



**US Army Corps
of Engineers** ✪
New England District
696 Virginia Road
Concord, MA 01742-2751

PUBLIC NOTICE

Comment Period Begins: January 30, 2018

Comment Period Ends: March 1, 2018

File Number: NAE-2017-00897

In Reply Refer To: Mr. Taylor Bell

Phone: (978) 318-8952

E-mail: taylor.m.bell@usace.army.mil

The District Engineer has received a permit application to conduct work in waters of the United States from Washington West, LLC located at 17 South Main Street, West Hartford, Connecticut 06109. This work is proposed in tributary at Washington Street & Plaza Drive, Middletown, Connecticut. The site coordinates are: Latitude 41°33'19" Longitude 072°40'45".

The work involves the discharge of fill material into 580 linear feet of stream to allow for commercial development. The proposed project consists of construction of 40,000 square feet of building space for three buildings, supplementary landscape improvements, parking and loading areas, a storm water management system and utility improvements.

The applicant has stated the following "The site plan has been through a number of iterations and the current plan minimizes direct impacts to the large wetland system on site as well as provides a positive solution to the ongoing erosive condition in the existing stream. Impacts to waters of the US will be compensated for by a combination of stream channel restoration and an in-lieu fee. The Corps has not verified the adequacy of the applicant's avoidance and minimization statement at this time.

The work is shown on the attached plans entitled "**Proposed Development**" on 17 sheets, and dated "**December 27, 2017**".

AUTHORITY

Permits are required pursuant to:

Section 10 of the Rivers and Harbors Act of 1899

Section 404 of the Clean Water Act

Section 103 of the Marine Protection, Research and Sanctuaries Act.

The decision whether to issue a permit will be based on an evaluation of the probable impact of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefit which may reasonably accrue from the proposal must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the proposal will be considered, including the cumulative effects thereof; among those are: conservation, economics, aesthetics, general environmental concerns, wetlands, cultural value, fish and wildlife values, flood hazards, flood plain value, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food production and, in general, the needs and welfare of the people.

The U.S. Army Corps of Engineers, New England District (Corps), is soliciting comments from the public; Federal, state, and local agencies and officials; Indian Tribes; and other interested parties in order to consider and evaluate the impacts of this proposed activity. The Corps will consider all comments received to determine whether to issue, modify, condition or deny a permit for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are used in the preparation of an Environmental Assessment and/or an Environmental Impact Statement pursuant to the National Environmental Policy Act. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

NATIONAL HISTORIC PRESERVATION ACT

Based on his initial review, the District Engineer has determined that little likelihood exists for the proposed work to impinge upon properties with cultural or Native American significance, or listed in, or eligible for listing in, the National Register of Historic Places. Therefore, no further consideration of the requirements of Section 106 of the National Historic Preservation Act of 1966, as amended, is necessary. This determination is based upon the following:

a. Review of the latest published version of the National Register shows that no presence of registered properties listed as being eligible for inclusion therein are in the permit area or general vicinity.

ENDANGERED SPECIES CONSULTATION

The Corps has reviewed the application for the potential impact on Federally-listed threatened or endangered species and their designated critical habitat pursuant to section 7 of the Endangered Species Act as amended. It is our preliminary determination that the proposed activity for which authorization is being sought is designed, situated or will be operated/used in such a manner that it is : not likely to adversely affect a listed species or their critical habitat. We are coordinating with the NMFS and/or U.S. Fish and Wildlife Service on listed species under their jurisdiction and the ESA consultation will be concluded prior to the final decision.

OTHER GOVERNMENT AUTHORIZATIONS

The following authorizations have been applied for, or have been, or will be obtained:

- Permit, license or assent from State.
- Permit from local wetland agency or conservation commission.
- Water Quality Certification in accordance with Section 401 of the Clean Water Act.

COMMENTS

In order to properly evaluate the proposal, we are seeking public comment. Anyone wishing to comment is encouraged to do so. Comments should be submitted in writing by the above date. If you have any questions,

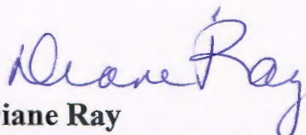
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FILE NO. NAE-2017-00897

please contact Mr. Taylor Bell at (978) 318-8952, (800) 343-4789 or (800) 362-4367, if calling from within Massachusetts.

