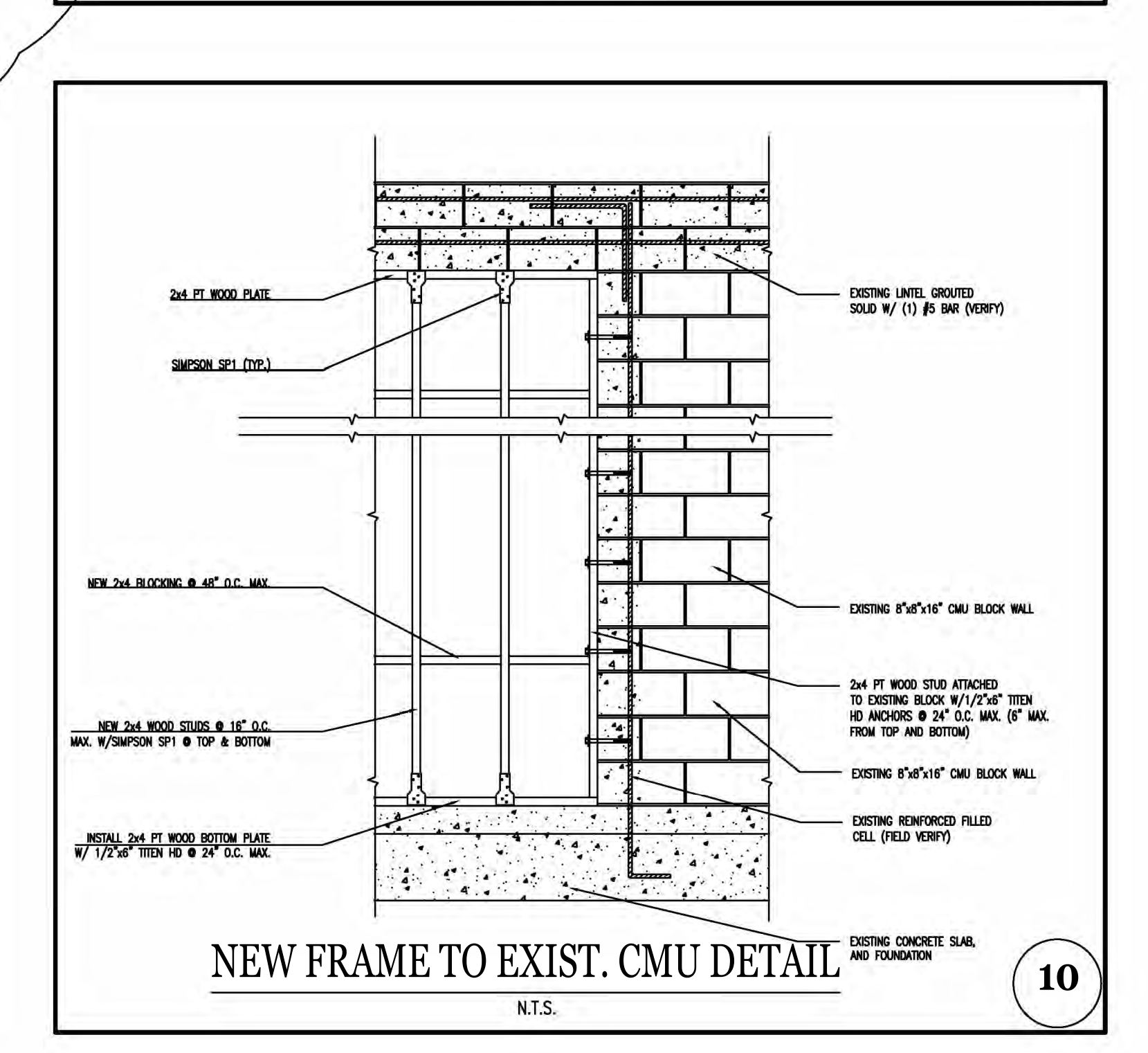
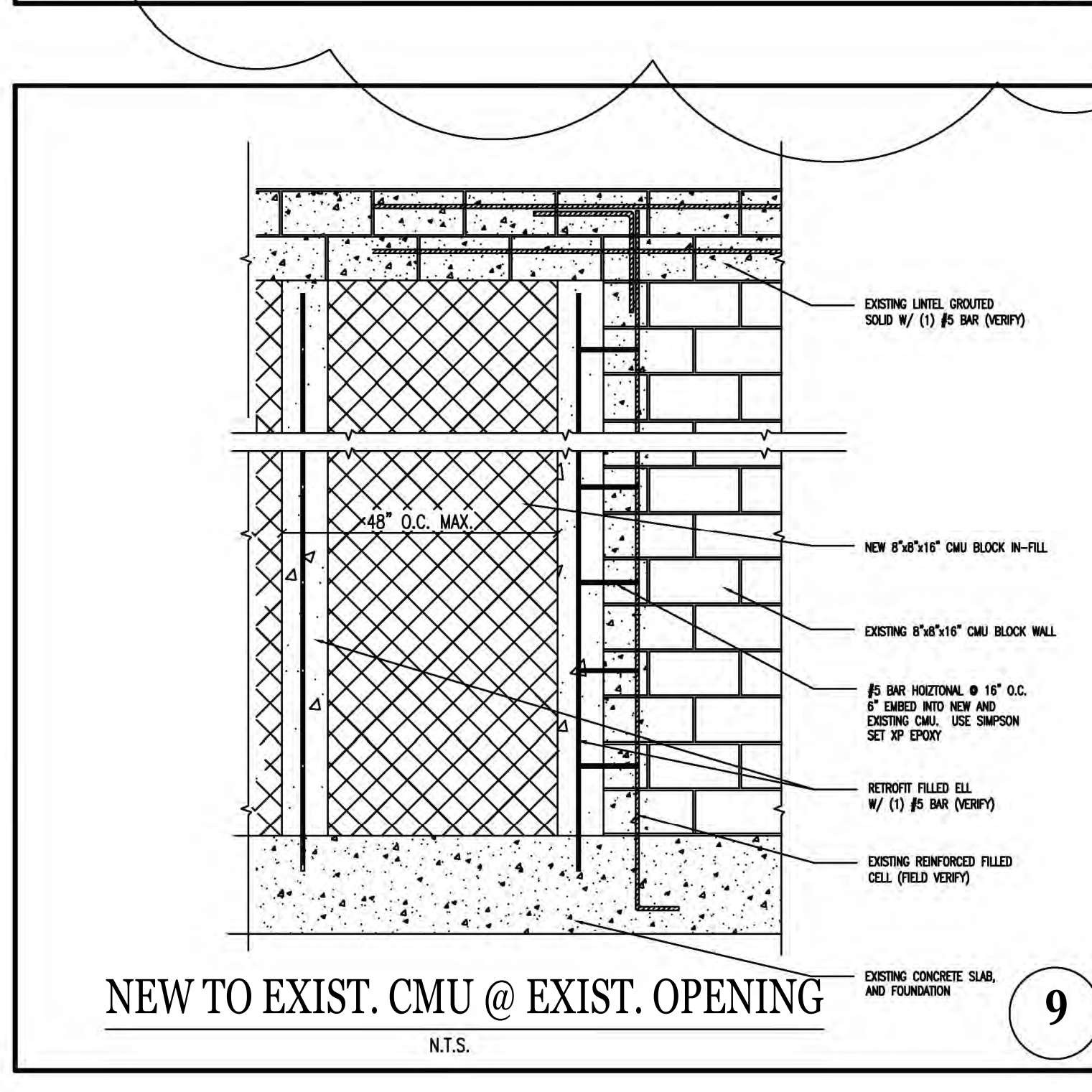
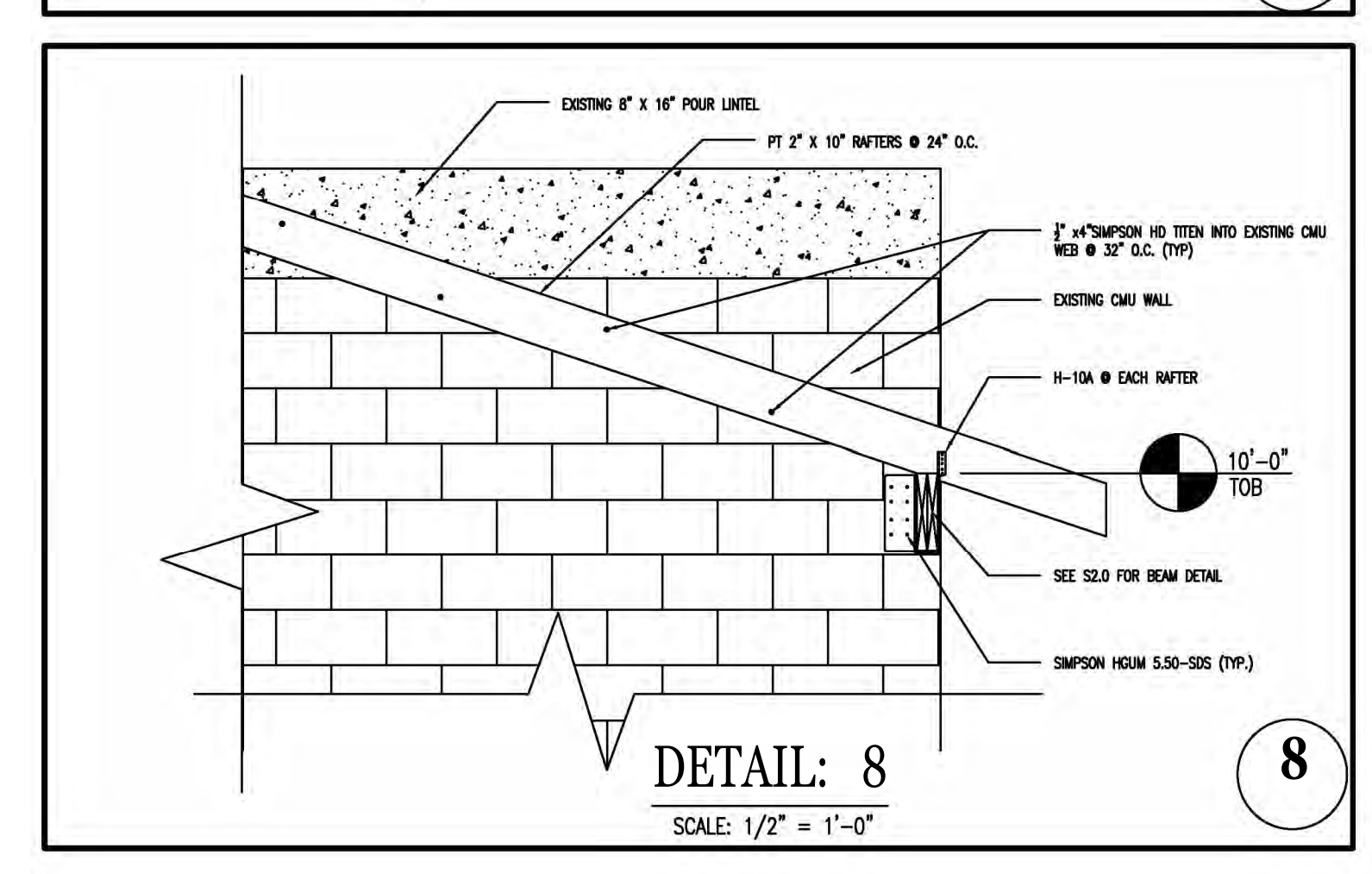
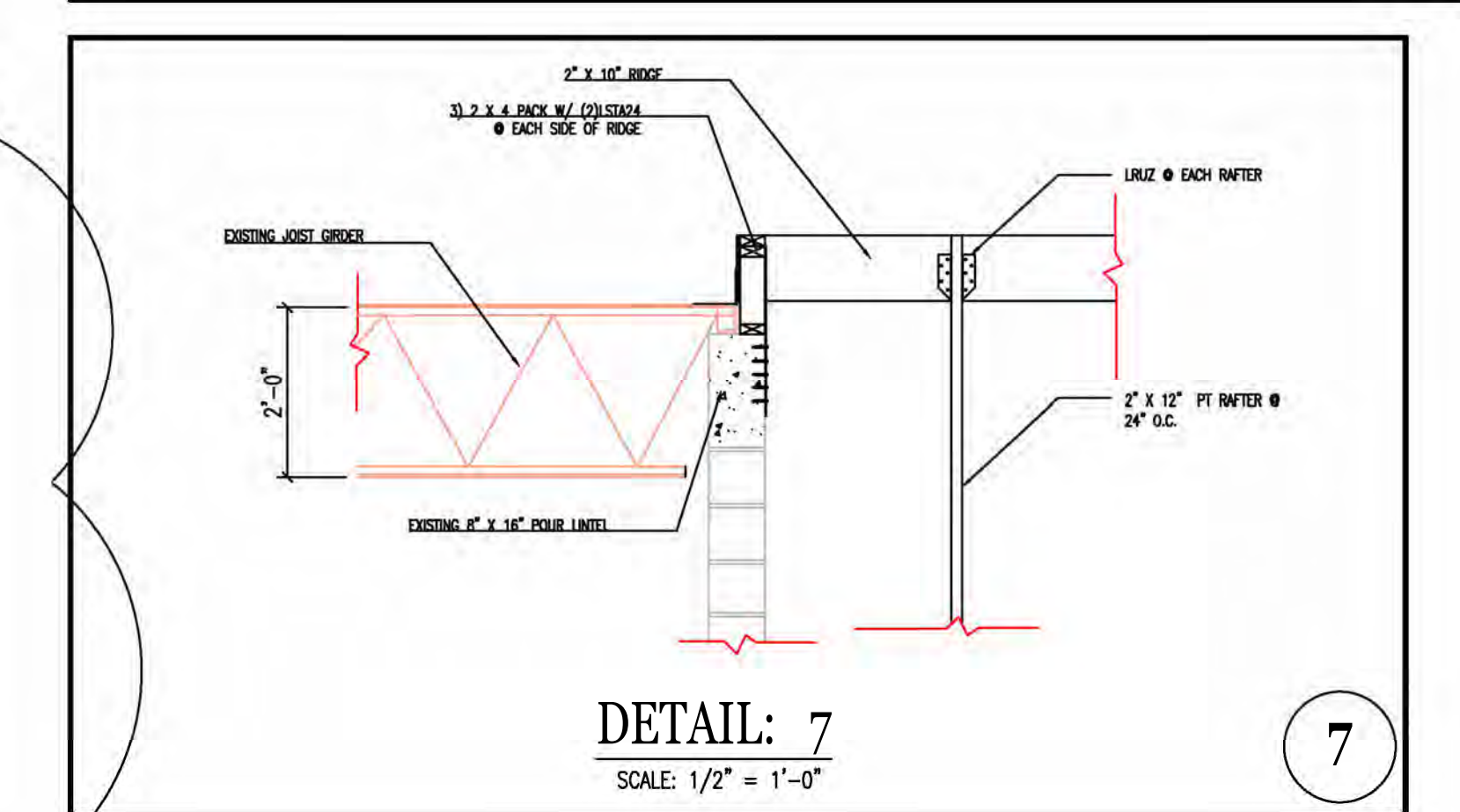
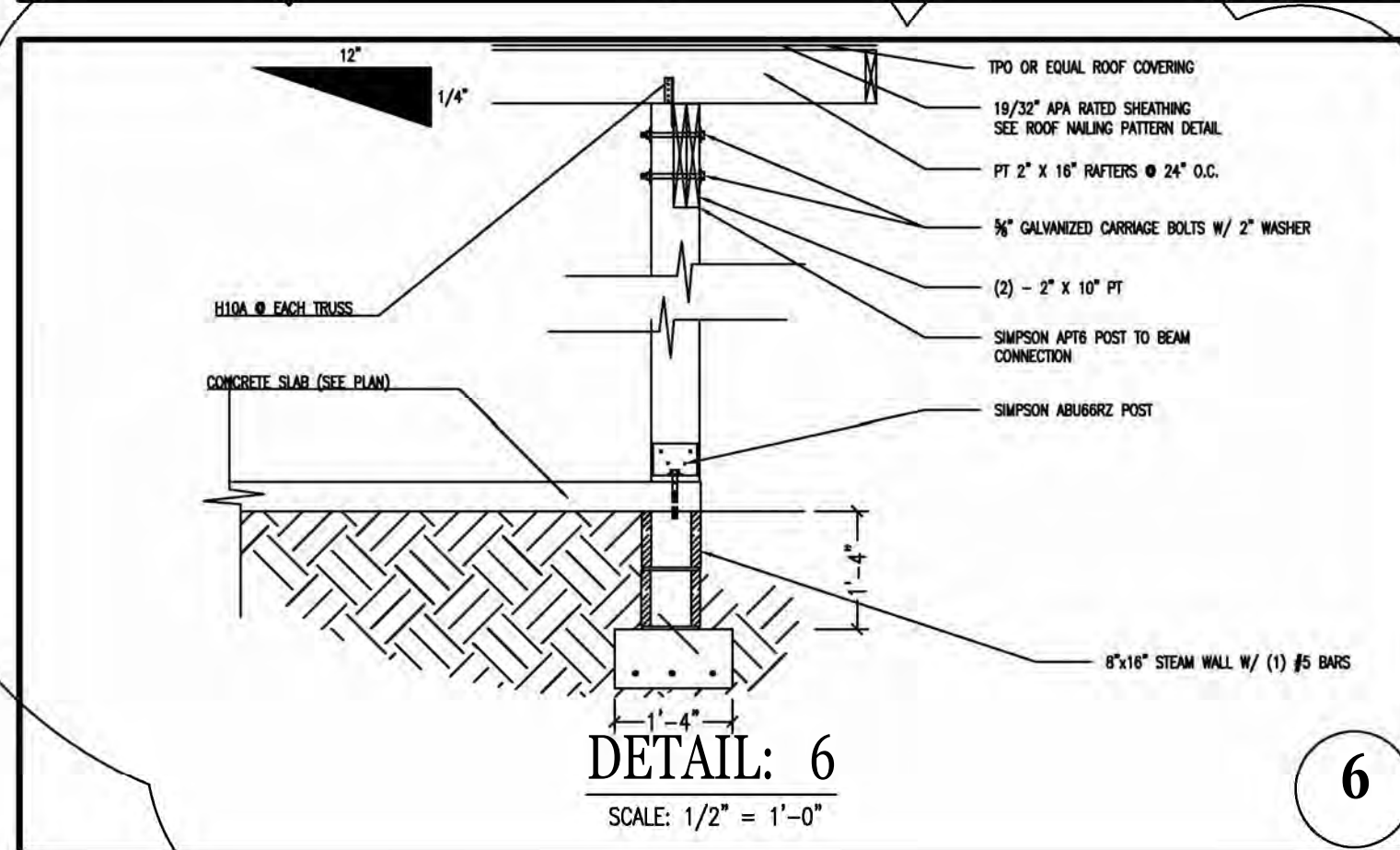
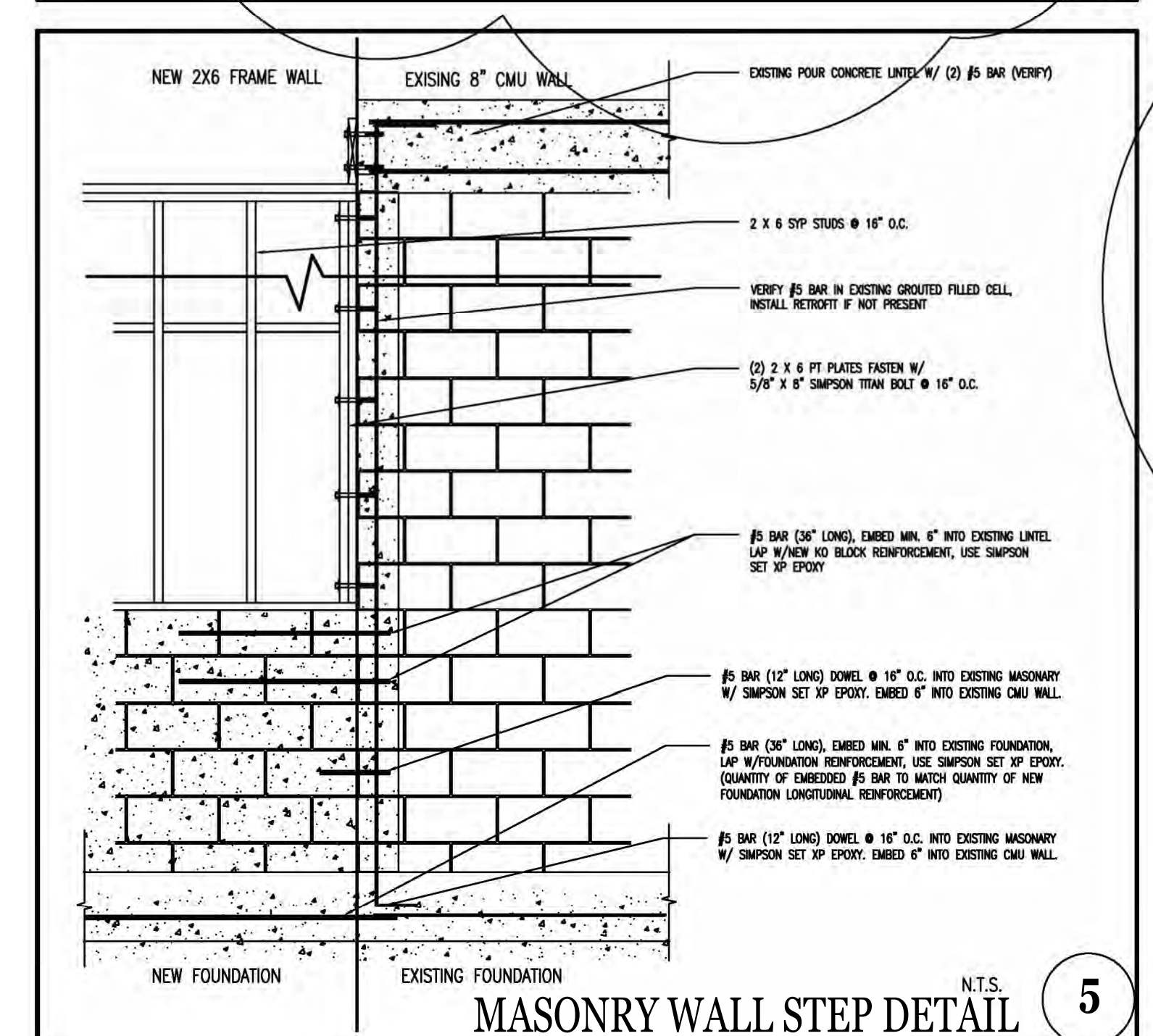
