

ADDRESS:	Land At Jonathan Street And Vauxhall Walk And At Orsett Street And Vauxhall Street London SE11 5HX		
Application Number: 20/04393/RG3	Case Officer: Mr Jody Williams		
Ward: Princes	Date Received: 18 December 2020		
Proposal: Demolition and clearance of both sites and redevelopment to provide a new community centre (Class F2) and 67 residential units (Class C3) as follows: Land at Jonathan Street: construction of new community centre and 29 residential units (Class C3) in a building extending to between five and eight storeys in height; Land at the junction of Orsett Street and Vauxhall Street: construction of 38 residential units (Class C3) in a building extending up to 7 storeys in height; together with associated cycle parking, car parking, landscaping, infrastructure works and with wider public realm estate improvements.			
Applicant: Homes for Lambeth		Agent: Savills	

RECOMMENDATION

1. **Resolve to grant conditional planning permission including a Grampian condition requiring the completion of an agreement under Section 106 of the Town and Country Planning Act 1990 (as amended) containing the planning obligations listed in this report.**
2. **Agree to delegate authority to the Director of Planning, Transport and Sustainability to:**
 - a. **Finalise the recommended conditions as set out in this report, addendums and/or PAC minutes; and**
3. **In the event that the committee resolves to refuse planning permission and there is a subsequent appeal, delegated authority is given to the Director of Planning, Transport and Sustainability, having regard to the heads of terms set out in this report, addendums and/or PAC minutes, to negotiate and complete a document containing obligations pursuant to Section 106 of the Town and Country Planning Act 1990 (as amended) in order to meet the requirement of the Planning Inspector.**

SITE DESIGNATIONS

Carmelita Centre – Jonathan Street and Vauxhall Street

Relevant site designations:	
Central Activities Zone	
Protected Views/Vistas	Parliament Square to Palace of Westminster Parliament Hill Oak Tree to Palace of Westminster Parliament Hill summit to Palace of Westminster Primrose Hill to Palace of Westminster
Local Views	Brixton Panoramic Norwood Park
Flood Risk Area	Flood Zone 3
Air Quality Management Area	
Area of Open Space Deficiency	District parks Regional parks
Adjacent site designations:	
Conservation Areas	Albert Embankment Vauxhall Gardens
Opportunity Areas	Vauxhall Nine Elms Battersea
Air Quality Focus Area	

Land at Orsett Street and Vauxhall Street

Relevant site designations:	
Neighbourhood Planning Area	Kennington, Oval and Vauxhall
Conservation Area	Kennington
Protected Views/Vistas	Parliament Square to Palace of Westminster Primrose Hill to Palace of Westminster
Local Views	Brixton Panoramic Norwood Park
Flood Risk Area	Flood Zone 3
Air Quality Management Area	
Air Quality Focus Area	
Area of Open Space Deficiency	District parks Local/small/pocket park Regional park
Conversion Stress Area	
Adjacent site designations:	
Town Centre Hierarchy	Vauxhall Street/Jonathan Street Local Centre
Conservation Area	Vauxhall Gardens
Listed Buildings	Woodstock Court and 2 & 20 Newburn Street 35 Black Prince Road 39 Black Prince Road
Local List	60 Sancroft Street

LAND USE DETAILS

Site area (ha):	0.46 total Jonathon Street – 0.2 Orsett Street / Vauxhall Street – 0.26
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NON-RESIDENTIAL DETAILS

	Use Class	Use Description	Floorspace (m ²) (Gross Internal Area)
Carmelita Centre – Jonathan Street and Vauxhall Street			
Existing	F2(b)	Community Centre	303
Proposed	F2(b)	Community Centre	390
	C3	Residential	2,715
Orsett Street / Vauxhall Street			
Existing	C3/Sui Generis	Residential car park (Sancroft House) & estate amenity	n/a
Proposed	C3	Residential	3,211
Total			
	F2(b)	Community Facility	390
	C3	Residential	5,926

RESIDENTIAL DETAILS

Carmelita Centre – Jonathan Street and Vauxhall Street

	Residential Type	No. of bedrooms per unit						Total Habitable Rooms
		Studio	1	2	3	4	Total	
Existing	Affordable							
	Private/Market							
	Total						0	
Proposed	Social Rented		4	10	6		20	73
	Intermediate Shared Ownership		1	8	0		9	26
	Private/Market						0	
	Total						29	99

Orsett Street / Vauxhall Street

	Residential Type	No. of bedrooms per unit						Total Habitable Rooms
		Studio	1	2	3	4	Total	
Existing	Affordable							
	Private/Market							
	Total						0	
Proposed On-Site								
	Affordable Rented						0	
	Social Rented						0	
	Intermediate						0	
	Private/Market		15	23			38	99
	Total		15	23			38	99

Combined Site Figures

	Residential Type	No. of bedrooms per unit						Total Habitable Rooms
		Studio	1	2	3	4	Total	
Existing	Affordable							
	Private/Market							
	Total						0	
Proposed On-Site								
	Affordable Rented							
	Social Rented		4	10	6		20	73
	Intermediate Shared Ownership		1	8	0		9	26
	Private/Market		15	23	0		38	99
	Total		5	15	23		67	198
Proposed Off-Site								
	Affordable Rented							
	Social Rented							
	Intermediate							
	Private/Market							
	Total						0	

	Amount (£)
Payment in Lieu of Affordable Housing	0
	Details/Trigger
Review Mechanism	Pre implementation if not substantially implemented within 24 months of permission being granted

ACCESSIBILITY

	Number of C3 Units
M4(2) Units	60
M4(3) Units	7

NON-CONVENTIONAL RESIDENTIAL & VISITOR ACCOMMODATION

PARKING DETAILS

	Car Parking Spaces (General)			Car Parking Spaces (Disabled)			% of EVCP	Bike Spaces	Motor-cycle Spaces
	Resi	Community Centre	Visitor	Resi	Community	Visitor			
Carmelita Centre – Jonathan Street and Vauxhall Street									
Existing	0	0	0	0	0	0	0	0	0
Proposed	0	2	0	3	0	0	20	69	0
Orsett Street / Vauxhall Street									
Existing	17	-	-	0	-	-	0	0	0
Proposed	9	-	-	4	-	-	20	74	0

LEGAL SERVICES CLEARANCE

AUDIT TRAIL					
Consultation					
Name/Position	Lambeth department	Date Sent	Date Received	Report Cleared	Comments in para:
Peter Flockhart Senior Lawyer	Legal Services	15 September 2021	20 September 2021	23 September 2021	

EXECUTIVE SUMMARY

- i. The proposal concerns two sites brought together in tandem via a single planning application. Though not adjoining sites, the application would consist of two related developments and wider estate amenity works. A single application provides a comprehensive redevelopment scheme and enables more efficient control of the proposals under a single overarching legal agreement to secure the wider estate and public benefits.
- ii. The two sites are:
 - A 0.2 ha site located to the north eastern side of the Jonathan Street and Vauxhall Walk junction, currently consisting of the Carmelita Centre, its grounds, and the amenity space to the front of the Haymans Point residential tower.
 - A 0.26 ha site located on the eastern side of Vauxhall Street, north of Orsett Street and on the south side of Sancroft Street and Sancroft House. The site currently comprises a temporary builder's compound and the car parking and grounds of Sancroft House.
- iii. The proposal is for the demolition of the Carmelita Centre building and its replacement with an 8-storey building consisting of a ground floor replacement community facility and 29 affordable residential units above. At the Orsett Street / Vauxhall Street site, the proposal is for 7 storeys of residential with a total of 38 residential units proposed. Both sites would also include associated cycle parking, blue badge parking, refuse storage, landscaping and amenity space. In terms of affordable housing the proposal would deliver 20 low cost rent and 9 intermediate units (Shared Ownership) within the Johnathan Street site. Across both sites, the development would achieve 50% affordable housing with a tenure split of 69% low cost rent and 31% Shared Ownership.
- iv. The proposal would deliver significant public benefits, utilising previously developed land to deliver high quality, housing that would be 50% affordable and a new, larger and enhanced community centre as well as on and off-site public realm improvements.
- v. A separate application 20/04423 for a temporary community centre is also on this agenda for Members consideration to ensure there is a continuous community centre provision within the vicinity during the redevelopment of the existing centre.
- vi. The development would result in the loss of 1,313sqm of amenity land across the two sites, a 5% reduction of that on offer within the Vauxhall Gardens Estate. This does not include the loss of the amenity area at the Orsett Street site which under ref ??/????? was obligated to be returned to estate amenity land. To mitigate this loss the applicant is proposing improvements to amenity space at both sites and to three off site amenity spaces in the immediate vicinity at Tracey Island, Coverley Point and Venn Park. This will provide an integrated approach to the Estate amenity with significant landscaping enhancements to improve the accessibility, usability and overall quality of the provision on offer, being beneficial to local residents and visitors and increasing biodiversity. The applicant has provided indicative details with regards to hard and soft landscaping with an intention to provide a balance between amenity and biodiversity. The final scheme off-site improvements would be secured by Grampian condition requiring the applicant to enter into a s106 agreement to deliver these mitigation measures. Subject to these measures, Policy EN1 of the Lambeth Local Plan is considered to be met in relation to the loss of Estate Amenity Land given the development will bring significant public benefits.

- vii. The proposal would result in the loss of sixteen trees (5 category 'B' and 11 category 'C') including 12 mature or semi-mature species of Silver Maple at the Orsett Street site. The Council's tree officer does not support the loss of these trees because of their landscape value. Officers are however satisfied that their removal is necessary to deliver the housing scheme and that there is sufficient mitigation measures from the on and off-site landscaping and tree planting which alongside the financial contribution for other local tree planting to outweigh the loss of the trees at Orsett Street in accordance with LLP Q10.
- viii. The buildings have been arranged to respect the distinctiveness of the Vauxhall Gardens Estate, reflecting the historic building lines on both sites and the form, scale and appearance of the inter war residential blocks that form a key element of the local character. The proposal will also re-animate street frontages, improve legibility, natural surveillance and landscaping.
- ix. The proposed Jonathon Street building is judged to have a positive effect on the setting of the Albert Embankment Conservation Area. The Orsett Street development is considered to cause a low/moderate degree of less than substantial harm to the Kennington Conservation Area and the setting of the Vauxhall Gardens Estate Conservation Area because of the loss of the existing open space. Officers consider that there are significant public benefits which accompany the proposal that would outweigh the less than substantial degree of harm to the heritage assets.
- x. The proposed development would provide high quality residential accommodation that meets and exceeds relevant internal residential space standards. The dwellings would all have good levels of daylight/sunlight, privacy and outlook and acceptable aspect. The proposed development would not result in any significant material impact in terms of overlooking or loss of privacy to neighbouring residential properties, nor would it amount to an unneighbourly relationship with regard to increased sense of enclosure or overbearing impact.
- xi. The proposal would introduce larger buildings where low rise or no structures currently exist and as such there will be some impacts to adjoining occupiers. However, due to the siting, orientation and separation distances there is not considered to be any adverse impact in terms of outlook, privacy or noise and disturbance.
- xii. Whilst there will be some noticeable impacts to daylight to neighbouring properties (to daylight VSC and / or daylight distribution), given consideration also to retained values, they would be considered as typically 'minor adverse' to neighbouring properties (including due consideration of 'without balcony analysis') or 'moderate adverse'. On balance, it is considered that these isolated impacts are considered acceptable overall when assessed against the benefits of the overall scheme.
- xiii. The proposal would represent a highly sustainable development, reducing carbon emissions through improvements to the building fabric and the use of renewable energy technologies. The principles of the Mayor's energy hierarchy have been applied to the proposed development and the Energy Strategy submitted in support of the application demonstrates that a reduction in regulated CO₂ emissions of 72% for the residential elements across both sites and 59% for the non-residential elements would be achieved over the Building Regulations Part L 2013 Baseline and would achieve BREEAM excellent for the non-residential elements. A future financial contribution is required to offset all remaining regulated CO₂ emissions to 100% or "zero carbon emissions", which will be secured by legal obligation.
- xiv. The development would be car free, with occupants of the new residential units not eligible

for parking permits. The scheme would deliver a total of 9 new disabled parking bays. The scheme would provide a total of 127 long-stay cycle storage spaces, and 16 short-stay cycle storage spaces, in excess of the London Plan standards. The development would be suitably mitigated in terms of its impact upon local infrastructure. Subject to conditions, the development would not impact unacceptably upon the function and safety of the highway network (both pedestrian and vehicular).

- xv. Subject to conditions, the development would meet technical requirements in respect of sustainability, air quality, flood risk mitigation, waste and recycling and water infrastructure.
- xvi. The development would provide a mix of uses including private and affordable homes, and community uses, and would improve the environment both in terms of linkages and improved public realm. The application is therefore recommended for approval, subject to conditions and completion of a Section 106 Agreement, in accordance with the presumption in favour of sustainable development conferred upon Local Planning Authorities by the National Planning Policy Framework (NPPF).
- xvii. The application site is not yet in the applicant's ownership and will be transferred or a long lease granted following any grant of planning permission. In order to secure necessary mitigation measures, a Grampian condition would be imposed requiring a s106 to be entered into, which will secure a range of planning obligations that would reasonably mitigate the otherwise unacceptable impacts of the development.

OFFICER REPORT

Reason for referral to PAC: The application is reported to the Planning Applications Committee in accordance with (1)(i) and (ii) of the Committee's terms of reference as it relates to a major application for the provision of more than 35 residential dwellings.

1 THE APPLICATION SITE

1.1 The proposal consists of two sites which are subject to a single planning application. Both the sites lie within the Vauxhall Gardens Estate and are located within 200 metres of each other with the Orsett Street site located east of the Carmelita Centre.

Jonathan Street Site

1.2 The site currently has a single storey building operating as a community centre (use class F2(b)) at the junction of Jonathan Street and Vauxhall Walk. The building is set within a forecourt that is used for informal planting and is adjoined by estate amenity land which lies immediately south of the 13 storey Haymans Point residential building. North of the site is the 13 storey Coverley Point residential tower and the amenity space adjacent to it. To the west of the site is a four storey office building and to the south a 4/5 storey residential building.

1.3 The Carmelita Centre Building is a single storey portacabin structure which has been used as a community centre (temporarily closed) and run by volunteers of Vauxhall Gardens Estate Residents and Tenants Association (VGERTA). The main space is an all-purpose hall which is used for a range of community activities and when in use, a main hall, a small hall and a meeting room are available to hire with discounted rates available for members of the residents' association or local community groups.

1.4 The site is within the Central Activities Zone (CAZ) and is adjacent to but not within the VNEB (Vauxhall Nine Elms Battersea) Opportunity Area. The site falls within the following protected London Plan vistas: Parliament Square to Palace of Westminster; Parliament Hill Oak Tree to Palace of Westminster; Parliament Hill summit to Palace of Westminster and Primrose Hill to Palace of Westminster. The site sits within the locally protected Brixton and Norwood Park Panoramic views and is situated adjacent to the Albert Embankment and Vauxhall Gardens Conservation Areas.

1.5 The site lies within flood risk zone 3, has a PTAL score of 6a, is within an area of open space deficiency, and an Air Quality Management Area.

Orsett Street Site

1.6 This 0.26ha site is located adjacent and to the rear of Sancroft House, a five storey inter-war residential building. The site extends from the junctions of Sancroft Street and Orsett Street with Vauxhall Street. The western portion of the site has been used as a temporary site compound in connection with construction works across the Vauxhall Estate, originally being a piece of enclosed estate amenity space. The rest of the site consists of estate parking to the rear of Sancroft House and further estate amenity flanked by mature trees.

- 1.7 A 5 storey residential block is located to the south of Orsett Street, with two and three storey terraced housing to the east of that. To the west of the site, on the opposite side of Vauxhall Walk, are two 5 storey buildings with ground floor retail and residential above, the former comprising part of the Vauxhall Street / Jonathan Street Local Centre, next to a 2/3 storey residential conversion. A more contemporary residential block is located on the northern side of Sancroft Street, rising to 8 storeys at the junction with Vauxhall Walk. Further residential blocks, estate amenity space and Venn Park are all located in close proximity of the site.
- 1.8 The site lies within the Parliament Square to Palace of Westminster and Primrose Hill to Palace of Westminster Protected Vistas and the Brixton and Norwood Park Panoramic Local Views. The site is situated within the Kennington Conservation Area and is adjacent to the Vauxhall Gardens Conservation Area. Three listed buildings, one Grade II* and two Grade II, are found nearby (Woodstock Court and 2 & 20 Newburn Street; 35 Black Prince Road & 39 Black Prince Road). The locally listed 60 Sancroft Street is also located close to the site.
- 1.9 The site lies within a Flood Zone 3, an Air Quality Focus Area, an Air Quality Management Area, an Area of Open Space Deficiency and a Conversion Stress Area.

2 THE SURROUNDING AREA

- 2.1 The sites are located within the Vauxhall Gardens Estate, an estate which consists of thirty housing blocks containing approximately 1,000 units. The majority of the buildings are five-storey red-brick constructions dating largely from the 1930s interspersed with some post-war residential towers. The area is situated south of Waterloo Station, north of Kennington Lane and east of Albert Embankment. The area also comprises residential terraces, retail, commercial and community uses. Approximately 25% of the Estate consists of green space, with Venn Park, Pedlars Park and Vauxhall Gardens located around the edges of the estate.
- 2.2 The land to the west, adjacent to the rail lines serving Waterloo and the River Thames has undergone more development and comprises a mixture of commercial and residential buildings, including towers facing onto Albert Embankment.
- 2.3 Both of the sites have a PTAL score of 6a with bus stops located on Black Prince Road, to the north of the site indicating excellent accessibility by public transport. Bus routes are also found on Albert Embankment and Vauxhall Station is to the south, both are within walking distance of the site. There are a number of Santander cycle hire hubs close to the sites with one situated along Sancroft Street.

3 SITE PHOTOGRAPHS

- 3.1 Jonathan Street Site



1.



2.



3.



4.



5.



6.



7.



8.



9.



10.



11.

Figure 1: Site Photos

1. *View of the site on Vauxhall Walk*
2. *View of Carmelita Centre*
3. *View looking west on Jonathan Street*
4. *View east on Jonathan Street*
5. *View Jonathan Street*
6. *Walkway to Haymans Point*
7. *Car park east of Haymans Point*
8. *Car Park looking towards site*
9. *Haymans Point lower ground grassed area*
10. *Grassed Area Haymans Point*
11. *Haymans Point looking east to Tyers Street*

(Source: Design and Access Statement)

3.2 Orsett Street site



1.



2.



3.



4.



5. (labelled 2 from D&A extract)

Figure 2: Orsett Street Site Photos

1. *Looking east on Sancroft Street*
2. *Looking east on Orsett Street*
3. *Looking west on Orsett Street*
4. *View from car park to Sancroft House*
5. *Car park and lawn rear of Sancroft House*



Figure 3: Aerial image showing both sites (outlined in red with Jonathan Street site in foreground.
Source: Design and Access Statement)

3.3 PROPOSAL

Summary of the Proposal

- 3.4 The application comprises the demolition of a Community Centre and the development of 67 residential units, together with associated cycle parking, car parking, landscaping, infrastructure works and wider public realm estate improvements.
- 3.5 The proposal is split across 2 development sites, proposing -
(a) the demolition of the Carmelita Centre (Jonathan street site) and the construction of a new community centre and 29 residential units (Affordable) in a building extending up to 8 storeys in height and;
(b) land at the junction of Orsett Street, Sancroft Street and Vauxhall Street (Orsett Street site), the removal of existing estate car parking and amenity space to facilitate the construction of 38 residential units (Private) in a building extending up to 7 storeys in height.

3.6 Detail of the Proposal

3.7 Jonathan Street Site



Figure 4: Existing Jonathan Street site plan

- 3.8 The proposed development would replace the existing portacabin building that houses the Carmelita Centre, plus existing landscaping and gym equipment with a new part one, part 5 and part 8 storey building, located at the western edge of the site facing Vauxhall Walk and Jonathan Street. The 8-storey element forms the central part of the building, set back off the north and south ends of the proposed building which drops down to five storeys, with the ground floor having a larger footprint, protruding outwards along the street and eastern frontages.
- 3.9 Predominantly finished in a limited palette of red and red and brown brick with pre-cast concrete cills and copings. The base of the structure would have a rusticated brick finish, punctuated at streetscene by floor to ceiling window openings framed by bottle green tiling with a pair of residential servicing doors to the north. Larger openings and residential entrance doors are also found along the ground floor eastern elevations.



Figure 5: Image of new Carmelita Centre entrance with south facing residential building above (source: Design and Access Statement)



Figure 6: Impression of proposed development from Pedlar's Park (source: Design and Access Statement)

Layout

- 3.10 The ground floor of the building is divided between community use and residential functions. The residential entrance is located to the north of the building close to the bicycle parking, residential and community refuse stores and plant. Most of the space (390sqm GIA) is given over to the proposed community facility, divided up to provide flexible sized meeting rooms, a small conference room and a community space, alongside ancillary functions (toilets, kitchen and storage space). The community centre will also incorporate a garden area, to be managed by VGERTA. This space will be situated along the Jonathan Street frontage and comprise

seating and community planting beds, set behind a low wall and fencing.

Figure 7: Sketched layout of ground floor Carmelita Centre layout



Housing Layout

- 3.11 Residential units are proposed to be constructed above ground floor and consist of 5 x 1-bed; 18 x 2 bed and 6 x 3 bed units. The units would be accessed from an entrance at the north east edge of the site to the side of Haymans Point, via a canopied walkway. The lobby provides stair and lift access (two lifts) to all levels and has large windows overlooking garden space to the side.
- 3.12 The first four floors of residential are identical in form with 5 flats per floor (1x1 bed, 2x2 bed and 2x3 bed), accessed from a central core with the larger units at the corners of the building all with dual aspect along with a 1 bed flat with a single aspect facing Vauxhall Walk. All properties have external balconies and each of these floors has a two-bedroom wheelchair accessible unit.



Figure 9: First to Fourth floor plans

- 3.13 The fifth floor, the first to be set back from the north and south elevations, has three flats (2x2 bed, 1x1 bed). One 2 bed unit has a large area of private amenity along the north edge of the building whilst the other two properties benefit from external balconies, whilst at the south side of the building a communal terrace space is created above the Carmelita Centre entrance for the benefit of all residents. The two upper floors consist of 6 identical two-bedroom units, 3 per floor all with external balconies and dual aspect.



Figure 10: Fifth Floor Plan

Access and Landscaping

- 3.14 The ground floor communal residential cycle store has space for 56 cycles, with a further 6 visitor spaces provided externally on-site. For the community centre, provision is made internally with 1 space shown but with sufficient space to accommodate two bicycles for both the two full time staff and a total of 6 spaces located adjacent to the community centre garden. The refuse and recycling stores for the two uses are accessed externally and located adjacent to each other at the north west corner of the building at ground floor level.
- 3.15 The access to the residential building, to the ground floor lobby and lift/stair core is step free, as is the main entrance to the new community centre and access to all internal facilities. A clear turning circle is provided to all communal entrances.
- 3.16 A total of 3 blue badge spaces are proposed for the residential building and 2 visitor spaces for the Carmelita Centre within a reconfigured and extended car parking area accessed from Tyers Street.



Figure 11: Proposed Carmelita Centre ground floor plan and landscaping

- 3.17 Within the red line boundary of the site the applicant is proposing to provide three landscaped spaces as well as the aforementioned Carmelita Centre garden. The space adjacent to the eastern flank of the building will be hard surfaced, enclosed by tree and shrub planting and incorporate seating, an ornamental feature and natural play area. Adjacent to this is a lawn with natural play equipment and planting, next to a smaller grassed space housing some external gym equipment. Access to these spaces will be unrestricted and available to existing and new residents. In total the applicant is proposing that 13 trees will be planted, 1 retained and 3 removed.



Figure 12: Proposed Jonathan Street site garden and open space (source: Design and Access Statement)

Orsett Street

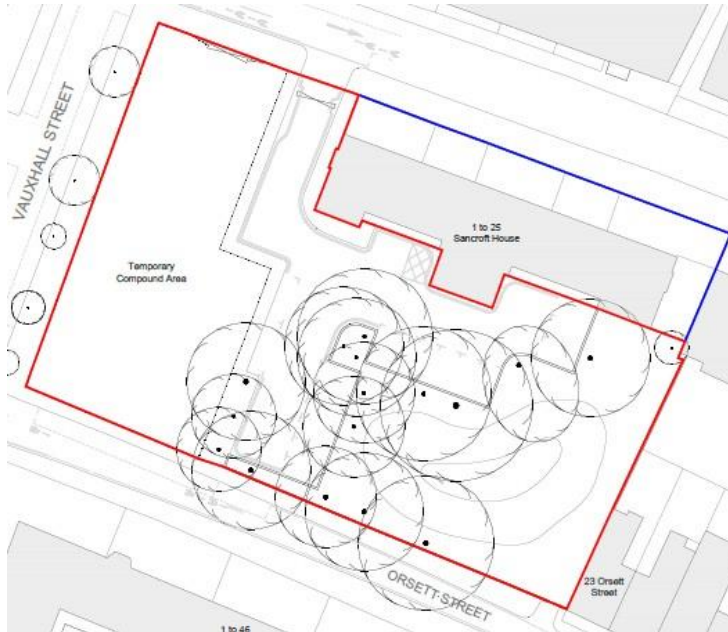


Figure 13: Existing Orsett Street Site plan

- 3.18 The proposal seeks to construct a 7 storey residential building (plus single storey lift/star access to roof) facing the length of the site's Vauxhall Street frontage, Sancroft Street to the north and turning onto Orsett Street to the south. Predominantly located on the site of the existing temporary compound, the building also extends over existing car parking to the rear of Sancroft House, which is to be altered along with the green lawn facing onto Orsett Street.



Figure 14: Orsett Street Building layout, green space and parking (source Design and Access Statement)

3.19 The building will have a limited palette of materials, predominantly red/brown and stock brick with the top floor set back off the front of the building line and finished in a white brick. Having a residential appearance, the mainly flat face of the building with its vertically aligned window openings would be broken up by brick and concrete bay elements to the western, southern and the east gable elevations, which would provide balconies for residents. The inward facing elevation would have a similar appearance to the rest of the building with horizontal brick banding in front of the upper floor access galleys which are finished internally in white brick. The northern Sancroft Street elevation would carry through the brick and window finished appearance without the protruding balconies. The top floor along this section of the building would not be set back however would retain the contrasting white brick finish. The additional single storey element will be set back off all elevations and finished in a form comparable to the storey below.

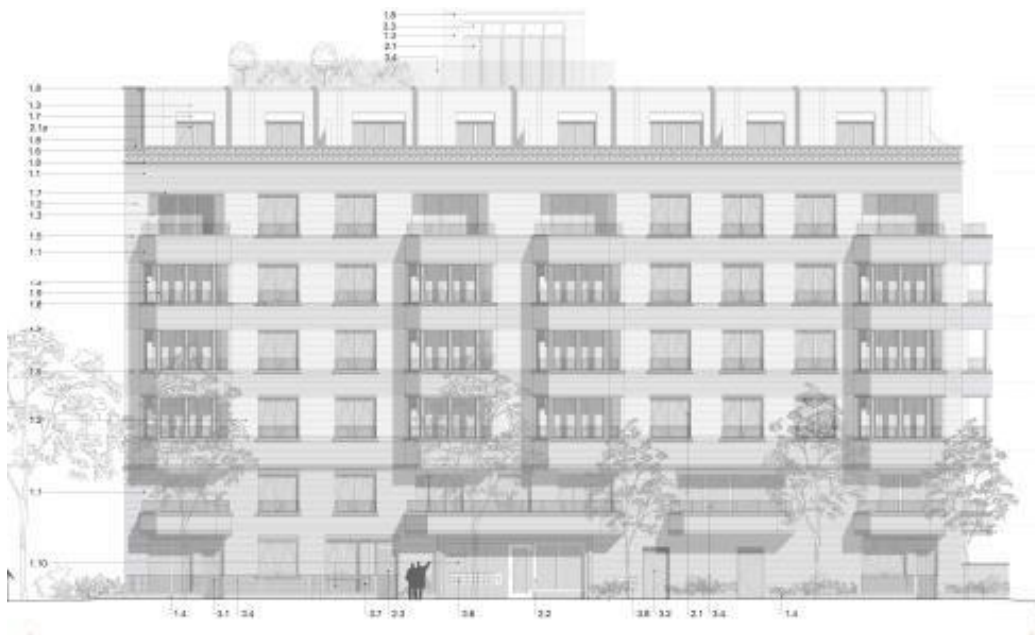


Figure 15: Proposed Western Vauxhall Street elevation



Figure 16: Image of proposed building looking south west from Venn Park (Palm House in foreground. Source: Design and Access Statement)

Housing Layout

- 3.20 A total of 38 private units are proposed to be constructed on this site comprising 15 x 1-bed and 23 x 2-beds.
- 3.21 The communal entrance lobby for the building is located along Vauxhall Street, providing access to the central stair and lift core. Adjacent to the entrance are communal cycle and refuse stores. The ground floor units (7x2 bed) have their own front doors and are accessible via patio gardens enclosed by low brick walls and perimeter railings.



Figure 17: Ground floor extract detailing residential entrance off Vauxhall Street, bike store and three ground floor maisonettes

- 3.22 The seven ground floor units are all duplex, having bedrooms located on the first floor and all except one unit, have access to external amenity space. A further two units are provided at first floor (1x1 bed and 1 x2 bed) with both having projecting, partially enclosed balconies.

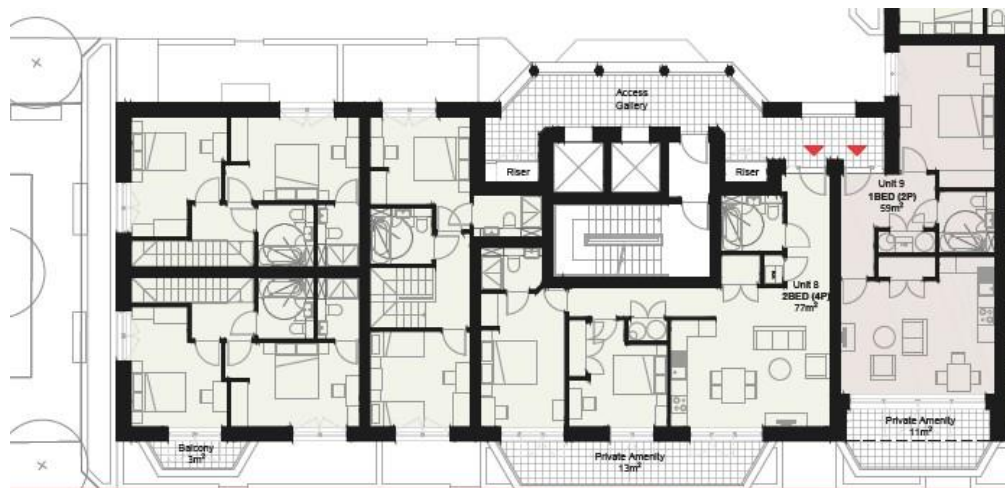


Figure 18: Extract from First floor Plan

- 3.23 The flats on the 2-6th floors are accessed via an open deck/ galley overlooking the inner courtyard. Each property would benefit from a balcony space, with the 6th floor units having larger balconies making use of the upper floor set back.

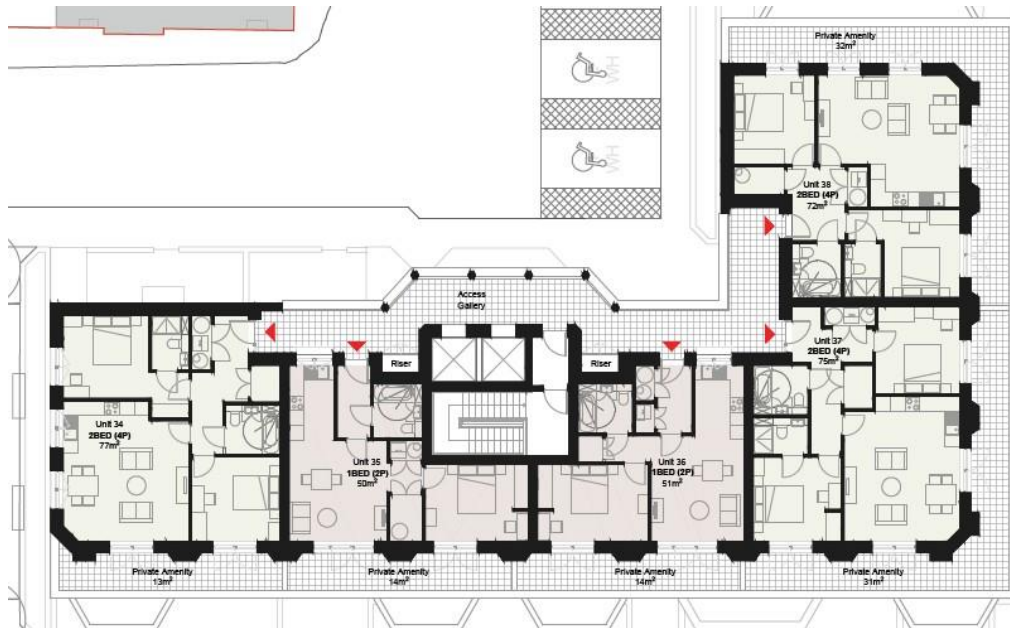


Figure 19: Typical Upper floor Plan

- 3.24 At roof level, the building has a communal terrace space, fitted with planters, timber decking and seating. The roof otherwise would be a green roof with some provision for photovoltaics.

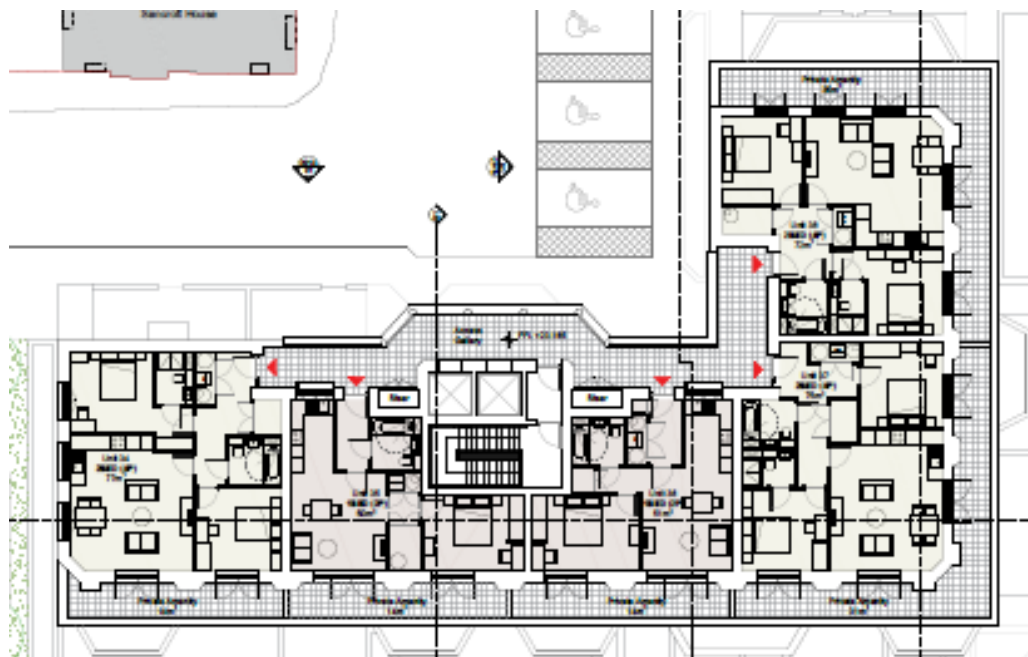


Figure 20: Sixth Floor Plan

Access and Landscaping

- 3.25 All approaches to the building are proposed to be step free, 4 of the units meet Part M4(3) wheelchair accessible and the rest meet Part M4(2). A total of 58 cycle spaces would be provided for residents in addition to the 12 spaces provided for the ground floor maisonettes. 4 visitor cycles are also provided with Sheffield stands adjacent to the inner courtyard.