Any person may request, in writing, within the comment period specified in this notice, that a public hearing be held to consider the application. Requests for a public hearing shall specifically state the reasons for holding a public hearing. The Corps holds public hearings for the purpose of obtaining public comments when that is the best means for understanding a wide variety of concerns from a diverse segment of the public.

The initial determinations made herein will be reviewed in light of facts submitted in response to this notice. All comments will be considered a matter of public record. Copies of letters of objection will be forwarded to the applicant who will normally be requested to contact objectors directly in an effort to reach an understanding.

THIS NOTICE IS NOT AN AUTHORIZATION TO DO ANY WORK.



Diane Ray
Chief, Permits and Enforcement Branch
Regulatory Division

If you would prefer not to continue receiving Public Notices by email, please contact Ms. Tina Chaisson at (978) 318-8058 or e-mail her at bettina.m.chaisson@usace.army.mil. You may also check here () and return this portion of the Public Notice to: Bettina Chaisson, Regulatory Division, U.S. Army Corps of Engineers, 696 Virginia Road, Concord, MA 01742-2751.

NAME: _____

ADDRESS: _____

PHONE: _____

Site Plans

Issued for Local Approvals
 Date Issued April 19, 2017
 Latest Issue December 27, 2017

Proposed Development

Washington Street and
 Plaza Drive
 Middletown, Connecticut



Assessors Lot Information & Owner Information for Parcels Involved:

Address: 808 Washington Street Parcel Number: 14-0023 Owner: Washington West LLC 17 South Main Street West Hartford, CT 06107	Address: 782 Washington Street Parcel Number: 14-0021 Owner: Washington West LLC 17 South Main Street West Hartford, CT 06107	Address: 768 Washington Street Parcel Number: 14-0019 Owner: Washington West LLC 17 South Main Street West Hartford, CT 06107
Address: 804 Washington Street Parcel Number: 14-0022 Owner: Washington West LLC 17 South Main Street West Hartford, CT 06107	Address: 778 Washington Street Parcel Number: 14-0020 Owner: Washington West LLC 17 South Main Street West Hartford, CT 06107	

Applicant:
 Washington West LLC
 17 South Main Street
 West Hartford, CT 06107
 860-233-6211

Sheet Index

No.	Drawing Title	Latest Issue
C-1.0	Legend, Abbreviations & General Notes	12/27/2017
C-2.0	Layout & Materials Plan	12/27/2017
C-3.0	Grading & Drainage Plan	12/27/2017
C-4.0	Constructed Stormwater Wetland Basin Plan	12/27/2017
C-4.1	Stream Channel Protection Plan	12/27/2017
C-5.0	Utility Plan	12/27/2017
C-6.0	Erosion & Sediment Control Plan	12/27/2017
C-7.0	Site Details 1	12/27/2017
C-7.1	Site Details 2	12/27/2017
C-7.2	Site Details 3	12/27/2017
C-7.3	Site Details 4	12/27/2017
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C-7.5	Site Details 6	12/27/2017
L-1	Planting Plan	12/27/2017
L-2	Planting Details	12/27/2017

Reference Drawings

No.	Drawing Title	Latest Issue
Sv-1	Property Survey & Topographic Survey	2/25/2016
SL-1	Site Lighting Plan	4/21/2017



100 Great Meadow Road
 Suite 200
 Wethersfield, CT 06109
 860.807.4300

Site Lighting:
 Hubbell Lighting, Inc.
 701 Millennium Blvd
 Greenville, SC 29607
 Contact: Tim Kelley
 860-282-0597 x1106



Legend

Table with columns: Item, Prop., and Item. Lists various construction materials and methods such as CONCRETE, REINFORCED CONCRETE, STEEL, and WOOD.

Abbreviations

Table with columns: General, and Abbreviations. Lists abbreviations for materials like ASBESTOS, CONCRETE, and STEEL.

Notes

- 1. CONTRACTOR SHALL NOTIFY CALL BEFORE YOU GO (1-800-452-4159) AT LEAST 72 HOURS BEFORE COMMENCING WORK...
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND PROTECTION OF ALL CONSTRUCTION ACTIVITIES...

Existing Conditions Information

- 1. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR THROUGH VISUAL INSPECTION AND SURVEY...
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS...