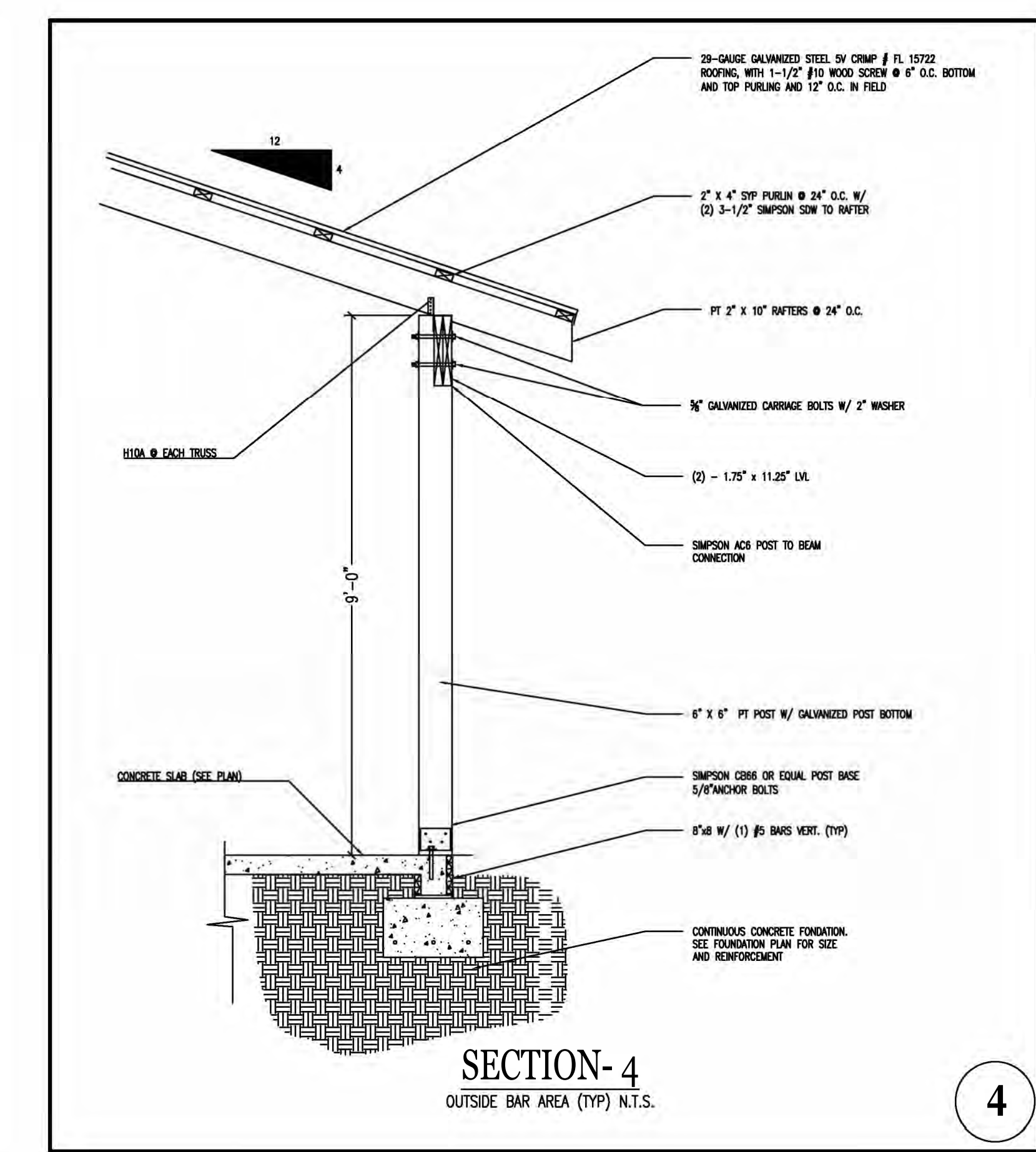
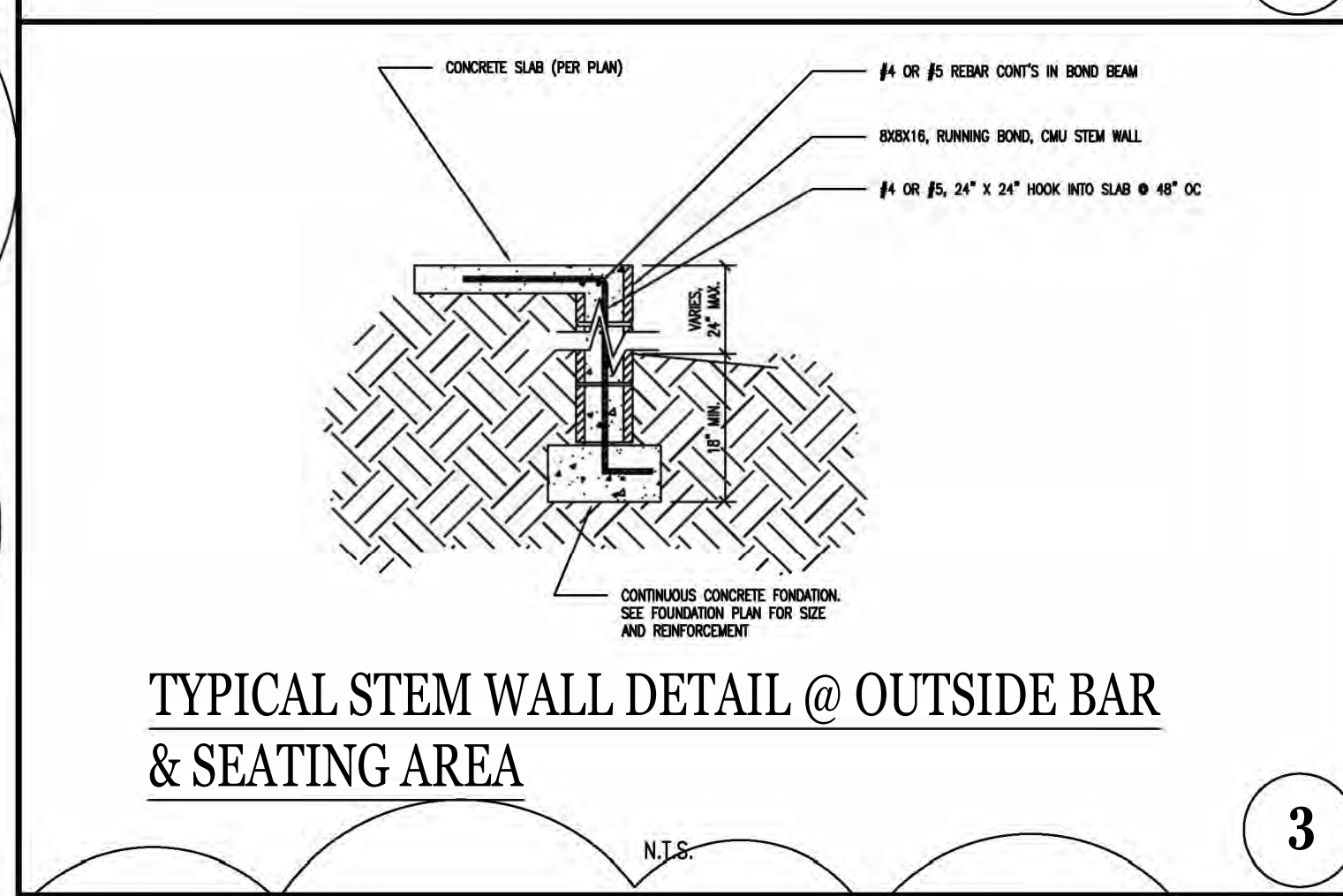
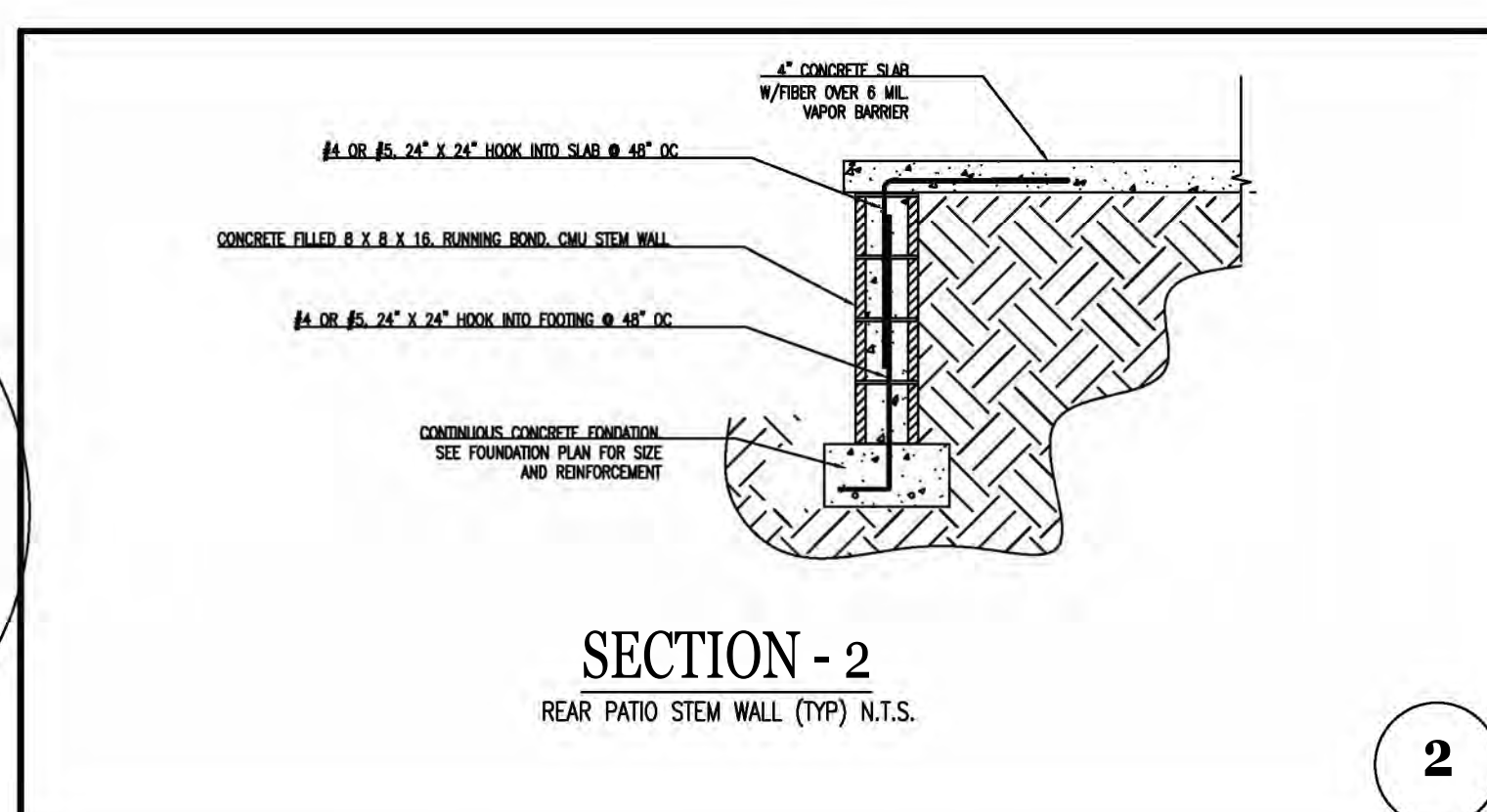
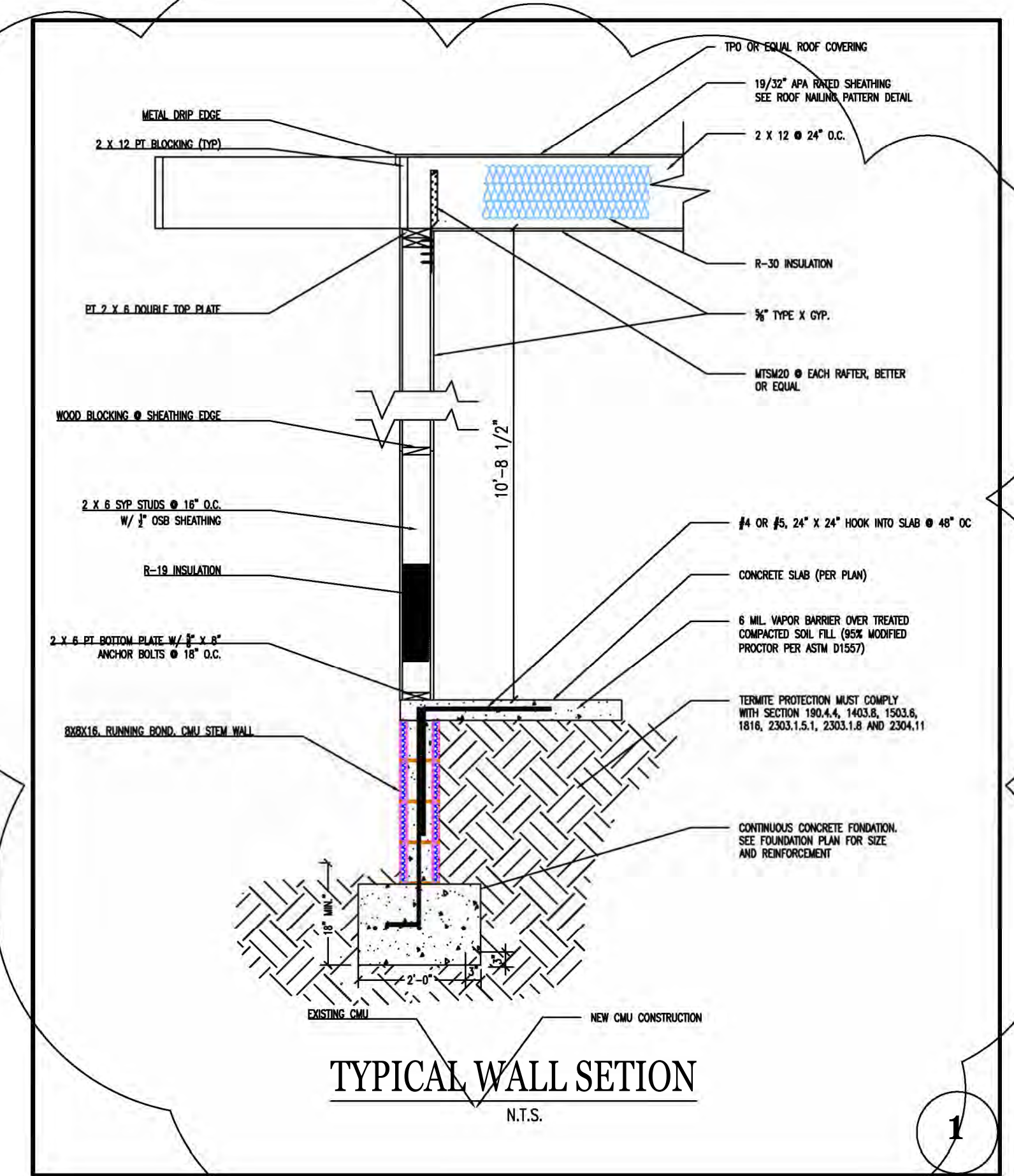
BUILD IN ACCORDANCE WITH:  
FLORIDA BUILDING CODE,  
7TH EDITION, 2020  
(CURRENT EDITION)