- 3.26 The parking to the rear of Sancroft House, which currently has 16 spaces, would be altered by this proposal. The scheme would provide a total of 13 spaces in a new car park, the four closest to the new flats being wheelchair accessible.



Figure 21: Proposed Orsett Street ground floor, landscaping and parking

- 3.27 In addition to the communal terrace at roof level, both new and existing residents will have access to a redesigned landscape area proposed between Sancroft House and Orsett Street. This space would consist of grassed areas with outdoor gym equipment, decked seating, naturalistic play space, shrub and tree planning, a growing garden, set behind a low wall and fence to Orsett Street. A total of 13 trees (12 Silver Maples and 1 young Goat Willow) are proposed to be removed from the site to enable construction to take place, with 5 trees being retained and 14 new trees proposed to be planted.

Wider Estate Public Realm Estate Improvements

- 3.28 In conjunction with the development of the two sites, the applicant is proposing to deliver a number of wider Vauxhall Gardens Estate improvement works. These off-site works are designed to compensate for the loss of existing estate amenity land. Delivery of these works, including the submission and timing of planning applications and works would be facilitated through legal agreement associated with this application by Grampian condition.
- 3.29 The off-site works suggested follow an audit of open space within the Vauxhall Gardens Estate undertaken on behalf of the applicant by Outerspace Landscape Architects. This reviewed existing conditions and potential opportunities for improvement. From the four open spaces and estate amenity land identified outside of the application red lines, a total of three were considered to present opportunities for enhancement. These are:
- Tracey Island (a raised piece of landscaping on Tyers Street);
 - the decked garage area and podium at Coverley Point and,
 - Venn Park.

3.30 The 'Landscape Chapter' which accompanies the Design and Access Statement sets out a design approach and strategy for the sites in question and a masterplan approach to guide the submission of detailed works on each.



Figure 22: Existing Estate Amenity provision within vicinity of the 2 sites

1. Forecourt Carmelita Centre; 2. Jonathan Street lawn; 3. Tracey Island; 4. Vauxhall Walk; 5. Decked garage roof Coverley Point; 6. Venn Park; 7. Vauxhall Walk estate amenity (temporary compound); 8 Orsett Street lawn.

(source: Existing and proposed estate open space provision; Rev_B)

Tracey Island

3.31 An open area to the east of Haymans Point, Tracey Island consists of a landscaped square which is mostly grassed with a small number of trees to the centre. This over 700 sqm space is set above ground level by 600-800 mm.

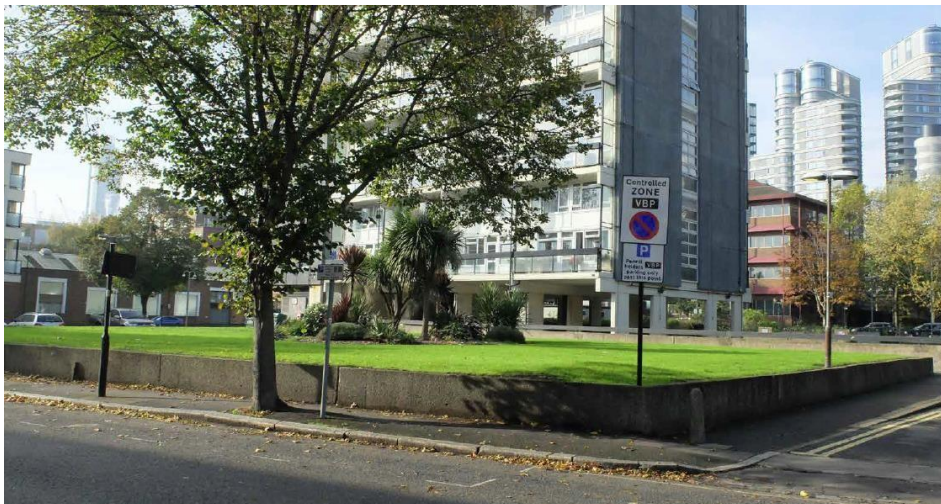


Figure 23: Tracey Island, Tyers Street

3.32 The proposed works as envisaged seek to create a garden with stepped and ramped access with new shrub and tree planting, seating, a lawn, perennial beds and a pergola.



Figure 24: Tracey Island Landscape option (source Design and Access Statement)

Coverley Point



Figure 25: View of terrace at Coverley Point (source Design and Access Statement)

- 3.33 Located immediately north of the Jonathan Street site, the space identified comprises an accessible hardstanding undercroft and terrace of Coverley Point and the roof space of two blocks located north and east of this residential tower. The works suggested are to incorporate two sedum roofs to the garage blocks as well as works to the accessible deck at the base of the tower, including seating, an allotment/growing bed area for the community; planting beds, astroturf and material for children's play for play and interest. Additional enhancements could be made to this space subject to loading survey.

Venn Park

- 3.34 The proposal sets out that the development will fund landscape enhancements to Venn Park. This open space is located north west of the Orsett Street site on the western side of Vauxhall Street. Measuring a total of 0.47 hectares the park is framed by a number of residential buildings, Vauxhall Street and Black Prince Road. The northern portion of the park consists of a mounded grassed area framed by trees, a southern section provides seating and play equipment for younger children and adjacent pockets of lawn. The proposed improvements in the Design and Access Statement would incorporate seating around the existing mound; extending a footpath across the northern lawned space to improve connectivity; new shrub planting; the creation of two new communal growing beds; new tree planting and the installation of new table tennis tables.

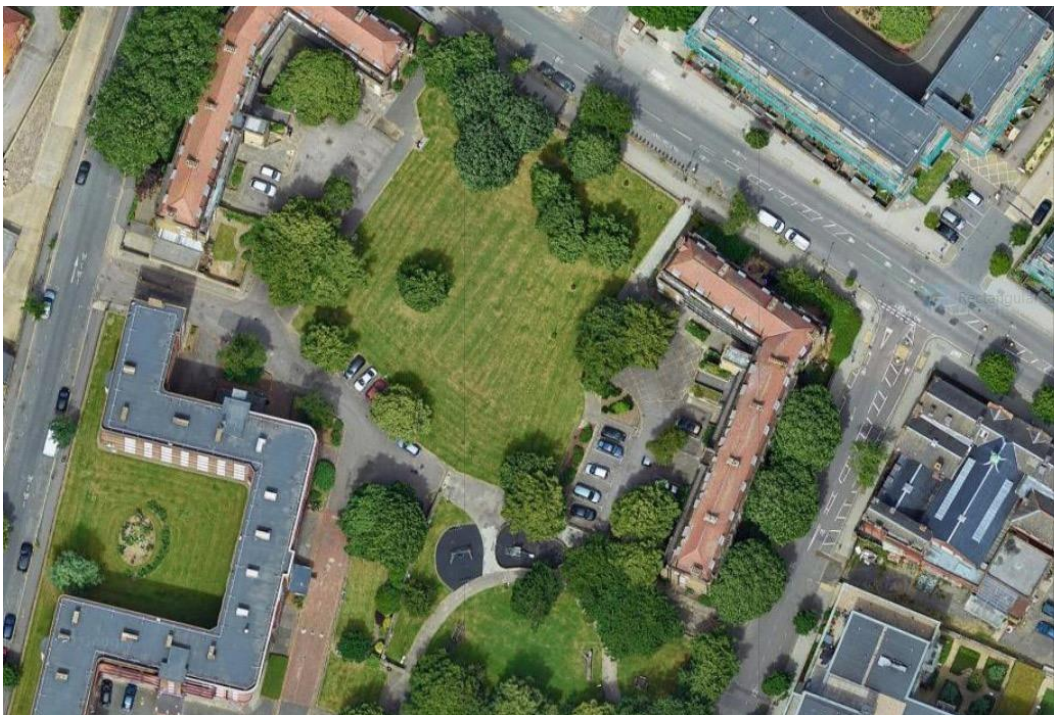


Figure 26: Aerial photo of Venn Park (source: Existing and Proposed Open Space Provision)

4 Amendment(s)

- 4.1 Minor Amendments were made to the Landscape Chapter and Open Spaces documents on 24th June 2021 and a Circular Economy Statement was submitted on 26th June 2021. Following discussion with Officers an amended affordable housing mix was submitted with some amended floor layouts on 28th July 2021.

5 Planning Performance Agreement

- 5.1 Homes for Lambeth have an overarching service level agreement PPA with Lambeth Planning which this scheme falls under. Prior to submission of the application the applicant was engaged in pre application discussions with officers.

6 RELEVANT PLANNING HISTORY

Jonathan Street

- 6.1 There is no record of any relevant planning history for the Carmelita Centre.

Orsett Street

- 6.2 The planning history for Orsett Street primarily relates to a series of temporary permissions for the use of the site as a construction site compound. The relevant consents are listed below.

17/05503/FUL - Retention and continued use (until 25th January 2020) of the existing temporary site compound comprised of 9 single storey portable buildings/containers and 6 two-storey portable buildings/containers to provide office, storage and welfare facilities together with the retention of the existing temporary timber security hoarding located to the site perimeter (This application is a departure from policy EN1 of the Lambeth Local Plan (2015)). Application permitted 1 November 2018.

16/05550/FUL - Continued use (for a further period of 1 year) of the existing temporary construction site compound comprising of 17 single storey portacabins/containers and 6 two-storey portacabins/containers to provide office, storage and welfare facilities including the hoarding to the perimeter of the site for security purposes. Application permitted 25 January 2017.

15/04260/FUL - Erection of temporary site compound. Compound to comprise of 17 single storey portacabins/containers and 6 two-storey portacabins/containers to provide, office, storage and welfare facilities. Erection of temporary hoarding to the perimeter of the site for security purposes. Application permitted 6 November 2015.

7 CONSULTATIONS

7.1 Pre-application Consultation

- 7.2 An extensive pre-application consultation was undertaken by the applicant and comprised of in person meetings, online meetings, websites, drop in and question and answer sessions, to inform residents, residents association, businesses and councillors of the scheme and to understand and respond to local views. It is considered that the level of pre-application consultation was proportionate to the nature and scale of the proposals.

7.3 Internal Consultees

Conservation and Urban Design

Jonathan Street

- 7.4 The brick building will reinforce local distinctiveness and have a positive effect on the setting of the Albert Embankment Conservation Area to the south. Recommend consideration of partial screening to southern elevation to lessen perception of overlooking to neighbouring property (79 Vauxhall Walk).

Orsett Street

- 7.5 The loss of the soft landscaped amenity space will have an adverse effect on the character and appearance of the Kennington Conservation Area and harm the setting of the Vauxhall Gardens Estate Conservation Area. This harm is considered to be a low/moderate degree of less than substantial harm.

7.6 The design of the building is context led and will enhance the surroundings and increased surveillance provided by the building will be a benefit.

7.7 Officer comment: Noted and conditions applied

Air Quality – Environmental Health

7.8 No objections subject to conditions for Green Infrastructure; an Air Quality and Dust Management Plan; non-road mobile machinery (NRMM) to control dust and emissions during demolition and construction.

7.9 Officer comment: Noted and conditions applied

Parks & Open Spaces

7.10 No objections, subject to securing a series of appropriate landscape enhancements at other locations which will provide the mitigation required to compensate for the proposed loss of housing amenity open land. The proposed soft landscaping for both sites is acceptable and should be supported by additional detail via planning condition. The quality of ecological enhancements (including the provision of 'biodiverse living roofs' where possible) should be secured via planning condition.

7.11 Officer comment: Noted. Conditions applied and s106 obligations to be secured.

Arboricultural Officer

7.12 The plan suggests the removal 16 trees from this site with a combined CAVAT value of £290,686. The suggestion that this won't adversely affect the main Arboricultural features is not agreed with the majority of the trees being 18 to 20m mature trees. Their removal will completely change the landscape here. There is no current suitable mitigation for the potential loss of these mature trees.

7.13 Officer comment: It is acknowledged that the loss of existing trees would adversely affect the existing character of the area, however their removal is necessary to accommodate the much needed new housing. Replacement tree planting and new landscape planting which includes species that optimise biodiversity are secured by conditions, and there are wider improvements to estate amenity land to help offset the loss of these trees within the sites.

Transport and Highways

7.14 No objections raised to the proposed development subject to the following conditions and obligations:

- Car Parking Permit Free (secured by s106)
- One (3 year) Car Club Memberships (secured by s106) for the occupants of each new (proposed) residential unit
- Full Outline Construction Logistics and Management Plan secured by Condition
- Cycle parking spaces for both sites to be secured by Planning Condition and details submitted for approval in the future.
- Accessible cycle parking space provision for Orsett Street
- One charge point should be provided to allow for recharging of electric cycles and a charge point should be provided for a minimum of 1 in 10 cycle parking spaces
- Cycle Hire Membership.
- Disabled Car Parking Provision and requirement for electric charging in line with The London

Plan 2021 standards.

- Orsett Street – Temporary reduction of 2 Disabled Spaces within the car parking and monitoring plan via s106/condition
- Healthy Route contribution
- Error Margins for refuse vehicle (Orsett Street)
- Removal of redundant crossovers

7.15 Officer comment – the above mitigation and requirements are secured by conditions.

Regulatory Support Services

7.16 No objections subject to planning conditions on Ground Contamination, Construction and Environmental Management Plan, Flue and Extraction Plant; Noise and Vibration assessment from Plant; a scheme of noise and vibration attenuation and ventilation sufficient to prevent overheating and maintain thermal comfort; a Community Use Management Plan; scheme of measures to ensure that all residential units have access to amenity space within the development where noise levels do not exceed 55dB LAEQ(16 hour); a Delivery and Servicing Management Plan; a condition requiring details of External Lighting

7.17 Officer comment – the above mitigation and requirements are secured by conditions.

Waste - Veolia

7.18 No objections.

Planning Policy

7.19 In terms of estate amenity, the applicant will need to demonstrate, that the proposed scheme meets the requirements of Policy EN1(A)(ii), As the site is in an area of open space deficiency, new open space or a payment in lieu will be sought in accordance with ED1(d)(ii). The proposed affordable mix (following amendment) is compliant with policy H2(a)(iii) and eligible to follow the Fast Track subject to other policy considerations. The proposed replacement community centre is supported subject to the requirements of LLP S2 and London Plan Policy S1 being met.

Energy and Sustainability

7.20 No objections subject to conditions to provide an updated Energy statement in line with GLA's Energy Assessment Guidance, energy efficiency and 35% reduction in emissions., SAP calculations. Water usage, whole life carbon statement, BREEAM certificates. Overheating, green roofs, urban greening, and landscaping.

7.21 Officer comment – conditions are secured to ensure the development is highly sustainable and maximises the potential carbon savings that can be achieved in accordance with the relevant policy and guidance.

7.22 Statutory External Consultees

Environment Agency

7.23 No objection. The proposal seeks to introduce sleeping accommodation on the first floor of both development sites. This will be above the 2100 breach flood level.

7.24 Officer comment – the above mitigation and requirements are secured by conditions.

Historic England

7.25 No comments, the views of the Council's conservation advisers should be sought.

Greater London Archaeological Advisory Service (GLAAS)

7.26 The planning application lies in an area of archaeological interest, both sites have potential in respect of the Civil War Defences for London. A condition requiring a written scheme of investigation be submitted and approved prior to development is recommended. Another condition is requested in respect of foundation design and details of public engagement in respect of presentation of any archaeological finds.

7.27 Officer comment – the above mitigation and requirements are secured by conditions.

Network Rail

7.28 No objections.

Westminster Council

7.29 No comments.

Natural England

7.30 No objection.

NATS

7.31 No safeguarding objection.

Metropolitan Police

7.32 No comments.

7.33 Other Consultees

7.34 Vauxhall Gardens Estate Residents & Tenants Association (VGERTA) – Object on the basis of the lack of proper consultation by Homes for Lambeth ahead of the planning submission. VGERTA state that they will revisit the decision ahead of the Lambeth planning meeting.

7.35 Officer comment: the application and development has been subject to an extensive pre-application process as described above, including a number of in person and online meetings with relevant stakeholders including VGERTA.

7.36 Adjoining owners/occupiers

7.37 A site notice was displayed from 30th April 2021 to 21st May 2021 and the application was advertised in the local paper on 30th April 2021. The formal consultation period ended on 21st May 2021. Twenty six (26) representations were received during the consultation period, all were in objection. One representation from a resident of Palm House, states that it is written on behalf of the residents of 50 flats

within that building. A summary of the concerns raised is set out below:

Summary of objections	Response
Land Use	
<ul style="list-style-type: none"> • Land (Orsett Street) has been stolen from the residents of the flats surrounding it. It was borrowed by developers and was never returned. • Money from share to buy within Palm House assigned to return Orsett Street site to green space. • Council should keep its word and restore green space/play space • Nothing of the new developments on the river front or neighbouring build next to Orsett Street has benefitted the local community – just profits for developers – this should be a well-maintained park (Orsett Street) or even have a local Saturday market. 	<p>The assessment of the impact of the loss of amenity space is covered under section 9 of this report.</p> <p>There is no reference concerning the Orsett Street amenity space that Officers can locate in the Palm House submission, decision or legal agreement (LBL Ref: 12/01173/RG4).</p> <p>The temporary construction compound has not been restored to amenity land. This matter is covered in section 9 of this report.</p>
<ul style="list-style-type: none"> • Properties will be for rich only and not affordable for Lambeth Council residents 	<p>50% of the housing will be affordable of which 70% will be low cost rent.</p>
<ul style="list-style-type: none"> • Loss of Green Space should be last resort. More not less green space is required, notably after Covid 19. • This is a park space valuable to the residents of Vauxhall Street and neighbouring streets • Value of open space is beyond monetary consideration and the Council has a duty of care for future generations • Increased population with less open space • Health benefits from open space lost 	<p>The loss of green space at Orsett Street is covered under section 9 of this report, alongside discussion of the proposed mitigation and enhancement of off-site green spaces.</p>
<ul style="list-style-type: none"> • Loss of green space for dog exercise puts pressure on other spaces with Lambeth having breached its commitment. 	<p>The loss of amenity land is covered in Section 9 of the report.</p>
Amenity	
<ul style="list-style-type: none"> • Loss of daylight/sunlight • Too close to Hayman's Point. If this and Graphite Square go ahead then lower floors will have no direct sunlight. • Loss of light to floors 1-5 in Haymans Point – consequent issues surrounding lack of sun exposure – serotonin (Seasonal Affective Disorder) and negative impact on mental health • Loss of light to Pella House and Palm House flats 	<p>See section 12 of the report for detail of the applicant's Daylight and Sunlight Report and the Council's Consultant's assessment of it.</p>

<ul style="list-style-type: none"> Loss of view of sunset 	The right to a view is not a planning consideration however an assessment on the impacts on neighbouring amenity is covered in section 12 of this report.
<ul style="list-style-type: none"> Noise and pollution impact from proposed Construction 	This is covered under Section 17 of the report.
<ul style="list-style-type: none"> Loss of privacy for neighbouring occupiers 	This is covered under Section 12 of the report
Design and Conservation	
<ul style="list-style-type: none"> The buildings are too tall, 5 storeys would be in keeping with the scale of buildings locally. 	See Section 10 of the report
<ul style="list-style-type: none"> The setbacks proposed are not as pronounced as Palm House and would not be in keeping with the local area 	See Section 10 of the report
<ul style="list-style-type: none"> Referencing the Graphite Square Committee meeting, taller buildings were envisaged on the embankment and lower buildings in the neighbouring residential areas. 	The appropriateness of both buildings within their surrounding context are covered within section 12 of the report
<ul style="list-style-type: none"> Loss of valuable amenity around Haymans Point and Coverley Points intrinsic to original design and the environment. 	See Section 12 of the report.
<ul style="list-style-type: none"> Salamanca Park and the small green area at the base of Coverley point will be dwarfed by buildings exceeding five floors 	See Sections 10 and 12 of the report
Transport	
<ul style="list-style-type: none"> Pressures created on parking locally Congestion from construction works 	See Section 16 of the report.
Trees and Biodiversity	
<ul style="list-style-type: none"> Loss of 16 mature trees 	See Section 15 of the report.
Other	
<ul style="list-style-type: none"> Conflict of interest of Councillors judging a planning proposal from a company controlled by the Council. 	<p>Planning decisions are required to be made in accordance with the development plan unless material considerations indicate otherwise. The Committee meeting is public and its decisions are transparent.</p> <p>In addition planning is a non-executive function and its members are not involved in the council's housing function.</p> <p>HfL are an arms length organisation and the Local Planning Authority have thoroughly assessed the proposal and as set out in the constitution the decision must be made by Members of the Planning Application Committee for openness and transparency of the decision making process.</p>
<ul style="list-style-type: none"> The proposed Carmelita Temporary Community Centre design provides circulation obstruction between Haymans point and Coverley Point turning the community green space and popular 	This falls outside the scope of this application and is covered by 20/04423/RG4

<p>routes into a construction and hazardous site that creates footpath traffic and noise pollution.</p> <ul style="list-style-type: none"> • The proposed Temporary Community Centre will be a grey eyesore for neighbouring estates and commuters. 	
<ul style="list-style-type: none"> • The proposal is against the KOV Neighbourhood Plan. 	<p>The Kennington, Oval and Vauxhall (KOV) Neighbourhood Forum's designation as a planning forum expired in 2020. The Plan was not formally adopted and has no planning weight. An application for a re-designation is on-going.</p>
<ul style="list-style-type: none"> • Poor communication from Homes for Lambeth 	<p>Noted. Full public consultation has been undertaken in terms of this planning application including pre-application meetings with relevant stakeholders and Members as discussed above.</p>
<ul style="list-style-type: none"> • Promise to Green Screen the temporary compound to improve air quality never materialised 	<p>Noted but outside scope of this planning application.</p>

8 POLICIES

- 8.1 Section 70(2) of the Town and Country Planning Act 1990 requires the decision maker to have regard to the provisions of the development plan so far as material to the application; any local finance considerations, so far as material to the application; and any other material considerations. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning decisions to be made in accordance with the development plan unless material considerations indicate otherwise. The development plan in Lambeth is the London Plan (2021), the Lambeth Local Plan (2021) and the South Bank and Waterloo neighbourhood development plan (“the SoW NDP”) (October 2019). This application is also subject to the heritage statutory provisions as set out in the agenda pack and heritage analysis of the report.
- 8.2 Following the successful completion of the Examination process and formal consent to publish by the Secretary of State, on 2 March 2021 the Mayor of London formally published the new London Plan which now has full weight in planning decisions.
- 8.3 The latest NPPF was published in 2018, updated in 2019 and 2021. This document sets out the Government’s planning policies for England including the presumption in favour of sustainable development and is a material consideration in the determination of all applications.
- 8.4 The current planning application has been considered against all relevant national, regional and local planning policies as well as any relevant guidance. A full list of relevant policies and guidance has been set out in **Appendix 3** to this report.

9 ASSESSMENT

Land Use

- 9.1 This proposal concerns the single submission of a scheme across two sites located close to each other within the Vauxhall Gardens Estate. The sites are linked for the purposes of this assessment and are considered against the development plan and other material considerations
- 9.2 In land use terms the proposal seeks to utilise existing estate amenity space, car parking, demolish a Community Use Space and associated landscaping to provide new housing, a new and larger Community Facility (with garden), newly landscaped estate amenity, car and cycle parking and associated landscaping and works. There is a construction compound on the western portion of the Orsett Street site which has been on site since 2014 for which there have been a number of temporary planning permissions. The latest consent requires this area to be restored to estate amenity on the cessation of the temporary period which was January 2020 (17/05503/FUL). For the purposes of this submission this portion of this site is considered to be in planning terms its historic lawful use, which is as an area of public open space.

Provision of Replacement Community Centre

- 9.3 The Carmelita Centre situated at the corner of Jonathan Street and Vauxhall Walk consists of a single storey portacabin with a total floorspace of 303 sqm (Gross Internal Area (GIA) which functions as a community centre run by the Vauxhall Gardens Estate Residents and Tenants Association (VGERTA). It has within it a main hall, a small hall and meeting rooms. It is understood that these spaces were made available for members of the resident’s association and local community groups at discounted rates. The space has not been regularly used since the outbreak of Covid but is now reopen.

- 9.4 The replacement facility will form part of the ground floor of the proposed building, with 390 sq.m. (GIA) of community floorspace. The design of the space incorporates three main elements, a meeting/conference space primarily for commercial leasing; a community space for a variety of meetings/classes and flexible meeting spaces for local SME's, alongside ancillary spaces, including a kitchen and toilets. This proposal also provides for a community garden to be constructed to the side, with seating and planters for users of the Centre and others. This space is intended to be managed by VGERTA.
- 9.5 Local Plan Policy S1 seeks to safeguard existing community premises unless it can be demonstrated (S1(ii) is relevant here) that replacement facilities are proposed of the same or better size and quality. LLP S1 states that the facilities should be of 'equivalent or better functionality'. Policy S2 of the LLP supports the provision of new or improved social infrastructure where the site is appropriate for the intended use and is accessible to the community; the facility would not prejudice neighbouring amenity; and the facility is designed to be flexible, adaptable and sited to maximise shared community use of premises. In addition to the above, LLP Policy S2(a)(iii) requires that new or improved community floorspace promotes shared community use.
- 9.6 The proposed purpose-built larger community centre will represent a significant improvement over the existing portacabin facility. It will be operated and managed by the same resident's association, offer flexible space for local residents and community groups and would promote social inclusion. Situated at the heart of the Vauxhall Gardens Estate, the proposed building will be accessible to all local residents, and visitors. The increased scale of building and operation is considered compatible with this location and will not pose significant amenity concerns to existing and future residents.
- 9.7 In order that a community centre remains available to local residents during the period of construction, the applicant has submitted a proposal for a temporary facility (297 sq.m) just east of this site on land at Tyers Street (Ref: 20/4423/RG3). This facility would be removed once the replacement Carmelita Centre was completed. The delivery and continued operation of this temporary facility will be secured by legal agreement.
- 9.8 It is considered that the replacement Community facility represents an improvement on current provision, providing greater space, functionality and quality and accords with policies S1 and S2 of the adopted Local Plan.

Estate Amenity Space

- 9.9 The sites between them incorporate areas which provide general amenity (mostly lawn) for adjacent residential blocks and the wider Vauxhall Gardens Estate, with 957 square metres adjacent to the Carmelita Centre and 1,704 square metres (including the temporary compound space that was to be restored to amenity space) at the Orsett Road site. Together they provide 2,661 square metres of public open space for local residents. This proposal would reduce that amount by 1,313 sqm. (see Table 1 below).
- 9.10 The Orsett Road site is currently used as a compound and as part of the approved use (under ref 17/05503/FUL) this land should be returned to estate amenity and improved. This proposal precludes this from occurring and the assessment has taken this non-provision of the requirements of the previous approval into account.

	Existing Public Open Space (sq.m.)	Proposed Public Open Space (sq.m.)	Change in Public Open Space (sq.m.)
Carmelita Centre site	957	473*	-484
Orsett Road site	1704	875	-829
Total	2,661	1,348	-1,313

Table 1: Public Open Space provision existing and proposed.

*The Community Garden at the Carmelita Centre would provide an additional 200sq.m.

- 9.11 The loss of Public Open Space through development proposals is not supported by policy. The NPPF states that existing open space should not be built on unless an assessment demonstrates the land is surplus to requirements or when the loss is replaced by equivalent or better provision in terms of quantity and quality, in a suitable location, or the development is for alternative sports/recreation which outweigh the loss of the existing use. London Plan policy G4 states that development proposals should not result in a net loss of protected open space and where possible create such space particularly in areas of open space deficiency.
- 9.12 Lambeth Local Plan policy EN1 (A) identifies that the loss of open space would not be permitted unless at least one of three tests is met. Part two is of relevance to this proposal:
- ii) In the case of housing estate amenity areas, significant regeneration and community benefits would be achieved that could not be achieved in any other way, and appropriate compensatory provision for the loss of open space is made, including improvements to the quality of the remaining open space
- 9.13 Alongside the above, as the site is in an area of open space deficiency, new open space or a payment in lieu should be sought in accordance with EN1(D)(ii) which requires major development in such locations to provide new on-site open space in addition to the external amenity requirements for residential developments.
- 9.14 As outlined, the development proposed cumulatively result in the loss of 1,313 sq.m. of estate amenity across the two sites, the bulk of it at Orsett Street. The compound site has an elapsed planning consent following which the site should have been returned to its former amenity area state and improved, hence the criteria set out in Policy EN1 applies.

Existing On-site Estate Amenity

- 9.15 In terms of current provision, the Jonathan Street site consists of an open area of grass with some trees and a small number of external exercise machines. The space is enclosed by a low rail to Jonathan Street and the car park to the east and in qualitative terms considered to offer limited amenity or ecological value, apart from the breathing space and setting it offers to Hayman's Point and other buildings around it. Adjacent to the Carmelita Centre entrance is a soft and hard landscaped area which acts as an attractive forecourt to the existing portacabin.



Figure 27: View of existing amenity area adjacent to Carmelita Centre and front of Haymans Point



Figure 28: Existing outdoor gym equipment Carmelita Centre site

- 9.16 The Orsett Street site amenity comprises a lawn located to the rear of Sancroft House, set behind a boundary railing. It also enclosed by parking and fringed by a number of mature trees. Gated access to the space is provided via Orsett Street and the lawn can also be accessed via the entrance to car park.



Figure 29: View of lawn to the rear of Sancroft House (source: Design and Access Statement)

- 9.17 The area more recently used as a temporary compound was formerly an open lawned space surrounded by gated fencing, providing visual break and limited amenity or biodiversity value and under the temporary permission it was to be restored to amenity use and enhanced.
- 9.18 As outlined, policy EN1 states that development is not permitted where open space is lost unless one of 3 tests is met. It states development would not be permitted unless it provides significant regeneration and community benefits that could not be achieved in any other way, and appropriate compensatory provision for the loss of open space is made, including improvements to the quality of the remaining open space.
- 9.19 Additionally, the proposed development should accord with Policy EN1 D in providing on-site open space and access to nature improvements appropriate in scale or off-site via a payment in lieu where such provision is not feasible and/or effective.



Figure 30: Amenity space at the corner of Orsett Street and Vauxhall Street prior to construction compound (source Google Maps)

Proposed On-site Amenity Provision

- 9.20 The development will provide three conjoined landscaped spaces at the Jonathan Street site as well as the Community Centre garden. These spaces are collectively considered to represent a qualitative improvement over the existing lawn plus gym equipment. They will provide seating, new tree and shrub planting, play equipment, updated gym equipment and an ornamental feature. The space is designed to be accessible to all local residents new and existing. In conjunction with the Community garden, the site would retain a considerable amount of the current estate amenity footprint which would be significantly improved over the currently poor quality space, with enhanced biodiversity benefit.



Figure 31: Artistic impression of amenity space adjacent to the Jonathan Street site and Haymans Point (source: Design and Access Statement).

- 9.21 At the Orsett Street site there is a loss of 829 square metres of amenity space primarily through the loss of the compound area. In this location the amenity space proposed, primarily to the rear of Sancroft House would consist of a redesigned lawn area, outdoor gym equipment, decked seating, naturalistic play space, shrub and tree planning, a growing garden and a low wall and fence to Orsett Street. Additional planting is also proposed to the northern edge of the building facing Sancroft Street.
- 9.22 Notwithstanding the loss of space, as per the Jonathan Street site, in qualitative terms the retained amenity spaces would represent an improvement over the existing, being fully accessible and designed to encourage active usage and enhance ecology on-site with a high proportion of native species in the outline planting schemes. Full details of the design of these spaces, planting (including trees selection) and maintenance would be secured by planning condition.
- 9.23 In order to facilitate the development 13 trees would be felled, including 12 mature Silver Maples located around the existing lawn and car park. Their loss would lead to visual and ecological deficit, particularly in the short term, that said when viewed holistically, in combination with replacement planting the overall quality of estate amenity provided would be greater than that currently offered. The loss of trees in the context of the scheme will be discussed in section 15 of this report in greater detail.



Figure 32: Plan of proposed landscaping at Orsett Street (source: Design and Access Statement)

Off-site Estate Amenity Works

- 9.24 The applicant has proposed improvements to three locations close to the sites as compensatory provision for the loss of amenity land. An audit of the Estate highlights that much of the estate amenity land is predominantly open lawns which suffer from a lack of access or furnishings. Play space is predominantly provided at Pedlar's Park, geared towards younger children. Of the four external sites reviewed in the vicinity of the two sites, three are identified for improvement within the context of a landscaped masterplan. The proposed works would be funded by and tied to this development.
- 9.25 The three sites identified are the podium level and decked garage roofs at Coverley Point; Tracey Island and Venn Park. The works proposed are set out in the Design and Access Statement submission and would be subject to separate planning applications in due course. In order to ensure that they come forward to mitigate the loss at the appropriate time, their submission, implementation and future management would be secured via a Grampian condition requiring a s106 legal agreement.

Podium Terrace, Undercroft and Garages at Coverley Point

- 9.26 Sited north of the Jonathan Street site, the accessible concrete space below the Coverley Point residential building and two garage roofs are considered potential spaces for enhancement. The works proposed incorporate two sedum roofs to the garage blocks to enhance biodiversity and visual amenity in addition to the creation of (subject to loading surveys) seating, planting boxes and stepping stones for play and interest on the accessible deck below the tower.