100 Great Meadow Road
Suite 200
Wethersfield, CT 06099
860.807.4300

Legend Abbreviations & General Notes
C-10
1/15
NOT APPROVED FOR CONSTRUCTION



Zoning Summary Chart
 Zoning District: C-2 - GENERAL BUSINESS DISTRICT

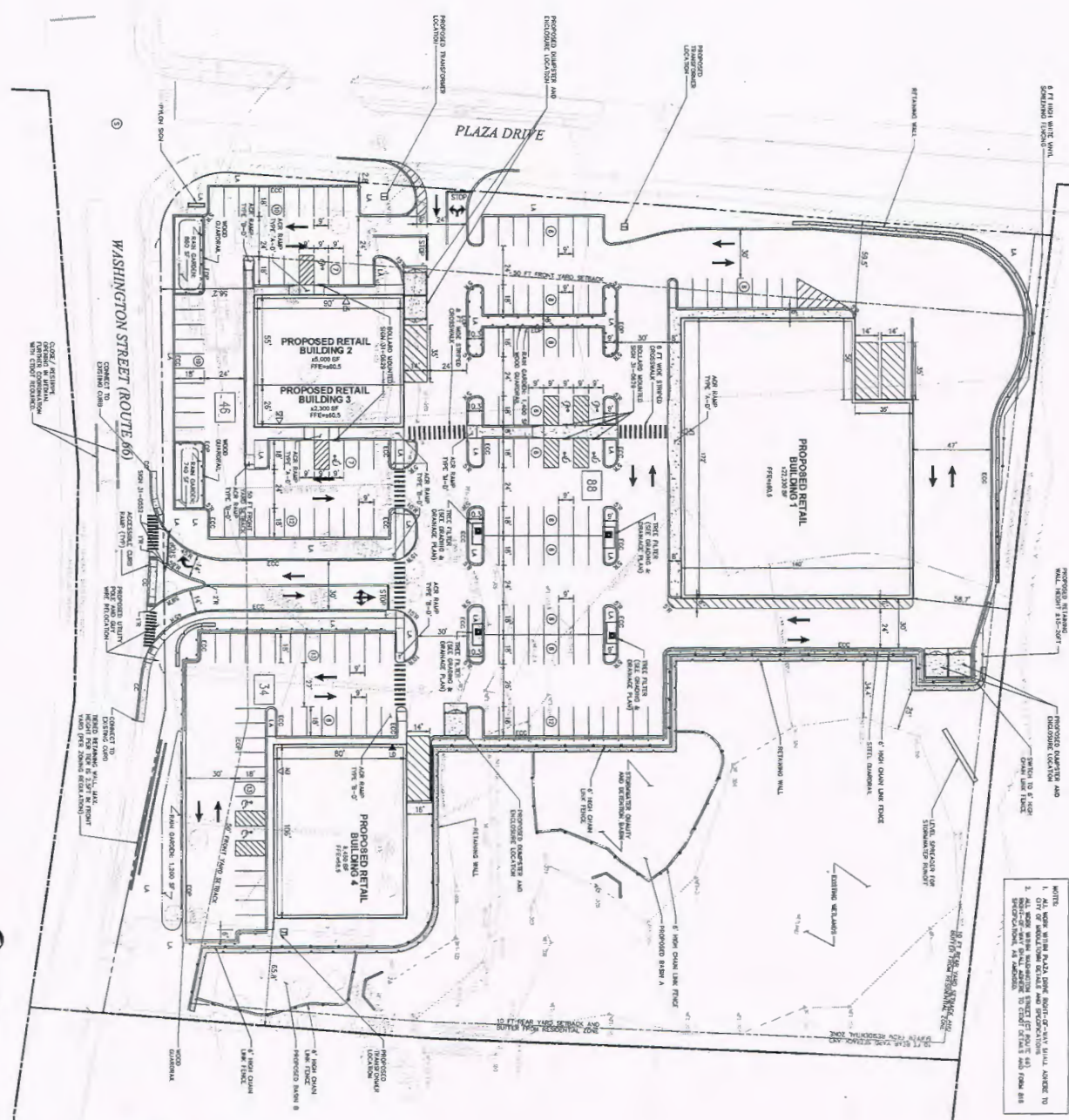
Requirement	Required	Provided
Zoning	General Business District	General Business District
Use	Business, Retail, Office	Business, Retail, Office
Signage	Signage	Signage
Lot Coverage	25%	25%
Setback	5' Front, 5' Side, 10' Rear	5' Front, 5' Side, 10' Rear
Maximum Building Height	35' - 40'	35' - 40'
Maximum Floor Area Ratio	0.35	0.35
Maximum Lot Area	10,000 sq. ft.	10,000 sq. ft.
Maximum Building Volume	350,000 cu. ft.	350,000 cu. ft.
Maximum Parking Spaces	100	100
Maximum Drive Length	100'	100'
Maximum Driveway Width	20'	20'
Maximum Lot Area	10,000 sq. ft.	10,000 sq. ft.
Maximum Building Height	35' - 40'	35' - 40'