**DESCRIPTION**  
PROPOSED ROOF PLAN



Richard Leon Cannyn, P.M.P., P.E.  
P.E. # 65994

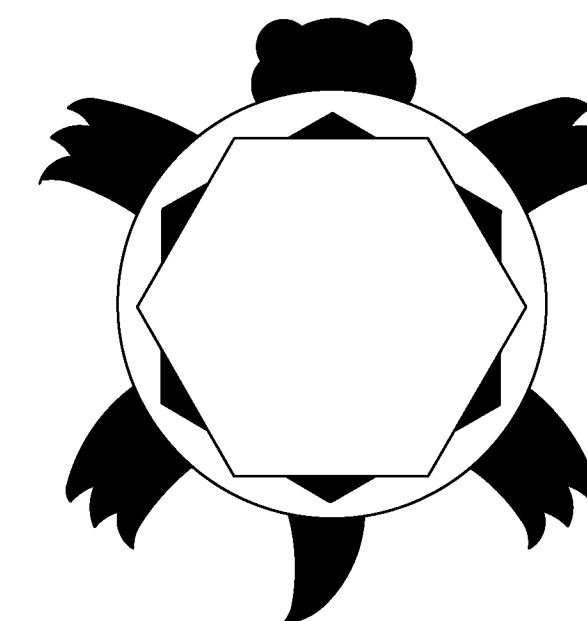
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PROJECT No. ISN# 20058	DRAFTER: JG DESIGNER: LG REVIEWER: LC TO BE CHECKED BY: LC
DATE 9/2/2022	SHEET No. 14 OF 20











8202 NORTH ARMENIA AVENUE  
TAMPA, FL 33604

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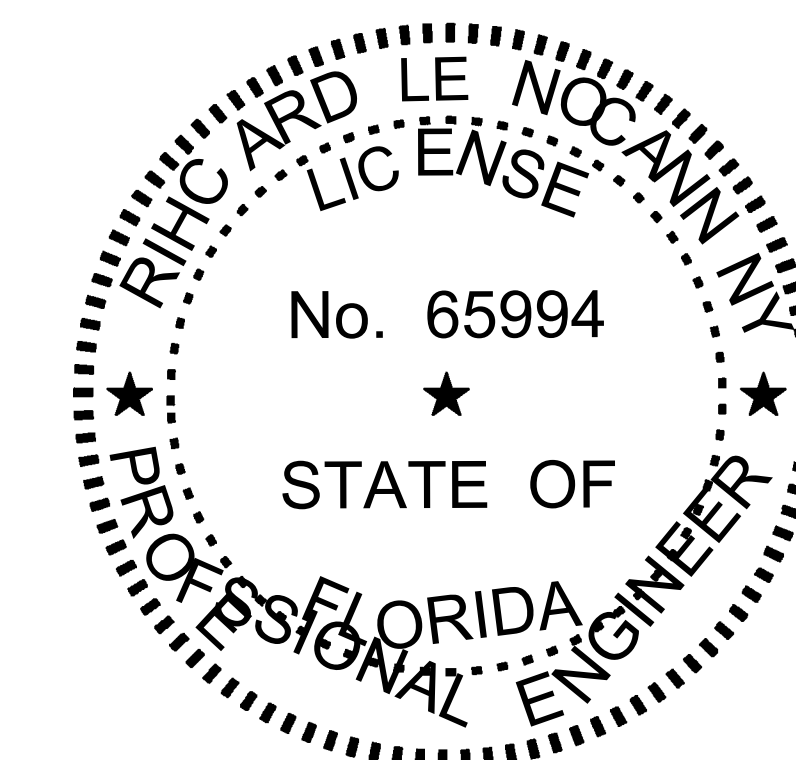
**REVISIONS**

No.	DESCRIPTION	DATE
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MEXICAN RESTAURANT  
JOHN GEIGER  
10 SOUTH PINELLAS  
AVENUE  
TARPON SPRINGS, FL  
34689

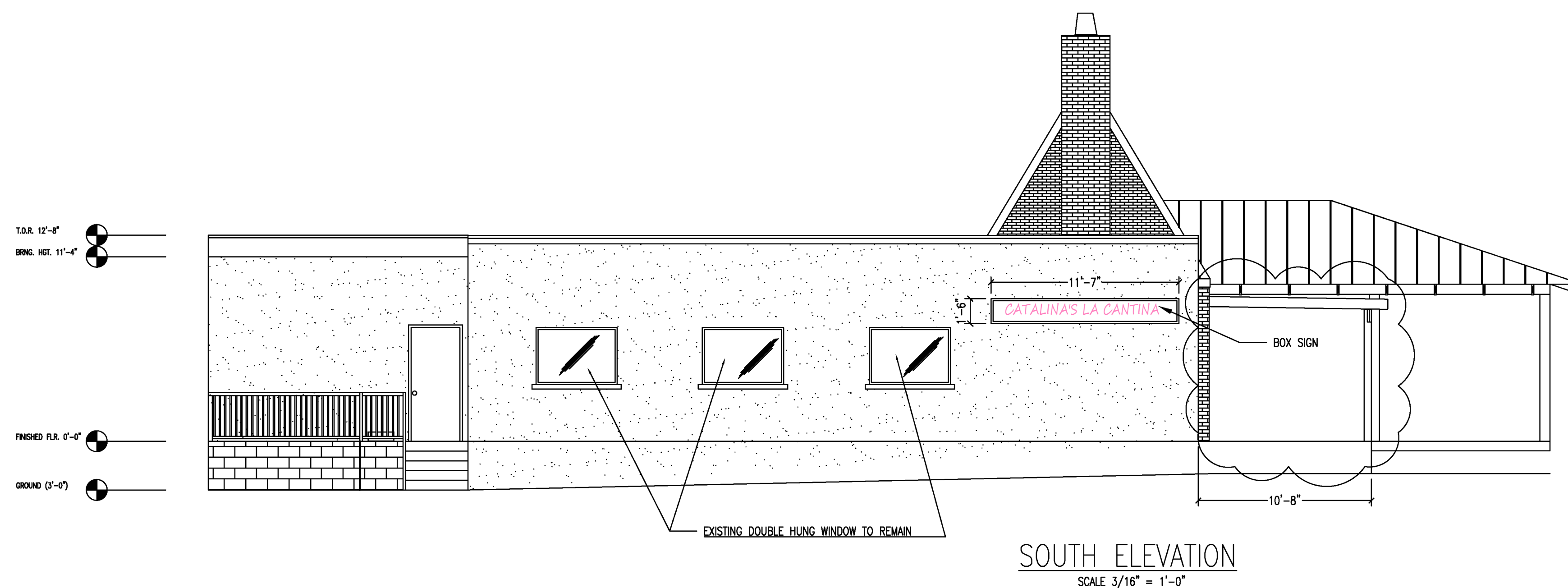
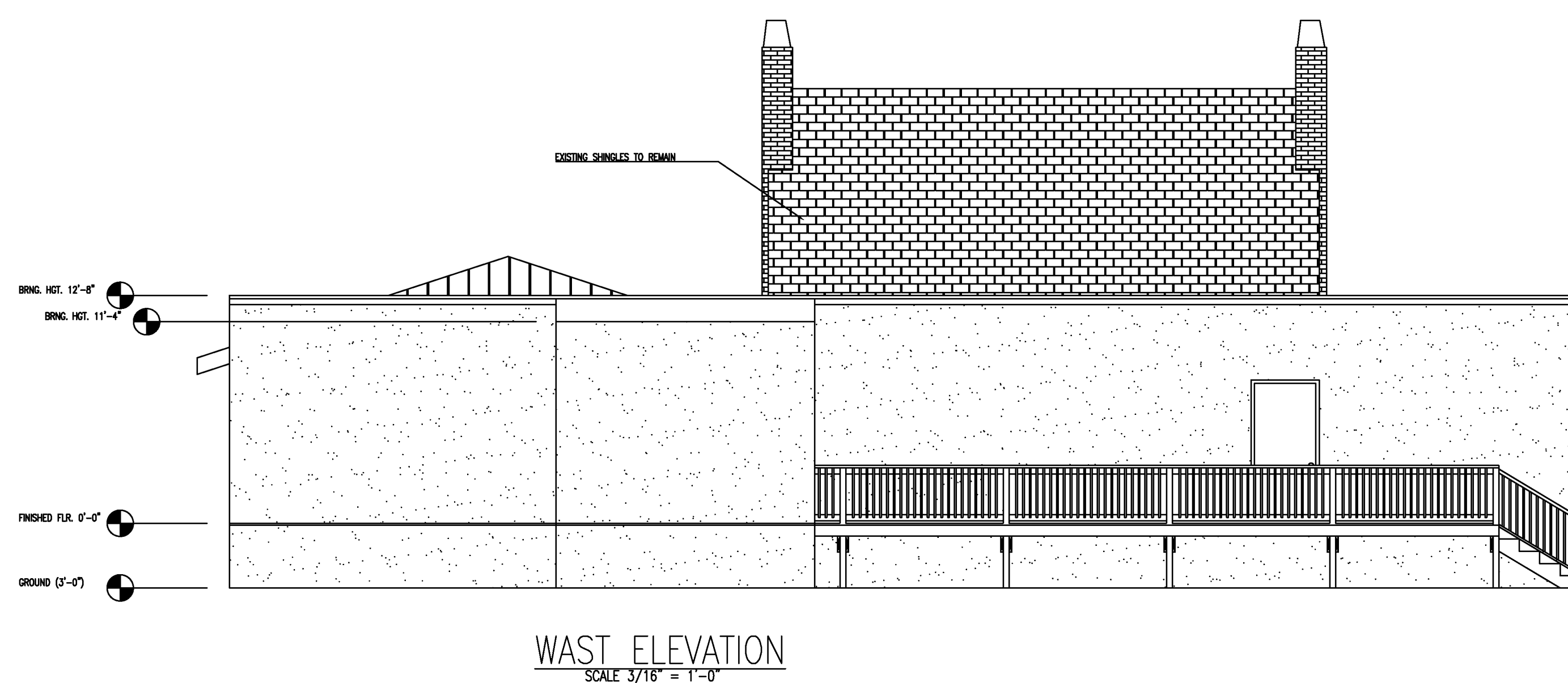
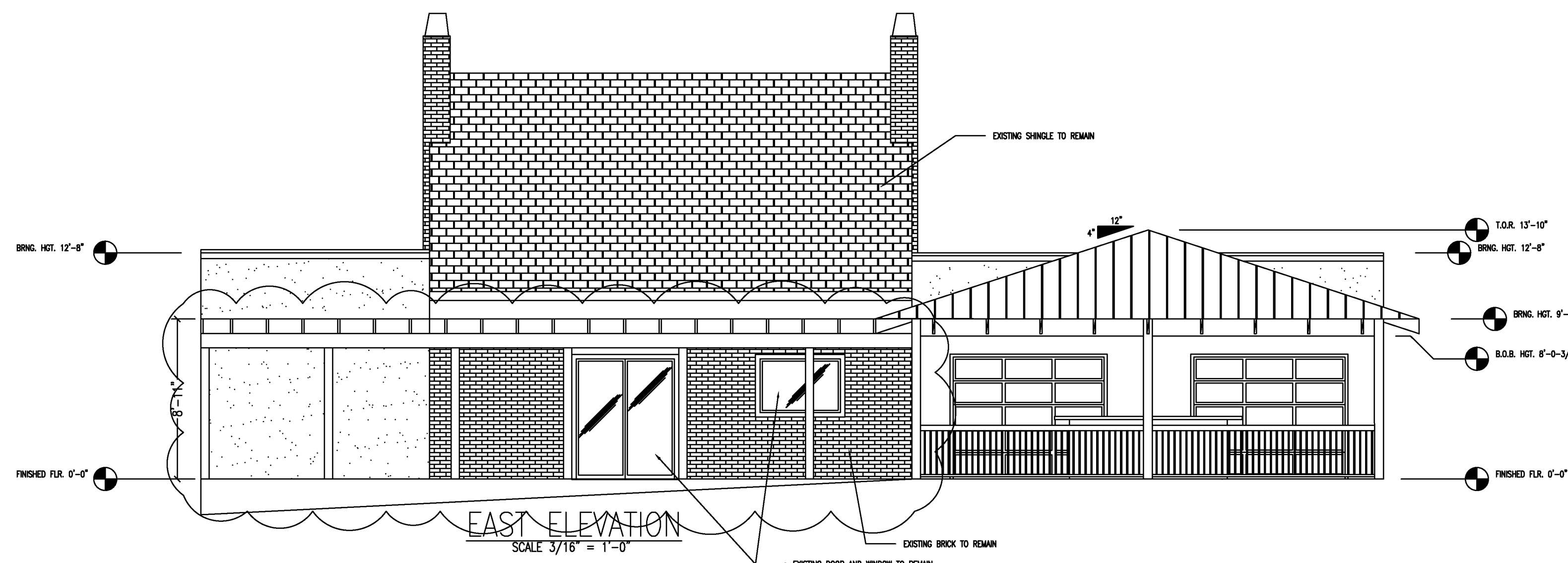
BUILD IN ACCORDANCE WITH:  
FLORIDA BUILDING CODE,  
7TH EDITION, 2020  
(CURRENT EDITION)