Figure 33: Plan and image of potential Coverley Point landscape improvements (source: Design and Access Statement)

Tracey Island

- 9.27 This site to the east of Haymans Point this space comprises a landscaped square primarily grass with a small number of trees to the centre. The area is raised above the ground by 600-800 mm and as such is not fully accessible although it does provide visual amenity and relief to neighbouring buildings. The landscaping chapter proposes that this space could be redesigned to provide planting, seating, and other landscape works and made accessible from street level via stepped and ramped access, bringing this space of 734 sq.m into full public use

Venn Park

- 9.28 The proposal sets out that the development will also fund the enhancement of Venn Park. Measuring a total of 0.47 hectares the park is framed by several residential buildings, Vauxhall Street and Black Prince Road. The northern and largest portion of the park consists of a mounded grassed area framed by trees, a southern section which houses seating and play equipment for younger children and adjacent pockets of lawn. The proposed improvements would incorporate seating around the existing mound; enhanced connectivity, new planting; community planting; tree planting and table tennis facility This is designed to enhance the biodiversity value of the space and encourage enhanced surveillance, safety and use.



Figure 34: Plan of proposed Venn Park following improvements (Source: Design and Access Statement)

Estate Amenity Summary

- 9.29 Should this scheme be approved the Vauxhall Gardens Estate would lose in excess of 1,313 square metres of existing amenity space. This would represent a notable reduction in visual terms, diminishing the relief provided by the openness of these lawns and trees in between a dense urban form, particularly at the Orsett Street site.
- 9.30 As stated, part (a) of Policy EN1 of the Lambeth Local Plan requires both significant regeneration and community benefits as well as appropriate compensatory provision for the loss of open space. In Officer opinion, the regeneration and community benefits associated with this proposal are clear. If approved, the development would see the replacement of a community facility operating out of a single storey portacabin with a modern, larger and accessible facility designed around the requirements of the VGERTA business plan. It would incorporate flexible business space for local SME's, meeting/conference facilities and community space for a variety of uses for the benefit of local residents and other visitors. These facilities will be offered to the benefits to the community at subsidised rent or free to use. The

Centre would also include a 200 square metre enclosed and secure community garden with new seating and opportunities for community planting.

- 9.31 Moreover, the scheme would also bring forward 67 much needed homes , 50% of which (by habitable room) will be affordable housing. The proportion of low cost rent units by size, in accordance with emerging policy H4 reflects Borough housing need as identified in the most recent Lambeth Strategic Housing Market Assessment (2017). Further, the design of the two buildings are considered to respond positively to local distinctiveness and will enhance their surroundings. The layout of the proposed development is a response to the constraints of the site and the need to respect neighbouring amenity. Both designs re-introduce historic building lines and enhance natural surveillance and pedestrian safety. The buildings would also be designed to contemporary sustainability and energy requirements, be car free and provide residents and visitors cycle parking, encouraging sustainable modes of transport.
- 9.32 It is also considered that the landscape masterplan is sound, providing a more integrated and connected series of enhanced open spaces, improving legibility and accessibility around the Estate for the benefit of all residents. An alternative layout retaining the estate amenity space at Orsett Street would not deliver the same quantum of development, which would necessitate additional height and bulk at the Jonathon Street and would cause unacceptable harm to the character of the area and amenity at this site.
- 9.33 Officers are satisfied that the significant community and regeneration benefits of the proposal could not be delivered in any other way. The proposed development is considered to successfully achieve the proposed benefits, whilst providing an acceptable scale and quantum of development and accords with other policy requirements to facilitate the wider estate and public benefits.
- 9.34 The second requirement of (a)(ii) is that appropriate compensatory provision is made including improvements to the quality of the remaining open space. The lawn areas found at both these sites have limited facilities or biodiversity benefit above what they provide in visual amenity. There is no seating, play space or other elements that would encourage use other than for instance dog walking. The applicant proposes to compensate for the loss of the estate amenity space by improving the quality of the remaining open space on site whilst also providing off-site improvements. The compensatory provision provides new on and off-site communal open space which includes new seating; community planning beds; play space; shrub planting; tree planting; level access; gym equipment; ornamental features and other elements that would significantly enhance the quality of these spaces, increase their biodiversity contribution and encourage their full and continued use throughout the year.
- 9.35 Taken together, the significant regeneration and community benefits, the on and off-site open space and nature improvements are considered to compensate for the loss of the estate amenity and that the exception test set out in policy EN1A)(ii) has been satisfied.
- 9.36 Conditions are recommended to secure the submitted landscaping plans for the proposed amenity space within the application site boundary which should also be developed in greater detail in terms of content, layout and maintenance to ensure the benefits to the new residents are secured in the long term. A condition (23) is therefore recommended to effectively secure the quantum of the amenity space the quality of the landscaping proposals; and the functions of the spaces as well as a management plan (to be secured for the lifetime of the development). This would ensure these benefits are maintained for the lifetime of the development and the requirements of LLP Policy EN1 are met.

Open Space Deficiency

- 9.37 There is a loss of open space (estate amenity space) as a result of the development. The improvements to the retained space on site, when viewed alongside the improvements planned in the immediate vicinity of the sites (as set out above) are considered to mitigate the site's inability to increase open space by improving on the quality, useability and function, along with the biodiversity and ecology improvements, of the retained on-site communal amenity space and improved adjacent estate amenity land.
- 9.38 The combination of proposed improvements to on and off-site amenity space is considered to contribute greater value than the existing space, as a result of the nature and location of both spaces which will provide enhanced value for any future occupants of the development and the rest of the Vauxhall Gardens Estate. It is considered that these benefits overcome the concerns about open space deficiency. The proposals comply with adopted LLP Policy EN1 (A)(i) and (d)(ii) subject to the condition secured requiring full details of the on-site landscaping to be submitted and approved by the Council and the planning obligations to provide improvements at the three off-site locations identified.

Residential Use

- 9.39 Policy H1 seeks to maximise the supply of additional homes in the Borough, stating that the Council will work to optimise the potential for housing delivery on all suitable and available brownfield sites, in particular maximising the delivery of affordable housing; including through estate renewal and regeneration strategies. LLP H1 also requires that residential density be optimised in accordance with design-led approach set out in the London Plan. A target of 13,350 new homes per annum over a ten year period (see table 4.1 of the London Plan) is proposed within Lambeth, which is reflected in the recently adopted LLP.
- 9.40 The proposed development would provide 67 homes with 50% affordable housing (by habitable room) across the two sites. Both sites are located within an established residential area with an excellent access to public transport. Subject to the requirements of Local Plan policy EN1 in respect of estate amenity land as set out above as well as other policy requirements and material considerations, the principle of residential use in these locations is acceptable.

Provision of Affordable Housing

- 9.41 LLP Policy H2 states that the council will seek the maximum reasonable amount of affordable housing in individual schemes. The Policy sets a target of 50 per cent where public subsidy is available (such as development on public land) and a tenure mix target of 70 per cent low-cost rent and 30 per cent intermediate by unit.
- 9.42 The threshold approach to affordable housing is set out in the Mayor's Affordable Housing and Viability SPG 2017 and London Plan policy H5. The policy sets the affordable housing threshold at 50 per cent on public sector land where there is no portfolio agreement with the Mayor. Where there is a portfolio agreement in place to deliver at least 50 per cent across the portfolio of site, then the 35 per cent threshold should apply to individual sites.
- 9.43 To be eligible for the Fast Track route, a proposal must meet all four criteria set out in H5C:
1. Meet and exceed the relevant threshold level of affordable housing on site without public subsidy
 2. Be consistent with the relevant tenure split
 3. Meet other relevant policy requirements and obligations to the satisfaction of the borough and the Mayor where relevant
 4. Demonstrate that they have taken account of the strategic 50 per cent target in Policy H4 and have sought grant to increase the level of affordable housing .

- 9.44 LLP Policy H2 paragraph 5.9 sets out what these policy requirements are within the Borough, and therefore all must be met to the Council's satisfaction to proceed via the Fast Track: policies and obligations where relevant relating to: dwelling size mix and housing standards; residential amenity space and children's play space; provision of employment floorspace and affordable workspace; town centre uses; mitigation of any visitor impacts; employment and training; provision of social infrastructure; transport and parking; air quality; open space and urban greening; zero and low carbon; sustainable design and construction; flood risk; sustainable drainage; sustainable waste management and design.
- 9.45 The residential element of the Jonathan Street development will comprise entirely of affordable homes whilst Orsett Street will deliver market units only. The scheme will provide 67 new homes in total, 29 of which are proposed as new affordable dwellings.

	Private (Orsett Street)	Social Rent (Jonathan Street)	Shared Ownership (Jonathan Street)	Total
1 bed	15	4	1	20
2 bed	23	10	8	41
3 bed	0	6	0	6
Total by unit	38	20	9	67
<i>Habitable rooms</i>	99	70	29	198
		99		

Table 2: Proposed Residential Mix

- 9.46 The London Plan advises that the percentage of affordable housing should be measured in habitable rooms to ensure a range of affordable home sizes can be delivered. In this instance of the 198 habitable rooms provided, 99 would be affordable, thereby meeting the minimum target of 50% on Public Land.
- 9.47 The affordable housing is solely provided within the Jonathon Street building and no affordable housing is provided within the Orsett Street building, with the Jonathan Street affordable housing effectively being off-site provision. Mixed-tenure developments are usually required, however the supporting text to policy H2 notes that in exceptional circumstances, where it can be demonstrated robustly and to the satisfaction of the council that this is not feasible in terms of site configuration and layout, affordable housing may be provided off-site.
- 9.48 The supporting text goes on to comment that, consideration will only be given to off-site provision where an alternative site has been identified and it can be delivered as part of the application process through a planning obligation. In this instance the affordable housing provision forms part of the same application. In the interests of ensuring successful mixed and sustainable neighbourhoods, and in particular the promotion of community cohesion and social diversity, the Jonathon Street site is located, as near as practicable to the Orsett Street site and is supported by appropriate social, physical and green infrastructure. In addition, the design, layout and location of both sites will enable the developments to be embedded within the wider community. An obligation will ensure the affordable provision would be delivered prior to the market housing being completed.
- 9.49 Whilst the overall scheme does not provide a mix of tenures within each building the overall scheme provides a policy compliant and acceptable level of affordable housing and there is no distinction between the two elements in design or standards. The layout and design of the unit sizes also optimises residential density by enabling the generally larger sized affordable units to be provided in the Jonathon Street building with the smaller market units provided in the Orsett Street building with efficient layouts. Incorporating mixed tenures to each scheme would in this instance not optimise the use of each site as the requirement to provide 50% affordable housing and the need to include additional cores to accommodate different tenures would not

be feasible and would result in a less efficient layout.

Affordable Tenure Mix

- 9.50 The majority of the affordable homes (20) will be delivered as low cost rent which responds to an unmet need for Affordable Rented Units. The remaining nine affordable units will be delivered as Intermediate Shared Ownership units. This equates to 69% rental units and 31% intermediate and provides 70 Habitable rooms for low cost rent and 29 habitable rooms for shared ownership. This is practically as close to the 70:30 proportion that could be delivered and is considered to meet the affordable tenure policy requirement set out by Local Plan Policy H2. The 20 rental units will be social rent products meeting the affordable criteria set out in the Lambeth Tenancy Strategy. The 31% intermediate element is proposed as shared ownership which is considered to be appropriate in this location with market values for 1 and 2 bed units falling below £600,000 in line with the Affordable Housing & Viability SPG.
- 9.51 Given the tenure mix proposed and the provision of 50% affordable housing overall, the scheme qualifies for the Fast Track Route, subject to meeting the policy considerations set out in LLP Policy H2.

Grant Funding

- 9.52 The applicant has confirmed that they have not secured grant funding at this stage. This does not preclude the possibility of grant funding being secured at a later stage which could be used to increase the onsite affordable housing provision.

Timely Delivery of the Affordable Housing

- 9.53 To incentivise delivery of the development and the delivery of the affordable housing, an Early Stage Viability Review will be triggered if the scheme is not implemented within 24 months of the permission being granted or as agreed with the Local Planning Authority. This would be secured in the s106 agreement and is consistent with the Mayor's 'Fast Track' route approach.

Registered Provider

- 9.54 Homes for Lambeth are a registered provider. They will deliver and manage the affordable units.

Affordable Dwelling Mix

- 9.55 LLP policy H4(a)(i) sets out that low cost rented housing should reflect the following dwelling mix 1-bedroom units:
- Not more than 25%;
 - 2 bed room units: 20-50%;
 - 3 bed+ units: up to 30%
- 9.56 Following amendment the low cost mix has been amended to provide the following unit mix:
- 4 x 1 bed (20%);
 - 10 x 2 bed (50%); and,
 - 6 x 3 bed (30%).
- 9.57 Accordingly, the proposal is considered to accord with current housing need and the requirements set out in policy LLP H4.

Dwelling Mix

- 9.58 The table below sets out adopted and emerging Local Plan policy housing mix requirements in relation to affordable products.

Planning Policy	Proposal
LLP H4 (low cost rent)	
1 bed – No more than 25%	1 bed – 4 (20%)
2 bed – 20-60%	2 bed – 10 (50%)
3 bed+ up to 30%	3 bed – 6 (30%)

Table 3: Housing Tenure Mix. Policy & Proposed

- 9.59 Table 3 shows that against adopted policy, the low cost rental proportions are in line with housing need.
- 9.60 In terms of the market provision, the scheme would provide 15 x 1 bed and 23 x 2 beds, 7 of the latter being large 2 bed duplex units. Policy H4 seeks a balanced mix of market units and intermediate units. With no 3 bed units of either market or shared ownership proposed, or any on the Orsett Street site the requirements of the policy in this regard are not met. However, the housing mix set out in policy is preferred and a rigid application of requirements is not appropriate, regard being made to particular site circumstances, including viability, location and site constraints such as layout, design and amenity. The application has been amended to address the need for a policy compliant low cost rental mix as set out in the emerging Plan, losing one shared ownership 3 bed in the process. This adjustment in housing mix and the provision of a policy compliant social rented mix is considered to compensate for the shortfall of larger intermediate or private units, the affordability of which would be challenging in this location given the high values of 3 bed+ units.
- 9.61 The overall scheme is therefore considered to provide a policy compliant and acceptable quantum, mix and tenure of affordable housing across the two sites.

10 Design and Conservation

Scale, Massing, Layout and Appearance

Jonathan Street

- 10.1 The Carmelita Centre, sited at the western edge of the wider Vauxhall Gardens Estate sits within an area of mixed form and scale. The site consists of a pre-fabricated building located on the corner of Vauxhall Walk and Jonathan Street adjoining two 13 storey post war towers, Haymans Point and Coverley Point. To the west is a four storey office building, to the south a 5 storey residential building adjoining a single storey commercial property fronting Jonathan Street, both of which sit within the Albert Embankment Conservation Area. The disunity in scale locally is mirrored in form and appearance. The replacement of the existing single storey pre-fabricated building is welcomed as an opportunity to enhance the character of this area through considered and quality design.



Figure 35: Carmelita Centre in centre, Haymans Point right. Four storey office and larger towers (Albert Embankment) in background.

- 10.2 The proposed building comprises a part one, part 5 and part 8 construction, having a larger footprint that the existing structure, extending into the lawn to the front of Haymans Point. The taller element is located along the Vauxhall Walk frontage, stepping down where it faces Jonathan Street, the ground floor projecting outwards slightly to the west and south, more prominently in the south east corner on Jonathan Street.



Figure 36: Proposed Jonathan Street elevation

- 10.3 The positioning of the building at the junction of Vauxhall Walk and Jonathan Street re-establishes a frontage on the site bringing activation, enclosure and overlooking to the street that reflects the historic character of both the site and the wider Vauxhall Gardens Estate. The north of the block would run perpendicular to Haymans Point, adding an active and partially enclosed frontage via the colonnade and new residential entrance through to Vauxhall Walk. The proposed construction and Haymans Point would frame a revised landscaping area, designed to encourage greater usage for existing residents and a contemporary open space resource for new residents. The proposed Community Centre garden along Jonathan Street

would be enclosed by low wall and railing, creating a defined edge to the site whilst offering visual permeability through it towards Haymans Point.

- 10.4 The building layout and design has it situated across the southern half of the site extending outwards to the east, having a triple aspect orientation to both facing streets, the Estate Garden and the Community Centre garden. The entrance would be located on Jonathan Street providing a strong corner presence for this community resource. This layout is well considered, integrating two elements (community and residential), adjacent to garden spaces that are well overlooked and accessible whilst also serving to re-animate this site and the immediate streets positively.

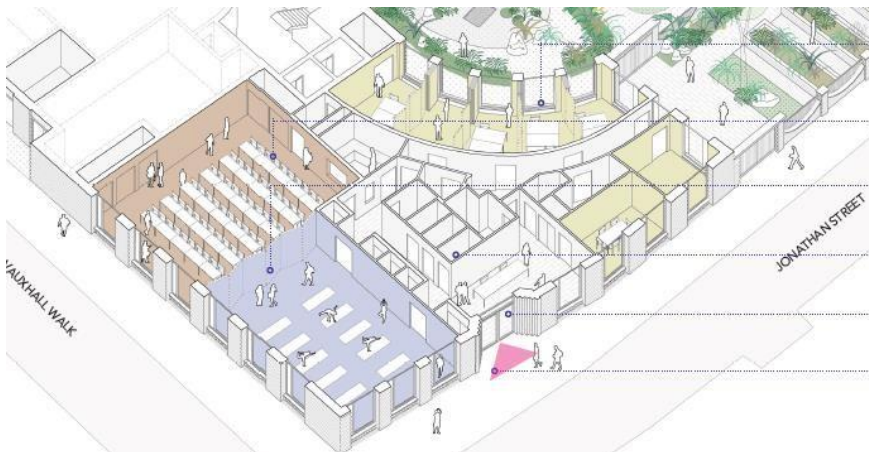


Figure 37: Carmelita Centre layout (source: Design and Access Statement)

- 10.5 The scale of the building is considered to be an appropriate stepping point between the lower 5 and 4 storey buildings to the south (79 Vauxhall Wall) and west (currently National Crime Agency building) with the 8 storey being approximately half way between the height of these two buildings and that of Haymans and Coverley Point and also the Graphite Square permission (LBL Ref: 18/03773/FUL) to the south. The set backs at first and fifth floor at the northern and southern edges of the site mitigate against some of the scale at street level as does the loggia style balcony projections on these elevations which offer an appearance which is lighter in weight than the east and west facades. The proposal affords sufficient separation from neighbouring properties to ensure daylight/sunlight impacts are limited (discussed below in Section 13).
- 10.6 The appearance of the building is mostly brick with punched openings, to form a repetitive fenestration pattern broken by part inset and part projecting balconies to the east and west elevations with larger openings to the upper floors. The north and south elevations will have the prominent loggia style balcony treatment framed by precast concrete reverting to larger windows and balcony projections at upper levels. The limited palette of materials is reminiscent of the distinctive appearance of most of the inter-war Vauxhall Gardens Estate residential blocks, also achieved though the terracotta tiles employed in the finish at ground floor level. These elements would deliver a quality finish that would serve to reinforce local distinctiveness in accordance with policies Q5, Q7 and Q9 of the Local Plan.
- 10.7 Conditions are recommended requiring construction detailing including windows, doors, gates, vents and extracts, cills and copings, rain water goods, brick bonding, balustrades / balconies / terraces, and a sample panel of materials made available on site (condition 13 and 14) to secure a high quality of materials and design detailing in accordance with Policy Q8 of the LLP.
- 10.8 The proposal includes indicative boundary treatment including access gates to the Community

Centre garden and amenity space. Details of the boundary treatment and gates can be secured by condition. Subject to this condition (condition 13) the proposal would accord with LLP Policy Q15.

Orsett Street

- 10.9 Whilst much of the site is currently surrounded by blue fencing associated with the temporary construction compound, this area was formerly soft landscaped amenity space separated by parking providing distinct openness to this part of the Vauxhall Gardens Estate. The site sits to the north west edge of the Estate, adjacent to a trio of 5 storey inter war brick built residential blocks, Sancroft House, Bland House and Pella House. A taller (6 rising to 8 storey) more contemporary housing block is located opposite the site to the north. Terraced housing is located eastwards on Orsett Street with a flank wall to a two storey dwelling forming the east side boundary to the development proposal.
- 10.10 The proposed 7 storey building comprises an L-Shaped block running along Vauxhall Street and is wrapped around to face onto Orsett Street with an amended external amenity space proposed to the rear of Sancroft House. The building line follows that of the former Orsett House which existed at this site and resembled in scale Pella House opposite, prior to that the site comprised terraced housing. The proposal would sit closer to Vauxhall Street than Orsett House did, in line with the newer Palm House opposite.

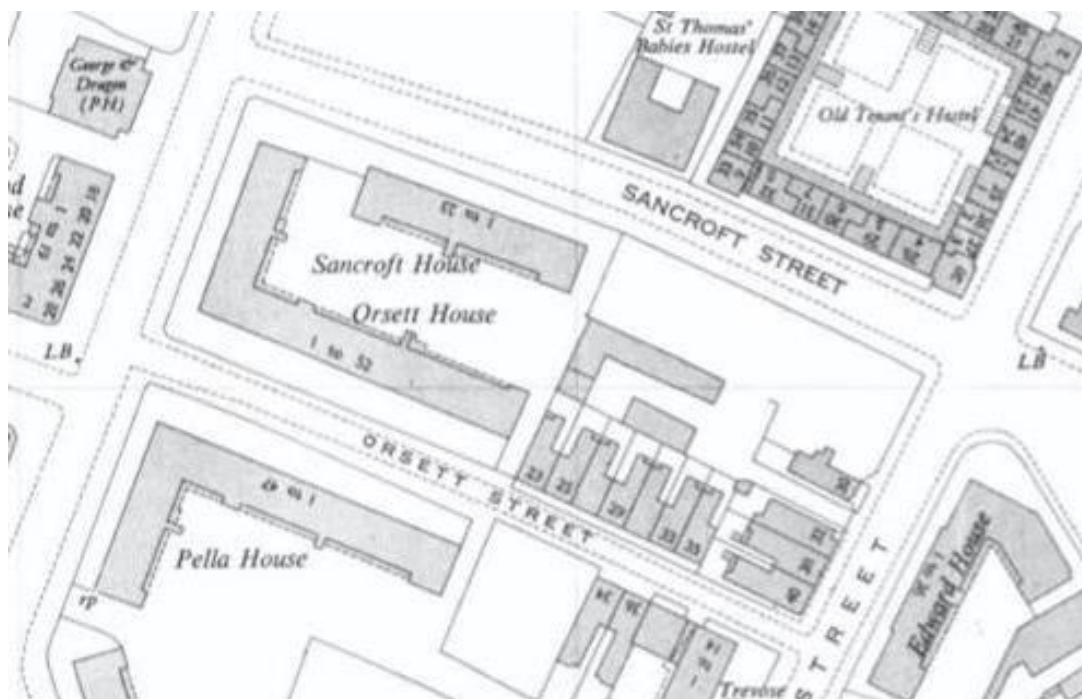


Figure 38: 1950 O/S Plan of site showing the former Orsett House (demolished 1970's) (Source: Heritage Statement)

- 10.11 The 7-storey block consists of two storey duplex units at ground floor with single storey apartments above. The communal residential entrance and through lobby is located towards the centre of the west elevation along Vauxhall Street adjacent to ground floor cycle and refuse stores. The duplexes have their own entrances and patio gardens to the front with several units possessing access from the inner courtyard space to the rear. Above first floor the flats are accessed from open sided communal access galleries facing the inner courtyard reached via a single stairwell and two lifts. The top floor units each enjoy a private terrace and a communal roof terrace is provided at roof level. The revised landscaped area would be

bordered by a low wall and railing, sitting in front of the amended parking area behind Sancroft House.

- 10.12 Notwithstanding the loss of estate amenity space, mature trees and the impact upon the openness and the setting of the Conservation Areas (discussed below), in design terms, the approach to footprint and layout is considered appropriate to this site reflecting historic street patterns and in keeping with the local built form. The building would also create additional natural surveillance along Vauxhall Street and Orsett Street, improving pedestrian safety.
- 10.13 The landscaping proposed would also provide relief and setting to the proposed building and be a more inviting and integrated amenity resource with outdoor gym equipment; seating; play space; community garden and other elements as opposed to the lawns currently offered. This aspect of the design is felt to be well considered.



Figure 39: Orsett Street revised Amenity Area (source: Design and Access Statement)

- 10.14 The proposed building will be constructed predominantly of brick, banded horizontally with darker brick on the lower two floors, a mix of light and dark bricks above with a white brick used at the top storey set back. Residential in appearance and designed to reflect the older blocks within the Estate, the Vauxhall Street and Orsett Street elevation will incorporate 5 storey projecting bays containing loggia balconies provide a depth and animation to these elevations. The upper floor set back, constructed of white brick, will serve to lighten this additional storey and reduce its bulk. The courtyard elevation with access galleries and a lighter façade behind has a more open design reflecting the communal space that this element of the proposal overlooks.



Figure 40: Section of Vauxhall Street elevation (Source: Design and Access Statement)

10.15 In terms of scale, the proposed building would align in height (except the central lift over-run) with the upper floor set back of Palm House and would be taller than Pella House to the south. Although taller than most of the buildings around, the scale is one that is in context with its surrounds and any associated impacts of its height would be limited by the presence of existing buildings



Figure 41: Wider context elevation (facing Vauxhall Street)

10.16 The proposed building, its scale, appearance, setting and landscaping accords with the appearance of the Vauxhall Gardens Estate and it would serve to reinforce local distinctiveness in accordance with policies Q5, Q7 and Q9 of the adopted Local Plan.

10.17 As for the Jonathan Street element of the scheme, conditions are recommended requiring construction detailing of all elements to secure a high quality of materials and design detailing in accordance with Policy Q8 of the adopted and draft LLP (Condition 13 and 14) subject to which, the proposal would accord with LLP Policy Q15.

Design Conclusion

10.18 Overall, the design of the Jonathan Street scheme is well considered and welcomed in townscape terms. The appearance of the proposal would reinforce local distinctiveness and combined with reintroduction of the building form and line would also have a positive effect on the setting of the adjoining Albert Embankment Conservation Area. The proposal will also re-animate street frontages, improving legibility and overlooking in this location as well as enhancing landscaping on the site and encouraging permeability through it. Subject to

conditions indicated and securing high quality construction detailing and materials, the proposal would comply with LLP Policies Q5, Q6, Q7, Q8, Q9 and Q15.

- 10.19 As regards the Orsett Street, the same conclusions are reached in terms of local distinctiveness, scale, building line and landscaping. The design approach to the site is considered to be context led and it will enhance its surroundings. The loss of the openness is recognised and will be discussed in the heritage section below. However, in townscape terms Officers considered that subject to conditions outlined, the proposal would comply with policies Q5, Q6, Q7, Q8, Q9 and Q15 of the LLP.



Figure 42 : View of site eastwards on Orsett Street

Impacts of Heritage Assets: Legislation and National Policy Context

- 10.20 The beginning of the Agenda Pack contains a summary of the legislative and national policy context for the assessment of the impact of a development proposal on the historic environment and its heritage assets. This is in addition to Lambeth Local Plan and London Plan policies.
- 10.21 Turning to consider the application of the legislative and policy requirements referred to above, the first step is for the decision-maker to consider each of the designated heritage assets (referred to hereafter simply as “heritage assets”) which would be affected by the proposed development in turn and assess whether the proposed development would result in any harm to the heritage asset.
- 10.22 The decision of the Court of Appeal in Barnwell Manor confirms that the assessment of the degree of harm to the heritage asset is a matter for the planning judgement of the decision-maker.
- 10.23 However, where the decision-maker concludes that there would be some harm to the heritage asset, in deciding whether that harm would be outweighed by the advantages of the proposed development (in the course of undertaking the analysis required by s.38(6) PCPA 2004) the decision-maker is not free to give the harm such weight as the decision-maker thinks appropriate. Rather, Barnwell Manor establishes that a finding of harm to a heritage asset is a consideration to which the decision-maker must give considerable importance and weight in carrying out the balancing exercise.

- 10.24 There is therefore a “strong presumption” against granting planning permission for development which would harm a heritage asset. In the Forge Field case the High Court explained that the presumption is a statutory one. It is not irrebuttable. It can be outweighed by material considerations powerful enough to do so. But a local planning authority can only properly strike the balance between harm to a heritage asset on the one hand and planning benefits on the other if it is conscious of the statutory presumption in favour of preservation and if it demonstrably applies that presumption to the proposal it is considering.
- 10.25 The case-law also establishes that even where the harm identified is less than substantial (i.e. falls within paragraph 199 of the NPPF), that harm must still be given considerable importance and weight.
- 10.26 Where more than one heritage asset would be harmed by the proposed development, the decision-maker also needs to ensure that when the balancing exercise is undertaken, the cumulative effect of those several harms to individual assets is properly considered. Considerable importance and weight must be attached to each of the harms identified and to their cumulative effect.
- 10.27 What follows is an officer assessment of the extent of harm which would result from the proposed development to the scoped heritage assets provided by the applicant as part of its submission. This includes Conservation Areas, and neighbouring Listed Buildings. Both an individual assessment against each heritage asset as well as a cumulative assessment are provided. This is then followed by an assessment of the heritage benefits of the proposals.

Impact on Heritage Assets: Conservation Areas

Jonathan Street

- 10.28 The site is not located in a Conservation Area but falls close to the boundary of the Albert Embankment Conservation Area, a portion of which includes buildings opposite this site on the south side of Jonathan Street. The site also lies close to the Vauxhall Gardens Conservation Area which runs adjacent to the eastern edge of the lawn in front of Haymans Point, running south down Worgan Street (where it adjoins the Albert Embankment Conservation Area) and north up Tyers Street.
- 10.29 Given the proximity of the two Conservation Areas, Officers have assessed the potential impact of the proposal on the setting of both. The proposed building would be taller than the buildings to the south and west while being smaller than the two 13 storey Haymans and Coverley Point towers. In views provided, the proposed structure can be seen in the immediate context to be of a form and appearance comparable to much of the Vauxhall Gardens Conservation Area, 79 Vauxhall Walk and other buildings within the Albert Embankment Conservation Area. The scheme would re-introduce a building line opposite the Albert Conservation Area respecting the historic street pattern in this location. The views outside of the immediate location would be limited and set against the backdrop of other taller developments, to the west (Albert Embankment) and south (Graphite Square).



Figure 43: Jonathon Street site - Adjoining Conservation Areas (site outlined in red, Conservation Areas in blue) (source: Design and Access Statement)

10.30 An assessment of the heritage impacts of the proposal has been undertaken in the submitted Heritage Statement. In Officer's opinion the proposal will enhance the setting of the Albert Embankment Conservation Area and preserve the setting of the Vauxhall Gardens Conservation Area and no harm has been identified to these heritage assets.

Orsett Street



Figure 44: Heritage assets at and near to Orsett Street site (outlined in red, Conservation Areas outlined in Green and Blue - Nos. 3, 4 & 5 Listed Buildings; No. 2: Locally Listed building – source: Design and Access Statement)

- 10.31 The site has had a mixed history being largely built on from the early 19th Century until the late 1970's when after the demolition of Orsett House, the site became open, functioning primarily as soft landscaped amenity space sited inside the Kennington Conservation Area with the Vauxhall Gardens Conservation immediately to the west. The Kennington Conservation Area was designated in 1968 when the five storey Orsett Street building was present at this site whilst the Vauxhall Gardens Conservation Area dates from 2001.
- 10.32 Views of the development would be confined to a limited area, primarily from the eastern edge of Venn Park, eastwards on Jonathan Street, southwards on Vauxhall Street (within the Vauxhall Gardens Estate Conservation Area), looking west on Sancroft Street and Orsett Street and, north on Vauxhall Street (the latter three within the Kennington Conservation Area). Most of these views would be confined to an area close to the site, it being hidden by the scale of existing buildings and street trees in the immediate area.
- 10.33 This is a sensitive conservation area location providing breathing space between one Conservation Area and another and the loss of an attractive open landscaped space is considered by the Council's Conservation Officer to have an adverse effect on the character and appearance of the Kennington Conservation Area and will also harm the setting of the Vauxhall Gardens Estate Conservation Area opposite. The harm on both assets is considered by Officers to be low/moderate degree of less than substantial harm.

Impact on Heritage Assets: Listed Buildings

Jonathan Street

- 10.34 There are no listed buildings on or within the vicinity of the site or others that would have their setting impacted by the proposed development, and so there is no impact on the significance of any listed buildings.

Orsett Street

- 10.35 There are a number of early 20th Century listed buildings to the north and north-east of the site.
- 10.36 The Beaufoy Institute is a Grade II listed building located immediately north of Palm House facing Black Prince Road which sets next to William Geoffrey House another Grade II listed building. Palm House and other buildings would obscure the proposed development from the setting of these two heritage assets.
- 10.37 Woodstock Court is a Grade II* two storey quadrangle of alms houses clustered around a central garden is located east of the site along Sancroft Street. The proposed development will not directly affect the setting of this heritage asset because of the distance and intervening existing buildings and street trees along Sancroft Street.

Impact on Heritage Assets: Locally Listed Buildings/Structures and Archaeological Priority Area

Jonathan Street

- 10.38 The only locally listed structure in this location is a war memorial plaque located at the entrance to Graphite Square south of this site on Vauxhall Walk. The setting of this non-designated heritage asset is limited to its immediate surroundings and will not be impacted by this proposal.

Orsett Street

- 10.39 To the east of the site on the opposite side of Sancroft Street, no. 60 Sancroft Street is a locally listed 3 storey inter war building. The setting of this non-designated heritage asset would not be impacted by this proposal which lies to the west of this building and mostly obscured by existing buildings and street trees on Sancroft Street.

Impact Upon Heritage Assets: Summary

- 10.40 The proposed Jonathan Street building is considered to make a positive contribution towards the setting of the Albert Embankment Conservation Area and will not result in any harm to this or other designated or non-designated heritage assets.
- 10.41 In terms of the Orsett Street site whilst the proposed design is considered in itself an appropriate response to the context, the Council's Conservation Officer has identified a low/moderate degree of less than substantial harm to the significance of two heritage assets, the Kennington Conservation Area and the Vauxhall Gardens Estate Conservation Area due to the impact to their setting. As such the scheme fails to accord fully with the requirements of policy Q22 of the LLP. Such proposals that will have a harmful impact on Conservation Areas will be required to meet the relevant tests set out in the NPPF.

10.42 The development is considered to accord with policies Q20 and Q23 of the LLP.

Assessment of Harm Versus Benefits

10.43 Paragraph 199 of the NPPF states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation, irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

10.44 The Council's Conservation Officer has identified less than substantial harm to heritage assets. Paragraph 202 of the NPPF states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

10.45 In this case officers consider that the development provides the following public benefits: _

Economic

Employment and skills: the application would be subject to an employment and skills financial contribution of £39,000 which would be used towards the employment and training of local residents and during the build period there would be a plan to help local people access job opportunities arising.

Social

The provision of 67 homes, 29 of which 50% (by habitable room) would be affordable housing with a policy compliant mix of social rent units.

Community

A larger and enhanced community centre facility provided for the benefit of existing and future residents of the Vauxhall Gardens Estate managed by VGERTA.