Parking Summary Chart

Description	Size	
	Required	Provided
Standard Spaces	91	91
Handicap Spaces	5	5
Bike Spaces	5	5
TOTAL SPACES	101	101

Sign Summary

Sign	Dimensions	Placement
STOP	30" x 30"	Intersecting Streets
Yield	30" x 30"	Intersecting Streets
One Way	30" x 30"	Intersecting Streets
Street Name	12" x 24"	Intersecting Streets
Directional	12" x 24"	Intersecting Streets
Parking	12" x 24"	Intersecting Streets
Other	12" x 24"	Intersecting Streets



- NOTES:
- All work shall be done in accordance with the applicable provisions of the applicable zoning and subdivision regulations of the town of Middletown, Connecticut.
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 - All work shall be done in accordance with the applicable provisions of the applicable zoning and subdivision regulations of the town of Middletown, Connecticut.

Vhb
 100 Green Meadow Road
 Suite 200
 Westfield, CT 06109
 860.597.4300

Proposed Development
 Washington Street and Plaza Drive
 Middletown, Connecticut

City of Middletown
 Planning & Zoning Commission

Meeting # 12/11/2017
 Date: 11/17/2017

Local Approvals
 April 19, 2017

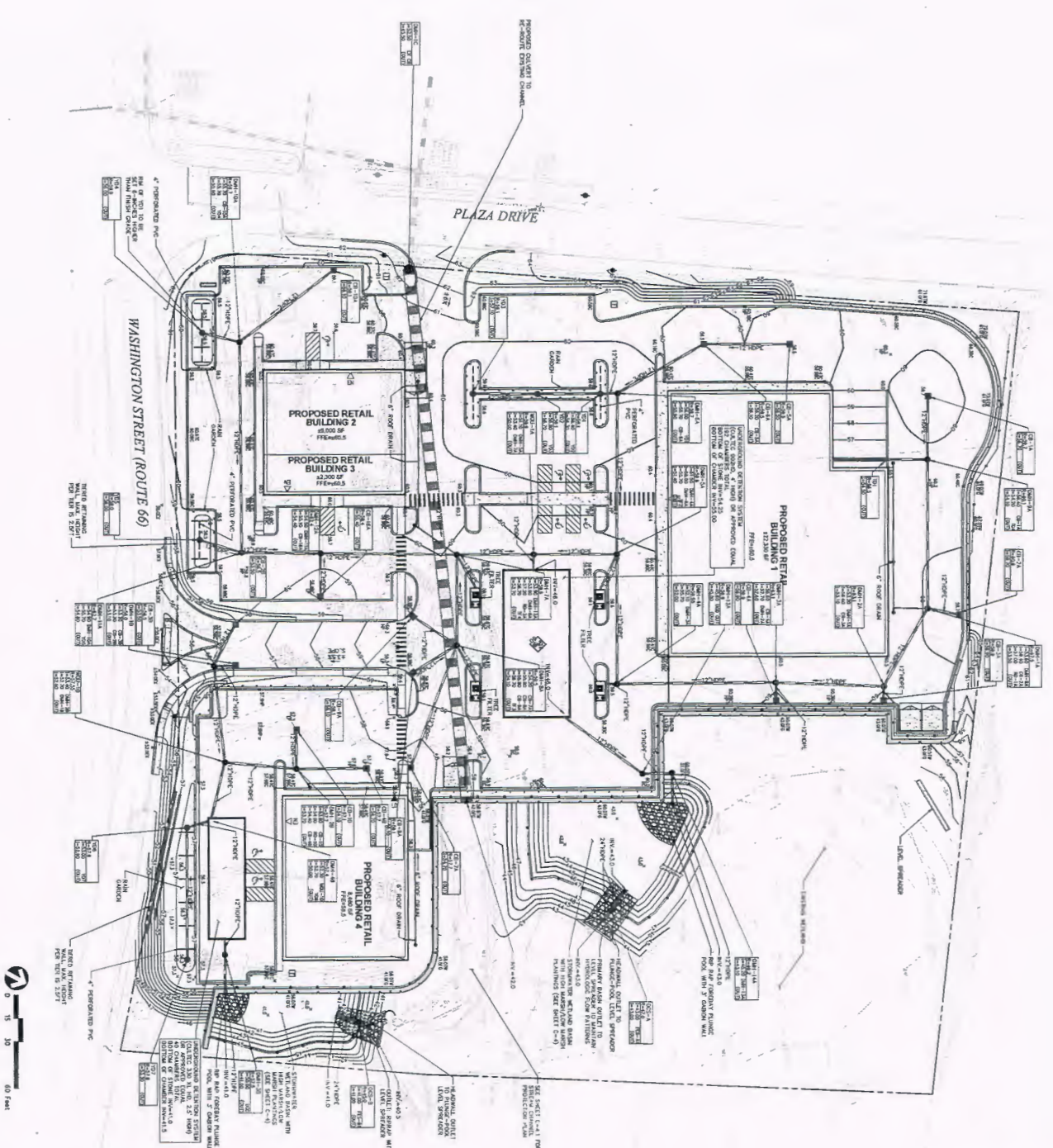
Not Approved for Construction

Layout & Materials Plan

C-2.0

2 of 15
 421783.00





C-3.0

3 15

Grading & Drainage Plan

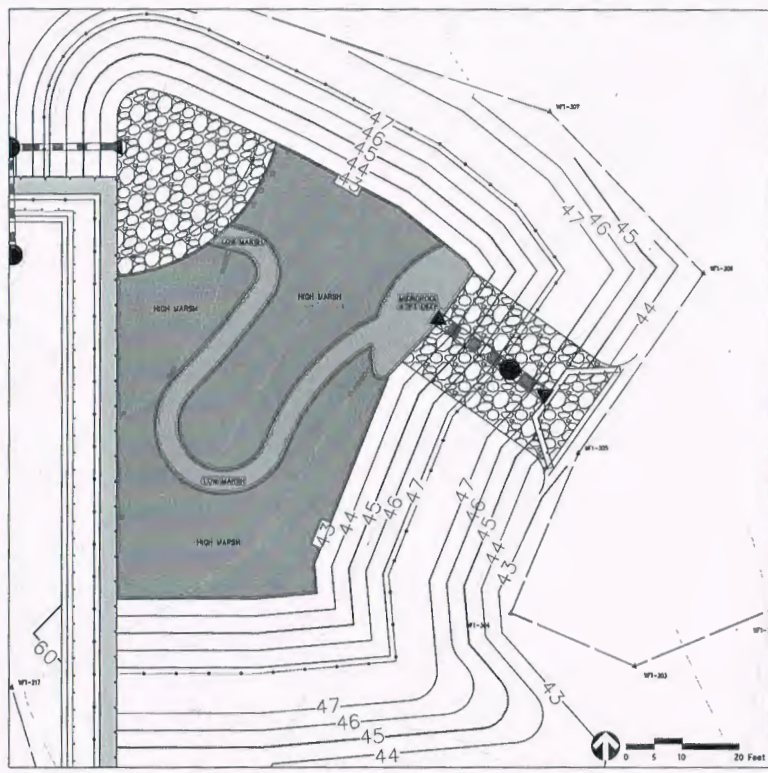
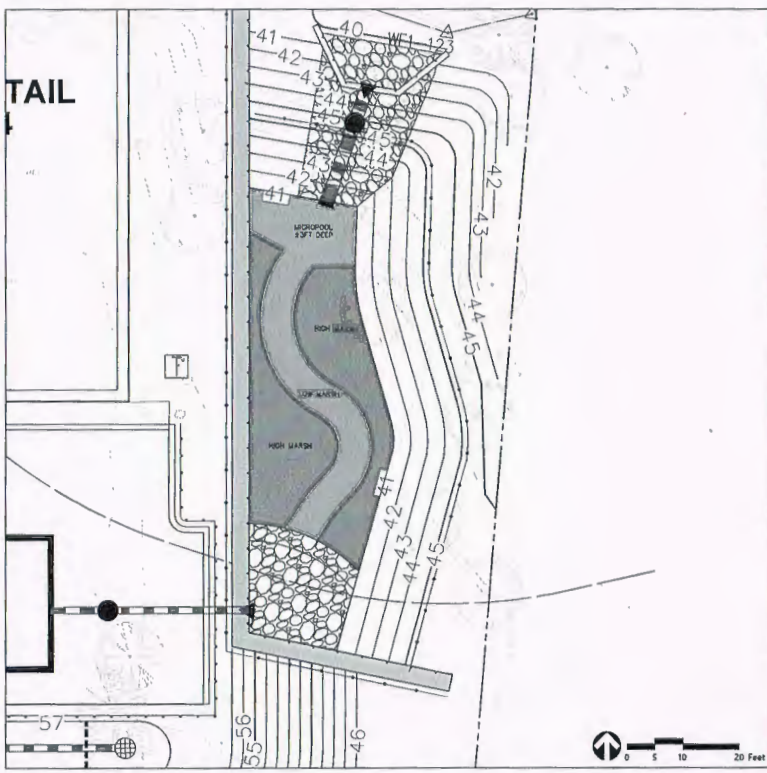
Proposed Development
 Washington Street and Plaza Drive
 Middletown, Connecticut