**DESCRIPTION**  
PROPOSED ROOF PLAN



Richard Leon Cannyn, P.M.P., P.E.  
P.E. # 65994

SCALE AS_SHOWN	DRAWING No. A-5
PROJECT No. ISN# 20058	DRAFTER: JG DESIGNER: LG REVIEWER: LC TO BE CHECKED BY: LC
DATE 9/2/2022	SHEET No. 6 OF 20





**CITY OF TARPON SPRINGS**  
**HERITAGE PRESERVATION BOARD**  
**January 8, 2024**

**STAFF REPORT, January 2, 2024**

**Application No. / Project Title:** 23-155 / Schabarum and Shafchuk  
**Staff:** Caroline Lanford, AICP CTP  
Principal Planner  
**Applicant / Owner:** Thomas Schabarum and John Schafchuk  
**Property Size:** 4,142 square feet  
**Current Zoning:** Residential Multi-Family District  
**Current Land Use:** Residential Medium  
**Location / Parcel ID:** 410 W Lemon Street/ 12-27-15-95940-006-0060  
**Architectural Type/District Status:** Minimal Traditional / Contributing

**BACKGROUND SUMMARY:**

The applicant is seeking a Certificate of Approval for a curb cut and driveway at the contributing structure at 410 W Lemon Street. The circa 1930 minimal traditional main structure features a front gable portico overhang supported by wood brackets with a French door with side lights and a brick stoop with wrought iron railing. Exterior ornamentation includes vents, wood surrounds, fabric awnings, and a concrete chimney. Florida Master Site File (FMSF) for the site (8PI11780) notes the structure features sidelights at the entry door, triple and paired window sets, and aluminum soffits. The subject property is an example of residential architecture in Tarpon Springs during the Depression/New Deal-era.

In April 2023, the Heritage Preservation Board (HPB) issued a Certificate of Approval for an addition, replacement of siding, a deck, and other renovations at the subject property.

**PRELIMINARY STAFF RECOMMENDATION:**

Staff recommends **denial** of the project. Should the Heritage Preservation Board (HPB) approve the project, staff recommends the following conditions:

1. The driveway must be set back three feet from the side property line at its intersection with the right-of-way line.
2. Visibility concerns with respect to the utility pole need to be rectified with Tarpon Springs Police Department.
3. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

**HISTORIC DISTRICT CONSIDERATIONS:**



1. When considering this application, the Heritage Preservation Board (HPB) is encouraged to refer to the Historic District Design Review Guidelines Manual (DRGM), especially 1, 4, 5, 15, and 30. The DRGM can be accessed at the following link: <https://www.ctsfl.us/wp-content/uploads/2021/03/Historic-District-Design-Review-Guidelines-Manual.pdf>

### **REVIEW STANDARDS / STAFF ANALYSIS – CERTIFICATE OF APPROVAL**

Pursuant to Section 109.01, Standards for Review:

- (A) It shall be the intent of this Article to promote maintenance, restoration, adaptive reuses appropriate to the property, and compatible contemporary designs that are harmonious with the exterior and landscape features of neighboring buildings, sites, and streetscapes.
- (B) In reviewing an application for a Certificate of Approval, the Board shall consider the following criteria:

***(1) The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.***

**ANALYSIS:** The proposed curb cut and driveway are inconsistent with adjacent contributing structures. The use of alleys for vehicular access dominates the urban fabric of the immediate vicinity. The proposed addition of a front driveway would be inconsistent with the existing streetscape where curb cuts are limited to walkways and alleyways.

***(2) The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.***

**ANALYSIS:** Not applicable.

***(3) The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.***

**ANALYSIS:** The proposed project would alter the relationship of the structure to open space, the street, and other buildings through the proposed curb cut and driveway. The proposed addition of a curb cut and driveway would alter the pedestrian oriented streetscape. The existing vehicular access in the vicinity utilizes alleyways to access parking at the rear of the structure, which minimizes the visual impacts of parking on the historic district.

***(4) The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.***

**ANALYSIS:** Not applicable.





***(5) The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.***

**ANALYSIS:** Not applicable.

***(6) Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.***

**ANALYSIS:** Not applicable.

***(7) Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.***

**ANALYSIS:** Not applicable.

***(8) All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural property shall not attempt to create an earlier appearance than the original date of construction. Changes that may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.***

**ANALYSIS:** Not applicable.

***(9) The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.***

**ANALYSIS:** The following standards are applicable to this project:

*2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.*

*9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*



The proposed new curb cut and driveway would change the spatial relationship of the property to surrounding properties and the district. The proposed project does not meet the intent of the Secretary's standards, as the integrity of the access plan for the area would be compromised.

***(10) The proposed project shall conform to other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.***

**ANALYSIS:** The proposed project is inconsistent with the goals, objectives and policies of the City's Comprehensive Plan through adverse impacts to the existing pedestrian-oriented environment. Any Heritage Preservation Board approval of the curb cut and driveway would be subject to approval by Tarpon Springs Police Department due to visibility concerns with the existing utility pole.

***(11) The impact upon archaeological sites shall preserve the integrity of the site.***

**ANALYSIS:** No known archaeological sites will be impacted.

**PUBLIC CORRESPONDENCE:**

The property owners within 500 feet were sent written notification in accordance with Section 109.00(B) of the City of Tarpon Springs Comprehensive Zoning and Land Development Code. Staff received one response to these notices.

**ATTACHMENTS:**

1. Slide Presentation
2. Florida Master Site File Form #8PI11780
3. Application and supporting materials

# SCHABARUM AND SCHAFCHUK APPLICATION #23-151

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Heritage Preservation Board, January 8, 2024





# LOCATION AND CONTEXT









# LOCATION AND CONTEXT







# REQUEST

- Certificate of Approval for:
  - New Curb Cut and Driveway
- Lot Size: 4,142 square feet
- Architectural Type/Style: Minimal Traditional
- District Status: Contributing
- Florida Master Site File: 8P111780
- Applicants/Owners: Thomas Schabarum and John Schafchuk

# FLORIDA MASTER SITE FILE



# DESIGN REVIEW GUIDELINES MANUAL

Minimal Traditional (ca. 1935–1950)



Figure 65: Minimal Traditional house at 410 W Lemon Street.



# 410 W LEMON STREET





# 410 W LEMON STREET





# 410 W LEMON STREET





# 410 W LEMON STREET – FAÇADE





# 410 W LEMON STREET – FAÇADE





# 410 W LEMON STREET – WEST SIDE CONTEXT



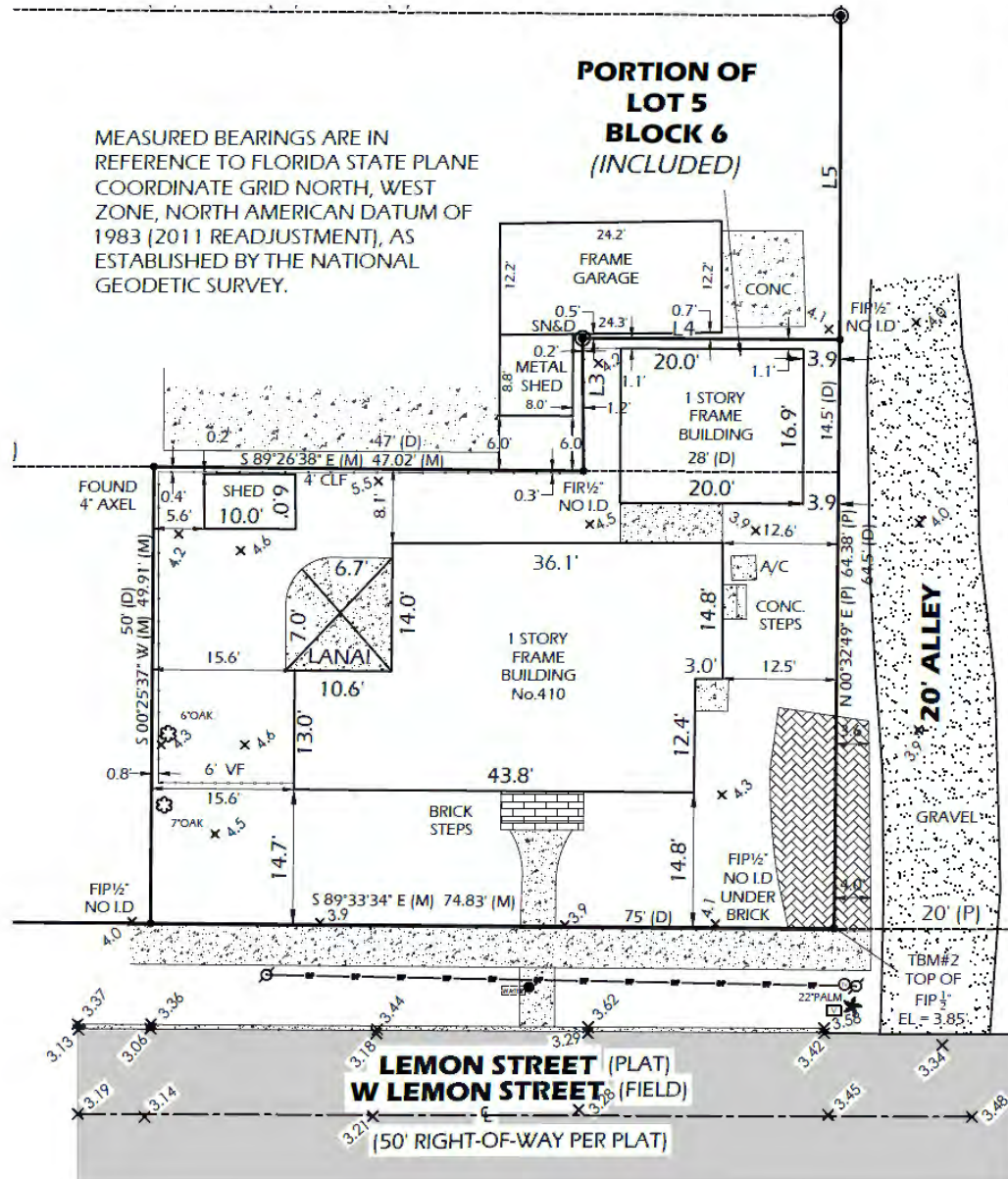


# 410 W LEMON STREET – FAÇADE / EAST SIDE





# 410 W LEMON STREET – SURVEY



Initial Point Land Surveying, LLC.

## LEGEND

SURFACE TYPE		FENCES		
	= CONC		ALUMINUM FENCE	
	= ASPHALT		VINYL FENCE	
	= BRICK		WOOD FENCE	
	= SAND/DIRT		CHAIN LINK FENCE	
	= COVERED		OVERHEAD POWER	
	= VERIZON BOX	<b>UTILITIES</b>		= SANITARY MANHOLE
	= ELECTRIC BOX			= STORM MANHOLE
	= TELCOM BOX			= WELL
	= CATV			= WATER METER
	= POWER POLE			= RECLAIM METER

**APPARENT FLOOD HAZARD ZONE:** "AE" BFE = 10'  
 COMMUNITY NO. 120259 (MAP NUMBER 12103C-0019-H)  
 EFFECTIVE DATE: 08/24/2021

### SURVEYORS NOTES:

- 1.) This survey is based on the legal description as provided by the client.
- 2.) This survey was prepared without the benefit of a title search. No instruments of record reflecting ownership, easements or rights-of-way were furnished to the undersigned, unless otherwise shown hereon.
- 3.) This survey is limited to above ground visible improvements along and near the boundary lines, and that nothing below ground was located including, but not limited to foundations (footings), utilities, etc.
- 4.) This survey does not reflect nor determine ownership.
- 5.) See legend for symbols and/or abbreviations used hereon.
- 6.) Dimensions shown hereon are in feet and decimal portions thereof.
- 7.) Building ties are not to be used to construct deed or platted lines.

### SURVEYOR CERTIFICATE

This certifies that a survey of the heretofore described property was made under my supervision and meets the standards of the Florida Board of Professional Land Surveyors in Chapter 461, Florida Statutes.

*[Signature]*  
 Initial Point Land Surveying, LLC.









# STANDARDS FOR REVIEW – CERTIFICATE OF APPROVAL

- 1) **New construction consistency.**
- 2) Windows, doors and entries.
- 3) **Neighborhood and district context.**
- 4) Roof shape and texture.
- 5) Size and massing / shape.
- 6) Landscaping.
- 7) Architectural features.
- 8) Adherence to period of construction.
- 9) **Adherence to Secretary's Guidelines.**
- 10) Conformance with other City code requirements.
- 11) Impact upon archeological sites.



# STANDARDS FOR REVIEW – CERTIFICATE OF APPROVAL

- 1) New construction consistency. Project is inconsistent with the existing streetscape where curb cuts are limited to walkways and alleyways.
- 3) Neighborhood and district context. Project would alter the pedestrian-oriented streetscape with primary vehicular access off of alleys.
- 9) Adherence to Secretary's Guidelines. Alteration of spatial relationships should be avoided.









# STANDARDS FOR REVIEW – DESIGN REVIEW GUIDELINES MANUAL

## 4.7 Universal Guidelines for Site Design

Please see General Guidelines at the beginning of this chapter, for additional guidance.

### Guideline 15. Walkways, Driveways and Parking Lots

- a. Walkways and driveways that have fallen into disrepair should be repaired rather than replaced wherever possible.
- b. New sidewalks within parcel boundaries should be constructed with a material historically appropriate to Tarpon Springs, such as brick, concrete, tabby, or gravel.
- c. New sidewalks along the street should blend with adjacent sidewalks using the same or similar material and patterning.
- d. Establishing a new pattern using concrete pavers or brick may be appropriate if it is compatible with the historic quality of the street and will be reviewed on a case-by-case basis.
- e. Sidewalks must provide curb cuts per code and Americans with Disabilities Act (ADA) guidelines.
- f. Historic walkways that have been lost or altered may be restored based on existing documentation of the original design, or if no documentation is available, a new feature may be designed to be compatible with the overall historic layout of the property. The new design should be compatible with the location, configuration, dimension, scale, materials, and color of the historic property and the surrounding district.
- g. Walkway and driveway materials and colors should be consistent with those used historically, including brick, flagstone, tabby, and gravel. Concrete and asphalt are other options that may be appropriate.
- h. Establishing a new driveway configuration, such as a circular driveway, may be permitted on a case-by-case basis. However, if allowed, alternative parking areas must be available (i.e. parking pad or garage), so vehicles do not block or detract from the historic façade.
- i. Construction of new parking lots for subdivided residential properties should be avoided or located at the rear or side of the property.