Estate Amenity

Provision of new public realm on and of site with improved accessibility, biodiversity and amenity provision. Contribution of £297,641 towards replacement trees in the vicinity.

Design

Two well designed buildings, which reflect and support local distinctiveness, re-establishing historic building lines and enhancing surveillance.

Transport

Enhanced cycling provision, electric vehicle connection and a financial contribution towards the Healthy Routes

10.46 Officers consider that the above constitutes a significant set of public benefits and these would outweigh both the low to moderate degree of less than substantial harm to the designated heritage assets identified and the cumulative heritage harm (also low-moderate less than substantial).

11 Standard of Residential Accommodation

Housing and Development Density

11.1 The density of the development would be 147 units per hectare across the two sites, which is within the range set out in the former London Plan for sites with PTAL scores of 6a. The new London Plan sets out a design-led approach to density with Policy D1 seeking to optimise the

density of a site, having regard to local context, design principles and public transport accessibility. Policy D2 requires the density of a proposal should have regard to current and planned infrastructure, whilst Policy D3 requires all development to make the best use of land by following a design-led approach that optimises the capacity of sites. Part A of the policy requires the development to make the best use of land and considers design options to determine the most appropriate form of development that responds to a site's context and capacity for growth. In making a determination on whether a proposal is the most appropriate form of development, Part B of the policy takes the following into account:

- **Form and layout** (buildings and spaces which respond to locally distinctive forms encouraging active travel and facilitating efficient servicing and delivery) (See sections 11 and 16 of this report)
- **Experience** (good quality accommodation, safe and secure environments, and active frontages onto the public realm) (See sections 12 and 14 of this report)
- **Quality and character** (respond to the existing character, high quality architecture and high sustainability standards) (see sections 11 and 17 of this report)

11.2 Officers are satisfied that the proposal would optimise development on the site in a form which is appropriate and corresponds with the above requirements, which are assessed in further detail elsewhere within this report.

Layout and Access

11.3 Policy D6 and Table 3.1 of the London Plan set out minimum space standards for new residential development. Policy H5 of the LLP states that all proposals for new residential development should accord with the principles of good design.

11.4 All the proposed units across both sites would provide functional layouts which exceed the private internal space standards set out by policy. Each unit in the scheme has 2.5 m floor to ceiling heights, adequate storage space and private amenity larger than standards require.

11.5 The private amenity at both sites will be supplemented by communal areas available to all in each building, at roof level at the Orsett Street site and at the fifth floor of the Jonathan Street building facing south west.

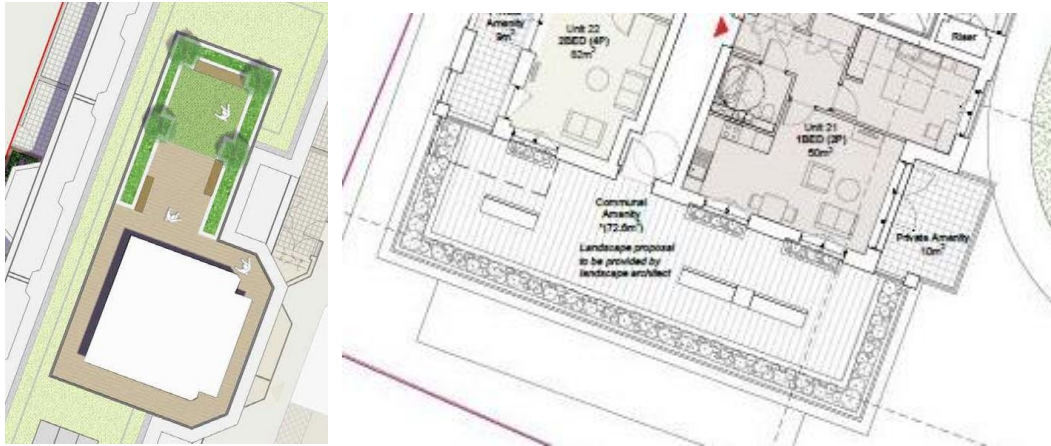


Figure 45: Orsett Street roof top amenity, Jonathan Street 5th floor amenity

- 11.6 The social rent units are located on the first to fourth floors of the Jonathan Street building with the shared ownership units located above, reflecting in part the provision of the larger family units at lower level. The building is considered to be tenure blind in terms of build quality and functions as such with shared lift and stair cores and rooftop amenity.
- 11.7 In terms of access, the duplexes at the Orsett Street site would have their own individual entrances with the other dwellings accessed via a communal lobby that leads to a lift and stair core where future occupiers would be able to access their units from the shared access galleries, serving a maximum of 5 units. The Jonathan Street units are accessed via a central lobby, stair and lift core with a maximum of 5 units in each floor.



Figure 46: Artist impression of access galleries at Orsett Street (source: Design and Access Statement)

- 11.8 The proposed standard of accommodation is considered to be of acceptable quality, meeting the requirements of good design as set out by London Plan policy D6 and LLP H5.

Accessible, Adaptable and Wheelchair Housing Provision

- 11.9 London Plan Policy D5 which seeks to ensure developments achieve the highest standards of accessible inclusive design. Policy D7 requires ninety percent of new housing meets Building Regulation requirement M4 (2) 'accessible and adaptable dwellings'; ten per cent of new housing meets Building Regulation requirement M4 (3) 'wheelchair user dwellings', i.e. is designed to be wheelchair accessible, or easily adaptable for residents who are wheelchair users.
- 11.10 Based on the proposed 67 units a total of 7 are designed to meet Part M4 (3), 4 at Orsett Street and 3 at the Jonathan Street. The remaining units are designed to meet part M4(2). Step free access is available to all units, communal areas and the Community Centre across the two sites. The provision for wheelchair accessible and adaptable dwellings will be secured through appropriate condition (Condition 21).

Privacy

- 11.11 Policy Q2 of the LLP states in part (iii) that development will be supported which avoids, wherever possible, any undue sense of enclosure or unacceptable levels of overlooking (or perceived overlooking). The position and aspect of habitable rooms, gardens and balconies in relation to neighbouring buildings should be carefully considered.

Jonathan Street

- 11.12 The building would sit forward of Haymans Point habitable room windows with oblique views offered from a limited portion of balconies looking south. The main aspect along Vauxhall Walk sits opposite 4 storey offices where the separation distances across the public highway are at least 17.5 metres apart and for the most part in excess of 18 metres. Such relationships are acceptable.
- 11.13 In terms of 79 Vauxhall Walk on the opposite side of Jonathan Street, the applicant has proposed measures to enhance the privacy of residents of the proposed units and existing property where separation windows between habitable rooms are approximately 14 metres across the public highway. The measures proposed include angled balustrades and part-width floor to ceiling screens to offer additional privacy for residents of both blocks. This alongside the framing to the loggia balconies is considered to mitigate any issues regarding privacy, noting the public highway context. A condition requesting full detail and retention of these screens is recommended to ensure compliance with LLP Policy Q2 (Condition 20).

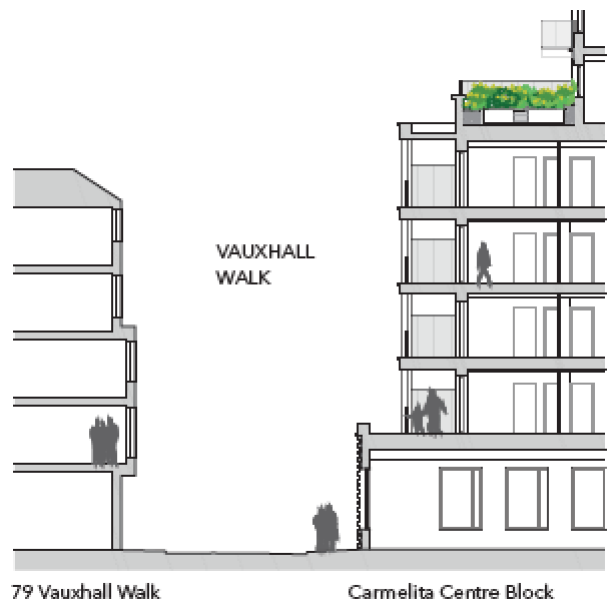


Figure 47: Relationship between proposed building and 79 Vauxhall Walk (source: Design and Access Statement)



Figure 48: Image of Jonathan Street building south elevations showing angles privacy screens and balustrades (source: Design and Access Statement)

11.14 The fifth floor communal terrace is set above 79 Vauxhall Walk building, which whilst offering privacy for the future residents of this site could offer the potential overlooking into the neighbouring housing opposite. The applicant is proposing to install planter beds to prevent access to the edge of the terrace to restrict overlooking in both directions. This will be covered by the condition referenced above (Condition 20) to ensure compliance with LLP Policy Q2.

Orsett Street

11.15 This site is considered to provide the requisite level of privacy for future residents. The habitable rooms are orientated towards the surrounding streets and benefit from adequate distances to neighbouring rooms, a minimum of 17 metres to the nearest windows within Palm House. Such a relationship reflects the established pattern in the vicinity of the site and the privacy of future residents would be preserved.

Outlook and Aspect

- 11.16 Policy H5 of the LLP requires developments to provide dual aspect accommodation, unless exceptional circumstances are demonstrated. Policy D6 of the London Plan requires housing development to maximise the provision of dual aspect dwellings and 'normally' avoid the provision of single aspect dwellings. The policy makes allowance for single aspect dwellings where this allows site capacity to be optimised through a design-led approach and where it can be demonstrated that the resulting units will have adequate passive ventilation, daylight and privacy, and avoid overheating. Para 5.47 of the LLP states that "units where the second aspect is on the same elevation within a recessed balcony offer only a slight improvement on single aspect and will not be treated as dual aspect because the opportunity for quiet, a second view and useful cross ventilation will be limited by the location within the balcony recess".
- 11.17 Of the 67 new dwellings, following amendment a total of 4 (previously 7) at the Jonathan Street site and 1 (over two levels) at Orsett Street, representing 7.5% of the total units are single aspect. The Orsett Street unit is a two bed duplex with views at ground and first floor facing south, whilst the 4 at Jonathan Street are one bed units facing west onto Vauxhall Walk. Each of the one bed units exceed the minimum space requirements and also provide in excess of private amenity, whilst the two bed at 91 square metres (GIA) substantially exceeds the minimum required space of 79sq.m and also provides 13 sq.m of private amenity where 7 sq.m is required. It is considered that in the context of the site and the ability the proposed design creates to provide additional units, that the design approach can be justified. The applicant has undertaken an overheating analysis of a selection of units and all achieve acceptable level of overheating risk, according to the CIBSE TM59 criteria. A condition requiring an analysis of all rooms ahead of occupation is required (Condition 45).

Daylight / Sunlight

- 11.18 Policy Q2 of the LLP states that development will be supported if it would not have an unacceptable impact on levels of daylight and sunlight on the host property and adequate amenity space is provided free from oppressive overshadowing including outdoor spaces. Policy D6 of the London Plan states that the design of development should provide sufficient daylight and sunlight to new and surrounding housing that is appropriate for its context, whilst avoiding overheating, minimising overshadowing and maximising the usability of outside amenity space.
- 11.19 The provision of daylight and sunlight to the new development has been assessed in a Sunlight and Daylight Assessment prepared by eb7. This has been independently verified by the council's Sunlight and Daylight consultant.
- 11.20 In terms of daylight in respect of the proposed new habitable rooms, consideration is often reviewed on an average daylight factor (ADF) basis, especially since the provision of daylight is targeted to the actual room use with a standard ADF targeted of 1% bedrooms, 1.5% living rooms and 2% kitchens. However, in instances of any applicable open-plan arrangements of 'living/kitchen/dining' rooms, an alternative methodology to that of the BRE Guide (that simply seeks to apply the highest ADF for a given room use within a multiple-use room to that of the whole room), is that the ADF is based upon the predominant room use. This is more commonly applied within the industry since modern design now often places kitchens typically at the back of such open-plan arrangements and to achieve a 2% ADF at the rear of room is unlikely. Thus, often analysis of combined living/kitchen/dining rooms is on the basis of still including the kitchen area within the assessment (albeit we are then considering a target for the predominant room use of an ADF of 1.5% for living room).

Jonathon Street

11.21 All habitable rooms meet the target ADF with the exception of 4 kitchen/dining rooms and 1 bedroom, meaning that 95% of habitable rooms achieve the target ADF which is considered to be a good percentage overall. In respect of the 4 fails, these are kitchen/diners and 2 are above 'bedroom quality' (ADF of 1.4 & 1.1 respectively) whilst 2 are very low (ADF of 0.6 & 0.3 respectively) The shortfall in the 4 kitchen/diners is related to the presence of balconies overhanging these first to fourth floor units facing Jonathan Street. The dwellings with the shortfall have separate living rooms connected which are well-lit as well as having south facing balconies.

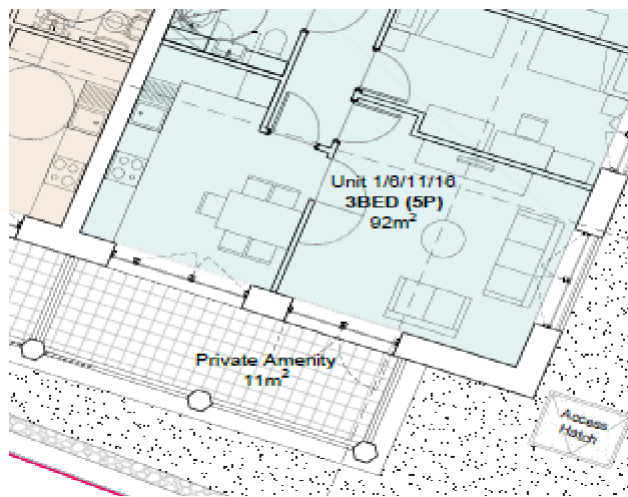


Figure 49: Extract of first to fourth floor, where kitchen/diner falls short of ADF

11.22 For sunlight, results have been provided for all habitable rooms with windows in applicable orientation for consideration (i.e. windows facing within 90° of South). With focus on the living rooms, the majority of living rooms have sought to avoid 'north facing' facing windows so typically, there is reasonable sunlight provision to a reasonable number of living rooms. Some living rooms have lower levels of sunlight (circa just below 50% target) but these are relatively isolated and should be considered on balance in terms of the rest of the sunlight provision within the proposal. Hence it is felt that sunlight provision is reasonable overall within the proposal for an urban context.

11.23 In terms of sunlight availability to the proposed communal amenity / landscaped areas eb7 have provided the BRE Guide 2 hour sunlight availability test for this amenity area (21st March equinox) and the analysis confirms that 72% of the amenity area will have the ability to receive 2 hours or more of sunlight (21st March) thus readily meeting BRE Guide target criteria.

Orsett Street

11.24 The ADF review for all habitable rooms meets the target ADF. For sunlight to habitable rooms, results have been provided for all habitable rooms with windows in applicable orientation for consideration (i.e. windows facing within 90° of South). With focus on the living rooms, the majority of living rooms have sought to avoid 'north facing' facing windows so typically, there is reasonable sunlight provision to a reasonable number of living rooms. In summary, 68% of living rooms readily meet BRE Guide target criteria within the development which is considered good in a multi-unit scheme.

11.25 Officers consider that the provision of daylight and sunlight to the proposed units across both sites is reasonable and that the proposal complies with the requirement of Policy Q2 of the LLP.

Noise and Vibration

- 11.26 Policy Q2 of the LLP states that development will be supported if the adverse impact of noise is reduced to an acceptable level through the use of attenuation, distance, screening, or internal layout/orientation, in accordance with London Plan Policy D14. This requires proposals to manage noise so that significant noise impacts are avoided without placing unreasonable restrictions on existing noise-generating uses.
- 11.27 The applicant has submitted a Noise Assessment alongside their submission. The report sets out recommendations in respect to noise mitigation to secure the amenity of future residents. Both sites are identified as being low risk developments sites as identified in the Professional Practice Guidance (ProPG): Planning and Noise guidance provided that good acoustic design is followed to mitigate existing noise levels taking account of any overheating at both sites, office plant opposite the Jonathan Street site and also any plant equipment required for the community centre.
- 11.28 The noise report indicated that standard glazing and trickle ventilation is suitable across the majority of the sites with upgraded glazing and/or ventilation required on a small number to ensure appropriate residential noise levels. A condition is recommended to secure a scheme of noise and vibration attenuation and where necessary active ventilation sufficient to prevent overheating to maintain thermal comfort for future occupiers with other proposed in respect of Buildings services Plant and any flues and extraction plant (Conditions 36 & 37). For external amenity spaces to the Jonathan Street site the report has identified that the private balconies to the Vauxhall Walk and Jonathan Street facades will require screening to meet the recommended noise limits for external amenity spaces. A condition (Condition 20) is attached in this regard. The occupiers of these units and at Orsett Street will have also access to alternative community amenity space within the development which does satisfy noise criteria.
- 11.29 It is recommended that a Delivery and Servicing Management Plan is provided to ensure delivery and servicing activity at the sites do not adversely impact neighbouring dwellings. A condition (30) is proposed to ensure an appropriate Delivery and Servicing Management Plan is implemented.
- 11.30 The existing Carmelita Centre community facility is to be re-provided on the ground floor to the new residential development on Jonathan Street and Vauxhall Walk. In order to ensure the community use does not adversely impact the amenity of the adjoining residential occupiers it is recommended a community use management plan is submitted to and approved by the local planning authority in order to preserve neighbouring amenity (Condition 38).

Residential Amenity and Play Space

- 11.31 LLP Policy H5 requires new flatted development to provide 50sqm of communal amenity space plus a further 10sqm per dwelling provided as either a terrace or balcony or consolidated within the communal amenity space. LLP H5 sets out the same criteria for developments providing 10 or more units.
- 11.32 Policy H5 would require 340 square metres of amenity space at Jonathon Street and 430 square metres at Orsett Street. Both sites would meet this total requirement with the development at Jonathon Street providing a total of 424.5 square metre and Orsett Street providing a total of 576.8 square metres.
- 11.33 All of the units at Orsett Street would have in excess of 10 square metres of private amenity space, whilst all but 5 (4 x 1 bed units, 1 x 2 bed) would also exceed requirements at the Jonathon Street site. All the five showing shortfalls are 8.5 square metres or greater. In terms of communal space, the Jonathon Street site would have 73 square metres provided at 5th

floor level with the Orsett Street communal roof terrace providing 68 square metres of amenity.

- 11.34 The residents would also benefit from the upgraded amenity spaces immediately adjoining the two sites and have access to the Community Centre garden and the offsite open space. Consequently, it is considered that overall the quantum and quality of amenity provided is indicative of a well considered design and would accord with the requirements of policy. The final details of the soft landscaping and communal amenity areas shall be secured by condition (conditions 23 and 24).

Playspace

- 11.35 Policy H5 states that the council will follow the approach to play space set out in London Plan policy S4 and associated Supplementary Planning Guidance and that play areas should be inclusive and accessible to all residents of the development irrespective of tenure. London Plan policy S4 sets out that 10 square metres of playspace should be provided per child with it being normally provided on- site.

- 11.36 Based on the GLA child yield calculator, a total of 25 children are expected to occupy the Jonatan Street site and 4 at Orsett Street, hence a requirement of 250 sq.m. and 40 sq.m. respectively. The Mayor's SPG requires that on-site provision is provided for 0-5 year olds, on site or if not accessible within 400m of the site for 5-11 year olds and within 800m for 12+ year olds where not on site. It is calculated that 19 children would be aged 11 or younger at the Jonathon Street and 3 at Orsett Street.

Jonathan Street

- 11.37 The applicant is proposing to incorporate 192 sq. m. of informal play elements on the site. These will be focussed on imaginative play and informal low climbable elements that help develop coordination and that are suitable for younger children. These could include play logs and boulders, sculptural animal stools and a sitting and balance beam. Children will have the opportunity to use the whole garden area. Indicative examples of the play equipment are indicated below at Figure 50 below. A similar approach, on a smaller scale (36.5sq.m.) is proposed at the Orsett Street site. A condition is recommended to secure details of the play areas/equipment to be installed (Condition 22), subject to which this would comply with LLP Policy H5.



Figure 50: Indicative Play space for under 12s at both sites (source: Design and Access Statement).

11.38 In terms of provision for older children, in addition to the above play space and the proposed gym equipment provided on both sites, the developments would lie within close proximity to Pedlars and Venn Park which possess opportunities for play. The applicant has proposed as part of the off-site works to provide improved and updated play space and table tennis tables at Venn Park which is within 400 metres of each scheme. The off-site works would be delivered prior to occupation of the proposed development, pursuant to a legal agreement.

12 Amenity for Neighbouring Occupiers

Daylight / Sunlight and Overshadowing

- 12.1 One of the core planning principles (paragraph 17) in the NPPF is that decisions should “always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings”. London Plan Policy D6 states that the design of development should provide sufficient daylight and sunlight to new and surrounding housing that is appropriate for its context, whilst avoiding overheating, minimising overshadowing and maximising the usability of outside amenity space. LLP policy Q2 supports development that does not have an unacceptable impact on daylight and sunlight of the adjoining properties and their gardens and outdoor spaces.
- 12.2 The beginning of the Agenda Pack contains broad contextual overview of the assessment framework within which BRE compliant sunlight and daylight studies are undertaken. This includes an explanation of the key terms and targets contained within the BRE guidance. The following assessment has been made in the context of this information.
- 12.3 The application is supported by a Daylight and Sunlight Report and the Council’s appointed daylight and sunlight consultant, Schroeders Begg reviewed this report. Overall, DPR were satisfied that the appropriate BRE assessment methodology has been used to assess the effects on existing surrounding buildings, including daylight (VSC and NSL) and sunlight (APSH annually and in winter).

Daylight

- 12.4 The main consideration for neighbouring daylight review is in reference to the vertical sky component (VSC) and daylight distribution (where room layouts are known) also referred to as the No Sky Line test (NSL) as per the BRE Guide. There is no or fairly limited existing massing on site and therefore some of the surrounding neighbouring properties will have higher levels of daylight than could be anticipated for an urban location. Whilst reductions in daylight require due consideration, it is also considered appropriate that some consideration is also given to retained values of daylight in the proposed scenario i.e. retained values with the proposed development in situ.
- 12.5 The review has focused upon the conventional BRE Guide analysis of VSC and daylight distribution review (NSL). However, given that there are some properties where impacts do not meet BRE Guide target criteria (especially, given limited existing massing on site), the extent of any 'adverse impact' has been categorised using Environmental Impact Assessment (EIA) consideration for reductions that exceed 20 per cent / not meeting BRE Guide target criteria (i.e. adverse / noticeable effect). Consideration on some aspects of classifying the extent of impacts is presented within Appendix I of the BRE Guide. However, it is common for sunlight and daylight industry professionals to consider initial adversity with reference to the numerical loss only, albeit a subsequent interpretation of the findings and an appropriate judgement needs to be made for any reductions not meeting the BRE target criteria.
- 12.6 Appendix I of the BRE Guide sets out the following adverse definitions:
- Low reduction / minor adverse: Reductions in VSC or NSL of >20% to 29.9%;
 - Medium reduction / moderate adverse: Reductions in VSC or NSL of 30% to 39.9%; and
 - High reduction / major adverse: Reductions in VSC or NSL of equal / greater than 40%.
- 12.7 A common approach for assessing sunlight, which is endorsed by the author of the BRE guide, is to only assess living rooms and conservatories. Whilst sunlight to kitchens and bedrooms is less important, care should still be taken not to block too much, and the Applicant's consultant has included them in the sunlight assessment.

Assessment of Daylight and Sunlight Impacts

- 12.8 The development would result in a mixture of impacts in respect of daylight and sunlight, with many windows meeting the BRE guidance, but there would also be some noticeable reductions for daylight and sunlight to some neighbours. The applicant has researched the layout of affected properties through historic floor plans, sales particulars and planning records and officers are satisfied that sufficient effort has been made to carry out this research and make reasonable assumptions to support the testing.
- 12.9 Any substantial redevelopment of this site with additional homes in new buildings adjacent to existing estate buildings is likely to result in some daylight and sunlight impacts. Avoiding any appreciable impact would be likely to require only very limited additional development which would fail to viably deliver the same public benefits such as affordable housing.

Jonathon Street

- 12.10 In terms of properties analysed for the Jonathon Street Site these are summarised as;

Broadly north-east of site:

Haymans Point
Coverley Point

Broadly south-east of site:

Amber Heights

Broadly south of site:

79 Vauxhall Walk
Graphite Square (consented but not yet built)

Haymans Point

- 12.11 This is a 13-storey residential tower to the north-east comprising of ancillary / non-residential ground floor accommodation with 12 storeys of residential above. The 12 storeys of residential (above ground storey) appear repetitive in layout arrangement.
- 12.12 All reductions in VSC meet BRE Guide target criteria with the isolated exception of;
- 12.13 Front/south elevation – living/kitchen/ dining room closest to the proposal for 1st, 2nd , 3rd floor In addition to the above the side return window (serving kitchen area of open-plan living room) for 1st, 2nd , 3rd & 4th floors West facing elevation – 2 No. closest bedroom windows to the proposal at 2nd floor & 4th floor i.e. beneath the duplex balcony soffit. In the theoretical 'without balconies' analysis, for these isolated windows, the majority would now meet BRE Guide target criteria (and those not meeting can be considered reasonably close to target criteria).
- 12.14 For any applicable reductions to daylight distribution to habitable rooms, these meet BRE Guide target criteria.

Coverley Point

- 12.15 This block is identical to Haymans Point and the south facing elevation faces the proposal albeit, with a reasonable and greater set-off distance.
- 12.16 For all applicable reductions, these meet BRE Guide target criteria with the isolated exception, in respect of primary windows to 3No. living rooms (all in the front/south facing elevation – 2 No at 1st floor and 1 No. at 2nd floor towards east corner). However, in terms of the 'without balconies' review, these then meet BRE Guide target criteria so should be considered acceptable (balcony soffit is having an inherent effect in this instance rather than an adverse proposal).
- 12.17 For any applicable reductions to daylight distribution to habitable rooms, these meet BRE Guide target criteria.

Amber Heights, 14 Jonathan Street

- 12.18 This is a 4 storey residential block to the east of the site with windows in the west elevation facing towards site. The corner position windows serve living rooms with balcony soffit above. Those windows at ground floor are further inherently enclosed by being recessed / projecting return walls.
- 12.19 For all applicable reductions, these meet BRE Guide target criteria with the isolated exception, in respect of primary windows to 1No. living room at ground floor. However, in consideration of the 'without balconies' review, these then meet BRE Guide target criteria so should be considered acceptable (the balcony soffit is having an inherent effect in this instance rather than an adverse proposal).
- 12.20 For any applicable reductions to daylight distribution to habitable rooms, these meet BRE

Guide target criteria with the isolated exception of 3 No living rooms (living rooms at ground, 2nd and 3rd floor served by windows towards north side of west facing elevation facing site). The reduction is greatest at ground with a 'major adverse' reduction (existing 52.4% lit to 22% representing a 58% loss) whilst the reductions at 2nd and 3rd floor are 'minor adverse'.

- 12.21 However, in consideration of 'without balcony' analysis, these rooms would then meet target criteria except for the ground floor room which would have a 'minor adverse' reduction (loss of 27%) / still relatively close to target criteria.

79 Vauxhall Walk

- 12.22 This is a 5 storey residential block to the south of the site with windows in the north elevation facing towards site (although ground floor is primarily parking). There are 10 No. flats applicable for consideration as having some or all windows facing towards site.
- 12.23 6 No. living rooms are applicable for consideration and the impact in terms of reduction can be summarised as; 1 No. 'major adverse', 3 No 'moderate adverse' and 2 No. 'minor adverse'. In all instances the retained VSC is above 17.6 (which could be considered still reasonable for an urban context) except in respect of the 1 No. living room as having a 'major adverse' reduction which will have a retained VSC value of 14.
- 12.24 In terms of bedrooms, applicable for review, in terms of daylight VSC the impact in terms of reduction to 13 No bedrooms can be summarised as; 3 No. meeting target criteria, 5 No. 'minor' and the remainder can be considered as moderate.
- 12.25 Any applicable reductions to daylight distribution to habitable rooms, meet BRE Guide target criteria with the isolated exception of 6 No. rooms; 1 No ground floor living room (existing 98.6% lit to 61.4% representing a 38% loss) and for 5 No. bedrooms where the reduction is typically 'minor adverse' although one bedroom has a significant reduction (existing 98.8% lit to 44.5% representing a 55% loss).
- 12.26 In this instance a retained value of 61% of daylight distribution within a living room is still considered reasonable and whilst most impacts to bedrooms are 'minor adverse', the BRE Guide does recognise that daylight distribution to bedrooms could be considered less important.

Graphite Square

- 12.27 Is a consented neighbouring redevelopment to the south of the site which is not yet built. Given this scheme is not yet built and with the potential of not being occupied within the short / medium term, it is considered that review of average daylight factor (ADF) is appropriate and the results on this basis confirm that all rooms at these lowest floors would continue to receive an ADF appropriate for the given room use. Equally, even if Graphite Sq was treated as an existing property, the effect in terms of applicable reductions to daylight VSC and daylight distribution, would still meet BRE Guide target criteria in terms of percentage reductions.

Jonathon Street Sunlight – Impact Upon Neighbouring Habitable Rooms

- 12.28 Neighbouring properties have been considered in terms of sunlight reductions to habitable rooms; the main focus for analysis review is upon living rooms (and conservatories if applicable). From consideration of the analysis, we conclude that for any applicable reductions in sunlight to the properties considered, such reductions would meet BRE Guide target criteria with the isolated exception to 3 No. rooms within Haymans Point although in consideration of 'without balconies' analysis, these readily meet target criteria and therefore, applicable

reductions should be considered acceptable.

Jonathon Street Sunlight - Impact Upon Neighbouring Amenity

12.29 The main amenity for applicable review is that to the north of the proposed application site relating to the amenity area to the west of Haymans Point (and south of Coverley Point). In reference to the analysis review for the standard 2 hour availability of sunlight to neighbouring amenity areas (at the 21st March equinox), the area will still have the ability to receive 2 hours of sunlight or more (21st March) to 59% amenity area as proposed (compared to 84% existing) which still readily meets target criteria / should be considered acceptable and retains sunlit spaces for residents.

Summary - Jonathon Street

12.30 Overall, whilst there will be some noticeable impacts to daylight to neighbouring properties (to daylight VSC and / or daylight distribution), given consideration also to retained values, if such impacts were to be categorised in reference to full EIA review, they would be considered as typically 'minor adverse' to neighbouring properties (including due consideration of 'without balcony analysis') and more 'moderate adverse' to 79 Vauxhall Walk. On balance, such isolated impacts have the potential to be considered acceptable overall.

12.31 In addition, the proposal would not significantly impact on sunlight to neighbouring habitable rooms or amenity areas.

Orsett Street

12.32 In terms of properties analysed these are summarised as;

Broadly north-east of site:

Palm House, Sancroft St

Broadly south-east of site:

Sancroft House, Sancroft St
24, 30 & 32 Orsett Street (meets all target criteria)

Broadly south of site:

Pella House

Broadly south-west of site:

Baddeley House, Vauxhall St (meets all target criteria)

Broadly north-west of site:

18-28 Bland House, 24 Vauxhall St
16 Vauxhall St

Palm House, Sancroft St

12.33 This is a recent new-build residential block to the north of the site primarily arranged over 6 floors directly opposite the application site (with a set-back isolated 2 additional floors). There are a number of projecting balconies which inherently reduce daylight (and sunlight as applicable) to the windows / rooms below such balcony soffits. In addition, the design also has incorporated a number of recessed balcony positions which inherently reduce daylight/sunlight to a greater extent than windows / rooms beneath projecting balconies.

- 12.34 For all applicable reductions, in respect of windows serving habitable rooms analysed, the analysis indicates 79 No windows out of 99 No. windows meet BRE Guide target criteria.
- 12.35 For the 20 No. that have reductions greater than BRE target criteria, these relate to windows at the western end of the south facing / site facing elevation for the five lowest storeys. In the majority of cases, although not in all instances, these relate to windows with inherent sensitivity due to balcony soffits projecting above windows already restricting daylight (or recessed balcony positions). For the 20 No. windows, impacts / background can be summarised as;
- 10 No. windows have reductions of 'high minor / low moderate adversity' but in all instances, the retained VSC is above a VSC value of 20 which should be considered acceptable of an urban context.
 - 5 No. windows having projecting balcony soffits above (window ref. W4 at ground, 1st, 2nd, 3rd & 4th floor) which have reductions in VSC typically 'major adverse' (retained values ranging 6.9 to 14.1). However, importantly, windows adjacent to these windows which do not have a balcony projection above, either meet BRE target or have a retained VSC value of greater than 20 which should be considered reasonable for an urban context. Thus the balcony soffit is having an inherent effect in this instance rather than an adverse proposal.
 - 5 No. windows (window refs. W8 & W11 at 1st & 2nd floor and W8 at 3rd floor) are set within a recessed balcony that effectively receive no meaningful VSC as existing (existing VSC values range 0.1 to 4.6). In this instance, when having such existing low values, disproportional reductions in percentage terms can result; in absolute terms, VSC reductions are limited to not exceeding a VSC loss of just 2.5 points. Thus the inherent recessed balcony is having a significant effect / these is limited impact from the proposal in real terms.
- 12.36 For any applicable reductions to daylight distribution to habitable rooms, these meet BRE Guide target criteria with the isolated exception of 7 No rooms; 6 No. living/kitchen/dining rooms and 1 No bedroom
- 12.37 4 No. of these rooms, daylight distribution is more sensitive to changes in lightflow, due to balcony soffits above the window or that the balcony is within a recessed balcony position; without such balcony soffit restrictions, it is consider daylight distribution would meet or be close to target criteria. For the 3 No. remaining rooms, these are positioned on the ground floor and relate to 2 No. living/kitchen/dining rooms (which appear deep rooms and the BRE Guide recognises that rooms deeper than 5 metres and lit from one side may result in greater movement in daylight distribution) and 1 No. bedroom (window positioned in the corner of the room / some inherent greater sensitivity to daylight distribution as a result).

Sancroft House, Sancroft St

- 12.38 This is a 5 storey residential block to the east of the site with an end elevation facing the site (which appear to be secondary windows to dual aspect rooms). The rear / deck-access elevation has also been assessed as perpendicular to the proposal.
- 12.39 For the 10 No. windows within the end elevation / facing the application site, in respect of daylight VSC, these are considered to be more 'secondary' windows to dual-aspect rooms with a respective main window in either the front or rear elevation. Whilst inevitably, there are some significant reductions to these end elevation windows, as highlighted, we consider for daylight VSC, these are not the main windows for review. In terms of the front elevation windows, there are effectively no reductions from the proposal. For reductions to the rear elevation windows, excluding non-habitable rooms and small galley kitchens (below 13m²), reductions to VSC meets BRE target criteria with the isolated exception of 9 No. windows which we summarise as follows;
- 4 No. windows relating to the closest vertical column rear elevation windows to the proposal (window ref. W4 at ground, 1st, 2nd & 3rd floor). These are anticipated to be serving bedrooms and reductions

ranging 30% to 39% (thus typically 'moderate adverse'). However, retained VSC values range 19.5 to 25.7 for these particular windows which is considered reasonable for an urban context.

- 3 No. windows relating to the second-closest vertical column rear elevation windows to the proposal (window ref. W5 at ground, 1st & 2nd floor). These are also anticipated to be serving bedrooms and reductions ranging 29% to 34% (thus typically 'moderate adverse'). However, retained VSC values range 21.0 to 25.0 for these particular windows which is considered reasonable for an urban context.
- 2 No. windows in the rear elevation adjacent to the central stair core (window ref. W16), which are set within the deck-access. The reductions to these particular window positions (at 1st and 2nd floor) can be considered 'minor adverse' and really due to the inherent sensitivity due to being both within a deck-access position (projecting soffit / deck above) and also in part, the projecting wall of the stair core. We consider analysis without such inherent sensitivity / 'without balcony' analysis would then confirm such reductions meet / be very close to BRE guide target criteria.

12.40 From the analysis, for any applicable reductions to daylight distribution to habitable rooms, these meet BRE Guide target criteria.

Pella House

12.41 This is a 5 storey residential block south of the site with the main elevation facing onto Orsett Street with the western end of this elevation opposite the proposal.

12.42 There are 21 No. windows with VSC reductions not meeting BRE Guide target criteria (excluding secondary / side windows to bay window projections e.g. window ref. W18 & W20), which relate primarily, to the lower floors at the western end of the elevation fronting onto Orsett Street i.e. opposite the proposal. Whilst there are typically 'moderate adverse' reductions to daylight VSC to the windows identified at the lowest three storey levels and 'minor adverse' reductions at 3rd floor (4th floor reductions meeting target criteria), the actual retained values are typically above 20 (an isolated 2 No. windows below 20 at a VSC of 18 and 19.3), which could still be considered reasonable for an urban context.

12.43 For any applicable reductions to daylight distribution to habitable rooms, these meet BRE Guide target criteria with the isolated exception of 14 No rooms; it is anticipated that these rooms are a mixture of living rooms or bedrooms (although the exact split in terms of room use is not known, we anticipate that the majority of rooms relate to bedrooms).

12.44 Of these 7 No. 'major adverse', 4 No. 'moderate adverse' and 3 No. 'minor adverse'. In respect of the 'major adverse' reductions, typically rooms in the proposed will have just over half the room area as having the ability to receive direct sky light at working plane (and for 'moderate adverse' reductions, retained values are over 60% and for 'minor adverse reductions', retained values are circa 70%).

18-28 Bland House, 24 Vauxhall St

12.45 This building is to the west of the site fronting onto Vauxhall Street and there are 4 storeys of residential ground floor commercial.

12.46 There are 14 No. windows with VSC reductions not meeting BRE Guide target criteria which primarily relates to almost all windows facing site at 1st & 2nd floor and a limited number of windows at 3rd floor (reductions at 4th floor meeting BRE target criteria). We summarise the analysis for these 14 No. windows having reductions not meeting BRE target criteria it shows that whilst there are typically 'moderate adverse' reductions to daylight VSC to the windows identified at 1st & 2nd floor and 'minor adverse' reductions at 3rd floor (4th floor reductions meeting target criteria), retained values in all instances are above 20, which could still be considered reasonable for an urban context.

12.47 For any applicable reductions to daylight distribution to habitable rooms, of these 17 No. rooms

with reductions not meeting target criteria; it is anticipated that these rooms are a mixture of living rooms or bedrooms (although the exact split in terms of room use is not known) – the analysis for these 17 No. rooms having reductions not meeting target criteria there are 17 No. habitable rooms with reductions not meeting BRE Guide target criteria; 7 No. 'major adverse', 4 No. 'moderate adverse' and 6 No. 'minor adverse'. In respect of the 'major adverse' reductions, typically rooms in the proposed will have just over half the room area as having the ability to receive direct sky light at working plane with the exception that for 2 No rooms, the daylight distribution would be left at 40% and 47% respectively. For 'moderate adverse' reductions retained values are over 60% and for 'minor adverse' reductions, retained values are over 70%.

14-16 Vauxhall St

12.48 This building is to the west of the site fronting onto Vauxhall Street and there are 3 storeys of residential.

12.49 There are 9 No. windows with VSC reductions not meeting BRE Guide target criteria which relates to those windows facing the application site. For these 9 No. rooms having reductions not meeting target criteria it can be concluded that whilst there are typically 'major adverse' reductions to daylight VSC to the windows identified at ground floor and 'minor / moderate adverse' at 1st & 2nd floor, retained values in all instances are above 20 (excepting 2 No. windows with a retained value of 10.7 and 18.5 respectively which are anticipated to serve a bedroom), which could still be considered reasonable for an urban context.

12.50 For any applicable reductions to daylight distribution to habitable rooms, these meet BRE Guide target criteria with the isolated exception of 4 No rooms. Of the 4 No. habitable rooms with reductions not meeting BRE Guide target criteria; 1 No. 'major adverse' and 3 No. 'moderate adverse'. In respect of the 'major adverse' reduction, in the proposed scenario, the room will have 55% of room area as having the ability to receive direct sky light at working plane and for the remaining rooms highlighted, this ranges 59% to 70%.

Orsett Street Sunlight – Impact Upon Neighbouring Habitable Rooms

12.51 Neighbouring properties have been considered in terms of sunlight reductions to habitable rooms; the main focus for analysis review is upon living rooms (and conservatories if applicable). From consideration of the analysis, we conclude that in the main, reductions meet BRE Guide target criteria and for those isolated instances, where reductions are greater these can be considered as close to target criteria or in terms of bedrooms or kitchens as not losing too much sunlight. The analysis in terms of sunlight review should be considered acceptable.

Orsett Street Sunlight – Impact Upon Neighbouring Amenity

12.52 The main amenity for applicable review is that to the east of the proposed application site relating to the amenity area to the rear of Sancroft House (also accessed from Orsett Street). In reference to the analysis review for the standard 2 hour availability of sunlight to neighbouring amenity areas (at the 21st March equinox), there is a reduction of just 2% to the existing condition – the area will still have the ability to receive 2 hours of sunlight or more (21st March) to almost all the amenity area (96%) thus readily meeting target criteria / should be considered acceptable. (As background, the amenity / rear garden areas in front of Pella House is not applicable for review as this is effectively south of the proposal).

Summary - Orsett Street

12.53 Overall, whilst there will be some noticeable impacts to daylight to neighbouring properties (to daylight VSC and / or daylight distribution), given consideration also to retained values, if such

impacts where to be categorised in reference to full EIA review, it is considered the extent of such impact as typically 'minor / moderate adverse' to all neighbouring properties (including due consideration of 'without balcony analysis') although there are some areas of more 'major adversity' to some isolated windows / rooms to some neighbouring properties and the consideration of overall acceptability needs to be balanced against the optimisation of the use of the site and significant public benefits delivered by the proposed scheme.

12.54 In addition, the proposal would not significantly impact on sunlight to neighbouring habitable rooms or amenity areas.

Privacy

12.55 Policy Q2 (iii) of the LLP requires development proposals to avoid "wherever possible" any unacceptable levels of overlooking (or perceived overlooking).

Jonathan Street

12.56 The closest residential windows facing towards the site are located opposite the development at 79 Vauxhall Walk, being at a minimum of 13.7 metres from residential windows in the proposed building, with the parts of the balcony space to the front of the windows being a minimum of 11.3 metres away. The applicant has proposed mitigation measures to diminish the sense of overlooking through privacy balustrades and screens. The measures proposed are considered to be sufficient in this instance recognising that the properties face each other across a public highway, a typical relationship in such a context. Windows within Haymans Point are not directly overlooked from the proposed with views being oblique and sufficient distances so as to avoid overlooking.



Figure 51: Detail showing closest relationship to site (source: Design and Access Statement)

Orsett Street

12.57 The proposed development is set sufficiently away from neighbouring property so as to protect the amenity of neighbouring residents. There is a minimum of 17 metre distance from the nearest new home window to an existing one. Such a relationship across public space reflects the established pattern in the vicinity of the site and the privacy of future residents would be preserved.

12.58 Objections have been received in this regard, however, as demonstrated it is considered that the proposed design subject to condition would not result in unacceptable levels of

overlooking in accordance with LLP Policy Q2.

Outlook

12.59 Policy Q2 (iii) of the LLP requires development proposals to avoid “wherever possible” any undue sense of enclosure. Officers consider sufficient distances would be maintained between the proposed building and surrounding residential neighbours and that the proposed buildings would not unduly impact upon the outlook from the neighbouring properties. Whilst both proposals would remove existing open areas, the proposed design takes account of the street pattern, re-establishing former building lines and forms. Objections have been raised in this regard concerning both sites. However, it is considered that the proposed buildings would not impinge outlook so as to create an undue sense of enclosure given the scale of the buildings and the distances to neighbouring properties and would therefore be in accordance with LLP Policy Q2.

Noise and Vibration

12.60 LLP Policy Q2 makes clear that proposals should ensure that any adverse impact in terms of noise and vibration should be reduced and minimised as far as possible to ensure the amenity of existing and future occupants is protected. The development would not likely result in an unacceptable impact on surrounding properties with regard to noise, noting the surrounding residential setting and any noise from residents would be mainly domestic in nature, with the Community Centre being a replacement of the existing facility and one managed by Vauxhall Gardens Estate residents themselves.

12.61 The Council's environmental health consultant has reviewed the proposal and raised no objection subject to conditions requiring details of the scheme of noise and vibration attenuation and ventilation, full details and schedule of internal and external plant equipment, full details of any flues, in additions to a Community Use Management Plan and Delivery and Servicing Plan.

Construction

12.62 Negative noise and dust impacts from construction were raised in objection from local residents. An outline Construction Logistics Plan has been provided which sets out a series of recommendations for works at both sites and the Council's consultant has not raised any concern with its content. However, a condition (condition 6) is recommended to secure a final Construction Environmental Management Plan for submission and approval before development commences in accordance with LLP Policy Q2. In addition, any construction works would be subject to statutory nuisance legislation, further protecting the amenity of residents.

Lighting

12.63 No details regarding lighting have been provided at this stage. To ensure minimal nuisance or disturbance is caused to the amenity of neighbouring occupiers and of the area generally in line with LLP Policy Q2 a condition (condition 39) is recommended that details of lighting be submitted.

13 Designing Out Crime

13.1 London Plan Policy D11 seeks development that includes measures to design out crime. LLP Policy Q3 states the Council will expect good design to design out opportunistic crime, anti-social behaviour and fear of crime.

13.2 Both designs will enhance natural surveillance, introducing overlooking to streets facing the Orsett Street site and increasing such opportunities at the Carmelita Centre. The entrances to the proposals are considered to be safe and will serve to create ground floor activity. The architects met with the Designing Out Crime Officer for the Metropolitan Police during the course of the pre-application discussions and the scheme incorporates the recommendations made. Conditions are recommended which requires a secure by design certificate to be submitted and approved prior to occupation (Conditions 18 and 19).

14 Trees and Landscaping

14.1 LLP Policy Q10 states that proposals for new developments will be required to take particular account of existing trees on site and adjoining land. Development will not be permitted that would result in the loss of trees of significant amenity, historic or ecological/habitat conservation value, or give rise to a threat, immediate or long term to the continued wellbeing of such trees. Where appropriate the planting of additional trees should be included in new developments. Policy Q10 also states where it is imperative to remove trees, adequate replacement planting should be secured based on the amount and nature of the existing value of the trees removed using cost/benefit tools such as CAVAT.

14.2 The Arboricultural Report submitted with the application (prepared by SJA) indicates that there are 32 trees and one group of trees within or immediately adjacent to the two sites. All but six of the trees are found at the Orsett Street site, the arboricultural character of which is defined by the sixteen large canopied silver maples that are growing to the south of Sancroft House adjoining the car parking and lawn. There are also a number of trees along the Vauxhall Street frontage with two rows of street trees. At the Jonathan Street site, the trees are spaced in a sparser arrangement around Haymans Point.

14.3 British Standard 5837:2012 (Trees in Relation to Design, Demolition and Construction) provides a cascade chart for tree categorisation with three Categories for trees considered for retention,

- A - being trees of high quality with an estimated life expectancy of at least 40 years
- B – being trees of moderate quality with an estimated life expectancy of 20 years. These trees are considered to have material conservation or cultural value
- C- Trees of low quality with an estimated life expectancy of 10 years or young trees with a stem diameter below 150mm. These trees are considered to have no material conservation or cultural value.

14.4 A total of sixteen trees are proposed to be removed across both sites, 3 at Jonathan Street (lime no. 50, rowan no. 52 & plum no. 53) and 13 at Orsett Street (twelve Silver Maples and one young Goat Willow, No.s 4-17), either because they are situated within the footprints of proposed structures or surfaces, or because they are too close to these to enable them to be retained.

14.5 Of the trees to be removed, five are category 'B'. and eleven are category 'C'. The Arboricultural Report identifies the trees to be removed as set out in the table below.

Tree no.	Species	Height	Trunk diameter	Age class	BS category
4	Silver maple	19m	495mm	Mature	B (12)
5	Silver maple	17m	440mm	Semi-mature	C (12)
6	Silver maple	17m	280mm	Semi-mature	C (12)
7	Silver maple	20m	670mm	Mature	B (2)
9	Silver maple	18m	450mm	Semi-mature	C (12)
10	Silver maple	18m	315mm	Semi-mature	C (12)
11	Silver maple	13m	295mm	Semi-mature	C (2)
12	Silver maple	18m	400mm	Semi-mature	C (2)
13	Silver maple	18m	370mm	Semi-mature	C (12)
14	Silver maple	20m	580mm	Mature	B (1)
15	Silver maple	18m	420mm	Semi-mature	C (2)
16	Silver maple	20m	570mm	Mature	B (1)
17	Goat willow	4m	70mm 75mm 110mm	Young	C (1)
50	Common lime	11m	470mm est.	Semi-mature	B (12)
52	Rowan	4.5m	180mm	Semi-mature	C (1)
53	Pissards plum	6m	410mm	Over-mature	C (2)

Figure 52: Trees to be removed (Numbers 4-17 at Orsett Street, 50, 52 and 53 at Jonathan Street. Source Arboricultural Report)

- 14.6 Twelve Silver Maple mature trees are proposed to be removed to accommodate the development proposal at Orsett Street, primarily those centred around the existing parking area. Four Silver Maples would be retained as a group together around the existing amenity space with three directly along the Orsett Street frontage, thereby retaining a strong visual presence within the street.
- 14.7 The loss of the trees at Orsett Street has been the subject of objections from local residents, expressing concern about the visual amenity and biodiversity loss that would result. The Council's Arboricultural Officer has also raised concern about the loss of trees.



Figure 53: Extract from Tree Report with view looking east on Orsett Street (Yellow line indicates extent of retained canopy)

- 14.8 At Jonathan Street, one lime tree with an estimated canopy spread of 4.5 metres would be removed to facilitate the Community Garden proposed and two other trees a Rowan and plum tree removed to accommodate the new building. It is not considered that their removal would have a negligible impact on the character and appearance of the area.

Replacement Trees

- 14.9 The redesign of the Orsett Street site would incorporate the planting of 14 new trees on the site to replace those lost to the construction of the new housing. A total of 6 species are proposed of varying size, colour and form with added seasonal interest in blossoming and autumn leaf.



Figure 54 : Tree Planting Strategy, Orsett Street (source: Design and Access Statement)



Figure 55: Replacement tree planting Orsett Street site (source: Design and Access Statement)

14.10 At the Jonathan Street site, a total of 13 trees would be planted to replace the three lost to the proposed community centre and housing. As per the Orsett Street site a number of different species are proposed, designed to provide increased arboricultural diversity.

Figure 56: Proposed Tree Planting Strategy at the Jonathon Street site



14.11 Paragraph 131 of the NPPF states 'Trees make an important contribution to the character and quality of urban environments, and can also help mitigate and adapt to climate change and developments should take opportunities incorporate trees and ensure existing trees are retained wherever possible.

14.12 London Plan and Local Plan policy set out that when the removal of trees is necessary there should be adequate replacement based on the existing value of the benefits of the trees removed determined by the CAVAT or other valuation system. The applicant has undertaken the valuation exercise which has been reviewed by the Council's Arboricultural Officer who notes that the combined CAVAT value across the two sites is £297,641. The applicant has agreed to the valuation, an amount that would be secured via the s106 agreement to provide replacement trees in the surrounding area. In addition to the on-site replacement, it is noted

that a further 22 trees of various species are shown in the applicant's submission to be planted at Tracey Island and Venn Park.



Figure 57: Tree Planting Strategy at Tracey Island and Venn Park

- 14.13 As set out in this report, officers are satisfied that the proposed layout represents the optimum use of the site and will deliver a number of urban design, housing, regeneration and other benefits that could not come forward without the loss of the trees at Orsett Street. Moreover, it is considered that the combination of replacement planting and off-site planting at Venn Park and Tracey Island, in conjunction with the financial contribution for tree planting set out above, would mitigate against the loss of trees in this location. Subject to detail on final design and planting schedule for both sites (Conditions 23 and 24) and a financial contribution, the proposal is considered to meet LLP Q10 and London Plan Policy G5.
- 14.14 The applicant has produced an outline arboricultural method statement, setting out tree protection measures to be employed during the course of construction works. A condition ensuring compliance with the Statement and Tree Protection Plans is recommended (Condition 25).

Landscaping

- 14.15 LLP Policy Q9 requires developments to provide landscaping that is fit for purpose, provides means of access routes, avoids piecemeal or left over spaces, includes sustainable drainage, maximises opportunities for greening and makes use of appropriate plant species and is attractive and well designed. At the Jonathan Street site, the proposed dedicated garden space for the new community centre and the enhancements proposed for the remaining landscape space are welcomed. The enclosed and gated community centre garden is also considered to be a positive aspect of the scheme provide a secure and managed facility for the benefit of local residents to engage in a range of uses including nursery play. Likewise, the landscaping proposed at Orsett Street is considered to be well designed encouraging the use of the space to the rear of Sancroft House above the limited facility currently provided.

- 14.16 The proposed soft landscaping for both the reconfigured Jonathan and Orsett Street sites offer an appropriate balance between amenity, access, play and ecology, and the proposed selection of plants and trees is appropriate for the scale, size and physical constraints at both ground level and at roof level in the case of garden terraces. Additional details as to final designs, planting and maintenance, and these can be secured by condition (see Conditions 23 & 24).
- 14.17 The type and purpose of the proposed enhancements to Venn Park, Tracy Island and Coverley Point are appropriate and achievable, and should secure the required offsetting of accessible, high quality amenity space with high landscape, ecological and social value. These proposed enhancements would be secured via the s106 legal agreement with further detail to be provided at the submission of separate planning applications.
- 14.18 Subject to conditions it is considered that the landscaping proposed accords with requirements of Policy Q9 of the LLP.

Biodiversity

- 14.19 Policy EN1 of the LLP seeks to prevent development that would result in significant harm to the nature conservation or biodiversity value of an open space including any designated or proposed Local Nature Reserves (LNR) or Sites of Importance for Nature Conservation (SINC) and requires development proposals to protect, enhance, create or manage nature conservation and biodiversity interest. Policy G6 of the London Plan states that development proposals should manage impacts on biodiversity and aim to secure net biodiversity gain.
- 14.20 An Ecology Report was submitted (by AAe) accompanying the application. This identifies that there are no ecologically statutory designated sites located on or directly adjacent to the sites nor any within 2km search area.
- 14.21 The report confirms that the Jonathan Street site consists of the portacabin, hardstanding, open space and a raised bed for vegetable growing and Orsett Street being principally hard standing car park and open space, some partly covered with hardstanding in connection with the temporary construction compound.
- 14.22 The report confirms that with regards to the following species:
- Badgers: No evidence of badger or their setts was recorded on the site or in the surrounding area. Evidence of fox and rats were found underneath the community centre building
 - Bats: No evidence was recorded of bats through external and internal inspection of buildings at the sites. The buildings were assessed to provide negligible roosting opportunities for bats. The trees on site were assessed to provide negligible to low roosting opportunities with limited foraging habitat.
 - Herpetofauna: There were no ponds on the site and therefore no breeding opportunities for amphibians. A search of the site was undertaken and no species of herpetofauna was found sheltering under any refugia lifted
 - Other Wildlife: Apart from a few common species of birds, either recorded on the site or flying overhead, no other species of any note were recorded.
- 14.23 The report concludes that there are no habitats of international, national, county or local importance that would be directly or indirectly affected by the proposals. Each site is of overall low ecological value, with the species recorded described as common or abundant and are found in similar places across much of Britain, with no evidence of protected species recorded. The Council's Ecologist raised no objection to the report's conclusions subject to

securing a series of appropriate landscape enhancements which will provide the mitigation required to compensate for the proposed loss of housing amenity open land. Appropriate protocols should still be in place during site demolition/clearance stages to ensure no nesting wild birds or roosting bats are disturbed or harmed, should they have occupied any of the buildings, trees or vegetation present within or immediately adjacent to the application site. A condition requiring works are undertaken in accordance with the mitigation measures proposed is recommended (Condition 26).

- 14.24 Officers are therefore satisfied that subject to following the recommendations in the AAe report and conditions requiring high quality soft landscaping (conditions 23 and 24), bird and bat boxes (condition 27) and a lighting scheme that minimises light spillage and pollution (condition 38), the proposed works can be carried out in a way that reduces any impact on local wildlife and also delivers enhancement measures to increase the nature conservation value of the site in the long term.
- 14.25 London Plan Policy G1 part D seeks that proposals incorporate appropriate elements of green infrastructure such as street trees and green roofs. The proposals for the flat roofs on the new housing blocks incorporate areas of green roof which are welcomed and should be provided as biodiverse living roofs where possible, to compensate for the loss or reduction of any existing habitats on the current site. The roofs can be a mixture of PVs and green roof, but the design of the green roofs must be as maximal in area as possible and designed to provide maximum biodiversity benefit. It is recommended that further details regarding the area, design and construction of the green roofs are secured by condition (condition 28 and 29).

Urban Greening Factor

- 14.26 LLP Policy EN1 requires that proposal apply London Plan Policy G5, which requires proposals within boroughs to develop an Urban Greening Factor (UGF) to identify the appropriate amount of urban greening required within developments. For residential development this is an Urban Greening Factor of 0.4. Urban greening covers a wide range of options including, but not limited to, street trees, green roofs green walls, and rain gardens. It can provide a range of benefits including amenity space, enhance biodiversity, addressing the urban heat island effect, sustainable drainage and amenity – the latter being especially important in the most densely developed parts of the city where traditional greenspace is limited. It has been demonstrated that both sites achieve on-site UGF in excess of 0.4 (0.48 at Jonathon Street and 0.44 at Orsett Street) as required by policy. The scheme incorporates extensive green roofs, flower rich perennial planting, climbing plants, hedges, tree planting, groundcover planting and permeable paving. Therefore, the proposal meets the requirements of the London Plan Policy G5 and LLP EN1. To validate the measures at the as built stage a condition (condition 22) is recommended that evidence is provided to demonstrate and illustrate the development has achieved an urban greening factor of 0.4 or more.

15 Transport

Site Context

- 15.1 The two sites are separated by around 200m set within a primarily residential area, linked by Jonathan Street and Vauxhall Street, which has a variety of shops and amenities.
- 15.2 The Jonathan Street site is located on the junction of Vauxhall Walk and Jonathan Street, the former being southbound only for vehicles with a cycle lane enabling access in both directions. Black Prince Road is located to the north of both sites, enabling access to bus services and local shops. To the south, Vauxhall Walk provides access to Vauxhall Pleasure Gardens and Vauxhall train station. By road, Sancroft Street and Black Prince Road provide access to the

A23 Kennington Road to the east, which meets the A3204. There are traffic calming measures including a raised table at the junctions of Orsett Street / Vauxhall Street, Jonathan Street / Vauxhall Street and Jonathan Street / Vauxhall Walk. The roads surrounding the sites are subjected to 20mph speed limits. The Cycle Superhighway 7 (CS7) travels on the A3 close to the sites. Quietway 3 passes along Vauxhall Road, adjacent to the Orsett Street site and parallel to the CS7. Cycle Superhighway 5 is also located 650m south of the site, with access gained from Vauxhall Spring Gardens, to enable access over Vauxhall Bridge to the west. There are cycle hire docking stations on Sancroft Street with capacity for 24 cycles and in Vauxhall Spring Gardens at the southern end of Vauxhall Walk, which has capacity for 26 cycles.

- 15.3 The sites have access to nine regular bus services and three night bus services providing access within 10 minute walk. The nearest rail station to the application site is Vauxhall Rail Station with underground and regional services, located 550m from the Jonathan Street site and 850m from the Orsett Street site. Both sites have a PTAL rating of 6a (excellent). Within 1.2km of the site, there are 14 Zipcar car club bays available.
- 15.4 Both sites are within Controlled Parking Zones and subject to on-street restriction Monday to Friday 08:30 to 18:30 with paid parking (maximum 4 hours) also available. A Parking Beat survey was conducted around both sites, the results of which revealed that of the 170 resident bays within 200 metres of the site an average of 75 spaces were occupied (44% parking stress) with 11 of the 16 spaces at Sancroft House occupied.

Sustainable Travel

- 15.5 LLP Policy T1 states that Lambeth will promote a sustainable pattern of development in the borough, minimising the need to travel and reducing dependence on the private car. Policy T1 also adds that the Council will seek to maximise trips made by sustainable modes and apply London Plan policy T2, Healthy Streets in accordance with the Lambeth Healthy Routes Plan and Low Traffic Neighbourhood Plan to facilitate walking and cycling trips. Development must contribute towards the improvement of inclusive access to public transport and walking and cycling routes. LLP T2 States that Lambeth will support the delivery of public realm improvements designed to create attractive places that encourage economic and social activity.

Access

- 15.6 No new vehicular access will be provided to the Jonathan Street site, instead an existing parking area off Tyers Street will be extended to facilitate disabled parking requirements. A new dedicated access for pedestrians and cyclists will be provided from Jonathan Street, opposite the junction with Worgan Street, an access that will also benefit Haymans Point residents. This is welcomed, not only in terms of the provision of access to these buildings but also in regard to the public realm improvements provided at this site and beyond by this development in accordance with LLP T2.
- 15.7 At Orsett Street vehicular access will be served by the existing access off Sancroft House with the car park being amended to serve existing and new residents with a turning head provided to enable a refuse vehicle to enter and leave in forward gear. Pedestrian and cycle access will be provided from Vauxhall Street and Orsett Street, with ground floor units all having dedicated accesses off the street. Redundant crossovers at both sites will have to be removed. The applicant will need to enter into a s278 agreement with the Council's Highway team. This would be secured by planning obligation.

Cycle Parking

- 15.8 LLP Policy T3 requires development to provide cycle parking in accordance with London Plan standards and the Council will look to promote cycling in accordance with the Lambeth Healthy Routes Plan. LLP Q13 states that cycle storage in developments should be fully integrated, accessible, inclusive and be fully compliant with minimum London Plan standards.
- 15.9 A total of 74 spaces were originally proposed at the Orsett Street site for residents and visitors, 50 on two tier cycle racks in a secure communal store, along with 4 Sheffield stands internally and two externally. Each of the ground floor units would have brick facing cycle sheds to accommodate 2 cycles. This is significantly greater than London Plan standards (48 as a minimum). Policy Q13 of the LLP sets out that at least 25 per cent of the total cycle parking provision should be of the most accessible type, such as 'Sheffield' stands, of which 5 per cent should be designed and clearly designated for larger and adapted cycles. Following discussion, the applicant provided a further 4 stands to be located adjacent to the Sancroft Street elevation, taking the number of Sheffield Stands to 8 which remains short of the minimum 12 required to meet London Plan and LLP standards. The applicant has not demonstrated compliance with this emerging policy. However, given the overprovision of two-tier parking it is considered that the space for the additional and more accessible stands is possible and a condition in that regard is recommended (Condition 32). In addition, in order to meet emerging policy a charging point for electric bikes would be required within the communal cycle store.
- 15.10 At the Jonathan Street site, a total of 69 cycle spaces are provided, 56 for the residential occupiers (10 Sheffield stands and 46 in two tier racks) within a secure communal store adjacent to the residential entrance. 12 visitor spaces are proposed in two groups, for visitors via Sheffield stands and 1 space provided internally within the Community Centre. The total provided exceeds the minimum required by 6 spaces. Including the visitor spaces, the 22 Sheffield stands provided meet the overall 25 per cent requirement of single height spaces.

Electric Vehicle Charging Points

- 15.11 London Plan policy T6 requires that all residential car parking spaces must provide infrastructure for electric or Ultra-Low Emission vehicles. At least 20 per cent of spaces should have active charging facilities, with passive provision for all remaining spaces. In keeping with this one space in each revised parking space will be equipped with an electric vehicle charging point (Condition 33).

Car Parking and Servicing

- 15.12 At the Jonathan Street site, the existing car park off Tyers Street will be extended into the lawn area to the south west of Haymans Point to provide an additional 5 disabled spaces, 2 for the Community Centre and 3 for the residential units. All would be within 50 metres of the relevant entrance. This is considered to accord LLP Policy T7.
- 15.13 The revised parking to the rear of Sancroft House will provide 4 disabled spaces for the residents of the newbuild alongside 9 others to replace the current 16 spaces. The parking survey highlighted that there may be greater demand for car parking in the car park than that proposed, with 11 cars parked within the car park, two more than the proposed 9 spaces. To mitigate this Transport Planning Officers have requested that an initial 2 disabled bays are provided rather than the proposed 4 and a disabled car parking monitoring plan is submitted via planning obligation to monitor if and when additional demand for disabled parking is required. However whilst there would be a reduction in available spaces provided within the Orsett Street car park, the 4 disabled spaces would ensure that all 4no. M4(3) wheelchair user dwellings at the Orsett Street site have immediate access to an allocated space, to aid maximum accessibility within the development proposals. This is considered to accord with the London Plan policy T6.1.

15.14 Excepting the disabled parking provision, as a car free development, it is recommended that an obligation be secured by the s106 agreement to remove the eligibility of new residents to both sites to apply for residential parking permits. New residents moving into the units would be informed of this and the obligation would be enforceable against any successors in title and will therefore remain relevant for the lifetime of the development. This would not apply for any existing residents of the estate who move into the units who would retain their existing parking permits.

Network Impacts

15.15 At Orsett Street the proposed development will generate up to 6 vehicle movements during weekday peak hour or 1 every 10 minutes to the highway network which includes servicing and delivery movements with an additional 5 vehicles per hour at Jonathan Street. Neither of these are considered significant numbers and the highway network would not be significantly affected.

Delivery and Servicing

15.16 At Orsett Street, the refuse store would be accessed from the site car park. Veolia initially raised queries regarding the ability of their vehicles to adequately navigate this space and the applicant has supplied an additional swept path analysis based on the now larger refuse trucks. Veolia consider that refuse collection would be free of obstacles and able to be accessed and existed in a forward gear. Servicing is proposed both from the car park and on-street. It is considered that sufficient space for this to be accommodated is shown.

15.17 Servicing and delivery for the Jonathan Street site would be provided on-street with sufficient space considered to be available.

15.18 The applicant has supplied an outline Construction Logistics and Management Plan setting out details of management and construction methodologies to lower emission, enhance safety and reduce any congestion. The works are considered to take up to 18 months to complete with guidance set out in the Plan to address matters such as vehicle routing, delivery, re-use of material on-site and a staff Travel Plan. The Council's Transport Officer has requested a full Construction and Environmental Management Plan be submitted and approved (Condition 6).

Mitigation

Car Club

15.19 LLP Policy T7 states together with London Plan Policy T6 the Council will promote a reduction in car ownership and private car trips. Policy T7(e)(iv) also confirms that Car Clubs and pool car schemes would also be promoted as an alternative to car parking and individual car ownership in place of private parking. For the proposed development, provision of Car Club membership would be required for all residents (one membership per residential unit) from first occupation of the development. This would be secured by s106 Agreement.

Cycle Hire Membership

15.20 Policy T3 of the LLP sets out that a minimum of three years free membership of the Cycle Hire scheme for each dwelling regardless of tenure, should be provided in new residential developments. This would be secured by planning obligation.

16 Sustainable Design and Construction

- 16.1 London Policy SI 2 requires major residential developments to achieve zero carbon status, reducing greenhouse gas emissions in operation and minimising energy demand in line with the Mayor's energy hierarchy. A minimum on-site reduction of at least 35 per cent beyond Building Regulations. Residential development should achieve 10 per cent and non-residential achieve 15 percent through energy efficiency measures. Where zero carbon cannot be reached on-site any shortfall should be either through a cash in lieu contribution to the Council's carbon off-set fund or off-site if an alternative proposal is identified and deliverable. Major development proposals that cannot immediately connect to an existing heating or cooling network should follow the heating and cooling hierarchies set out in London Plan policies SI3(D) and SI4 (B).
- 16.2 LLP Policy EN4 states that all development will be required to meet high standards of sustainable design and construction and demonstrate that sustainable design standards are integral to the design, construction and operation of the development. New build residential developments are encouraged to use the Home Quality Mark and Passivehaus design standards. LLP Policy EN3 requires major developments to connect to decentralised heating networks unless connection is not reasonably possible. Where networks do not exist developments should make provision to connect to any planned network locally.
- 16.3 The applicant submitted an Energy and Sustainable Statement and an Overheating Assessment, the material of which has been reviewed by the Council's consultants (bioregional) who have raised no objections subject to planning conditions outlined in the sections below.

Decentralised Energy

- 16.4 The VNEB heat network is the nearest to the site being currently some 750 metres south west of the two sites with no known points of expansion to the east side of the railway line. The applicant has liaised with the heat network operator (Engie) and there are no clear commitments to connect to areas close enough to the site to make a connection feasible. In accordance with hierarchy in Policy SI3 Part (D) of the London Plan, the applicant has demonstrated that a communal system would not be beneficial for a development of this size, and therefore proposes an individual heating system for each site. CHP has not been considered due to the carbon emissions associated and the size of the development. the applicant has proposed individual ASHPs (lower cost to the residents than the communal system) to provide heating and hot water for the dwellings, as well as heating and cooling demand of the non-residential area of the development which is compliant with the London Plan Policy SI3 This has been verified by the Council's Sustainability consultant and Policy SI3 of the London Plan is considered to be satisfied.