It is generally not appropriate to:

- alter the original layout, size, dimensions, textures, and materials of historic walkways and driveways

#### Best Choice

- Maintain and restore existing historic walkways and driveways using like materials
- Restore lost circulation features by matching the historic feature based on documentary evidence

#### Good Alternative

- Restore damaged or lost circulation features with new synthetic materials that mimic the appearance of historic materials (ex: stamped concrete to mimic materials appropriate to the style of the property)
- Design new circulation features which are compatible with and are complementary to the property's overall historic design

#### Not Appropriate

- Expanding a single-width driveway to a double-width or large driveway
- Converting front yards to parking areas
- Locating driveways in the front or side yard when there is an alley at the rear of the property
- Demolition of existing historic structures for the creation of surface parking lots



# STANDARDS FOR REVIEW – DESIGN REVIEW GUIDELINES MANUAL

## Guideline 30. New Construction

- a. New buildings should be compatible with adjacent structures in terms of massing, proportion, size, and scale.
- b. For a taller building, transitions in height shall be created by matching building heights at the front façade and at sides facing adjacent buildings. Taller parts of the building shall be set back from the front façade.
- c. For wider buildings, compatibility of width shall be created by breaking up building mass, using building articulation (details, windows, or doors), or dividing the building into widths that match or are proportional to widths of nearby buildings.
- d. New buildings should be placed on existing vacant lots whenever possible and should match the setback of surrounding structures.
- e. Parking lots or parking structures should be placed at the rear of the lot whenever possible. Ideally, access to them should be from an alley to lessen the number of curb cuts along main streets.
- f. New buildings should be oriented to face the street rather than turned inward, skewed, or oriented at angles to the existing street grid.
- g. The principal façade and main entrances shall face the street. Blank or windowless walls on the front façade or street-side are not appropriate.
- h. Building setbacks shall conform with the historic or predominant setback along the street.
- i. Spacing between buildings shall be consistent with the historic buildings along the street.
- j. The alignment of porches, bay windows, balconies, and delineation between lower and upper floors shall be similar to the alignment of these same features on adjacent buildings.
- k. The relationship of the window openings (size and shape), pattern and placement, and placement of entrances (size and shape) along the street shall be similar to the nearby buildings.
- l. Vehicular access to the property shall be compatible with the district's historic context. For example, the use of alleys as opposed to creating front yard driveways.
- m. For commercial districts, parking areas and access should be placed to the rear. The side yard may be used as an alternative location for access and parking if no other feasible alternative can be found.
- n. For commercial areas, there shall be a continuous rhythm of buildings located side-by-side.
- o. Form for new buildings within the Transect-Based Infill Code of the City's Special Area Plan (SAP) should be coordinated with "Table 4C Building Form – Private Frontages" contained in that code. See [Appendix G](#) for map and illustrations.



## **PRELIMINARY STAFF RECOMMENDATION**

Staff recommends **denial** of the project. Should the HPB approve the project, the following conditions should be included:

1. The driveway must be set back three feet from the side property line at its intersection with the right-of-way line.
2. Visibility concerns with respect to the utility pole need to be rectified with Tarpon Springs Police Department.
3. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

The project was publicly noticed. One response to the notice was received.





# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Consult Guide To Historical Structure Forms for detailed instructions

Site # 8P111780

Recorder # 362

Recorder Date 2/26/09

Original Update 

Site Name 410 E Lemon Street Other Names \_\_\_\_\_

Project Name Historic Resources Survey of Tarpon Springs

Historic Contexts Depression/New Deal National Register Category Building

### LOCATION and IDENTIFICATION

Address 410 E Lemon Street

Vicinity of N side of Lemon between Pineapple and Bay

City Tarpon Springs County Pinellas

Ownership Private-individual Subdivision \_\_\_\_\_ Block # \_\_\_\_\_ Lot # \_\_\_\_\_

### MAPPING

USGS Map TARPON SPRINGS Township 27S Range 15E Section 12

Quarter \_\_\_\_\_ Qtr Qtr \_\_\_\_\_ Irregular Section  UTM Zone 17

Easting 326962 Northing 3114539 Land Grant Unknown

Latitude \_\_\_\_\_ Longitude \_\_\_\_\_ Plat or Other Map Aerial Photographs

### HISTORY

Architect/Builder Unknown Construction Date 1930 Circa Alterations  Date c.1970 Type/Location aluminum siding; windows replaced c.1990Additions  Date \_\_\_\_\_ Type/Location \_\_\_\_\_Moved  Original Location \_\_\_\_\_

Use Original Private residence Use Present Private residence

### DESCRIPTION

Style Minimal Traditional Exterior Plan Irregular Interior Plan Unknown Stories 1

Structural System Wood frame Exterior Fabric Aluminum

Foundation Piers Foundation Materials Unknown Foundation Infill N/A

No. of Porches 1 Locations/Features front gable portico, overhang supported by wood brackets and a brick stoop

Main Entrance (stylistic details): center French door with side lights under gable portico

Outbldgs.  Number 1 Nature/Location (Describe below)

one story, aluminum siding, wood framed cottage to rear (contributing)

Roof Type Gable Roofing Materials Composition shingles

Secondary Structures  Comments Not applicable Location \_\_\_\_\_Chimneys  Number 1 Orientation South Location Slope/Interior Material ConcreteWood Windows  Type \_\_\_\_\_ Light # \_\_\_\_\_Metal Windows  Type SHS Light # 1/1

Exterior Ornament knee braces, vents (wood gable end louvre), wood surrounds, fabric awnings

Condition Good Surroundings Residential

Narrative (general, interior, landscape, context; 3 lines only)

This structure features sidelights at the entry door, triple and paired window sets, and aluminum soffits.

Archaeological Remains Present  FMSF Archaeological Site Form Completed (if yes, attach)

Consult Guide To Historical Structure Forms for detailed instructions

## RECORDER'S EVALUATION OF SITE

Individually Eligible for National Register? Yes  No  Likely, Need Information  Insufficient Information Potential Contributor to Nat. Reg. District? Yes  No  Likely, Need Information  Insufficient Information 

## Areas of Significance

Community planning &amp; development

## Summary of Significance

This resource is an example of residential architecture in Tarpon Springs during the Depression/New Deal-era and is representative of the development of the City of Tarpon Springs. Possible expansion of the Local Historic District was evaluated, and this resource is considered contributing to the Local Historic District if the boundaries are enlarged. The areas that can be considered part of the expanded Local Historic District include the resources immediately surrounding the district and the Fruit Salad area.

DHR USE ONLY		OFFICIAL EVALUATIONS	DHR USE ONLY	
NR DATE ____/____/____	KEEPER-NR ELIGIBILITY <input type="checkbox"/> yes <input type="checkbox"/> no		Date	____/____/____
DELIST DATE ____/____/____	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info		Date	____/____/____
	LOCAL DESIGNATION: _____		Date	____/____/____
	Local office _____			
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p. 2)				

## DOCUMENTATION

**Research Methods** Florida Site File for past architectural surveys; Florida Site File search; Local library; Tax records; Pedestrian; Sanborn maps

**Bibliographic References** \_\_\_\_\_

**Location of Negatives** Janus Research **Negative Numbers** Roll 2885, #43, Facing NW

## RECORDER INFORMATION

**Recorder Name** Janus Research

**Recorder Affiliation** JANUS RESEARCH, 1107 N. Ward Street, Tampa, Florida 33607 Telephone 813-636-8200

- REQUIRED:**
1. USGS 7.5' MAP WITH STRUCTURES PINPOINTED IN RED
  2. LARGE SCALE STREET OR PLAT MAP
  3. PHOTO OF MAIN FACADE, PREFERABLY B&W, AT LEAST 3x5

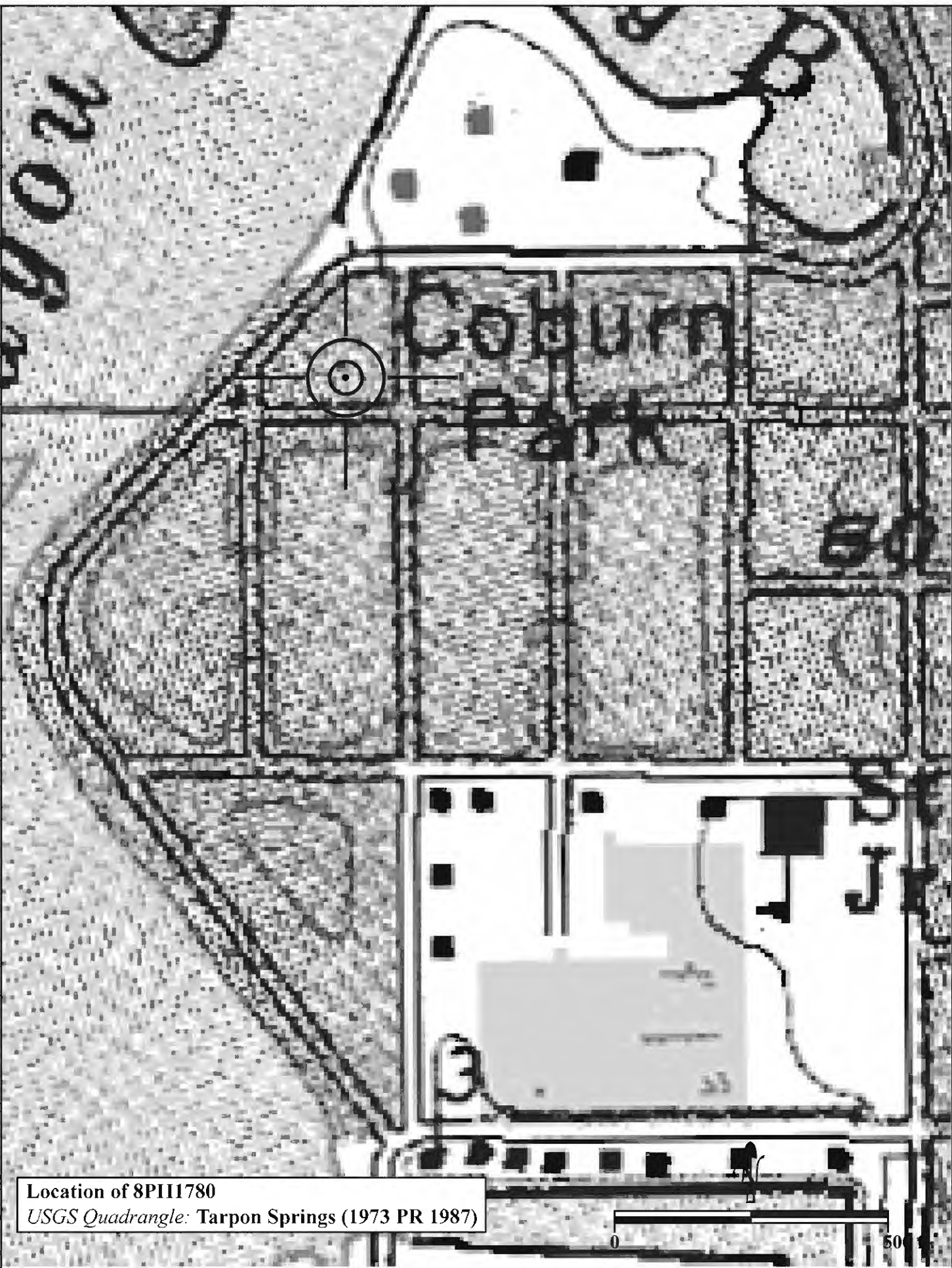




SKETCH MAP



USGS QUADRANGLE MAP



Location of 8PII1780  
USGS Quadrangle: Tarpon Springs (1973 PR 1987)





**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

**General Building Information**

Year Built 1930	Architectural Style Bungalow	Porches? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Original Use Residence	Present Use Residence	Proposed Use Residence
Roof Type & Material Composite	Exterior Siding Material Vinyl	

**Previous Additions or Modifications:** [please describe and include dates]

Additional office/den added ot mani house. Not sure what year.

Garage converted ot cottage living space. Not sure what year.

Remodel of existing cottage including laundry, open plan living space and 3/4 bath - 2023

No stove included

French doors added to exterior main home. 2023

**Description of Proposed Work:**

Curb cut of approx. ~~10-5~~ feet. See diagram

New Paver Driveway and Patio as indicated

New Vinyl Fence from House to Property Line as indicated

**For relocation or demolition, describe the property's physical condition, steps taken to save the property and whether renovation would be economically feasible:**

**Requirements for Submission:**

Please submit those items which have been checked by City staff:

- Completed original application with digital copies of all application documents**
- \$50.00 application fee plus advertisement costs which will be invoiced upon calculation by Staff
- \$50.00 application fee for signs only
- Property survey, signed and sealed by a professional land surveyor
- Architectural floor plans and elevations (10 copies)
- Site Plan for new construction (10 copies)
- Landscaping plan (10 copies)
- Details of exterior modifications

December 4, 2023

City of Tarpon Springs, Florida  
Heritage Preservation Board

To Whom It May Concern:

Please find attached our application for a curb cut at 410 W. Lemon St., Tarpon Springs, FL 34689.

We are proposing a curb cut as specified on the attached enlarged survey map.

We included a map of all residences in our area to show existing curb cuts with alleyways. Please see where the homes are as marked with X's.

Attached are:

- Heritage Board Application
- Affidavit signed and Notarized
- Enlarged view of curb cut location
- Property Survey by professional Land Surveyor
- Map of Homes with existing curb cuts and alleyways

Thank you for your prompt consideration of this as Lemon St from Bayview St. to Shadduck is currently undergoing construction and, if approved, we'd like the curb cut to be done as re-do the curbs on Lemon Street.

Thank you,



John Shafchuk  
410 W. Lemon St.  
Tarpon Springs, FL 34689  
206.639.4024  
jshafchuk@me.com



**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

Return to:  
 Planning & Zoning Department  
 324 E. Pine Street  
 Tarpon Springs, FL 34689  
 (727) 942-5611

(Please type or print clearly)

**Property Owner(s)**

Name John Shafchuk   Tom Schabarum		Email jshafchuk@me.com	
Address 410 W. Lemon St			
City Tarpon Springs		State FL	Zip 34689
Phone 206.639.4024	Fax		Cellular 206.639.4024

**Applicant**

Name John Shafchuk		Email 206.639.4024	
Address 410 W. Lemon St.			
City Tarpon Springs		State FL	Zip 34689
Phone	Fax		Cellular 206.639.4024

**Agent (if applicable)**

Name		Email	
Address			
City		State	Zip
Phone	Fax		Cellular

**General Information**

Property Location or Address 410 W. Lemon St. Tarpon Springs, FL 34689	
Legal Description (attach additional sheets as necessary) <small>The East 75 ft of Lot 6 and the East 28 ft of the South 14.5 ft of Lot 1, Block 6, Welshs Bayou OF THE SOUTH 14.5 FEET OF LOT 5, BLOCK 6, WELSHS BAYOU</small>	
Tax Parcel Number(s) 12-27-15-95940-006-0060	<b>Current Designations of Property</b>
	Land Use Category Single Family      Zoning District SF-0110
Current Use of Property Residence	Contributing Structure? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

**Type of Proposed Activity:** [please check all that apply]

- |                                     |   |  |   |
|-------------------------------------|---|--|---|
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation *     | <input type="checkbox"/> Structural Addition | <input type="checkbox"/> Driveway                         |
| <input type="checkbox"/> Renovation | <input type="checkbox"/> New Construction | <input type="checkbox"/> New Roof            | <input checked="" type="checkbox"/> Other <u>Curb Cut</u> |

**\* If Relocation, please indicate new location:**

New Property Location or Address	
Legal Description (attach additional sheets as necessary)	
Tax Parcel Number(s)	<b>Current Designations of Property</b>
	Land Use Category      Zoning District

**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

**General Building Information**

Year Built 1930	Architectural Style Bungalow	Porches? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
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No stove included

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**Description of Proposed Work:**

Curb cut of approx. 10.5 feet. See diagram

**For relocation or demolition, describe the property's physical condition, steps taken to save the property and whether renovation would be economically feasible:**

**Requirements for Submission:**

Please submit those items which have been checked by City staff:

- Completed original application with digital copies of all application documents
- \$50.00 application fee plus advertisement costs which will be invoiced upon calculation by Staff
- \$50.00 application fee for signs only
- Property survey, signed and sealed by a professional land surveyor
- Architectural floor plans and elevations (10 copies)
- Site Plan for new construction (10 copies)
- Landscaping plan (10 copies)
- Details of exterior modifications



CITY OF TARPON SPRINGS, FLORIDA  
Heritage Preservation Board  
Application for Certificate of Approval

AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that \_\_\_\_\_ is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: 12/04/2023 Title Holder/Property Owner: John Shafchuk  
Date: \_\_\_\_\_ Title Holder/Property Owner: \_\_\_\_\_  
Date: \_\_\_\_\_ Title Holder/Property Owner: \_\_\_\_\_  
Date: \_\_\_\_\_ Title Holder/Property Owner: \_\_\_\_\_

STATE OF FLORIDA )  
COUNTY OF PINELLAS )

The foregoing instrument was acknowledged before me this 4 day of December, A.D., 20 23  
by John Shafchuk \_\_\_\_\_, who is personally known to me or who has produced  
Florida DL exp 7/1/31 as identification and who did (did not) take an oath.

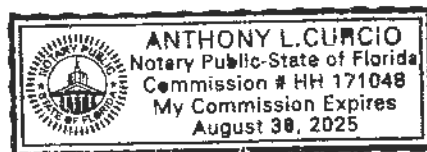
NOTARY PUBLIC

Name:

Signature:

Stamp:

Anthony L. Curcio  
[Signature]



**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

In reviewing an application for a Certificate of Approval, the Board shall consider the following Standards for Review:

(1) *The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.*

(2) *The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.*

(3) *The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.*

(4) *The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.*

(5) *The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.*

(6) *Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.*

(7) *Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.*

(8) *All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural property shall not attempt to create an earlier appearance than the original date of construction. Changes which may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.*

(9) *The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.*

(10) *The proposed project shall conform with the other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.*

(11) *The impact upon archaeological sites shall preserve the integrity of the site.*





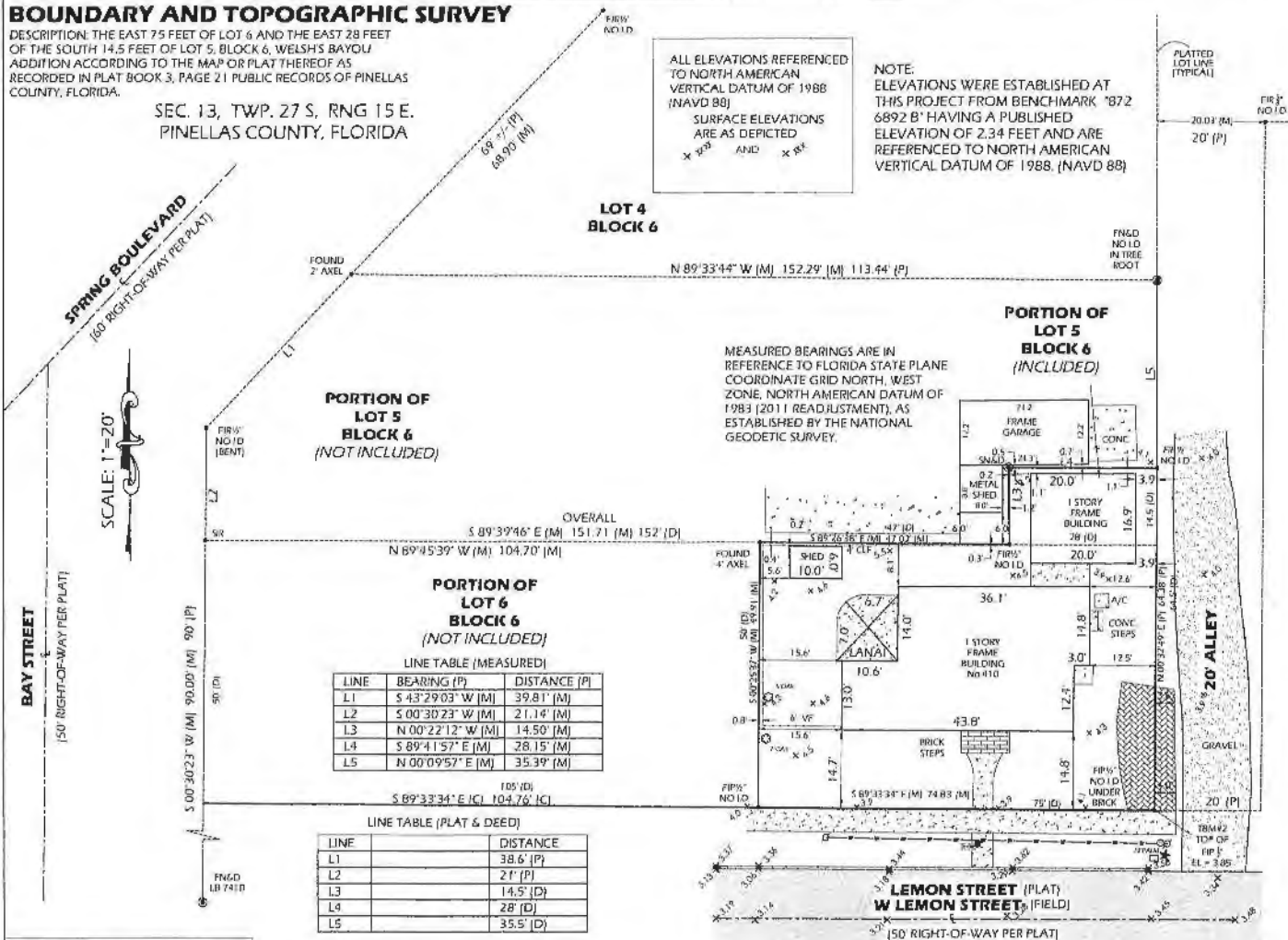
# BOUNDARY AND TOPOGRAPHIC SURVEY

DESCRIPTION: THE EAST 75 FEET OF LOT 6 AND THE EAST 28 FEET OF THE SOUTH 14.5 FEET OF LOT 5, BLOCK 6, WELSH'S BAYOU ADDITION ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 21 PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

SEC. 13, TWP. 27 S, RNG 15 E.  
PINELLAS COUNTY, FLORIDA

ALL ELEVATIONS REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)  
SURFACE ELEVATIONS ARE AS DEPICTED  
X 88' AND X 88'

NOTE: ELEVATIONS WERE ESTABLISHED AT THIS PROJECT FROM BENCHMARK '872 6892.8' HAVING A PUBLISHED ELEVATION OF 2.34 FEET AND ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988. (NAVD 88)



LINE TABLE (MEASURED)

LINE	BEARING (P)	DISTANCE (P)
L1	S 43°29'03" W [M]	39.81' [M]
L2	S 00°30'23" W [M]	21.14' [M]
L3	N 00°22'12" W [M]	14.50' [M]
L4	S 89°41'57" E [M]	28.15' [M]
L5	N 00°09'57" E [M]	35.39' [M]

LINE TABLE (PLAT & DEED)

LINE	DISTANCE
L1	38.6' [P]
L2	21' [P]
L3	14.5' [D]
L4	28' [D]
L5	35.5' [D]

## SURVEY ABBREVIATIONS

- A/C = AIR CONDITIONER
- AL = ALUMINUM FENCE
- BFE = BASE FLOOD ELEVATION
- BM = BENCHMARK
- C = CURB
- CL = CALCULATED
- CL = CENTERLINE
- CLF = CHAIN LINK FENCE
- CMF = CORRUGATED METAL PIPE
- COL = COLUMN
- CONC = CONCRETE
- C/S = CONCRETE SLAB
- CONC = CONCRETE
- ASPH/ALD = ASPHALT
- BRICK = BRICK
- SAND/DIRT = SAND/DIRT
- COVERED = COVERED
- VERIZON BOX = VERIZON BOX
- ELECTRIC BOX = ELECTRIC BOX
- TEL COM BOX = TEL COM BOX
- CATV = CATV
- POWER POLE = POWER POLE
- OFFED = OFFED
- D/E = DRAINAGE EASEMENT
- EL OF ELEV = ELEVATION
- ESMT = EASEMENT
- F/C = FENCE CORNER
- FCM = FOUND CONCRETE MONUMENT
- FP = FOUND IRON PIPE
- FR = FOUND IRON ROD
- FL = FLOW LINE
- FNAD = FOUND NAIL & DISK
- FOP = FOUND OPEN PIPE
- FPF = FOUND PINCHED PIPE
- TBM#1 NAIL S TAB EL = 3.00
- IRVV = INVERT
- LB = LICENSED BUSINESS
- LFE = LOWEST FLOOR ELEVATION
- LS = LICENSED SURVEYOR
- M = MEASURED
- MES = MITERED END SECTION
- NCE = NO CORNER FOUND
- OC/A = OVERALL
- OH/W = OVERHEAD W/RES
- OF = OFFICIAL RECORDS
- P = PLAT
- PR = PLAT BOOK
- PC = POINT OF CURVE
- PCP = PERMANENT CONTROL POINT
- P/E = POOL EQUIPMENT
- PAGE = PAGE
- PI = POINT OF INTERSECTION
- PK = PARKER KALON
- POB = POINT OF BEGINNING
- POC = POINT OF COMMENCEMENT
- POL = POINT ON LINE
- PRC = POINT OF REVERSE CURVE
- PRM = PERMANENT REFERENCE MONUMENT
- PUE = PUBLIC UTILITY EASEMENT
- REC = RECORD
- RNG = RANGE
- RIS = RAIL ROAD SPIRE
- R/W = RIGHT OF WAY
- SEC = SECTION
- SET N&D = SET NAIL AND DISK
- LB#183
- SR = SET 1/2" IRON ROD W/ BBS
- TEB = TEMPORARY BENCHMARK
- TOB = TOP OF BANK
- TWP = TOWNSHIP
- L/E = UTILITY EASEMENT

Drawn By: JH Date of Survey: 6-23-22  
 Checked By: JH Party Chief: JH  
 Scale: 1" = 20' JOB#5537  
 DWG File: 410 LEMON ST File: 111BAY  
 REVISIONS:

1708 Water Oak Drive  
Tarpon Springs, Florida  
Phone: (727)-831-1990  
FloridaPLS7123@gmail.com  
LB# 8183



## LEGEND

- SURFACE TYPE**
- CONC = CONCRETE
  - ASPH/ALD = ASPHALT
  - BRICK = BRICK
  - SAND/DIRT = SAND/DIRT
  - COVERED = COVERED
- FENCES**
- ALUMINUM FENCE
  - VINYL FENCE
  - WOOD FENCE
  - CHAIN LINK FENCE
  - OVERHEAD POWER

- UTILITIES**
- VERIZON BOX
  - ELECTRIC BOX
  - TEL COM BOX
  - CATV
  - POWER POLE
  - GUY ANCHOR
  - LIGHT POLE
  - WATER VALVE
  - SEWER VALVE
  - SANITARY MANHOLE
  - STORM MANHOLE
  - WELL
  - WATER METER
  - RECLAIM METER

APPARENT FLOOD HAZARD ZONE: 'AE' BFE = 10'  
 COMMUNITY NO. 120259 [MAP NUMBER 12103C-0019-H]  
 EFFECTIVE DATE: 08/24/2021

- SURVEYORS NOTES:**
- This survey is based on the legal description as provided by the client.
  - This survey was prepared without the benefit of a title search. No instruments of record reflecting ownership, easements or rights-of-way were furnished to the undersigned, unless otherwise shown hereon.
  - This survey is limited to above ground visible improvements along and near the boundary lines, and that nothing below ground was located including, but not limited to foundations/footings, utilities, etc.
  - This survey does not reflect nor determine ownership.
  - See legend for symbols and/or abbreviations used hereon.
  - Dimensions shown hereon are in feet and decimal portions thereof.
  - Building ties are not to be used to construct deed or platted lines.

This certifies that a survey of the above described property was made under my supervision and I am a duly licensed Professional Surveyor in the State of Florida. I am duly licensed as a Professional Surveyor in Chapter 53-17.051 through 53-17.053, F.S. and I am duly licensed pursuant to Section 472.027, Florida State Statutes.

**Jeff M. Hartley** Date: 2022.06.28  
 13:25:00  
 STATE OF FLORIDA  
 FLORIDA PROFESSIONAL SURVEYOR AND MAPPER LS#7123 LB#8183

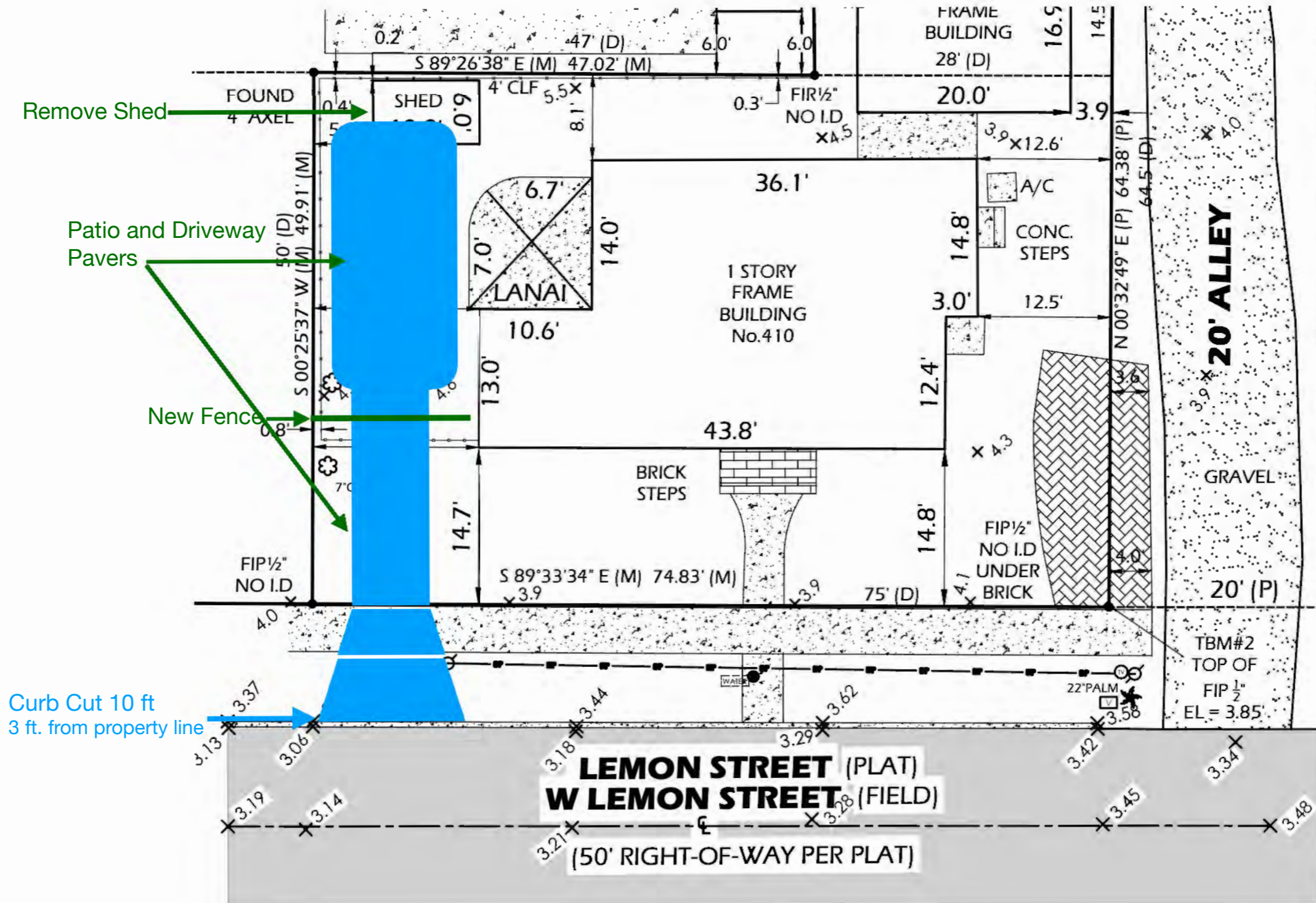
NOT VALID WITHOUT ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER







Shafchuck | Schabarum Home  
 Driveway, Patio, Fence and Patio  
 Indicated in Blue/Green - 10 ft.



410 W. Lemon St. Tarpon Springs, FL 34689



**From:** [calachuk@aol.com](mailto:calachuk@aol.com)  
**To:** [Planning Department](#); [Mark LeCouris](#); [Michele Manousos](#); [Board Of Commissioners](#)  
**Subject:** HPB CA #23-151  
**Date:** Thursday, December 21, 2023 4:58:00 PM

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**This Message Is From an Untrusted Sender**

You have not previously corresponded with this sender.

First it was solar electric panels...CA for a utility that has no reference to Historic Preservation.

Now it's an application for a curb cut for a driveway??? Has anyone noticed that West Lemon Street is under major construction, widening the existing driveway at this location would be easy, and could be done during the project completion.

I'm not sure I see the point of having people jump through hoops and pay money for things that should be handled over the counter...solar panels and driveways.

I have no objection to the substance of the request, but I do object to the review of seemingly irrelevant home improvements that have nothing to do with historic preservation.

As always, Peace & Love, Olga.

Copied to city manager, commissioners and city clerk



**CITY OF TARPON SPRINGS**  
**HERITAGE PRESERVATION BOARD**  
**JANUARY 8, 2024**

**STAFF REPORT, January 2, 2024**

**Application No. / Project Title:** 23-152 / Theophilopoulos  
**Staff:** Caroline Lanford, AICP CTP  
Principal Planner  
**Applicant / Owner:** Dean and Ellyn Theophilopoulos  
**Property Size:** 26,659 square feet  
**Current Zoning:** CRM-Conditional Residential Mixed District  
**Current Land Use:** Residential Urban  
**Location / Parcel ID:** 150 N Spring Boulevard / 12-27-15-77760-000-0060  
**Architectural Type/District Status:** Frame Vernacular / Contributing

**BACKGROUND SUMMARY:**

The applicant is seeking a Certificate of Approval to replace the upper asbestos shingle roof with a standing seam metal roof at the contributing structure at the subject property. The circa 1888, two-story residence was built by Wilber DeGolier, Tarpon Springs' first mayor. The house has an asymmetrical façade with irregular massing and a steep pitched cross gable roof, and a one-story hipped roof porch wrapping the front and sides supported by turned posts. Although the structure has undergone alterations, most architectural details remain, and the structure is considered a contributing resource to the National Register of Historic Places (NRHP) and Local Tarpon Springs Historic District.