Minimising Carbon Dioxide Emissions

- 16.5 Energy efficient design and renewable technologies will enable a reduction in Regulated CO₂ of 72.1% and 59.2% for the residential and non-residential elements respectively using SAP 10.1 CO₂ emissions factors. The remaining emissions shall be offset via a Zero Carbon payment contribution of £63,840. This is to be secured by s106 with the final amount to be determined following final emissions reduction being confirmed.
- 16.6 The Energy Statement provided is compliant with London Plan Policies, the document, however, does not demonstrate that an appropriate energy strategy has been developed in line with the GLA's Energy Assessment Guidance (2020) Energy Hierarchy. The applicant has not provided a sufficient reduction at the Be Lean stage of the Energy Hierarchy with

no design improvement on building regulation Part L requirements with active cooling with ASHP, with no passive cooling assessed. Likewise, the residential carbon emissions reduction achieved against the Part L 2013 baseline meets the target of 10%, however, it has not been demonstrated how the development's Be Lean strategy has been developed and explored in terms of enhancement of thermal fabric performance over the minimum. A condition (40) is recommended to ensure that optimisation of the Be Lean stage is investigated further through a revised Energy Statement including a potential for waste-water heat recovery and a green lease agreement to ensure efficient fit-out of the non-residential unit.

- 16.7 As per the above, for the Be Clean stage, the applicant has used the London Heat Map to show that there are no existing networks and no viable proposed heat networks in the vicinity of the sites.
- 16.8 For Be Green, the most viable renewable energy technologies have been recommended following a feasibility assessment. The applicant confirms that 4kWp and 8kWp installed capacity of solar PV is proposed on both Orsett Street and Jonathan Street sites respectively. Indicative roof plans have been provided confirming their location. Individual Air Source Heat Pumps are proposed to provide space heating and hot water. The applicant has provided SAP and SBEM calculations. Six flats have been assessed in the modelling and used to represent the other dwellings. No block calculations have been provided to confirm how the modelled apartments represent the other dwellings. A condition is recommended seeking confirmation of these calculations in the flats as constructed (Condition 41) and one in respect of the non-residential elements (Condition 42). In addition, a condition requiring details of the PV panels is recommended (condition 52).

Sustainable Design and Construction

- 16.9 The applicant has provided an Energy Statement and a Sustainability Statement compliant with the Mayor's Sustainable Design and Construction SPG (2014). The proposals also align with Lambeth Local Plan EN4 and the London Plan Policies with regards to sustainable design, construction and operation. These reports state that the measures proposed are appropriate to the scale and scope of the proposed development. The applicant is asked to produce a Whole Life Carbon Statement to demonstrate compliance with London Plan Policy SI2 item F, to capture the development's carbon emissions over time. A condition in this regard is recommended (Condition 51).
- 16.10 Policy SI4 of the London Plan requires applicants to demonstrate through an energy strategy how they will reduce the potential for internal overheating and reliance on air conditioning systems in accordance with the Mayor's cooling hierarchy.
- 16.11 The applicant has applied the Mayor's cooling hierarchy to reduce the risk of overheating as far as possible through passive measures. The submission falls short on implementing passive measures such as efficient building fabric, maximising floor to floor heights, optimization of glazing g-value and reduction of the proportion of glazing. However, the applicant demonstrates compliance through including internal blinds, insulated pipework and low energy lighting and confirms active cooling is not proposed. Overheating analysis to assess compliance against CIBSE TM59 has been undertaken for 13% of the units. The units were chosen to be representative of form, specification layout, floor level and glazing, although none of the single aspect units were assessed. The modelling used was the design weather file for the London Weather Centre DSY1 for the 2020's which takes into account the heat island effect. The applicant has however not tested the development for compliance against more extreme weather scenarios or demonstrated assessment of the non-residential areas at the Jonathon Street site. A condition in this regard is

recommended for an Overheating Assessment Report demonstrating that the extreme weather scenarios have been tested for compliance (Conditions 45)

- 16.12 The applicant has provided a pre-assessment of non-residential development that a BREEAM rating Excellent (new Construction 2018 assessment scheme) would be achieved. A condition (condition 44) is recommended to confirm the Excellent rating has been achieved, to ensure compliance with LLP policy EN4 (Condition 44).
- 16.13 For the operation of the development, confirmation has been provided that water efficiency measures will be implemented to ensure consumption of <105 litres per person per day through the inclusion of low flow toilet, mixer taps & shower heads in the flats. A condition for this has been proposed to demonstrate compliance at the as-built stage (Condition 46). Water metering will be in place and leak detection measures are proposed for the developments. Conditions demonstrating as-built compliance are recommended (Conditions 47 and 48).
- 16.14 The applicant has incorporated green infrastructure, communal lawn and biodiverse green roofs. It is not clear, however, if the species specified are native and also if any other enhancement opportunities have been explored for wildlife such as bird/bat boxes or through the maintenance plan for the lifetime of the development. To demonstrate compliance with LLP Policy EN4, it is recommended that the applicant provides details of the designed green roofs (Condition 28) to include such detail prior to occupation.
- 16.15 Policy S17 of the LLP requires development referable applications to submit a Circular Economy Statement, and LLP policy D3 requires development proposals to integrate circular economy principles as part of the design process. The GLA has released draft guidance for developers on how to prepare Circular Economy Statements and a 'Design for a circular economy' Primer that helps to explain the principles and benefits of circular economy projects. The applicant confirmed their commitment to using reasonable endeavours to meet the relevant targets and this will be confirmed within post-completion circular economy statement (Condition 54).
- 16.16 Overall, the proposed development has been designed to be highly sustainable and maximise the potential carbon savings that can be achieved in accordance with the relevant policy and guidance. Therefore, the proposed scheme complies with policies SI2, SI3, SI4 of the LLP and policy EN3 and EN4 of the LLP.

17 Other Environmental Matters

Flood Risk

- 17.1 LLP Policy EN5 states that flooding in the borough will be minimised through applying a sequential, risk-based approach to the location of development to avoid flood risk to people and property. This general approach is designed to ensure that areas at little or no risk of flooding from any source are developed in preference to areas at higher risk. For all developments, it must be demonstrated that development will be safe, and where required it will reduce fluvial, tidal, surface run-off and groundwater floor risk through using appropriate flood risk measures, including the use of sustainable drainage systems.
- 17.2 According to the Environment Agency flood maps, both sites are located within Flood Zone 3a with the proposed development classified as 'more vulnerable' according to the NPPF and as such subject to a sequential and exception test which has been produced by the applicant.

- 17.3 The site is within Flood Risk Zone 3a (high) which means that there is a 1 per cent or greater annual probability of river flooding or 0.5 per cent annual probability of sea flooding. However, the actual risk is lowered significantly due to the presence of the Thames Tidal Defences. In this risk zone, all development must satisfy the sequential test for development set out in the NPPF and 'more vulnerable' uses, such as residential, must meet the Exception Test. For the Exception Test to be passed:
- it must be demonstrated that the development provides wider sustainability benefits to the community that outweigh flood risk, informed by a Strategic Flood Risk Assessment where one has been prepared; and
 - a site-specific flood risk assessment must demonstrate that the development will be safe for its lifetime taking account of the vulnerability of its users, without increasing flood risk elsewhere, and, where possible, will reduce flood risk overall.
- 17.4 Officers consider that the development would provide wider sustainability benefits to the community. It would redevelop a site to provide an enhanced Community provision, provide 67 new homes of which 50 per cent would be affordable and new and enhanced public realm. Officers consider these benefits outweigh the flood risk.
- 17.5 The submitted Flood Risk Assessment (FRA) notes that all the more vulnerable uses will be located above the current day extreme flood defence breach scenario level. Based on the EA breach model finished floor levels for the Orsett Street site should be set at a minimum of 3.20m AOD (0.35m above ground floor level), with sleeping accommodation for both sites set at a minimum 300mm above the 2100 breach flood level. It is noted that the sleeping accommodation for both sites meets this with the breach level being at least 2.3 metres lower than bedrooms at Orsett Street and 4 metres lower at Jonathan Street.
- 17.6 The risk of increasing flood risk elsewhere would be mitigated with an appropriate drainage strategy, discussed below. The proposed development meets the above exception test and thereby complies with the NPPF, London Plan Policy SI12 and LLP policy EN5.

Sustainable Drainage

- 17.7 LLP policy EN6 requires development to utilise sustainable urban drainage systems (SUDS) unless there are practical reasons for not doing so and should aim to achieve greenfield run-off rates and adequately manage surface water run-off. London Plan policy SI13 sets out a drainage hierarchy which should be followed.
- 17.8 The proposed surface water drainage strategy proposes to restrict surface water flows at the Jonathan Street site to equivalent greenfield runoff rates with a maximum discharge rate of 2 l/s. Surface water from the site would be controlled using a combination of green roofs, permeable paving and an attenuation tanks (which temporarily store surface water on site within a cellular storage tank located beneath the communal amenity space to the east of the building) prior to being released to Thames Water's combined sewer network. Likewise, a maximum discharge rate of 2l/s is proposed at Orsett Street with green roofs, permeable paving an attenuation tank would be put in place to control run-off and discharge into the Thames Water sewer network.
- 17.9 A condition is recommended requiring detail of the design of the system to be submitted to ensure the proposed strategy and discharge rates/volumes will be achieved (Condition 12). This should include the construction detail and hydraulic capacity of the green roof, permeable paving and attenuation tank. Details of the systems management and maintenance strategy are also required to be submitted prior to first use/first occupation (condition 50) subject to which the proposal would accord with London Plan Policy SI13

and LLP policies EN5 and EN6.

Air Quality

- 17.10 The proposed development is a major development located within a borough-wide Air Quality Management Area (AQMA). London Plan Policy SI1 states that development proposals should be at least 'air quality neutral' and not lead to further deterioration of existing poor quality. The application was accompanied by an Air Quality Assessment (AQA) that was reviewed by the Council's Sustainability (Air Quality) officer. The site is considered to be suitable for residential development with green infrastructure in the outdoor areas to be considered to reduce exposure of users to the highest levels of pollution and the implantation of electric vehicle charging.
- 17.11 Transport and building emissions meet air quality neutrality requirements. However, the predicted car trip generation is higher than the existing site and electric charging should be implemented for the blue badge parking. This is required by condition 33.

Construction Impacts

- 17.12 The overall dust risk of the two sites is considered to be medium. As such dust monitoring is required during the construction stage. The Council's Air Quality Officer has recommended that a full Air Quality and Dust Management Plan (AQDMP) which can form part of the Construction Environmental Management Plan (CEMP), is secured by condition (Condition 8). The AQDMP should be submitted for approval prior to the commencement of works. This is to manage and mitigate the impact of the development on the air quality and dust emissions in the area and London as a whole. This would be secured by condition (condition 5).

NRMM Low Emission Zone

- 17.13 The proposed development is located in a Non-Road Mobile Machinery (NRMM) Low Emission Zone and is subject to its requirements. It is therefore recommended that an NRMM condition (condition 6) is imposed to ensure that any NRMM machinery to be used has been registered to ensure air quality has not been adversely affected by the development.
- 17.14 Subject to conditions indicated above the proposal would accord with London Plan Policy SI 1.

Land Contamination

- 17.15 Policy EN4 requires adequate remedial treatment of any contaminated land. No Preliminary Environmental Risk Assessment has been submitted with the application. Historic Ordnance Survey mapping shows both sites were previously a mix of terraced housing, commercial buildings and small areas of undeveloped land. Both were subject to significant bomb blast damage in the second world war and risk from unexploded ordnance should be assessed. In addition, the buildings scheduled for demolition may contain asbestos containing materials. Any such materials should be identified and removed prior to the commencement of demolition. Conditions are proposed to ensure the contamination risks associated with historical land use and hazardous materials are properly controlled (Conditions 3, 4 and 5).

Archaeology

17.16 An Archaeological desk-based assessment was submitted and reviewed by Historic England (Archaeology) along with information held in the Greater London Historic Environment Record. The Archaeological Desk-based Assessment submitted with the application, summarised that whilst archaeological mitigation measures may be requested by the GLAAS for the Orsett Street study area, the report's findings suggested that no further archaeological mitigation measures would be required for the Jonathan Street study area. Historic England advised that while Jonathan site has a moderate potential for prehistoric period archaeological evidence, both sites have potential in respect of the Civil War Defences for London with the projected line of fort connecting earthworks potentially passing between the two sites. Research undertaken in other areas has shown that the perceived location of works can be significantly different to the previously wisdom. It is therefore possible that the true location and nature of the defensive works in this area of London could be greatly informed by focussed archaeological investigation at both sites. The anticipated impacts at this site are derived from piling plus the proposed attenuation tanks. In that regard a pre-commencement condition is recommended requiring the submission and approval of a Written Scheme of Investigation for both sites in order to accord with Policy HC1 of the London Plan (Condition 10) in addition to conditions concerning foundation design (Condition 11) and one on public engagement should archaeological remains be found (Condition 56)

Fire Strategy

17.17 London Plan Policy D3 (Inclusive design) requires proposals to set out how access and inclusion will be maintained and managed, including fire evacuation procedures. Policy D12 (Fire safety) states that all development proposals must achieve the highest standards of fire safety. The fire statement submitted with the application includes details of construction methods, products and materials; the means of escape including a lift with enhanced facilities for evacuation in each block; access for fire service personnel, equipment and fire appliances. A condition is recommended to ensure the development is carried out in accordance with the submitted details (Condition 55). Whilst fire safety is currently dealt with under Building Control legislation, the Planning process acts as a 'gateway' to the consideration of the issue and seeks to ensure that appropriate consideration has been given. A full and thorough assessment of the final detailed and dimensioned designs would be undertaken as part of the Building Control process by the appointed Building Control Body once an application is made.

18 Employment and Training

18.1 Policy ED15 of LLP states that planning obligations should be used to secure employment opportunities and apprenticeships arising from major developments, so that local residents are given access to the right skills training so that they can take advantage of opportunities created by new development.

18.2 The SPD on Employment and Skills (2018) sets out a 'headline' target of 25% of jobs generated by developments as being for local residents. The SPD envisages that an applicant will be asked to work towards delivery of that target through the carrying out of an approved, site specific employment and skills plan, which would be designed to include the intended target numbers and types of job opportunities. The SPD envisages an element of flexibility in how an applicant may agree to work towards delivery of employment and skills obligations, for example as regards the target mix of jobs, apprenticeships and/or bespoke employment training and support arrangements. The employment and skills plan should also set out how an applicant will aim to deliver young people's training and careers initiatives. As part of a section 106 agreement, the Council would require the applicant to commit to the completion of an employment and skills plan and the delivery of the obligations contained in that plan. In addition, a financial contribution will also be required towards the cost of vocational training and employment support, which is calculated on the basis of £6,500 for every 10 residential units provided. This contribution has been calculated to be £39,000 and will be secured via s106 agreement.

19 Planning Obligations and CIL

- 19.1 The LLP Policy D4 and Annex 10 sets out the Council's policy in relation to seeking planning obligations and the charging approaches for various types of obligation. For contributions that are not covered by Annex 10, the Council's approach to calculating contributions is guided by the Development Viability SPD (adopted 2017) and the Employment and Skills SPD (adopted 2018).
- 19.2 The planning obligations that are proposed are considered necessary to make the development acceptable in planning terms, are directly related to the development and are fairly and reasonably related in kind and in scale to the development. They are therefore compliant with the requirements of Regulation 122 of the Community Infrastructure Levy Regulations 2010.
- 19.3 The Council is the freehold owner of the site. HfL currently has no interest in the land. HfL do not intend to take a lease or any other interest in the site until after the grant of planning permission.
- 19.4 An agreement under section 106 of the Town and Country Planning Act 1990 can only be entered into with a party which has a legal interest in the land to be bound.
- 19.5 Accordingly, HfL would not be able to enter into the proposed section 106 agreement until after the grant of planning permission.
- 19.6 If the site was currently owned by a third party, that party could enter into the section 106 agreement and because the planning obligations run with the land HfL would be bound by the planning obligations when they acquired an interest.
- 19.7 It is not possible to take that approach with this development because the Council itself owns the land. The Council as landowner cannot enter into an agreement with itself as local planning authority.
- 19.8 It is therefore recommended that planning permission be issued before a section 106 agreement is entered into and a condition is added to the planning permission preventing the commencement of the development on any part of the site until such a section 106 of the Town & Country Planning Act 1990 has been entered into in a form satisfactory to the Council.
- 19.9 This type of condition is known as a Grampian condition. It can only be used in exceptional circumstances. Officers have had regard to the National Planning Practice Guidance, in particular the part of the guidance which advises that the decision maker should be satisfied that in the absence of such a condition the delivery of the development would otherwise be at serious risk.
- 19.10 The proposed obligations to be secured through the S106 Agreement are as follows:

Item	Details
Affordable Housing – onsite	Securing 29 units of affordable housing with the following tenure mix: <ol style="list-style-type: none"> 1. 20 x social rent units 2. 9 x shared ownership units To be provided prior to the first occupation of the market units
Estate Amenity Land Improvements	<ul style="list-style-type: none"> • A scheme to be developed and submitted and approved by the Council for the following alongside the approved development works (and which may require the submission of an applications for planning permission) in respect of - (final details including trigger point to be confirmed in addendum) <ul style="list-style-type: none"> - Coverley Point - Tracey Island - Venn Park • The delivery of improvements to include: <ul style="list-style-type: none"> - Seating - Communal Planting Beds - New Footpaths - Tree Planting - Shrub Planting - Gym equipment -Table tennis tables - Landscaping - Sedum roofs - Play equipment • A landscape management and maintenance plan to be submitted, approved and implemented accordingly. • The estate amenity works must be completed prior to the occupation of the residential units of both sites.
Temporary Community Centre	<ul style="list-style-type: none"> • Delivery of the temporary community centre located on Tracey Island, Tyers Street (application ref 20/04423) ahead of the closure of the Carmelita Community Centre building to ensure there is a continuous community centre provision in close proximity to the existing. This application will also form part of an overarching legal agreement to ensure the applications are suitably linked to facilitate the benefit in this respect.
Trees, Landscaping and Communal space	<ul style="list-style-type: none"> • A final landscape management and maintenance plan to be submitted and secured for the lifetime of the development. • A financial contribution of £297,641 to compensate for the loss of trees to facilitate replacement tree planting in the surrounding area. • Secure access to the communal areas of the proposed development for all future occupiers for the lifetime of the development.
Transport	<ul style="list-style-type: none"> • Car Parking Permit Free • One (3 year) Car Club Memberships (secured by s106) for the occupants of residential units • Cycle Hire Membership. • Healthy Route contribution of £78,100 • Enter into a s278 agreement for highways works agreement with regards to works that will affect the highway including reinstatement works.

Employment and Skills	<ul style="list-style-type: none"> • Employment and skills financial contribution of £39,000 to be used towards vocational training and employment support • Employment and Skills Plan shall be submitted for the construction phase of the development. A range of potential outcomes for the construction will be expected and agreed within the Employment and Skills plans.
Carbon offset	<ul style="list-style-type: none"> • Securing a carbon offset contribution of approximately of £63,840 with the actual amount to be determined following final emissions carbon reduction being confirmed.
Other	<ul style="list-style-type: none"> • Monitoring fee of up to 5% of total financial obligations.

19.11 If the application is approved and the development is implemented, a liability to pay the Lambeth Community Infrastructure Levy (CIL) will arise.

19.12 Expenditure of the majority of a future CIL receipt will be applied towards Borough infrastructure needs in accordance with the applicable policies and procedures relating to expenditure decisions.

19.13 Allocation of CIL monies to particular infrastructure projects is not a matter for consideration in the determination of planning applications. Separate governance arrangements are being put in place for Borough Infrastructure needs.

20 CONCLUSION

20.1 The proposal would provide 67 new homes, 50% being affordable units, comprising 20 social rented units and 9 intermediate units (Shared Ownership). The tenure split would be 69% social / 31% intermediate by unit (74/26 by habitable room).

20.2 The development would provide a larger and enhanced community centre facility provided for the benefit of existing and future residents of the Vauxhall Gardens Estate to be managed by VGERTA. It would incorporate flexible community, hall and meeting spaces for rent or free. As such the proposed building will be a significant new asset in this area.

20.3 The development would be partly sited on an area of Estate amenity land and would result in an overall net loss of Estate amenity land of approximately 1,313 sqm. It is also sited in an area which is identified in the LLP as being deficient in open space. To mitigate this, the proposal would retain and enhance 1,348sqm of high quality communal amenity space and on-site biodiversity enhancements on the two sites as well as providing a 200sqm secure Community Garden controlled by local residents. Additionally, the application is proposing improvements to an area of wider Estate amenity land in close proximity to the site including tree planting, shrub planting, communal beds, seating, landscaped playspace and biodiversity improvements. Subject to details being secured through further planning applications and secured by planning obligations via s106, officers consider that suitable compensatory measures have been achieved within the site and the immediate surroundings and that the significant benefits of the development could not be acceptably delivered in any other way. The proposal therefore has met the test and accords of Policy EN1 of the Lambeth Local Plan.

20.4 The bulk, scale and massing of the proposed buildings are considered acceptable and would provide high quality buildings where the building lines and heights respond positively to the surrounding context of the two sites, reflecting historic patterns of development. It is considered that the Jonathan Street development would have a positive impact on the setting of the Albert Embankment Conservation Area. The Council's Conservation Officer has however identified less

than substantial harm to adjacent conservation areas or listed buildings resulting from the loss of estate amenity at the Orsett Street scheme. The NPPF states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal. Officers believe that any less than significant harm to the heritage assets would be outweighed by the public benefits of the proposal including new affordable housing, new community centre and improved estate amenity areas.

- 20.5 The proposed development would provide good standards of residential accommodation it would meet relevant internal residential space standards and the quantum and quality of private and communal amenity space proposed is considered acceptable. The dwellings have good levels of daylight/sunlight, privacy and outlook and will all have step free access. It is considered that the proposal would not impact unacceptably on the amenity neighbouring properties.
- 20.6 The proposal would introduce structures where limited, or no structures currently exist and as such there will be impacts to adjoining occupiers. However, due to the siting, orientation and separation distances there is not considered to be any adverse impact in terms of outlook, privacy or noise and disturbance.
- 20.7 Whilst there will be some noticeable impacts to daylight to neighbouring properties (to daylight VSC and / or daylight distribution), given consideration also to retained values, they would be considered as typically 'minor adverse' to neighbouring properties (including due consideration of 'without balcony analysis') or 'moderate adverse'. On balance, it is considered that these isolated impacts have the potential to be considered acceptable overall when assessed against the benefits of the overall scheme.
- 20.8 The applicant has provided indicative details with regards to hard and soft landscaping with an intention to provide a balance between amenity and biodiversity and will deliver an urban greening factor of 0.4. Subject to conditions and securing planning obligations and financial contributions the proposals are considered to be acceptable.
- 20.9 The proposal would result in the loss of 12 mature trees, considered to be of significant amenity value, with 27 replacement trees proposed across the two sites. Officers are however satisfied that the material considerations and benefits of the proposal are of sufficient weight to outweigh the harm in this instance such that planning permission should be granted. Officers have used the CAVAT system to calculate the value of the trees to be lost and to secure a financial obligation of £297,641 to be spent on planting trees in the vicinity of the site. This alongside the new trees provided off-site will deliver the planting of a considerable number of new trees across the Vauxhall Gardens Estate. Subject to conditions securing a scheme of onsite tree planting and the financial contribution towards tree replacement the proposal is considered to meet the requirements of Policy G7 of the London Plan and emerging Local Plan Policy Q10.
- 20.10 Sufficient commitment is made to sustainable design and construction, reducing carbon emissions and the use of renewable energy technologies. The development would be suitably mitigated in terms of its impact upon local infrastructure. In addition, the development would not impact unacceptably upon the function and safety of the highway network (both pedestrian and vehicular). A contribution of £78,100 is made towards the Council's Healthy Routes programme.
- 20.11 The scheme would deliver significant public benefits, by way of provision of additional housing that includes a good affordable housing offer, a new Community Centre and improved useable Estate amenity land, improved landscaping and biodiversity enhancements. Financial contributions will be secured with regards offsite improvements including tree planting. In terms of sustainability there would be a site-wide carbon emissions reduction over the Building Regulations Part L 2013 Baseline and remaining regulated carbon dioxide emissions to zero would be off set with a payment secured by s106.

- 20.12 Employment benefits include a financial contribution of £39,000, which would be used towards the employment and training of local residents and during the build period there would be an employment and skills plan to help local people access job opportunities arising from the proposed development (including opportunities for apprenticeships).
- 20.13 It is considered that the above section 106 obligations would reasonably mitigate the otherwise unacceptable impacts of the development. The package of section 106 contributions has been negotiated having full regard to the nature of the development, to the normal expectations conferred upon developers by the various planning policy documents, and to the statutory tests for section 106 obligations set out in the Community Infrastructure Levy Regulations.
- 20.14 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning decisions to be made in accordance with the development plan unless material considerations indicate otherwise. The public benefits discussed in para 12.46 are material planning considerations in favour of the application and officers consider that the test under Section 38(6) is met. Officers consider that subject to the conditions set out in the draft decision notice at Annex 1 of this report and the necessary planning obligations set out in Section 20 of report, the planning application should be approved.

21 EQUALITY DUTY AND HUMAN RIGHTS

- 21.1 In line with the Public Sector Equality Duty the council must have due regard to the need to eliminate discrimination and advance equality of opportunity, as set out in section 149 of the Equality Act 2010. In making this recommendation, regard has been given to the Public Sector Equality Duty and the relevant protected characteristics (age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex, and sexual orientation).
- 21.2 In line with the Human Rights Act 1998, it is unlawful for a public authority to act in a way which is incompatible with a Convention right, as per the European Convention on Human Rights. The human rights impact have been considered, with particular reference to Article 1 of the First Protocol (Protection of property), Article 8 (Right to respect for private and family life) and Article 14 (Prohibition of discrimination) of the Convention.
- 21.3 The Human Rights Act 1998 does not impair the right of the state to make decisions and enforce laws as deemed necessary in the public interest. The recommendation is considered appropriate in upholding the council's adopted and emerging policies and is not outweighed by any engaged rights.

22 RECOMMENDATION

- 22.1 Resolve to grant conditional planning permission subject to the completion of an agreement under Section 106 of the Town and Country Planning Act 1990 (as amended) containing the planning obligations listed in this report.
- 22.2 Agree to delegate authority to the Director of Planning, Transport and Sustainability to:
- Finalise the recommended conditions as set out in this report, addendums and/or PAC minutes.
- 22.3 In the event that the committee resolves to refuse planning permission and there is a subsequent appeal, delegated authority is given to the Director of Planning, Transport and Sustainability, having regard to the heads of terms set out in this report, addendums and/or PAC minutes, to negotiate and complete a document containing obligations pursuant to Section 106 of the Town and Country Planning Act 1990 (as amended) in order to meet the requirement of the Planning Inspector.

APPENDICES

Appendix 1: Draft Decision Notice

Standard Conditions

Both Sites and Jonathon Street Site

Time Limit

1. The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990 (As Amended).

Approved Drawings

2. The development hereby permitted shall be carried out in complete accordance with the approved plans listed in this decision notice, other than where those details are altered pursuant to the requirements of the conditions of this planning permission.

Reason: For the avoidance of doubt and in the interests of proper planning.

Ground Contamination

3. For the Jonathon Street site, unless otherwise agreed in writing by the local planning authority no demolition or development shall take place until:
 - i. A site investigation scheme, based on previous findings to provide information for a detailed assessment of the risk to all receptors that may be affected, including those off-site;
 - ii. The site investigation results and the detailed risk assessment resulting from i); has been submitted to and approved by the local planning authority in writingand no other development shall commence until the following components of a scheme to deal with the risks associated with contamination of the site - including unexploded ordnance and asbestos - have been submitted to and approved in writing by the local planning authority:
 - iii. An options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken;
 - iv. A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in iii) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

The development shall thereafter be implemented in accordance with the details and measures approved.

Reason: Development must not commence before relevant parts of this condition are discharged to safeguard future users or occupiers of this site and the wider environment from irreversible risks associated with the contaminants which are present by ensuring that the contaminated land is properly treated and made safe before development. Depending on the outcome of any ground investigation and subsequent risk assessment, it may be necessary for remediation to be carried out. If this is the case, it will be necessary to demonstrate that any work has been carried out effectively and the environmental risks have been satisfactorily managed in line with the National Planning Policy Framework (NPPF) (Paragraph 183) and

Policy EN4 of the Lambeth Local Plan.

4. Prior to occupation of any part of the Jonathon Street site development of either site, a verification report demonstrating completion of the works set out in the approved remediation strategy and the effectiveness of the remediation shall be submitted to and approved in writing by the local planning authority. The report shall include results of sampling and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met. It shall also include any plan (a “long-term monitoring and maintenance plan”) for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan, and for the reporting of this to the local planning authority.

Reason: Development must not commence before relevant parts of this condition are discharged to safeguard future users or occupiers of this site and the wider environment from irreversible risks associated with the contaminants which are present by ensuring that the contaminated land is properly treated and made safe before development. Depending on the outcome of any ground investigation and subsequent risk assessment, it may be necessary for remediation to be carried out. If this is the case, it will be necessary to demonstrate that any work has been carried out effectively and the environmental risks have been satisfactorily managed in line with the National Planning Policy Framework (NPPF) (Paragraph 183) and Policy EN4 of the Lambeth Local Plan.

5. If, during development, contamination not previously identified is found to be present at the site then no further development shall be carried out until the developer has submitted and obtained written approval from the Local Planning Authority for, an amendment to the remediation strategy detailing how this unsuspected contamination will be dealt with.

Reason: Development must not commence before relevant parts of this condition are discharged to safeguard future users or occupiers of this site and the wider environment from irreversible risks associated with the contaminants which are present by ensuring that the contaminated land is properly treated and made safe before development. Depending on the outcome of any ground investigation and subsequent risk assessment, it may be necessary for remediation to be carried out. If this is the case, it will be necessary to demonstrate that any work has been carried out effectively and the environmental risks have been satisfactorily managed in line with the National Planning Policy Framework (NPPF) (Paragraph 183) and Policy EN4 of the Lambeth Local Plan of the Lambeth Local Plan.

Construction and Environmental Management Plan

6. The Jonathon Street site development hereby approved shall not commence until a Construction and Environmental Management Plan (CEMP) has been submitted to and approved in writing by the local planning authority. The CEMP shall include details of the following relevant measures:
 - i. An introduction consisting of construction phase environmental management plan, definitions and abbreviations and project description and location;
 - ii. A description of management responsibilities;
 - iii. A description of the construction and demolition programme which identifies activities likely to cause high levels of noise or dust;
 - iv. Site working hours and a named person for residents to contact;
 - v. Detailed Site logistics arrangements;
 - vi. Details regarding parking, deliveries, and storage;
 - vii. Details regarding dust and noise mitigation measures to be deployed including identification of sensitive receptors and ongoing monitoring;
 - viii. Details of the hours of works and other measures to mitigate the impact of construction on

- the amenity of the area and safety of the highway network; and
- ix. Communication procedures with the LBL and local community regarding key construction issues – newsletters, fliers etc.
 - x. Details of methods to encourage re-use of materials on-site
 - xi. Staff Travel Plan

The construction shall thereafter be carried out in accordance with the details and measures approved in the CEMP for the related phase unless the written consent of the Local Planning Authority is received for any variation.

Reason: This is required prior to construction to avoid hazard and obstruction being caused to users of the public highway and to safeguard residential amenity during the whole of the construction period. (Policy Q2 of the Lambeth Local Plan).

Environmental Noise

- 7. Prior to the commencement of development of the Jonathon Street site, a scheme of noise and vibration attenuation and ventilation sufficient to prevent overheating and maintain thermal comfort shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall achieve the habitable room standards as detailed in BS8233:2014 with no relaxation for exceptional circumstances and must include details of post construction validation. Thereafter the development shall be carried out in accordance with the approved details and a separate validation report shall be submitted to and approved in writing by the Local Planning Authority within 3 months of first occupation. All work must be carried out by suitably qualified person and the approved noise, vibration attenuation and ventilation measures shall thereafter be retained and maintained in working order for the duration of the use in accordance with the approved details.

Reason: To protect the amenities of future residential occupiers (Policy Q2 of the Lambeth Local Plan).

Air Quality Impacts (construction stage)

- 8. No demolition or development shall commence on the Jonathon Street site until full details of the proposed mitigation measures for impact on air quality and dust emissions, in the form of an Air Quality and Dust Management Plan (AQDMP), have been submitted to and approved in writing by the local planning authority. In preparing the AQMDP the applicant should follow the guidance on mitigation measures for medium risk sites (as a minimum) set out in Appendix 7 of the Control of Dust and Emissions during Construction and Demolition SPG 2014 for demolition, earthworks, construction and trackout. Both 'highly recommended' and 'desirable' measures should be included. The AQDMP can form part of the Construction Environmental Management Plan (CEMP). The AQDMP shall include the following for each relevant phase of work:
 - Site location plan including sensitive receptors within 50m of the site boundary;
 - Site layout and equipment plan;
 - A summary of work to be carried out;
 - Outcome of Air Quality And Dust Risk Assessments completed at application stage (AQDRA);
 - Proposed haul routes, location of site equipment including supply of water for damping down, source of water, drainage and enclosed areas to prevent contaminated water leaving the site;
 - Inventory and timetable of all dust and NOx air pollutant generating activities;
 - List of air quality emission and dust control measures to be implemented, appropriate to the site dust risk level as determined by the AQDRAs (low, medium, high), as set out in the Dust and Emissions SPG;
 - Details of any fuel stored on-site;

- Particulate matter monitoring methods to be implemented;
- Details of a trained and responsible person on-site for air quality (with knowledge of pollution monitoring and control methods, and vehicle emissions);
- That construction machinery will meet London NRMM emissions standards;
- Details of the use of on-road Ultra Low Emission Zone (ULEZ) compliant vehicles

No demolition or development shall commence until all necessary pre-commencement measures described in the AQDMP have been put in place and set out on site. The demolition and development shall thereafter be carried out and monitored in accordance with the details and measures approved in the AQDMP.

Reason: Development must not commence before this condition is discharged to manage and mitigate the impact of the development on the air quality and dust emissions in the area and London as a whole, and to avoid irreversible and unacceptable damage to the environment (London Plan policy SI1, and the London Plan SPGs for Sustainable Design and Construction and Control of Dust and Emissions during Construction and Demolition).

Non-road mobile machinery (NRMM)

9. If Non Road Mobile Machinery (NRMM) of net power of 37kW and up to and including 560kW is required on site during the course of demolition, site preparation and construction phases, it must comply with the emission standards set out in chapter 7 of the GLA's supplementary planning guidance "Control of Dust and Emissions During Construction and Demolition" dated July 2014 (SPG), or subsequent guidance. Unless it complies with the standards set out in the SPG, no NRMM shall be on site, at any time, whether in use or not, without the prior written consent of the local planning authority. The developer must register all NRMM at <https://nrmm.london/user-nrmm/register> prior to bringing it on to site and shall keep the register up to date by listing all NRMM used during the demolition, site preparation and construction phases of the development.