The Heritage Preservation Board granted a Certificate of Approval in 2004 to replace the porch roof with a metal standing seam roof.

**PRELIMINARY STAFF RECOMMENDATION:**

Staff is not making a recommendation based on conflicting guidelines and review criteria as stated in this staff report. However, if the Heritage Preservation Board (HPB) approves the application, the following conditions are recommended:

1. The historic roofline must be maintained.
2. The chimneys must not be altered.
3. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.





### HISTORIC DISTRICT CONSIDERATIONS:

1. When considering this application, the Heritage Preservation Board (HPB) is encouraged to refer to the Historic District Design Review Guidelines Manual (DRGM), especially Guidelines 2, 3, 4, 63, 64, 66, and 69. The DRGM can be accessed at the following link: <https://www.ctsfl.us/wp-content/uploads/2021/03/Historic-District-Design-Review-Guidelines-Manual.pdf>

### REVIEW STANDARDS / STAFF ANALYSIS – CERTIFICATE OF APPROVAL

Pursuant to Section 109.01, Standards for Review:

- (A) It shall be the intent of this Article to promote maintenance, restoration, adaptive reuses appropriate to the property, and compatible contemporary designs that are harmonious with the exterior and landscape features of neighboring buildings, sites, and streetscapes.
- (B) In reviewing an application for a Certificate of Approval, the Board shall consider the following criteria:

***(1) The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.***

**ANALYSIS:** The proposed project would not alter the height and width of the structure.

***(2) The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.***

**ANALYSIS:** Not applicable.

***(3) The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.***

**ANALYSIS:** The subject property is located in the Spring Bayou vista, one of the most prominent views of the City. The proposed project would alter the streetscape and vista by changing the appearance of the house by changing the roofing material. Although standing seam metal roofs are consistent with the frame vernacular architectural style, the only home in the immediate vicinity with a metal roof is a contemporary structure. However, there are many examples throughout the district of frame vernacular structures with metal roofs. The HPB should determine if this alteration is significantly adverse.

***(4) The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.***



**ANALYSIS:** The original roof was shingle as indicated on 1919 Sandborn maps, and therefore, the replacement of the roof with standing seam metal would not be reflective of the structure's original architecture. However, a Certificate of Approval was issued to replace the porch roof with a standing seam metal roof in 2004. Between 2004 and the present, the structure has had mixed roof materials, which conflicts with Guideline 63 of the DRGM. Replacement of the upper roof with standing seam metal would result in a roof with uniform material and composition. Although not original to this structure, metal standing seam roofs are common on frame vernacular structures throughout the district. However, no contributing structures in the immediate vicinity of similar style and age have metal standing seam roofs. The HPB should determine if the positive impact of uniform roof material balances the adverse impact of replacing the roofing material and texture associated with the building's original architecture.

***(5) The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.***

**ANALYSIS:** Not applicable.

***(6) Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.***

**ANALYSIS:** Not applicable.

***(7) Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.***

**ANALYSIS:** The DRGM provides guidance for roofs primarily in Chapter 4.17: "The roof is one of the prominent defining features of historic buildings" (page 138). Guideline 63 is particularly applicable to the proposed project:

Guideline 63. Roofing Material

- a. Retain and repair the historic roof materials where feasible. Repairs can include replacing panels or sealing pinholes with an elastomeric/silicone material.
- b. If all roofing material is to be removed, then the new roofing material shall match the existing or be characteristic of the architectural style in terms of material, size, and pattern.
- c. Requests for substitute roofing materials will be reviewed on a case-by-case basis.

With respect to guideline 63a, the existing roof is asbestos shingles, likely making extensive repairs infeasible.





With respect to guideline 63b, it is not feasible to exactly match the existing roof, but the use of modern architectural shingles could reproduce similar visual qualities. Although the subject structure appears to have had a shingle roof throughout its history, standing seam metal is consistent with the frame vernacular architectural style. There are no frame vernacular contributing structures in the immediate vicinity with standing seam metal roofs, although there are many examples throughout the district.

The existing standing seam metal roof on the porch is a unique situation relevant to the analysis of the appropriateness of substitute roofing materials in this case.

The proposed project would result in a roof that does not replicate the visual qualities of the historic roof. The HPB should determine whether this alteration is significantly adverse.

***(8) All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural property shall not attempt to create an earlier appearance than the original date of construction. Changes that may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.***

**ANALYSIS:** Not applicable.

***(9) The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.***

**ANALYSIS:** The following standards are applicable to this project:

*2. The historic character of a property shall be retained and preserved. The removal of historic materials or alterations of features and spaces that characterize a property shall be avoided.*

*5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

*9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

The proposed project generally meets the intent of the Secretary's standards, although a shingle roof for the entire structure would be the most appropriate alternative.

***(10) The proposed project shall conform to other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.***

**ANALYSIS:** The project is generally consistent with the Historic Preservation Element of the Comprehensive Plan and the Heritage Preservation Article of the Comprehensive Zoning and Land



**CITY OF TARPON SPRINGS**  
**PLANNING & ZONING DEPARTMENT**

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Development Code. The project conforms to other requirements of the City of Tarpon Springs Comprehensive Zoning and Land Development Code.

***(11) The impact upon archaeological sites shall preserve the integrity of the site.***

**ANALYSIS:** No archaeological sites will be impacted.

**PUBLIC CORRESPONDENCE:**

The property owners within 500 feet were sent written notification in accordance with Section 109.00(B) of the City of Tarpon Springs Comprehensive Zoning and Land Development Code. No responses were received.

**ATTACHMENTS:**

1. Slide Presentation
2. Florida Master Site File Form #8PI1622
3. Application and supporting materials



# **THEOPHILOPOULOS APPLICATION #23-152**

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Heritage Preservation Board, November 6, 2023

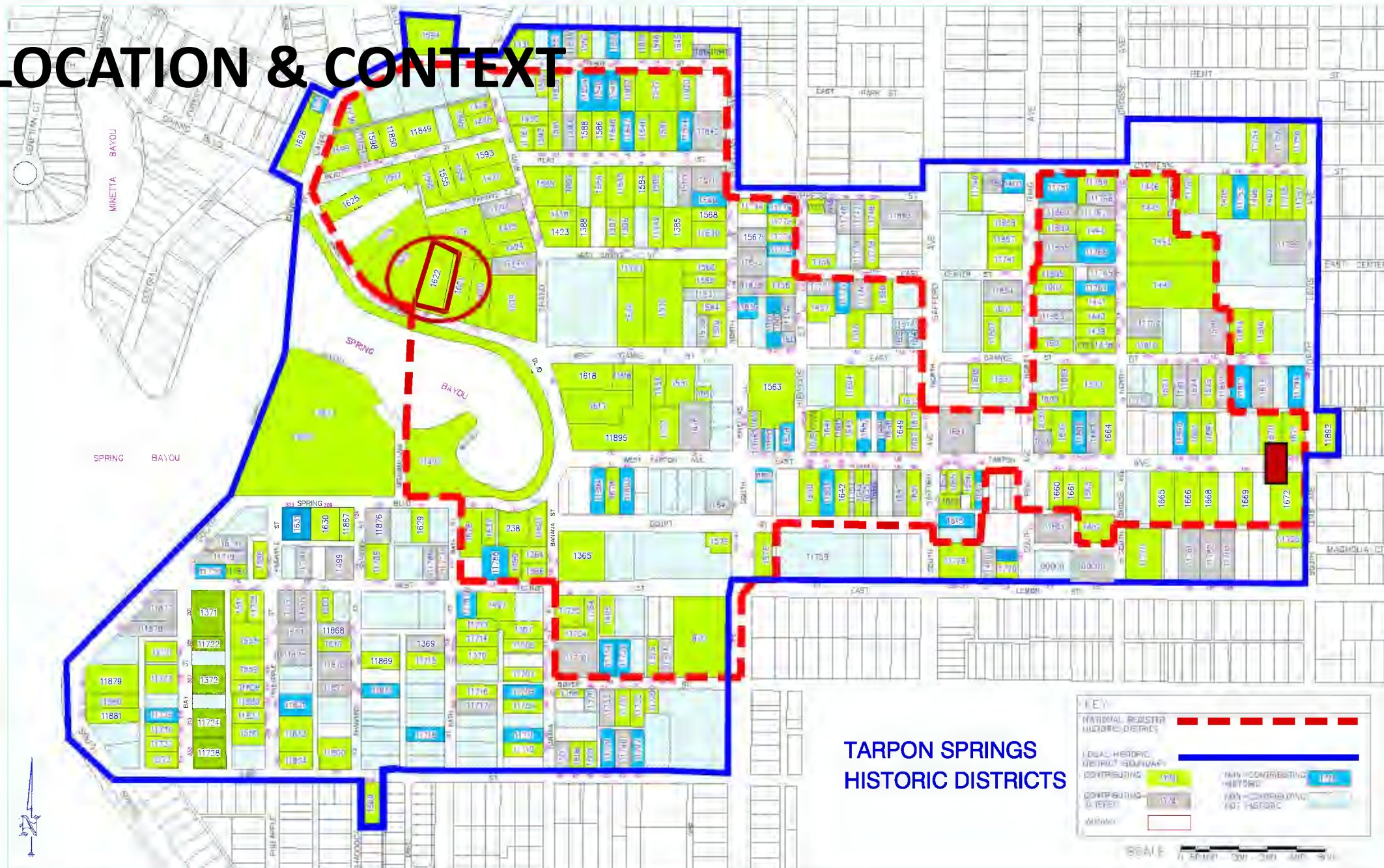


# LOCATION & CONTEXT





# LOCATION & CONTEXT



TARPON SPRINGS  
HISTORIC DISTRICTS

**KEY**

- NATIONAL REGISTER HISTORIC DISTRICTS: - - - - -
- LOCAL HISTORIC DISTRICT BOUNDARY: ———
- CONTRIBUTING DISTRICT: (Light Green)
- CONTRIBUTING UTILITY: (Light Blue)
- NON-CONTRIBUTING DISTRICT: (Light Yellow)
- NON-CONTRIBUTING UTILITY: (Light Purple)
- WATER: (White)

SCALE 0 100 200 300 400 500



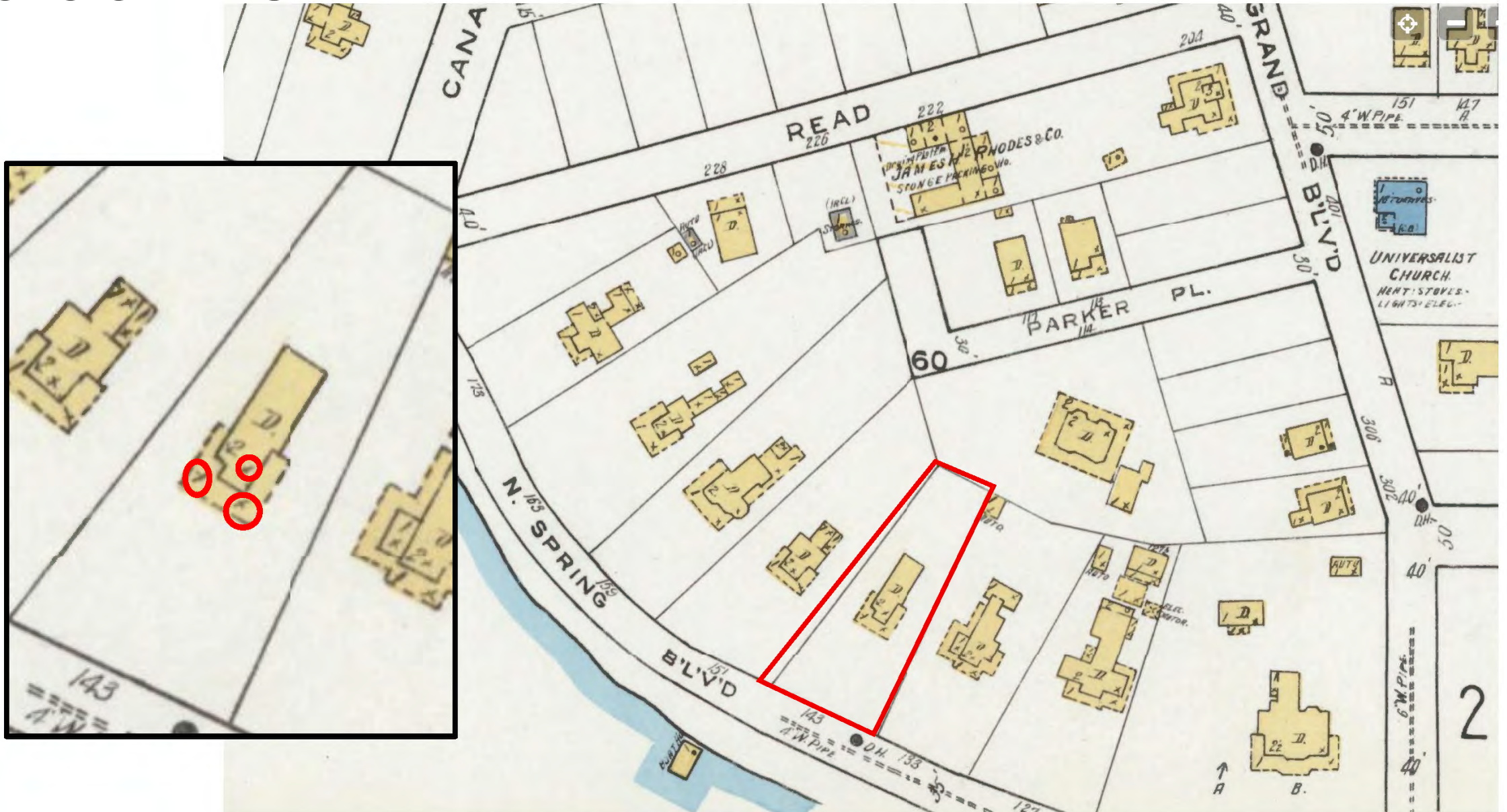


# FLORIDA MASTER SITE FILE





# 1919 SANBORN





# REQUEST

- Certificate of Approval for:
  - Replace shingle roof with metal standing seam roof
- Lot Size: 26,659 square feet
- Architectural Type/Style: Frame Vernacular
- District Status: Contributing
- Florida Master Site File: 8P11622
- Property Owner / Applicant: Dean and Ellyn Theophilopoulos





CITY OF TARPON SPRINGS  
PLANNING & ZONING DEPARTMENT

# REQUEST







# REQUEST







# REQUEST







# REQUEST







# STANDARDS FOR REVIEW – CERTIFICATE OF APPROVAL

- 1) New construction consistency.
- 2) Windows, doors and entries.
- 3) Neighborhood and district context.
- 4) Roof shape and texture.
- 5) Size and massing / shape.
- 6) Landscaping.
- 7) Architectural features.
- 8) Adherence to period of construction.
- 9) Adherence to Secretary's Guidelines.
- 10) Conformance with other City code requirements.
- 11) Impact upon archeological sites.

Especially Applicable Guidelines 2, 3, 4, 63, 64, 66, and 69

# STANDARDS FOR REVIEW – CERTIFICATE OF APPROVAL

- 3) Neighborhood and district context. The proposed project would alter the streetscape and vista by changing the appearance of the house by changing the roofing material.
- 4) Roof shape and texture. The proposed metal roof would not be consistent with the structure's original architecture. However, it would match the existing porch roof material.
- 7) Architectural features. The roof is one of the prominent defining features of historic buildings, and the original roof was shingle.







### Guideline 63. Roofing Material

- a. Retain and repair the historic roof materials where feasible. Repairs can include replacing panels or sealing pinholes with an elastomeric/silicone material.
- b. If all roofing material is to be removed, then the new roofing material shall match the existing or be characteristic of the architectural style in terms of material, size, and pattern.
- c. Requests for substitute roofing materials will be reviewed on a case-by-case basis.
- d. When replacing asphalt shingles, heavyweight architectural shingles are preferred.
- e. Repair of isolated sections of a roof must match the existing in material composition, style, size, and color.