Reason: To ensure that air quality is not adversely affected by the development (Policy SI 1 of the London Plan (2021))

Archaeology – Written scheme of investigation

10. No demolition or development on the Jonathon Street site shall take place until a written scheme of investigation (WSI) has been submitted to and approved by the local planning authority in writing. For land that is included within the WSI, no demolition or development shall take place other than in accordance with the agreed WSI, which shall include the statement of significance and research objectives, and
- A. The programme and methodology of site investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works.
- B. The programme for post-investigation assessment and subsequent analysis, publication & dissemination and deposition of resulting material.
- This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the WSI.

Reason: to safeguard the archaeological interest on this site (Policy HC1 London Plan (2021)).

Archaeology Foundation works

11. No foundation works shall take place on the Jonathon Street site until details of the foundation design and construction method to protect archaeological remains have been submitted and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.

Reason: The planning authority wishes to secure physical preservation of the site's archaeological interest in accordance with the NPPF.

Flood Risk measures

12. No development shall commence on the Jonathon Street site until the detailed design for the flood risk mitigation measures presented in the Flood Risk Assessment & Drainage Strategy (Report Ref. 194730-05) have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the development is provided with a satisfactory means of drainage and in the interests of securing a more sustainable development and to reduce the impact of flooding both to and from the development and third parties in accordance with Policy SI 12 of the London Plan and Policy EN5 and EN6 of the Lambeth Local Plan.

Design and Appearance

Detailed drawings

13. Notwithstanding any indication on the drawings hereby approved, prior to commencement of the development on the Jonathon Street site beyond the superstructure of the development on each site hereby permitted drawings showing all external construction detailing of all relevant building/block has been submitted to and approved by the Local Planning Authority in writing.

The drawings shall include details of:

- a) the façade of the building including details of ground and first floor.
- b) main entrances (including service entrances) and how they will be named and numbered permanently including canopies
- c) balconies and terraces including balustrades
- d) boundary treatments
- e) soffits, screens, vents and copings
- f) roof treatments, cills and parapets including detailed design of plant and associated screening
- g) windows and doors (including technical details, elevations, reveal depths, plans and cross sections)
- h) building signage strategy and Legible London Signage
- i) mail boxes
- j) acoustic screens/barriers for external communal amenity terraces (where required)
- k) overlooking mitigation measures to relevant windows,

The details set out above shall be provided at 1:10 scale (including sections) or 1:20 elevational studies whichever is most suitable for the detail in question. The development shall not be carried out otherwise than in accordance with the details and drawings thus approved and shall thereafter be retained for the lifetime of the development.

Reason: To ensure that the external appearance of the building is satisfactory, does not detract from the character and visual amenity of the area, not cause harm to heritage assets and that the amenities of neighbouring occupiers are protected. (Policies Q2, Q5, Q6, Q7, Q8, Q15, Q17, Q22 and Q26 of the Lambeth Local Plan and Policies D4, D8 and D9 of the London Plan (2021)).

Materials

14. Notwithstanding any indication on the drawings hereby approved, prior to commencement of

the development on the Jonathon Street site beyond the superstructure of the development hereby permitted, the following details of all materials to be used in the external elevations of each block/building/public realm shall be provided to and approved in writing by the local planning authority:

- a. a technical specification schedule of the materials
- b. a sample panel to be provided on site
- c. a photographic record of the sample panels, taken on site at midday

The development shall not be carried out otherwise than in accordance with the samples thus approved.

Reason: To ensure that the external appearance of the building is satisfactory, does not detract from the character and visual amenity of the area and not cause harm to heritage assets (Policies Q2, Q5, Q6, Q7, Q8, Q15, Q17, Q22 and Q26 of the Lambeth Local Plan and Policies D4, D8 and D9 of the London Plan (2021)).

Plumbing

15. No vents, plumbing or pipes, other than those approved, shall be fixed to the external faces of any building for the lifetime of the development unless otherwise agreed in writing by the local planning authority.

Reason: To ensure an appropriate standard of design (Policies Q6, Q8 and Q26 of the Lambeth Local Plan).

Refuse Stores

16. Prior to commencement of above ground works on the Jonathon Street site, the design and detailing of all internal and external refuse stores shall be submitted to and approved in writing by the local planning authority. The details shall accord with the Council's 'Refuse and Recycling Storage Guidance'. The details provided for the internal shall include details for taps for wash-down, floor drains, wall buffers, steel-framed doors and mechanical ventilation. The approved scheme shall be fully implemented before the use hereby permitted commences and retained for the lifetime of the development, unless otherwise approved, in writing, by the local planning authority.

Reason: In the interests of visual and residential amenity (policy Q2 of the Lambeth Local Plan).

Cycle Parking Store

17. Notwithstanding the details on the drawings and documents hereby approved, no above ground construction works shall commence on the Jonathon Street site until details of the external cycle parking stores have been submitted to and approved in writing by the local planning authority. The cycle parking stores shall be provided in accordance with the approved details prior to first occupation of any part of the building hereby permitted. The cycle storage areas shall thereafter be retained for the lifetime of the development.

Reason: To ensure that the external appearance of the building is satisfactory (policies Q2, Q5, Q7, and Q8 of the Lambeth Local Plan).

Secured by design – construction

18. Prior to commencement of the development on the Jonathon Street site beyond the

superstructure of the development hereby permitted, an application for Secured by Design Certification shall be made for the development hereby approved.

Reason: To ensure that satisfactory attention is given to security and community safety (Policy GG6 of the London Plan (2021) and Policy Q3 of the Lambeth Local Plan).

Secured by design – certification

19. Prior to the first occupation of any part of the development on the Jonathon Street site, evidence of the development having achieved Secure by Design certification shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall thereafter be maintained in accordance with the measures required to achieve certification for the lifetime of the development.

Reason: To ensure that satisfactory attention is given to security and community safety (Policy GG6 of the London Plan (2021) and Policy Q3 of the Lambeth Local Plan).

Screening

20. Notwithstanding the details on the drawings and supporting documents hereby approved, prior to the commencement of above ground works on the Jonathon Street site, detailed drawings (at scale 1:20 and 1:100) of the how the residential terraces will be screened (incorporates planted screening/raised planters), shall be submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be carried out solely in accordance with the details thus approved and shall thereafter be retained as such for the lifetime of the development hereby approved unless otherwise approved, in writing, by the local planning authority.

Reason: To ensure a high-quality standard of development to safeguard the character and appearance of the site and the local area and protect residential amenity of future occupiers. (Policy Q2 of the Lambeth Local Plan).

Adaptable and adapted housing

21. Units annotated as 'W/A' on the hereby approved plans shall be constructed to comply with Part M4 (3) of the Building Regulations. Any communal areas and accesses serving the M4 (3) compliant Wheelchair User Dwellings should also comply with Part M4 (3). All other residential units, communal areas and accesses hereby permitted shall be constructed to comply with Part M4 (2) of the Building Regulations.

Reason: To secure appropriate access for disabled people, older people and others with mobility constraints (Policy D7 of the London Plan (2021) and Q1 of the Lambeth Local Plan).

Landscaping and playspace

Playspace

22. Notwithstanding details shown on the approved plans, no occupation of the residential parts of the Jonathon Street site development shall commence until full details of the children's play space provisions (including layout, equipment specification, and phasing of delivery) have been submitted to and approved in writing by the local planning authority and the development has been implemented in accordance with the approved details and agreed phasing. The children's play areas shall be maintained for the duration of the development and available for all occupiers irrespective of tenure.

Reason: To ensure appropriate provision for children's play on site. (Policy S4 of the London Plan (2021) and Policy H5 of the Lambeth Local Plan).

23. Landscaping details

Notwithstanding the details on the drawings and documents hereby approved, prior to commencement of the development on the Jonathon Street site beyond the superstructure of the development hereby permitted, a hard and soft landscaping scheme shall be submitted to and approved in writing by the local planning authority. All tree, shrub and hedge planting included within the above scheme shall accord with BS3936:1992, BS4043:1989 and BS4428:1989 (or subsequent superseding equivalent) and current Arboricultural best practice. The details shall include:

- a) The treatment of all parts of the site not covered by buildings including walls and boundary features
- b) The treatment of the communal residential podium/roof terraces
- c) The quantity, size, species, position and the proposed time of planting of all trees and shrubs to be planted including details of appropriate infrastructure and maintenance to support long-term survival
- d) An indication of how all trees and shrubs will integrate with the proposal in the long term with regard to their mature size and anticipated routine maintenance and protection including irrigation systems
- e) Details of infrastructure to maximise rooting capacity and optimize rooting conditions;
- f) All shrubs and hedges to be planted that are intended to achieve a significant size and presence in the landscape shall be similarly specified;
- g) All hard landscaping including all ground surfaces, planters, seating, refuse disposal points, cycle parking facilities, bollards, vehicle crossovers/access points;

The development hereby permitted shall be thereafter carried out in accordance with the approved details within 6 months of the date of occupation of any part of the site unless an alternative temporary landscaping and phasing scheme has otherwise been submitted to and agreed by the Local Planning Authority.

The development shall thereafter be carried out solely in accordance with the details thus approved and shall thereafter be retained as such for the lifetime of the development unless otherwise approved, in writing, by the local planning authority.

Reason: In order to introduce high quality landscaping in and around the site in the interests of the ecological value of the site and to ensure a satisfactory landscaping of the site in the interests of visual amenity and to ensure high quality of housing. (Policy EN1, Q2, Q6, Q9, Q10 and H5 of the Lambeth Local Plan and Policy G6 of the London Plan).

Landscaping – First Planting

24. All planting, seeding or turfing comprised in the approved landscaping scheme shall be carried out in the first planting and seeding season following the occupation of the development hereby permitted or the substantial completion of the development, whichever is the sooner. Any trees, hedgerows or shrubs forming part of the approved landscaping scheme which within a period of five years from the occupation or substantial completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.

Reasons: In order to introduce high quality soft landscaping in and around the site in the interests of the ecological value of the site and to ensure a satisfactory landscaping of the site

in the interests of visual amenity (Policy EN1, Q2, Q9, Q10 and H5 of the Lambeth Local Plan and Policy G6 of the London Plan).

Trees and Biodiversity

Tree Protection measures

25. The general and specific provisions to ensure that no unacceptable damage is caused to the root system, trunks or crowns of the trees identified for retention should be undertaken in accordance with the Arboricultural Implications Report (Ref SJA air 1929-01b) hereby permitted.

Reason: To safeguard the retained trees on the site (Policy Q10 Lambeth Local Plan).

Ecology – Mitigation Measures

26. The proposed development hereby approved shall not be carried out other than in accordance with the mitigation measures outlined within the approved ecological walkover report prepared by AA Environmental Limited (ref 193383).

Reason: To minimise any potential risks to protected species during site clearance and biodiversity measures within development (Policy EN1 of Lambeth Local Plan).

Bird and Bat Boxes

27. Prior to commencement of the development beyond the superstructure of the development on the Jonathon Street site hereby permitted, details of bird and bat boxes locations and types and indication of species to be accommodated shall be submitted to and approved in writing by the Local Planning Authority. The boxes shall be installed in accordance with the approved plans prior to the occupation of the development and thereafter retained and maintained for the lifetime of the development, unless prior written approval is given by the Local Planning Authority.

Reason: In order to secure appropriate features to conserve and enhance wildlife habitats and biodiversity measures within the development (Policy EN1 of the Lambeth Local Plan).

Green Roofs

28. Within six months of work starting on the Jonathon Street site, a detailed specification of the green roofs shall be submitted to and approved in writing by the Local Planning Authority. The specification shall include details of the quantity, size, species, position and the proposed time of planting of all elements of the green roofs, together with details of their anticipated routine maintenance and protection. The green roofs shall only be installed and thereafter maintained following the approved details, as per Lambeth Local Plan Policy EN4 and London Plan Policy G1.

Reason: In order to promote biodiversity and rainwater attenuation on the site. (Policy G1, G5, SI 2 and SI 13 of the London Plan (2021) and Policy EN1, EN4, EN5, EN6 and Q9 of the Lambeth Local Plan).

Green roof maintenance

29. If within 5 years of the installation of the green roof any planting forming part of the green roofs shall die, be removed, or become seriously damaged or diseased, then this planting shall be replaced in the next planting season with planting of a similar size and species.

Reason: To safeguard the visual amenities of the area and to ensure that the development has an acceptable level of sustainability and biodiversity and to mitigate the impact on flood risk (Policy G1, G5, SI 2 and SI 13 of the London Plan (2021) and Policy EN1, EN4, EN5, EN6 and Q9 of the Lambeth Local Plan).

Transport & Highways

Delivery and Servicing Management Plan

30. The uses hereby permitted on the Jonathon Street site shall not commence until a servicing management plan has been submitted and approved in writing by the local planning authority. The use hereby permitted shall thereafter be operated in accordance with the approved details. The submitted details must include the following:

- a) frequency of deliveries to the site;
- b) frequency of other servicing vehicles such as refuse collections;
- c) dimensions of delivery and servicing vehicles;
- d) proposed loading and delivery locations; and
- e) a strategy to manage vehicles servicing the site.

Reason: To protect the amenities of adjoining occupiers and the surrounding area (policy Q2 of the London Borough of Lambeth Local Plan and to limit the effects of the increase in travel movements (Policy T8 (Servicing) - Lambeth Local Plan).

Waste Management Strategy

31. Prior to first occupation of the residential hereby permitted on the Jonathon Street site, a Waste and Recycling Management Strategy shall be submitted to and approved in writing by the local planning authority. The uses hereby permitted shall thereafter be operated in accordance with the approved Waste and Recycling Management Strategy. The Waste and Recycling Management Strategy will align with the "Waste Storage and Collection Requirements - Technical Specification 2013" and will confirm that the bins serving the development hereby approved shall remain in the bin store at all times except for when they are being emptied and once emptied shall be returned immediately to the bin storage area.

Reason: To ensure suitable provision for the occupiers of the development, to encourage the sustainable management of waste and to safeguard the visual amenities of the area (policies Q2 and Q12 of the Lambeth Local Plan).

Cycle Parking Details

32. Prior to commencement of the residential and community uses hereby permitted on the Jonathon Street site, full details of the short and long-term cycle parking provision (including for larger, cargo and adapted cycles) for the relevant use shall be submitted to and approved in writing by the Local Planning Authority. The details shall include:
- Floor plans and detailed construction drawings (where relevant)
 - Specification of cycle stands including manufacturer's details
 - Details of electric bike charging points
 - Details of lifts to accommodate non-standard cycles (unless it has been demonstrated that it is not technically feasible)
 - Details of automatic doors
 - Phasing of delivery of short-term cycle parking (including temporary provision if relevant)

The long-term cycle parking shall thereafter be implemented in full in accordance with the approved details before the relevant use hereby permitted commences and shall thereafter be

retained solely for its designated use. The short-term cycle parking shall thereafter be implemented in full in accordance with the approved details and the phasing plan and shall thereafter be retained solely for its designated use.

Reason: To ensure adequate cycle parking is available on site and to promote sustainable modes of transport (policies T1, T3 and Q13 of the London Borough of Lambeth Local Plan and Policy T5 of the London Plan (2021)).

Electric Vehicle Charging Points

33. One of the vehicular parking spaces to be provided on each site within the development hereby permitted shall be provided with electrical charging points for electric vehicles.

Reason: To encourage the uptake of electric vehicles (Policy T6 and T6.1 of the London Plan (2021)).

Amenity

34. No parts of the roof of the buildings other than those identified as a roof terrace hereby approved shall be used as a or terrace nor shall any access be formed thereto (other than the areas designed as roof terraces and balconies as shown on the approved drawings or for maintenance purposes) without the prior written consent of the local planning authority.

Reason: To safeguard the privacy of residential occupiers (Policy Q2 Lambeth Local Plan).

Environmental Noise

35. Prior to the first use of the amenity space on the Jonathon Street site a scheme of measures to ensure that all residential units have access to amenity space within the development where noise levels do not exceed 55dB LAEQ(16 hour) shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of post construction validation. Thereafter the development shall be carried out in accordance with the approved details and a separate validation report shall be submitted to and approved in writing by the Local Planning Authority within 3 months of first occupation.

Reason: To protect the amenities of future residential occupiers (Policy Q2 of the Lambeth Local Plan).

Noise and vibration attenuation of Building Services Plant (to be submitted)

36. The uses hereby permitted, or the operation of any building services plant on the Jonathon Street site, shall not commence until an assessment of the acoustic impact arising from the operation of all internally and externally located plant has been submitted to and approved in writing by the local planning authority.

The assessment of the acoustic impact shall be undertaken in accordance with BS 4142: 2014 (or subsequent superseding equivalent) and current best practice and shall include a scheme of attenuation measures to ensure the rating level of noise emitted from the proposed building services plant is 5dB less than background.

The use hereby permitted, or the operation of any building services plant, shall not commence until a post-installation noise assessment has been carried out to confirm compliance with the noise criteria. The scheme shall be implemented in accordance with the approved details and attenuation measures, and they shall be permanently retained and maintained in working order for the duration of the use and their operation.

Reason: To protect the amenities of adjoining occupiers and the surrounding area (policy Q2 of the Lambeth Local Plan).

Flues and extraction plant – full details to be submitted

37. Prior to the provision of flues extraction and filtration equipment on the Jonathon Street site, the details and full specifications of the flues extraction and filtration equipment, and ongoing maintenance plan (including elevational drawings) shall be have been submitted to and approved in writing by the local planning authority.

The use hereby permitted shall not commence until the approved details are fully implemented. The approved flues, extraction and filtration equipment shall thereafter be retained and maintained in working order for the duration of the use in accordance with the approved details.

Reason: To protect the amenities of adjoining occupiers and the surrounding area (policy Q2 of the Lambeth Local Plan).

Community Use Management plan

38. The community use hereby permitted shall not commence until a community use management plan has been submitted and approved in writing by the local planning authority. This should include but not be limited to, hours of operation, management responsibilities during all operating hours, measures to control noise from live and amplified music (including the screening of sporting events and public address systems) and minimising the effects of patrons coming and going from site and demonstrating how patrons leaving the building will be prevented from causing nuisance for people in the area. The use hereby permitted shall thereafter be operated in accordance with the approved details.

Reason: To protect the amenities of adjoining occupiers and the surrounding area (policy Q2 of the Lambeth Local Plan).

External Lighting

39. Prior to occupation of the Jonathon Street site a lighting scheme must be submitted for the approval of the Local Planning Authority in accordance with the Institute of Lighting Professional's Guidance notes for the reduction of obstructive light. The scheme must be designed by a suitably qualified person in accordance with the recommendations for environmental zone E3 in the ILP document "Guidance Notes for the Reduction of Obtrusive Light GN01:2011.

Before commencement of operation of the approved lighting scheme the applicant shall appoint a suitably qualified member of the institute of lighting professionals (ILP) to validate that the lighting scheme as installed conforms to the recommendations for environmental zone E3 in the ILP document "Guidance Notes for the Reduction of Obtrusive Light GN01:2020

Reason: To ensure minimal nuisance or disturbance is caused to the detriment of the amenities of adjoining occupiers and of the area generally (Policy Q2 (Amenity) – Lambeth Local Plan).

Sustainability and Energy

Energy Statement

40. Prior to the commencement of development beyond the superstructure on the Jonathon

Street site, an Energy Statement shall be submitted to and approved in writing by the Local Planning Authority which demonstrates that the development will achieve a minimum reduction in carbon emissions of 35% over that required by Part L of the Building Regulations 2013 and demonstrates that the minimum on-site reduction of 10% over Part L of the Building Regulations (2013) been achieved through energy efficiency measures (Be Lean) for the residential spaces and a 15% reduction for the non-residential spaces. This should include effective utilisation of the “Be Lean” stage of the GLA’s Energy Assessment Guidance (2020) Energy Hierarchy with enhanced thermal fabric performance on Part L. This is to ensure that opportunities at this stage have been explored fully.

Reason: To ensure that the development makes the fullest contribution to minimising carbon dioxide emissions (Policy S12 of the London Plan (2021) and Policy EN4 of the Lambeth Local Plan).

As Built SAP Calculations

41. Prior to the first occupation of the development on the Jonathon Street site As-Built SAP calculations with a Block Compliance worksheet as an output of the National Calculation Method should be submitted to and approved in writing by the Local Planning Authority demonstrating that the dwellings have achieved a minimum 35% reduction in carbon emissions over that required by Part L of the Building Regulations 2013, in line with the approved Energy Report (Hodkinson, March 2021). The reductions will be displayed using SAP 10.1 emission factors, in line with the Energy Statement calculations.

Reason: To ensure that the development makes the fullest contribution to minimising carbon dioxide emissions in accordance with London Plan Policy SI2 (2021).

As Built SBEM calculations

42. Prior to occupation of the development on the Jonathon Street site As Built SBEM calculations should be submitted to and approved in writing by the Local Planning Authority demonstrating that reductions in carbon emissions of 35% over Building Regulations Part L 2013 have been achieved in line with the approved Energy Report (Hodkinson, March 2021).

Reason: To ensure that the development makes the fullest contribution to minimising carbon dioxide emissions in accordance with London Plan Policy SI2 (2021).

Whole Life Carbon Statement

43. Before occupation of the Jonathon Street site a Whole Life Carbon Statement should be submitted to and approved in writing by the local planning authority, demonstrating that the whole life-cycle carbon emissions of the development have been calculated using a nationally recognised Whole Life-Cycle Carbon Assessment and actions are taken to reduce life-cycle carbon emissions have been demonstrated.

Reason: To ensure that the development reduces life-cycle emissions (Policy SI2 of the London Plan (2021)).

BREEAM Post Construction Certificate

44. Within six months of first occupation of the Jonathon Street site, a BREEAM Post Construction certificate and summary score sheet should be submitted to and approved in writing by the Local Planning Authority demonstrating that a rating of ‘Excellent’ has been achieved.

Reason: To ensure that the development has an acceptable level of sustainability (Policy EN4

of the Lambeth Local Plan and Policy SI 2 of the London Plan (2021)).

Overheating and cooling

45. Prior to the commencement of development beyond the superstructure on the Jonathon Street site, the applicant should submit an Overheating Assessment Report showing that the risk of overheating has been reduced in line with the Mayor's cooling hierarchy. The report should demonstrate compliance against CIBSE TM52 and should provide the results from testing using CIBSE TM59 (DSY 2 & DSY3).

Reason: To ensure the design of the development reduces (as far as is possible) the potential for overheating and reliance on air conditioning systems (Policy EN4 of the Lambeth Local Plan and SI 4 of the London Plan (2021)).

Water efficiency

46. Prior to the commencement of development beyond the superstructure on the Jonathon Street site, a corresponding water efficiency calculator for the proposed fixtures and fittings shall be submitted to and approved in writing by the Local Planning Authority to demonstrate that the internal water consumption will not exceed 105 litres/person/day in line with The Water Efficiency Calculator for New Dwellings from the Department of Communities and Local Government.

Reason: Occupation must not commence prior to these details being discharged in order to ensure the development would achieve an acceptable standard of water efficiency (Policy SI 5 of the London Plan (2021)).

Water efficiency – non residential

47. Within six months of the first occupation of the Jonathon Street site, evidence should be submitted to and approved in writing by the Local Planning Authority demonstrating that a 12.5% improvement over the baseline for Wat 01 has been achieved for the non-residential areas.

Reason: In order to ensure the development would achieve an acceptable standard of water efficiency (Policy SI 5 of the London Plan (2021)).

Water efficiency – residential

48. Within six months of the first occupation of the Jonathon Street site, evidence should be submitted to and approved in writing by the Local Planning Authority demonstrating that water metering and saving measures have been installed (for example by demonstrating that credits Wat 02 and Wat 03 have been achieved).

Reason: In order to ensure the development would achieve an acceptable standard of water efficiency (Policy SI 5 of the London Plan (2021)).

SuDS

49. No development shall commence on the Jonathon Street site until the detailed design the surface water drainage system and associated pipework as presented in the Flood Risk Assessment & Drainage Strategy document Ref No. 194730-05 Project No. 194730) have been submitted to and approved in writing by the Local Planning Authority. The scheme for the surface water drainage shall be carried out in accordance with the approved details before the relevant phase of the development is first put in to use/occupied.

Reason: To ensure the development is provided with a satisfactory means of drainage and in

the interests of securing a more sustainable development and to reduce the impact of flooding both to and from the development and third parties in accordance with Policy SI 13 of the London Plan and Policy EN6 of the Lambeth Local Plan.

50. No development on the Jonathon Street site shall be brought in to use/occupied until a management and maintenance plan of the sustainable drainage scheme for the site has been submitted to and approved by the Local Planning Authority. The plan must consider the management and maintenance for the lifetime of the development which shall include the arrangements made to secure the operation of the scheme. The approved plan shall be implemented in full in accordance with the agreed terms and conditions.

Reason: To manage the water environment of the development and mitigate the impact on flood risk, water quality, habitat and amenity value. (Policies EN5 and EN6 of the Lambeth Local Plan and Policy SI12 of the London Plan (2021)).

Photovoltaic panels

51. Prior to the commencement of development beyond the superstructure on the Jonathon Street site, a scheme showing that the provision of photovoltaic panels has been maximised including the siting, size, number and design of the photovoltaic array including cross sections of the roof of each building showing the panels in-situ shall be submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be completed in strict accordance with the approved details and permanently retained as such for the duration of use, unless otherwise agreed in writing by the local planning authority.

Reason: To safeguard the appearance of the completed development and to ensure that the development has an acceptable level of sustainability (Policy SI 2 of the London Plan (2021) and Policy Q2, Q7, Q8 and EN4 of the Lambeth Local Plan).

Urban Greening Factor

52. Prior to first occupation of the dwellings hereby permitted on the Jonathon Street site, evidence shall be submitted to and approved in writing by the local planning authority to validate the measures at the as built stage to demonstrate that an Urban Greening Factor of 0.4 or more has been achieved.

Reason: To ensure that the urban greening factor has been achieved on site (Policy G5 and G6 of the London Plan (2021)).

Circular Economy Statement

53. Within 3 months of first occupation of any of the residential units on the Jonathon Street site hereby approved, a post construction statement shall be submitted to and approved in writing to the local planning authority. This shall include the quantification of measures and detail of how circular economy proposals have been achieved in line with approved statement (Hodkinson, June 2021).

Reason: To ensure that the proposal promotes circular economy outcomes (Policy SI 7 of the London Plan (2021)).

Other

Fire Statement

54. The development hereby permitted shall be implemented in accordance with the terms and

provisions of the Fire Statement by Elementa prior to the first occupation of any part of the development.

Reason: In the interests of public safety (Policy D12 of the London Plan (2021)).

Arch

aeology – Engagement

55. Following the undertaking of appropriate archaeological works on the Jonathon Street site, details of the public engagement framework pertaining to the sites archaeological program of work will be submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.

Reason: The planning authority wishes to secure public interpretation and presentation of the site's archaeology in line with London Plan Policy HC1.

Aerials Telecomms Restriction

56. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (Amendment) (No.2) (England) Order 2008 2015(or any Order revoking or re-enacting that Order with or without modification), details of aerials, antennae, satellite dishes or related telecommunications equipment to be erected on any part of the development shall be submitted and approved prior to their installation. Only those permitted will be erected.

Reason: To ensure that the visual impact of telecommunication equipment upon the surrounding area can be considered. (Policies T10, Q6 and Q7 of the Lambeth Local Plan).

Net Biodiversity Gain

57. Prior to the first occupation of the dwellings hereby permitted on the Jonathon Street site, evidence shall be submitted to and approved in writing by the local planning authority to demonstrate that net biodiversity gain has been achieved.

Reason: To ensure that a net biodiversity gain has been achieved in the interests of the ecological value of the site (Policy EN1 of the Lambeth Local Plan and Policy G6 of the London Plan)

Grampian condition to Secure s106 agreement

58. No development shall commence on any part of the site until a planning obligation pursuant to section 106 of the Town & Country Planning Act 1990 has been entered into in a form satisfactory to the Council which shall secure the following obligations:

Item	Details
Affordable Housing – onsite	Securing 29 units of affordable housing with the following tenure mix: 3. 20 x social rent units 4. 9 x shared ownership units To be provided prior to the first occupation of the market units

Estate Amenity Land Improvements	<ul style="list-style-type: none"> • A scheme to be developed and submitted and approved by the Council for the following alongside the approved development works (and which may require the submission of an applications for planning permission) in respect of - (final details including trigger point to be confirmed in addendum) <ul style="list-style-type: none"> - Coverley Point - Tracey Island - Venn Park • The delivery of improvements to include: <ul style="list-style-type: none"> - Seating - Communal Planting Beds - New Footpaths - Tree Planting - Shrub Planting - Gym equipment -Table tennis tables - Landscaping - Sedum roofs - Play equipment • A landscape management and maintenance plan to be submitted, approved and implemented accordingly. • The estate amenity works must be completed prior to the occupation of the residential units of both sites.
Temporary Community Centre	<ul style="list-style-type: none"> • Delivery of the temporary community centre located on Tracey Island, Tyers Street (application ref 20/04423) ahead of the closure of the Carmelita Community Centre building to ensure there is a continuous community centre provision in close proximity to the existing. This application will also form part of an overarching legal agreement to ensure the applications are suitably linked to facilitate the benefit in this respect.
Trees, Landscaping and Communal space	<ul style="list-style-type: none"> • A final landscape management and maintenance plan to be submitted and secured for the lifetime of the development. • A financial contribution of £297,641 to compensate for the loss of trees to facilitate replacement tree planting in the surrounding area. • Secure access to the communal areas of the proposed development for all future occupiers for the lifetime of the development.
Transport	<ul style="list-style-type: none"> • Car Parking Permit Free • One (3 year) Car Club Memberships (secured by s106) for the occupants of residential units • Cycle Hire Membership. • Healthy Route contribution of £78,100 • Enter into a s278 agreement for highways works agreement with regards to works that will affect the highway including reinstatement works.
Employment and Skills	<ul style="list-style-type: none"> • Employment and skills financial contribution of £39,000 to be used towards vocational training and employment support • Employment and Skills Plan shall be submitted for the construction phase of the development. A range of potential outcomes for the construction will be expected and agreed within the Employment and Skills plans.
Carbon offset	<ul style="list-style-type: none"> • Securing a carbon offset contribution of approximately of £63,840 with the actual amount to be determined following final emissions carbon reduction being confirmed.
Other	<ul style="list-style-type: none"> • Monitoring fee of up to 5% of total financial obligations.

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Orsett Street Scheme

Ground Contamination

59. For the Orsett Street site, unless otherwise agreed in writing by the local planning authority no demolition or development shall take place until:

- i. A site investigation scheme, based on previous findings to provide information for a detailed assessment of the risk to all receptors that may be affected, including those off-site;
- ii. The site investigation results and the detailed risk assessment resulting from i); has been submitted to and approved by the local planning authority in writing

and no other development shall commence until the following components of a scheme to deal with the risks associated with contamination of the site - including unexploded ordnance and asbestos - have been submitted to and approved in writing by the local planning authority:

- iii. An options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken;
- iv. A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in iii) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

The development shall thereafter be implemented in accordance with the details and measures approved.

Reason: Development must not commence before relevant parts of this condition are discharged to safeguard future users or occupiers of this site and the wider environment from irreversible risks associated with the contaminants which are present by ensuring that the contaminated land is properly treated and made safe before development. Depending on the outcome of any ground investigation and subsequent risk assessment, it may be necessary for remediation to be carried out. If this is the case, it will be necessary to demonstrate that any work has been carried out effectively and the environmental risks have been satisfactorily managed in line with the National Planning Policy Framework (NPPF) (Paragraph 183) and Policy EN4 of the Lambeth Local Plan.

60. Prior to occupation of any part of the Orsett Street site development of either site, a verification report demonstrating completion of the works set out in the approved remediation strategy and the effectiveness of the remediation shall be submitted to and approved in writing by the local planning authority. The report shall include results of sampling and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met. It shall also include any plan (a "long-term monitoring and maintenance plan") for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan, and for the reporting of this to the local planning authority.

Reason: Development must not commence before relevant parts of this condition are discharged to safeguard future users or occupiers of this site and the wider environment from irreversible risks associated with the contaminants which are present by ensuring that the contaminated land is properly treated and made safe before development. Depending on the outcome of any ground investigation and subsequent risk assessment, it may be necessary for remediation to be carried out. If this is the case, it will be necessary to demonstrate that any

work has been carried out effectively and the environmental risks have been satisfactorily managed in line with the National Planning Policy Framework (NPPF) (Paragraph 183) and Policy EN4 of the Lambeth Local Plan.

Construction and Environmental Management Plan

61. The Orsett Street site development hereby approved shall not commence until a Construction and Environmental Management Plan (CEMP) has been submitted to and approved in writing by the local planning authority. The CEMP shall include details of the following relevant measures:
- i. An introduction consisting of construction phase environmental management plan, definitions and abbreviations and project description and location;
 - ii. A description of management responsibilities;
 - iii. A description of the construction and demolition programme which identifies activities likely to cause high levels of noise or dust;
 - iv. Site working hours and a named person for residents to contact;
 - v. Detailed Site logistics arrangements;
 - vi. Details regarding parking, deliveries, and storage;
 - vii. Details regarding dust and noise mitigation measures to be deployed including identification of sensitive receptors and ongoing monitoring;
 - viii. Details of the hours of works and other measures to mitigate the impact of construction on the amenity of the area and safety of the highway network; and
 - ix. Communication procedures with the LBL and local community regarding key construction issues – newsletters, fliers etc.
 - x. Details of methods to encourage re-use of materials on-site
 - xi. Staff Travel Plan

The construction shall thereafter be carried out in accordance with the details and measures approved in the CEMP for the related phase unless the written consent of the Local Planning Authority is received for any variation.

Reason: This is required prior to construction to avoid hazard and obstruction being caused to users of the public highway and to safeguard residential amenity during the whole of the construction period. (Policy Q2 of the Lambeth Local Plan).

Environmental Noise

62. Prior to the commencement of development of the Orsett Street site, a scheme of noise and vibration attenuation and ventilation sufficient to prevent overheating and maintain thermal comfort shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall achieve the habitable room standards as detailed in BS8233:2014 with no relaxation for exceptional circumstances and must include details of post construction validation. Thereafter the development shall be carried out in accordance with the approved details and a separate validation report shall be submitted to and approved in writing by the Local Planning Authority within 3 months of first occupation. All work must be carried out by suitably qualified person and the approved noise, vibration attenuation and ventilation measures shall thereafter be retained and maintained in working order for the duration of the use in accordance with the approved details.

Reason: To protect the amenities of future residential occupiers (Policy Q2 of the Lambeth Local Plan).