#### Best Choice

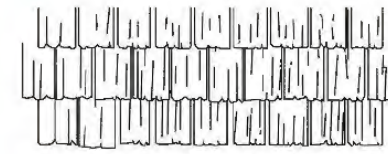
Replace a historic standing seam metal roof with a new standing seam metal roof

#### Good Alternative

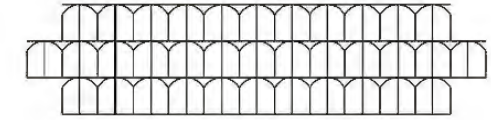
Replace a slate roof with new synthetic slate shingles that mimic the texture and pattern of the historic slate roof

#### Not Appropriate

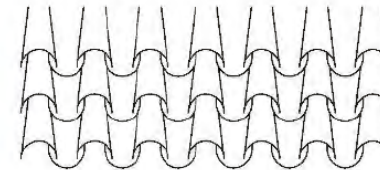
Replacing a slate roof with a new standing seam metal roof



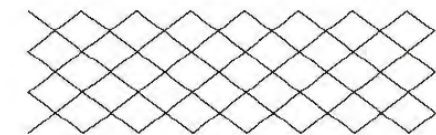
HAND-SPLIT WOOD SHINGLES



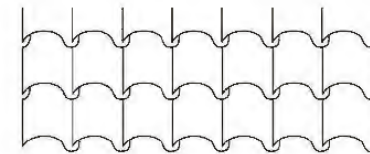
METAL SHINGLES



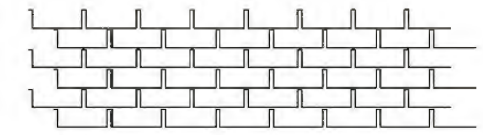
TROUGH AND CAP CLAY BARREL TILES



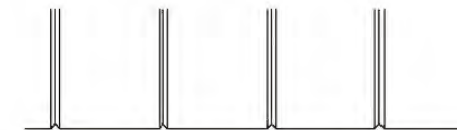
DIAMOND PATTERN ASBESTOS ROOFING SHINGLES



"S" BARREL TILES



THREE-TAB COMPOSITE ROOF SHINGLES



V-GROOVE STANDING SEAM METAL ROOFING

Figure 116: Illustration of roofing patterns and materials



## **PRELIMINARY STAFF RECOMMENDATION**

Staff is not making a recommendation based on conflicting guidelines and review criteria. If the Heritage Preservation Board (HPB) approves the application, the following conditions are recommended:

1. The historic roofline must be maintained.
2. The chimneys must not be altered.
3. The Certificate of Approval will expire in three (3) years if a building permit has not been issued for the project.

The project was publicly noticed. Two responses to the notices were received.





# HISTORICAL STRUCTURE FORM

## FLORIDA MASTER SITE FILE

Consult Guide To Historical Structure Forms for detailed instructions

Site # 8P11622

Recorder # 261

Recorder Date 2/20/09

Original Update 

Site Name Wilbur DeGolier House Other Names \_\_\_\_\_

Project Name Historic Resources Survey of Tarpon Springs

Historic Contexts Post-Reconstruction National Register Category Building

### LOCATION and IDENTIFICATION

Address 150 N Spring Boulevard

Vicinity of N side of Spring between Spring and Read

City Tarpon Springs County Pinellas

Ownership Private-individual Subdivision \_\_\_\_\_ Block # \_\_\_\_\_ Lot # \_\_\_\_\_

### MAPPING

USGS Map TARPON SPRINGS Township 27S Range 15E Section 12

Quarter \_\_\_\_\_ Qtr Qtr \_\_\_\_\_ Irregular Section  UTM Zone 17

Easting 327153 Northing 3114828 Land Grant Unknown

Latitude \_\_\_\_\_ Longitude \_\_\_\_\_ Plat or Other Map Aerial Photographs

### HISTORY

Architect/Builder Unknown Construction Date 1888 Circa Alterations  Date c.1960 Type/Location east end of porch enclosedAdditions  Date c.1920 Type/Location rear gable, two story, wood framed (multiple rear additions)Moved  Original Location \_\_\_\_\_

Use Original Private residence Use Present Private residence

### DESCRIPTION

Style Frame Vernacular Exterior Plan Irregular Interior Plan Unknown Stories 2

Structural System Wood frame Exterior Fabric Drop siding

Foundation Piers Foundation Materials Brick Foundation Infill Brick open work

No. of Porches 1 Locations/Features one story, separate hipped roof, wraps three sides with turned wood posts, wood deck and balustrade

Main Entrance (stylistic details): off-center entry under main porch with transom

Outbdgs.  Number 1 Nature/Location (Describe below)

one story, two car garage to rear

Roof Type Cross-gabled Roofing Materials Standing seam-sheet metal; Asbestos shingle

Secondary Structures  Comments Not applicable Location \_\_\_\_\_Chimneys  Number 3 Orientation North; East Location Ridge/Exterior; W Material BrickWood Windows  Type DHS Light # 2/2Metal Windows  Type \_\_\_\_\_ Light # \_\_\_\_\_

Exterior Ornament cornerboards, rafter tails, vents (triangular wood louver in gable), wood surrounds

Condition Good Surroundings Residential

### Narrative (general, interior, landscape, context; 3 lines only)

This two-story residence has an asymmetrical façade with irregular massing and a steep pitched cross gable roof. A one-story hipped roof porch wraps the front and sides of the house supported by turned posts. The 2/2 double hung windows feature pedimented hoods. A triangular louvered vent is located on the front facing the gable. The house was built by Wilber DeGolier, a retired businessman and real estate investor from Bradford, PA as a year-round residence. DeGolier served as Tarpon Springs' first mayor when the City was incorporated in 1887.

Archaeological Remains Present  FMSF Archaeological Site Form Completed (if yes, attach)

Consult Guide To Historical Structure Forms for detailed instructions

## RECORDER'S EVALUATION OF SITE

Individually Eligible for National Register? Yes  No  Likely, Need Information  Insufficient Information Potential Contributor to Nat. Reg. District? Yes  No  Likely, Need Information  Insufficient Information 

## Areas of Significance

Community planning &amp; development

## Summary of Significance

This resource is an example of residential architecture in Tarpon Springs during the Post-Reconstruction-era and is representative of the development of the City of Tarpon Springs. Although this building has undergone some minor alterations, the majority of architectural details remain and the overall historic massing is retained. Therefore, this building would be considered a contributing resource to the NRHP and Local Tarpon Springs Historic District.

DHR USE ONLY		OFFICIAL EVALUATIONS	DHR USE ONLY	
NR DATE ____/____/____	KEEPER-NR ELIGIBILITY <input type="checkbox"/> yes <input type="checkbox"/> no		Date	____/____/____
DELIST DATE ____/____/____	SHPO-NR ELIGIBILITY: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> potentially elig. <input type="checkbox"/> insufficient info		Date	____/____/____
	LOCAL DESIGNATION: _____		Date	____/____/____
	Local office _____			
National Register Criteria for Evaluation <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (See National Register Bulletin 15, p. 2)				

## DOCUMENTATION

**Research Methods** Florida Site File for past architectural surveys; Florida Site File search; Local library; Tax records; Pedestrian; Sanborn maps

**Bibliographic References** Olausen, Stephen A. FMSF form for 8PI1622. on file, Florida Department of State, Division of Historic Resources, Tallahassee, Florida.

**Location of Negatives** Janus Research **Negative Numbers** Roll 2885, #22, Facing NE

## RECORDER INFORMATION

**Recorder Name** Janus Research

**Recorder Affiliation** JANUS RESEARCH, 1107 N. Ward Street, Tampa, Florida 33607 Telephone 813-636-8200

- REQUIRED:**
1. USGS 7.5' MAP WITH STRUCTURES PINPOINTED IN RED
  2. LARGE SCALE STREET OR PLAT MAP
  3. PHOTO OF MAIN FACADE, PREFERABLY B&W, AT LEAST 3x5





SKETCH MAP



# USGS QUADRANGLE MAP



Location of 8P11622  
USGS Quadrangle: Tarpon Springs (1973 PR 1987)

0 500 ft.



**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

Return to:  
 Planning & Zoning Department  
 324 E. Pine Street  
 Tarpon Springs, FL 34689  
 (727) 942-5611

(Please type or print clearly)

**Property Owner(s)**

Name DEAN THEOPHILOPOULOS		Email deantheo@hotmail.com	
Address 150 N SPRING BLVD			
City TARPON SPRINGS		State FLORIDA	Zip 34689-3247
Phone 727-271-5650	Fax		Cellular 727-271-5650

**Applicant**

Name MICHAEL RAMIREZ		Email mikemetro1@outlook.com	
Address 4729 WEASEL DRIVE			
City NEW PORT RICHEY		State FLORIDA	Zip 34653
Phone 727-698-4675	Fax		Cellular 727-698-4675

**Agent (if applicable)**

Name MICHAEL RAMIREZ		Email mikemetro1@outlook.com	
Address 4729 WEASEL DRIVE			
City NEW PORT RICHEY		State FLORIDA	Zip 34653
Phone 727-698-4675	Fax		Cellular 727-698-4675

**General Information**

Property Location or Address 150 N SPRING BLVD TARPON SPRINGS FLORIDA 34689-3247					
Legal Description (attach additional sheets as necessary)					
Tax Parcel Number(s) 12-27-15-77796-713-0101	<table border="1"> <tr> <th colspan="2">Current Designations of Property</th> </tr> <tr> <td>Land Use Category RU</td> <td>Zoning District R60</td> </tr> </table>	Current Designations of Property		Land Use Category RU	Zoning District R60
Current Designations of Property					
Land Use Category RU	Zoning District R60				
Current Use of Property PRIMARY RESIDENCE	Contributing Structure? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO				

**Type of Proposed Activity:** [please check all that apply]

- |                                     |   |  |                                      |
|-------------------------------------|---|--|--------------------------------------|
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation *     | <input type="checkbox"/> Structural Addition | <input type="checkbox"/> Driveway    |
| <input type="checkbox"/> Renovation | <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> New Roof | <input type="checkbox"/> Other _____ |

\* If Relocation, please indicate new location:

New Property Location or Address					
Legal Description (attach additional sheets as necessary)					
Tax Parcel Number(s)	<table border="1"> <tr> <th colspan="2">Current Designations of Property</th> </tr> <tr> <td>Land Use Category</td> <td>Zoning District</td> </tr> </table>	Current Designations of Property		Land Use Category	Zoning District
Current Designations of Property					
Land Use Category	Zoning District				

**CITY OF TARPON SPRINGS, FLORIDA  
Heritage Preservation Board  
Application for Certificate of Approval**

**General Building Information**

Year Built 1895	Architectural Style FRAME VERNACULAR	Porches? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Original Use	Present Use	Proposed Use
Roof Type & Material ASBESTOS SHINGLE / METAL PANEL	Exterior Siding Material	

**Previous Additions or Modifications:** [please describe and include dates]

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**Description of Proposed Work:**

REMOVES EXISTING ASBESTOS SHINGLES FROM UPPER ROOF. INSTALL NEW 26-GUAGE STANDING SEEM METAL ROOF TO MATCH LOWER EXISTING METAL ROOF PANELS. There are several metal roofs already installed in the area.

There are several metal roofs already installed in the area.

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**For relocation or demolition, describe the property's physical condition, steps taken to save the property and whether renovation would be economically feasible:**

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**Requirements for Submission:**

Please submit those items which have been checked by City staff:

- Completed original application with digital copies of all application documents
- \$50.00 application fee plus advertisement costs which will be invoiced upon calculation by Staff
- \$50.00 application fee for signs only
- Property survey, signed and sealed by a professional land surveyor
- Architectural floor plans and elevations (10 copies)
- Site Plan for new construction (10 copies)
- Landscaping plan (10 copies)
- Details of exterior modifications



CITY OF TARPON SPRINGS, FLORIDA  
Heritage Preservation Board  
Application for Certificate of Approval

AFFIDAVIT

I (we), the undersigned, certify ownership of the property within this application, that said ownership has been fully divulged, whether such ownership by contingent or absolute, and that the name of all parties to an existing contract for sale or any options are filed with this application.

I (we) certify that MICHAEL RAMIREZ is (are) duly designated as the agent(s) for the owner, that the agent(s) is (are) authorized to provide subject matter on the application contained herein, whether verbal or written, and appear at any public hearing(s) involving this petition.

I (we) assent to the City's Comprehensive Plan as it applies to the property. Further, it is understood that this application must be complete and accurate and the appropriate fee paid prior to processing.

Date: 12-04-2023 Title Holder/Property Owner: Dean Theophilopoulos  
Date: \_\_\_\_\_ Title Holder/Property Owner: \_\_\_\_\_  
Date: \_\_\_\_\_ Title Holder/Property Owner: \_\_\_\_\_  
Date: \_\_\_\_\_ Title Holder/Property Owner: \_\_\_\_\_

STATE OF FLORIDA )  
COUNTY OF PINELLAS )

The foregoing instrument was acknowledged before me this 5 day of December, D., 2023  
by Dean Theophilopoulos, who is personally known to me or who has produced  
PROPERTY OWNER NAME PRINTED  
FLDR T/41-107-66 as identification and who did (did not) take an oath.

-107-0

NOTARY PUBLIC  
Name: Cindy M. Chyle  
Signature: Cindy M. Chyle  
Stamp:



**CITY OF TARPON SPRINGS, FLORIDA**  
**Heritage Preservation Board**  
**Application for Certificate of Approval**

In reviewing an application for a Certificate of Approval, the Board shall consider the following Standards for Review:

- (1) The height and width of any proposed alteration or new construction shall be consistent with that of adjacent contributing structures and with those structures of similar character and architectural style found throughout the immediate neighborhood or the district.*
- (2) The width and height of windows, doors, and entries shall be consistent with the character of the building's original architectural style. Repair or replacement of missing architectural features such as windows, mullions, doors, entries, hand rails, etc., should be based on accurate duplications, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.*
- (3) The relationship of a structure within an historic or cultural preservation district to the open space between it and the street and to other buildings or scenic views, vistas or streetscapes characterizing the area, shall be protected through a site plan review process addressing setbacks, roof lines, garage placement, parking and access analysis and the use of landscaping.*
- (4) The shape and texture of the roof shall replicate the shape, texture and type of roof distinguishing the building's original architecture and on structures of similar style and age within the Historic and Cultural Preservation District.*
- (5) The size and mass (or shape) of the building after alteration shall be reflective of the building's original architectural style. The size and mass (or shape) of a proposed structure (new construction) should reflect the character of contributing buildings within the District as well as those immediately surrounding the subject property and shall include review of architectural elements such as roof lines, fenestration, and other components of facade design.*
- (6) Landscaping shall be utilized as a means to enhance the architectural character and appearance of the structure or traditional cultural property and to protect and define open spaces and pedestrian ways within Historic and Cultural Preservation Districts.*
- (7) Distinctive architectural features shall be repaired rather than replaced, wherever possible. Architectural details, including color, materials, texture, and site lighting shall be treated so as to make the building, structure, or traditional cultural property consistent with the property's original architectural style and character. New materials should replicate the material being replaced in composition, design, color, texture and other visual qualities.*
- (8) All buildings, structures, sites and traditional cultural properties shall be recognized as products of their own time. Alterations, modifications or other changes to a structure or traditional cultural property shall not attempt to create an earlier appearance than the original date of construction. Changes which may have taken place in the course of time are evidence of the history and development of the subject property and may have acquired significance in their own right. This significance shall be recognized and respected.*
- (9) The renovation of contributing structures in an historic or cultural district or designated sites shall meet the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.*
- (10) The proposed project shall conform with the other requirements of this Code and be in compliance with the applicable goals, objectives, and policies of the Comprehensive Plan.*
- (11) The impact upon archaeological sites shall preserve the integrity of the site.*



**From:** [JB](#)  
**To:** [Planning](#)  
**Subject:** Application # 23-152  
**Date:** Saturday, December 30, 2023 8:46:13 AM

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**This Message Is From an Untrusted Sender**

You have not previously corresponded with this sender.

Dear Historic Preservation Board,

I am writing to you regarding the above referenced application.

The proposed roof will be both sustainable and aesthetically pleasing, and will match the other roofs on the home.

It is also very similar to other metal seam roofs that are present in the Historic District. Please approve this application, it will add to the charm of our neighborhood.

Kind Regards,

John P. Byrnes  
Wake Forest RE Holdings  
170 N. Spring Blvd.

**From:** [JB](#)  
**To:** [Planning](#)  
**Subject:** Application # 23-152  
**Date:** Saturday, December 30, 2023 8:37:57 AM

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**This Message Is From an Untrusted Sender**

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Historic Preservation Board,

We live at 164 N. Spring Blvd. - next door to the Applicant - and would like to ask that the above application be approved.

The proposed roof will match the roofing on the rest of the home and is very similar to the metal roofs on other homes in the Historic district. It will enhance the beauty of the home, and of the "Golden Crescent".

Sincerely,

John & Wilma Byrnes  
164 N. Spring Blvd