Air Quality Impacts (construction stage)

63. No demolition or development shall commence on the Orsett Street site until full details of the

proposed mitigation measures for impact on air quality and dust emissions, in the form of an Air Quality and Dust Management Plan (AQDMP), have been submitted to and approved in writing by the local planning authority. In preparing the AQMDP the applicant should follow the guidance on mitigation measures for medium risk sites (as a minimum) set out in Appendix 7 of the Control of Dust and Emissions during Construction and Demolition SPG 2014 for demolition, earthworks, construction and trackout. Both 'highly recommended' and 'desirable' measures should be included. The AQDMP can form part of the Construction Environmental Management Plan (CEMP). The AQDMP shall include the following for each relevant phase of work:

- Site location plan including sensitive receptors within 50m of the site boundary;
- Site layout and equipment plan;
- A summary of work to be carried out;
- Outcome of Air Quality And Dust Risk Assessments completed at application stage (AQDRA);
- Proposed haul routes, location of site equipment including supply of water for damping down, source of water, drainage and enclosed areas to prevent contaminated water leaving the site;
- Inventory and timetable of all dust and NOx air pollutant generating activities;
- List of air quality emission and dust control measures to be implemented, appropriate to the site dust risk level as determined by the AQDRAs (low, medium, high), as set out in the Dust and Emissions SPG;
- Details of any fuel stored on-site;
- Particulate matter monitoring methods to be implemented;
- Details of a trained and responsible person on-site for air quality (with knowledge of pollution monitoring and control methods, and vehicle emissions);
- That construction machinery will meet London NRMM emissions standards;
- Details of the use of on-road Ultra Low Emission Zone (ULEZ) compliant vehicles

No demolition or development shall commence until all necessary pre-commencement measures described in the AQDMP have been put in place and set out on site. The demolition and development shall thereafter be carried out and monitored in accordance with the details and measures approved in the AQDMP.

Reason: Development must not commence before this condition is discharged to manage and mitigate the impact of the development on the air quality and dust emissions in the area and London as a whole, and to avoid irreversible and unacceptable damage to the environment (London Plan policy SI1, and the London Plan SPGs for Sustainable Design and Construction and Control of Dust and Emissions during Construction and Demolition).

Archaeology – Written scheme of investigation

64. No demolition or development on the Orsett Street site shall take place until a written scheme of investigation (WSI) has been submitted to and approved by the local planning authority in writing. For land that is included within the WSI, no demolition or development shall take place other than in accordance with the agreed WSI, which shall include the statement of significance and research objectives, and
- C. The programme and methodology of site investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works.
- D. The programme for post-investigation assessment and subsequent analysis, publication & dissemination and deposition of resulting material.
- This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the WSI.

Reason: to safeguard the archaeological interest on this site (Policy HC1 London Plan (2021)).

Archaeology Foundation works

65. No foundation works shall take place on the Orsett Street site until details of the foundation design and construction method to protect archaeological remains have been submitted and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.

Reason: The planning authority wishes to secure physical preservation of the site's archaeological interest in accordance with the NPPF.

Flood Risk measures

66. No development shall commence on the Orsett Street site until the detailed design for the flood risk mitigation measures presented in the Flood Risk Assessment & Drainage Strategy (Report Ref. 194730-05) have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the development is provided with a satisfactory means of drainage and in the interests of securing a more sustainable development and to reduce the impact of flooding both to and from the development and third parties in accordance with Policy SI 12 of the London Plan and Policy EN5 and EN6 of the Lambeth Local Plan.

Design and Appearance

Detailed drawings

67. Notwithstanding any indication on the drawings hereby approved, prior to commencement of the development on the Orsett Street site beyond the superstructure of the development on each site hereby permitted drawings showing all external construction detailing of all relevant building/block has been submitted to and approved by the Local Planning Authority in writing.

The drawings shall include details of:

- a) the façade of the building including details of ground and first floor.
- b) main entrances (including service entrances) and how they will be named and numbered permanently including canopies
- c) balconies and terraces including balustrades
- d) boundary treatments
- e) soffits, screens, vents and copings
- f) roof treatments, cills and parapets including detailed design of plant and associated screening
- g) windows and doors (including technical details, elevations, reveal depths, plans and cross sections)
- h) building signage strategy and Legible London Signage
- i) mail boxes
- j) acoustic screens/barriers for external communal amenity terraces (where required)
- k) overlooking mitigation measures to relevant windows,

The details set out above shall be provided at 1:10 scale (including sections) or 1:20 elevational studies whichever is most suitable for the detail in question. The development shall not be carried out otherwise than in accordance with the details and drawings thus approved and shall thereafter be retained for the lifetime of the development.

Reason: To ensure that the external appearance of the building is satisfactory, does not detract from the character and visual amenity of the area, not cause harm to heritage assets and that the amenities of neighbouring occupiers are protected. (Policies Q2, Q5, Q6, Q7, Q8, Q15, Q17, Q22 and Q26 of the Lambeth Local Plan and Policies D4, D8 and D9 of the London Plan

(2021)).

Materials

68. Notwithstanding any indication on the drawings hereby approved, prior to commencement of the development on the Orsett Street site beyond the superstructure of the development hereby permitted, the following details of all materials to be used in the external elevations of each block/building/public realm shall be provided to and approved in writing by the local planning authority:

- d. a technical specification schedule of the materials
- e. a sample panel to be provided on site
- f. a photographic record of the sample panels, taken on site at midday

The development shall not be carried out otherwise than in accordance with the samples thus approved.

Reason: To ensure that the external appearance of the building is satisfactory, does not detract from the character and visual amenity of the area and not cause harm to heritage assets (Policies Q2, Q5, Q6, Q7, Q8, Q15, Q17, Q22 and Q26 of the Lambeth Local Plan and Policies D4, D8 and D9 of the London Plan (2021)).

Refuse Stores

69. Prior to commencement of above ground works on the Orsett Street site, the design and detailing of all internal and external refuse stores shall be submitted to and approved in writing by the local planning authority. The details shall accord with the Council's 'Refuse and Recycling Storage Guidance'. The details provided for the internal shall include details for taps for wash-down, floor drains, wall buffers, steel-framed doors and mechanical ventilation. The approved scheme shall be fully implemented before the use hereby permitted commences and retained for the lifetime of the development, unless otherwise approved, in writing, by the local planning authority.

Reason: In the interests of visual and residential amenity (policy Q2 of the Lambeth Local Plan).

Cycle Parking Store

70. Notwithstanding the details on the drawings and documents hereby approved, no above ground construction works shall commence on the Orsett Street site until details of the external cycle parking stores have been submitted to and approved in writing by the local planning authority. The cycle parking stores shall be provided in accordance with the approved details prior to first occupation of any part of the building hereby permitted. The cycle storage areas shall thereafter be retained for the lifetime of the development.

Reason: To ensure that the external appearance of the building is satisfactory (policies Q2, Q5, Q7, and Q8 of the Lambeth Local Plan).

Secured by design – construction

71. Prior to commencement of the development on the Orsett Street site beyond the superstructure of the development hereby permitted, an application for Secured by Design Certification shall be made for the development hereby approved.

Reason: To ensure that satisfactory attention is given to security and community safety (Policy

GG6 of the London Plan (2021) and Policy Q3 of the Lambeth Local Plan).

Secured by design – certification

72. Prior to the first occupation of any part of the development on the Orsett Street site, evidence of the development having achieved Secure by Design certification shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall thereafter be maintained in accordance with the measures required to achieve certification for the lifetime of the development.

Reason: To ensure that satisfactory attention is given to security and community safety (Policy GG6 of the London Plan (2021) and Policy Q3 of the Lambeth Local Plan).

Screening

73. Notwithstanding the details on the drawings and supporting documents hereby approved, prior to the commencement of above ground works on the Orsett Street site, detailed drawings (at scale 1:20 and 1:100) of the how the residential terraces will be screened (incorporates planted screening/raised planters), shall be submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be carried out solely in accordance with the details thus approved and shall thereafter be retained as such for the lifetime of the development hereby approved unless otherwise approved, in writing, by the local planning authority.

Reason: To ensure a high-quality standard of development to safeguard the character and appearance of the site and the local area and protect residential amenity of future occupiers. (Policy Q2 of the Lambeth Local Plan).

Landscaping and Playspace

Playspace

74. Notwithstanding details shown on the approved plans, no occupation of the residential parts of the Orsett Street site development shall commence until full details of the children's play space provisions (including layout, equipment specification, and phasing of delivery) have been submitted to and approved in writing by the local planning authority and the development has been implemented in accordance with the approved details and agreed phasing. The children's play areas shall be maintained for the duration of the development and available for all occupiers irrespective of tenure.

Reason: To ensure appropriate provision for children's play on site. (Policy S4 of the London Plan (2021) and Policy H5 of the Lambeth Local Plan).

Landscaping details

75. Notwithstanding the details on the drawings and documents hereby approved, prior to commencement of the development on the Orsett Street site beyond the superstructure of the development hereby permitted, a hard and soft landscaping scheme shall be submitted to and approved in writing by the local planning authority. All tree, shrub and hedge planting included within the above scheme shall accord with BS3936:1992, BS4043:1989 and BS4428:1989 (or subsequent superseding equivalent) and current Arboricultural best practice. The details shall include:
- a) The treatment of all parts of the site not covered by buildings including walls and boundary features

- b) The treatment of the communal residential podium/roof terraces
- c) The quantity, size, species, position and the proposed time of planting of all trees and shrubs to be planted including details of appropriate infrastructure and maintenance to support long-term survival
- d) An indication of how all trees and shrubs will integrate with the proposal in the long term with regard to their mature size and anticipated routine maintenance and protection including irrigation systems
- e) Details of infrastructure to maximise rooting capacity and optimize rooting conditions;
- f) All shrubs and hedges to be planted that are intended to achieve a significant size and presence in the landscape shall be similarly specified;
- g) All hard landscaping including all ground surfaces, planters, seating, refuse disposal points, cycle parking facilities, bollards, vehicle crossovers/access points;

The development hereby permitted shall be thereafter carried out in accordance with the approved details within 6 months of the date of occupation of any part of the site unless an alternative temporary landscaping and phasing scheme has otherwise been submitted to and agreed by the Local Planning Authority.

The development shall thereafter be carried out solely in accordance with the details thus approved and shall thereafter be retained as such for the lifetime of the development unless otherwise approved, in writing, by the local planning authority.

Reason: In order to introduce high quality landscaping in and around the site in the interests of the ecological value of the site and to ensure a satisfactory landscaping of the site in the interests of visual amenity and to ensure high quality of housing. (Policy EN1, Q2, Q6, Q9, Q10 and H5 of the Lambeth Local Plan and Policy G6 of the London Plan).

Trees and Biodiversity

Bird and Bat Boxes

76. Prior to commencement of the development beyond the superstructure of the development on the Orsett Street site hereby permitted, details of bird and bat boxes locations and types and indication of species to be accommodated shall be submitted to and approved in writing by the Local Planning Authority. The boxes shall be installed in accordance with the approved plans prior to the occupation of the development and thereafter retained and maintained for the lifetime of the development, unless prior written approval is given by the Local Planning Authority.

Reason: In order to secure appropriate features to conserve and enhance wildlife habitats and biodiversity measures within the development (Policy EN1 of the Lambeth Local Plan).

Green Roofs

77. Within six months of work starting on the Orsett Street site, a detailed specification of the green roofs shall be submitted to and approved in writing by the Local Planning Authority. The specification shall include details of the quantity, size, species, position and the proposed time of planting of all elements of the green roofs, together with details of their anticipated routine maintenance and protection. The green roofs shall only be installed and thereafter maintained following the approved details, as per Lambeth Local Plan Policy EN4 and London Plan Policy G1.

Reason: In order to promote biodiversity and rainwater attenuation on the site. (Policy G1, G5, SI 2 and SI 13 of the London Plan (2021) and Policy EN1, EN4, EN5, EN6 and Q9 of the

Lambeth Local Plan).

Transport & Highways

Delivery and Servicing Management Plan

78. The uses hereby permitted on the Orsett Street site shall not commence until a servicing management plan has been submitted and approved in writing by the local planning authority. The use hereby permitted shall thereafter be operated in accordance with the approved details. The submitted details must include the following:

- f) frequency of deliveries to the site;
- g) frequency of other servicing vehicles such as refuse collections;
- h) dimensions of delivery and servicing vehicles;
- i) proposed loading and delivery locations; and
- j) a strategy to manage vehicles servicing the site.

Reason: To protect the amenities of adjoining occupiers and the surrounding area (policy Q2 of the London Borough of Lambeth Local Plan and to limit the effects of the increase in travel movements (Policy T8 (Servicing) - Lambeth Local Plan).

Waste Management Strategy

79. Prior to first occupation of the residential hereby permitted on the Orsett Street site, a Waste and Recycling Management Strategy shall be submitted to and approved in writing by the local planning authority. The uses hereby permitted shall thereafter be operated in accordance with the approved Waste and Recycling Management Strategy. The Waste and Recycling Management Strategy will align with the "Waste Storage and Collection Requirements - Technical Specification 2013" and will confirm that the bins serving the development hereby approved shall remain in the bin store at all times except for when they are being emptied and once emptied shall be returned immediately to the bin storage area.

Reason: To ensure suitable provision for the occupiers of the development, to encourage the sustainable management of waste and to safeguard the visual amenities of the area (policies Q2 and Q12 of the Lambeth Local Plan).

Cycle Parking Details

80. Prior to commencement of the residential and community uses hereby permitted on the Orsett Street site, full details of the short and long-term cycle parking provision (including for larger, cargo and adapted cycles) for the relevant use shall be submitted to and approved in writing by the Local Planning Authority. The details shall include:
- Floor plans and detailed construction drawings (where relevant)
 - Specification of cycle stands including manufacturer's details
 - Details of electric bike charging points
 - Details of lifts to accommodate non-standard cycles (unless it has been demonstrated that it is not technically feasible)
 - Details of automatic doors
 - Phasing of delivery of short-term cycle parking (including temporary provision if relevant)

The long-term cycle parking shall thereafter be implemented in full in accordance with the approved details before the relevant use hereby permitted commences and shall thereafter be retained solely for its designated use. The short-term cycle parking shall thereafter be implemented in full in accordance with the approved details and the phasing plan and shall thereafter be retained solely for its designated use.

Reason: To ensure adequate cycle parking is available on site and to promote sustainable modes of transport (policies T1, T3 and Q13 of the London Borough of Lambeth Local Plan and Policy T5 of the London Plan (2021).

Amenity

Environmental Noise

81. Prior to the first use of the amenity space on the Orsett Street site a scheme of measures to ensure that all residential units have access to amenity space within the development where noise levels do not exceed 55dB LAEQ(16 hour) shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of post construction validation. Thereafter the development shall be carried out in accordance with the approved details and a separate validation report shall be submitted to and approved in writing by the Local Planning Authority within 3 months of first occupation.

Reason: To protect the amenities of future residential occupiers (Policy Q2 of the Lambeth Local Plan).

Noise and vibration attenuation of Building Services Plant (to be submitted)

82. The uses hereby permitted, or the operation of any building services plant on the Orsett Street site, shall not commence until an assessment of the acoustic impact arising from the operation of all internally and externally located plant has been submitted to and approved in writing by the local planning authority.

The assessment of the acoustic impact shall be undertaken in accordance with BS 4142: 2014 (or subsequent superseding equivalent) and current best practice and shall include a scheme of attenuation measures to ensure the rating level of noise emitted from the proposed building services plant is 5dB less than background.

The use hereby permitted, or the operation of any building services plant, shall not commence until a post-installation noise assessment has been carried out to confirm compliance with the noise criteria. The scheme shall be implemented in accordance with the approved details and attenuation measures, and they shall be permanently retained and maintained in working order for the duration of the use and their operation.

Reason: To protect the amenities of adjoining occupiers and the surrounding area (policy Q2 of the Lambeth Local Plan).

Flues and extraction plant – full details to be submitted

83. Prior to the provision of flues extraction and filtration equipment on the Orsett Street site, the details and full specifications of the flues extraction and filtration equipment, and ongoing maintenance plan (including elevational drawings) shall be have been submitted to and approved in writing by the local planning authority.

The use hereby permitted shall not commence until the approved details are fully implemented. The approved flues, extraction and filtration equipment shall thereafter be retained and maintained in working order for the duration of the use in accordance with the approved details.

Reason: To protect the amenities of adjoining occupiers and the surrounding area (policy Q2 of the Lambeth Local Plan).

External Lighting

84. Prior to occupation of the Orsett Street site a lighting scheme must be submitted for the approval of the Local Planning Authority in accordance with the Institute of Lighting Professionals's Guidance notes for the reduction of obstructive light. The scheme must be designed by a suitably qualified person in accordance with the recommendations for environmental zone E3 in the ILP document "Guidance Notes for the Reduction of Obtrusive Light GN01:2011.

Before commencement of operation of the approved lighting scheme the applicant shall appoint a suitably qualified member of the institute of lighting professionals (ILP) to validate that the lighting scheme as installed conforms to the recommendations for environmental zone E3 in the ILP document "Guidance Notes for the Reduction of Obtrusive Light GN01:2020

Reason: To ensure minimal nuisance or disturbance is caused to the detriment of the amenities of adjoining occupiers and of the area generally (Policy Q2 (Amenity) – Lambeth Local Plan).

Sustainability and Energy

Energy Statement

85. Prior to the commencement of development beyond the superstructure on the Orsett Street site, an Energy Statement shall be submitted to and approved in writing by the Local Planning Authority which demonstrates that the development will achieve a minimum reduction in carbon emissions of 35% over that required by Part L of the Building Regulations 2013 and demonstrates that the minimum on-site reduction of 10% over Part L of the Building Regulations (2013) been achieved through energy efficiency measures (Be Lean) for the residential spaces and a 15% reduction for the non-residential spaces. This should include effective utilisation of the "Be Lean" stage of the GLA's Energy Assessment Guidance (2020) Energy Hierarchy with enhanced thermal fabric performance on Part L. This is to ensure that opportunities at this stage have been explored fully.

Reason: To ensure that the development makes the fullest contribution to minimising carbon dioxide emissions (Policy S12 of the London Plan (2021) and Policy EN4 of the Lambeth Local Plan).

As Built SAP Calculations

86. Prior to the first occupation of the development on the Orsett Street site As-Built SAP calculations with a Block Compliance worksheet as an output of the National Calculation Method should be submitted to and approved in writing by the Local Planning Authority demonstrating that the dwellings have achieved a minimum 35% reduction in carbon emissions over that required by Part L of the Building Regulations 2013, in line with the approved Energy Report (Hodkinson, March 2021). The reductions will be displayed using SAP 10.1 emission factors, in line with the Energy Statement calculations.

Reason: To ensure that the development makes the fullest contribution to minimising carbon dioxide emissions in accordance with London Plan Policy S12 (2021).

As Built SBEM calculations

87. Prior to occupation of the development on the Orsett Street site As Built SBEM calculations should be submitted to and approved in writing by the Local Planning Authority demonstrating that reductions in carbon emissions of 35% over Building Regulations Part L 2013 have been achieved in line with the approved Energy Report (Hodkinson, March 2021).

Reason: To ensure that the development makes the fullest contribution to minimising carbon dioxide emissions in accordance with London Plan Policy SI2 (2021).

Whole Life Carbon Statement

88. Before occupation of the Orsett Street site a Whole Life Carbon Statement should be submitted to and approved in writing by the local planning authority, demonstrating that the whole life-cycle carbon emissions of the development have been calculated using a nationally recognised Whole Life-Cycle Carbon Assessment and actions are taken to reduce life-cycle carbon emissions have been demonstrated.

Reason: To ensure that the development reduces life-cycle emissions (Policy SI2 of the London Plan (2021)).

Overheating and cooling

89. Prior to the commencement of development beyond the superstructure on the Orsett Street site, the applicant should submit an Overheating Assessment Report showing that the risk of overheating has been reduced in line with the Mayor's cooling hierarchy. The report should demonstrate compliance against CIBSE TM52 and should provide the results from testing using CIBSE TM59 (DSY 2 & DSY3).

Reason: To ensure the design of the development reduces (as far as is possible) the potential for overheating and reliance on air conditioning systems (Policy EN4 of the Lambeth Local Plan and SI 4 of the London Plan (2021)).

Water efficiency

90. Prior to the commencement of development beyond the superstructure on the Orsett Street site, a corresponding water efficiency calculator for the proposed fixtures and fittings shall be submitted to and approved in writing by the Local Planning Authority to demonstrate that the internal water consumption will not exceed 105 litres/person/day in line with The Water Efficiency Calculator for New Dwellings from the Department of Communities and Local Government.

Reason: Occupation must not commence prior to these details being discharged in order to ensure the development would achieve an acceptable standard of water efficiency (Policy SI 5 of the London Plan (2021)).

Water efficiency – non residential

91. Within six months of the first occupation of the Orsett Street site, evidence should be submitted to and approved in writing by the Local Planning Authority demonstrating that a 12.5% improvement over the baseline for Wat 01 has been achieved for the non-residential areas.

Reason: In order to ensure the development would achieve an acceptable standard of water efficiency (Policy SI 5 of the London Plan (2021)).

Water efficiency – residential

92. Within six months of the first occupation of the Orsett Street site, evidence should be submitted to and approved in writing by the Local Planning Authority demonstrating that water metering and saving measures have been installed (for example by demonstrating that credits Wat 02 and Wat 03 have been achieved).

Reason: In order to ensure the development would achieve an acceptable standard of water efficiency (Policy SI 5 of the London Plan (2021)).

SuDS

93. No development shall commence on the Orsett Street site until the detailed design the surface water drainage system and associated pipework as presented in the Flood Risk Assessment & Drainage Strategy document Ref No. 194730-05 Project No. 194730) have been submitted to and approved in writing by the Local Planning Authority. The scheme for the surface water drainage shall be carried out in accordance with the approved details before the relevant phase of the development is first put in to use/occupied.

Reason: To ensure the development is provided with a satisfactory means of drainage and in the interests of securing a more sustainable development and to reduce the impact of flooding both to and from the development and third parties in accordance with Policy SI 13 of the London Plan and Policy EN6 of the Lambeth Local Plan.

94. No development on the Orsett Street site shall be brought in to use/occupied until a management and maintenance plan of the sustainable drainage scheme for the site has been submitted to and approved by the Local Planning Authority. The plan must consider the management and maintenance for the lifetime of the development which shall include the arrangements made to secure the operation of the scheme. The approved plan shall be implemented in full in accordance with the agreed terms and conditions.

Reason: To manage the water environment of the development and mitigate the impact on flood risk, water quality, habitat and amenity value. (Policies EN5 and EN6 of the Lambeth Local Plan and Policy SI12 of the London Plan (2021)).

Photovoltaic panels

95. Prior to the commencement of development beyond the superstructure on the Orsett Street site, a scheme showing that the provision of photovoltaic panels has been maximised including the siting, size, number and design of the photovoltaic array including cross sections of the roof of each building showing the panels in-situ shall be submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be completed in strict accordance with the approved details and permanently retained as such for the duration of use, unless otherwise agreed in writing by the local planning authority.

Reason: To safeguard the appearance of the completed development and to ensure that the development has an acceptable level of sustainability (Policy SI 2 of the London Plan (2021) and Policy Q2, Q7, Q8 and EN4 of the Lambeth Local Plan).

Urban Greening Factor

96. Prior to first occupation of the dwellings hereby permitted on the Orsett Street site, evidence shall be submitted to and approved in writing by the local planning authority to validate the measures at the as built stage to demonstrate that an Urban Greening Factor of 0.4 or more has been achieved.

Reason: To ensure that the urban greening factor has been achieved on site (Policy G5 and G6 of the London Plan (2021)).

Circular Economy Statement

97. Within 3 months of first occupation of any of the residential units on the Orsett Street site

hereby approved, a post construction statement shall be submitted to and approved in writing to the local planning authority. This shall include the quantification of measures and detail of how circular economy proposals have been achieved in line with approved statement (Hodkinson, June 2021).

Reason: To ensure that the proposal promotes circular economy outcomes (Policy SI 7 of the London Plan (2021)).

Other

Archaeology – Engagement

98. Following the undertaking of appropriate archaeological works on the Orsett Street site, details of the public engagement framework pertaining to the sites archaeological program of work will be submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with the approved details.

Reason: The planning authority wishes to secure public interpretation and presentation of the site's archaeology in line with London Plan Policy HC1.

Net Biodiversity Gain

99. Prior to the first occupation of the dwellings hereby permitted on the Orsett Street site, evidence shall be submitted to and approved in writing by the local planning authority to demonstrate that net biodiversity gain has been achieved.

Reason: To ensure that a net biodiversity gain has been achieved in the interests of the ecological value of the site (Policy EN1 of the Lambeth Local Plan and Policy G6 of the London Plan).

Informatives:

1. This decision letter does not convey an approval or consent which may be required under any enactment, by-law, order or regulation, other than Section 57 of the Town and Country Planning Act 1990.
2. You are advised that this consent is without prejudice to any rights which may be enjoyed by any tenants/occupiers of the premises.
3. Your attention is drawn to the provisions of the Building Regulations, and related legislation which must be complied with to the satisfaction of the Council's Building Control Officer.
4. Your attention is drawn to Sections 4 and 7 of the Chronically Sick and Disabled Persons Act 1970 and the Code of Practice for Access for the Disabled to Buildings (B.S. 5810:1979) regarding the provision of means of access, parking facilities and sanitary conveniences for the needs of persons visiting, using or employed at the building or premises who are disabled.
5. You are advised of the necessity to consult the Council's Streetcare team within the Public Protection Division with regard to the provision of refuse storage and collection facilities.
6. You are advised that this permission does not authorise the display of advertisements at the premises and separate consent may be required from the Local Planning Authority under the Town and Country Planning (Control of Advertisements) Regulations 1992.
7. As soon as building work starts on the development, you must contact the Street Naming and Numbering Officer if you need to do the following:

1. name a new street
2. name a new or existing building
3. apply new street numbers to a new or existing building

This will ensure that any changes are agreed with Lambeth Council before use, in accordance with the London Buildings Acts (Amendment) Act 1939 and the Local Government Act 1985. Although it is not essential, we also advise you to contact the Street Naming and Numbering Officer before applying new names or numbers to internal flats or units. Contact details are listed below.

Street Naming and Numbering Officer
e-mail: streetnn@lambeth.gov.uk
tel: 020 7926 2283
fax: 020 7926 9104

8. You are advised of the necessity to consult the Transport and Highways team within the Transport Division of the Directorate of Environmental Services, with regard to any alterations affecting the public footway.
9. You are advised of the necessity to consult the Council's Highways team prior to the commencement of construction on 020 7926 9000 in order to obtain necessary approvals and licences prior to undertaking any works within the Public Highway including Scaffolding, Temporary/Permanent Crossovers, Oversailing/Undersailing of the Highway, Drainage/Sewer Connections, Hoarding, Excavations (including adjacent to the highway such as basements, etc), Temporary Full/Part Road Closures, Craneage Licences etc.
10. Thames water
The applicant is advised to read Thames Water guide 'working near our assets' to ensure your workings will be in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures.
<https://developers.thameswater.co.uk/Developing-a-large-site/Planning-your-development/Working-near-or-diverting-our-pipes>
Should you require further information please contact Thames Water. Email: developer.services@thameswater.co.uk.

There are water mains crossing or close to your development. Thames Water do NOT permit the building over or construction within 3m of water mains. If you're planning significant works near our mains (within 3m) we'll need to check that your development doesn't reduce capacity, limit repair or maintenance activities during and after construction, or inhibit the services we provide in any other way. The applicant is advised to read our guide working near or diverting our pipes.

<https://eur03.safelinks.protection.outlook.com/?url=https%3A%2F%2Fdevelopers.thameswater.co.uk%2FDeveloping-a-large-site%2FPlanning-your-development%2FWorking-near-or-diverting-our-pipes&data=04%7C01%7CJHolt%40lambeth.gov.uk%7C7bba886a93504282f69808d913cbf1f9%7C4f22780485f4507af4a60a971d6f7fe%7C0%7C0%7C637562588919440907%7CUnknwn%7CTWFpbGZsb3d8eyJWljojMC4wLjAwMDAiLCJQIjoiV2luMzliLCJBTiI6Ij1haWwiLCJXVCI6Mn0%3D%7C1000&data=T9Ez5haxZLBxT3AWTnG82N6TOrZHYTjcrUvGx7LuAY%3D&reserved=0>

11. The written scheme of investigation will need to be prepared and implemented by a suitably qualified professionally accredited archaeological practice in accordance with Historic England's Guidelines for Archaeological Projects in Greater London. This condition is exempt from deemed discharge under schedule 6 of The Town and Country Planning (Development Management Procedure) (England) Order 2015.

Appendix 2: List of consultees (statutory and Other Consultees)

Advert Publication Date 30 April 2021

List Of Internal Consultations, Statutory Bodies, Local Amenity Groups and Internal departments Consulted.

South Bank And Waterloo Neighbours

Historic England

Regeration Team

Regeneration Team Bishop Ward

Flooding - SUDS

Building Control

Enterprise, Employment And Skills Implementation Team

Greater London Authority

Network Rail

City of Westminster

Civil Aviation Authority

National Air Traffic Safeguarding Office

Twentieth Century Society

Victorian Society

The Georgian Group

London Cycling Campaign

Vauxhall 5 Chair Of The TRA

Kennington Park Road Residents' Association

9 Albert Embankment Residents' Association

Friends Of Vauxhall Pleasure Gardens

Dryden Court Residents' Association

Friends Of Old Paradise Gardens

Heart Of Kennington Residents' Association

Heart Of Kennington Residents' Association

I.M.P.A.C.T.

Jubilee Walkway Trust

Kennington Association Planning Forum

Oval & Kennington Residents Association

Vauxhall Gardens Estate Resident And Tenant Association

Vauxhall One Bussiness Improvement Districts

Vauxhall St Peters Heritage Centre

Walcot Estate Tenants Association

Whitgift Estate Tenants Association

Association of Waterloo Groups

Waterloo Community Development Group

South Bank Employers Group

Cleaver Square, Cleaver Street , Bowden St

Kennington Oval & Vauxhall Forum

We Are Waterloo

Friends Of Lambeth High Street Rec

Lambeth Estates Residents Association

Hatch Row Housing Co-operative

Design Out Crime Officer

EHST Noise Pollution

Highway Team Lambeth

Lambeth Highways

Housing

Lambeth Housing Services

Parks & Open Spaces

Development Manager

Conservation & Urban Design

Planning Policy

Bioregional

Arboricultural Officer

Corporate Asset Strategy

Veolia Waste Lambeth Planning App
Transport Lambeth
TFL Road Network Development (non-referable)
Development Control Department Thames Water
L.F.C.D Authority
Environment Agency
Sustainability Team On Air Quality
Historic England - Archaeology
Natural England
Ward Councillors

Appendix 3: List of relevant policies in London Plan, Lambeth Local Plan, Reference to SPGs, SPD and other relevant guidance

London Plan (2021)

GG2 Making the best use of land
GG3 Creating a healthy city
GG4 Delivering the homes Londoners need
GG6 Increasing efficiency and resilience
SD1 Opportunity Areas
SD4 The Central Activities Zone (CAZ)
D1 London's form, character and capacity for growth
D3 Optimising site capacity through the design-led approach
D3 Optimising site capacity through the design-led approach
D4 Delivering good design
D5 Inclusive design
D6 Housing quality and standards
D7 Accessible housing
D8 Public Realm
D9 Tall Buildings
D11 Safety, security and resilience to emergency
D12 Fire Safety
D13 Agent of Change
D14 Noise
H1 Increasing housing supply
H2 Small sites
H4 Delivering affordable housing
H5 Threshold approach to applications
H6 Affordable housing tenure
H7 Monitoring of affordable housing
H8 Loss of existing housing and estate redevelopment
H9 Ensuring the best use of stock
H10 Housing size mix
S1 Developing London's social infrastructure
S2 Health and social care facilities
S4 Play and informal recreation
E11 Skills and opportunities for all
HC1 Heritage conservation and growth
HC3 Strategic and Local Views
HC4 London View Management Framework
G1 Green infrastructure
G4 Open space
G5 Urban greening
G6 Biodiversity and access to nature
G7 Trees and woodlands
SI1 Improving air quality
SI 2 Minimising greenhouse gas emissions
SI 3 Energy infrastructure
SI 4 Managing heat risk
SI 5 Water infrastructure
SI 7 Reducing waste and supporting the circular economy

SI 12 Flood risk management
SI 13 Sustainable drainage
SI 14 Waterways – strategic role
T2 Healthy Streets
T3 Transport capacity, connectivity and safeguarding
T4 Assessing and mitigating transport impacts
T5 Cycling
T6 Car parking
T6.1 Residential parking
T6.5 Non-residential disabled persons parking
T7 Deliveries, servicing and construction
T9 Funding transport infrastructure through planning

Lambeth Local Plan (2021)

D2 Presumption in favour of sustainable development
D4 Planning obligations
H1 Maximising housing growth
H2 Delivering affordable housing
H3 Safeguarding existing housing
H4 Housing size mix in new developments
H5 Housing standards
ED15 Employment and training
S1 Safeguarding existing social infrastructure
S2 New or improved social infrastructure
T1 Sustainable travel
T2 Walking
T3 Cycling
T4 Public Transport Infrastructure
T5 River Transport
T7 Parking
T8 Servicing
EN1 Open space, green infrastructure and biodiversity
EN3 Decentralised energy
EN4 Sustainable design and construction
EN5 Flood Risk
EN6 Sustainable drainage systems and water management
Q1 Inclusive environments
Q2 Amenity
Q3 Safety, crime prevention and counter terrorism
Q4 Public art
Q5 Local distinctiveness
Q6 Urban design: public realm
Q7 Urban design: new development
Q8 Design quality: construction detailing
Q9 Landscaping
Q10 Trees
Q12 Refuse and recycling
Q13 Cycle storage
Q15 Boundary treatments
Q20 Statutory listed buildings
Q22 Conservation areas
Q23 Non-designated heritage assets: local heritage list
Q25 Views
Q26 Tall and large buildings

Supplementary Planning Documents (SPDs) & Other Relevant Documents:

London Plan Supplementary Planning Guidance (SPG)

Draft Circular Economy Statements (October 2020)
Draft Whole-life Carbon Assessments (October 2020)
Draft 'Be Seen' Monitoring Guidance (October 2020)

Social Infrastructure (May 2015)
Accessible London: Achieving an Inclusive Environment (October 2014)
The control of dust and emissions during construction and demolition (July 2014)
Character and Context (June 2014)
London View Management Framework (March 2012)
Planning for Equality and Diversity in London (October 2007)

Lambeth Supplementary Planning Documents (SPDs)

Employment and Skills SPD (2018)
Draft Design Code SPD (2020)
Air Quality Planning Guidance Notes
Refuse & Recycling Storage Design Guide
Waste and Recycling Storage and Collection Requirements - Technical Specification for Architects and Developers