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	12/21/2016
2	REVISED FOR COMMENTS	01/27/2017
3	REVISED FOR COMMENTS	03/27/2017
4	REVISED FOR COMMENTS	04/19/2017

Local Approvals
 April 19, 2017

Next Approval for Construction

vhb.com
 100 Deer Meadow Road
 Suite 200
 Westfield, CT 06109
 860.507.4300

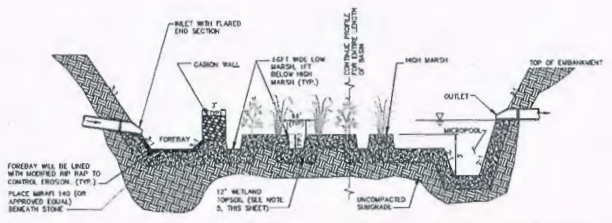


BASIN A

BASIN B

STORMWATER WETLAND BASIN CONSTRUCTION SEQUENCE

- 1) THE CITY OF MIDDLETOWN ENGINEERING DEPARTMENT AND ISLAND WETLAND SCIENTIST SHALL BE NOTIFIED THE BUSINESS DAYS IN ADVANCE OF ANY PHASE OF THE CONSTRUCTED WETLAND BASIN CONSTRUCTION.
- 2) A QUALIFIED WETLAND SCIENTIST RESPONSIBLE FOR THE PLANNING DESIGN SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY PHASE OF THE PLANNING DESIGN AND OVERSEE IMPLEMENTATION OF THE CONSTRUCTION OF THE VARIOUS WETLAND HABITATS AND PLANTING PLAN.
- 3) THE CONSTRUCTED STORMWATER WETLAND BASIN WILL BE SEGREGATED AND FORMED TO THE LIMITS SHOWN ON THIS PLAN. THE CONSTRUCTED STORMWATER WETLAND BASIN WILL BE CREATED BY EXISTING TRENCH, SHOVING, AND OTHER MOIST VEGETATION. MOISTY AND STUMPY WILL BE REMOVED AND EXPOSED SURFACE OF THE CONSTRUCTED STORMWATER WETLAND AREA. THE AREA WILL BE LEVANEED APPROXIMATELY 12 INCHES BELOW FINAL GRADES TO ALLOW FOR THE PLANTING OF A WETLAND TOPSOIL LAYER TO ACHIEVE FINAL GRADES AND ELEVATION BARRIERS.
- 4) WHEN WORKING TO THIS DESIGN PLAN MAY BE MADE BY THE WETLAND SCIENTIST IN RESPONSE TO OBSERVED SURFACE ELEVATION CONDITIONS IN ORDER TO ACHIEVE THE PROPER HYDROLOGICAL CONDITIONS FOR THE VARIOUS CREATED WETLAND HABITATS.
- 5) WETLAND TOPSOIL, CONSISTING OF A 1:1 MIXTURE (OR EQUAL VOLUMES) OF ORGANIC AND MINERAL MATERIALS THAT CONTAINS AT LEAST 10 PERCENT ORGANIC CONTENT BY WEIGHT MUST BE PLACED OVER THE BOTTOM OF THE BASIN. CLEAN LEAF COMPOST OF COMMERCIALLY AVAILABLE COMPOST (ONLY TO PARTIALLY OCCUPY) IS THE PREFERRED MATERIAL TO ACHIEVE THIS STANDARD. THROUGH OTHER MATERIALS MAY BE USED IF APPROVED BY THE SUPERVISOR WETLAND SCIENTIST. MATERIALS SHOULD BE UNCONTAMINATED AND FREE OF ANY ROCKS/STONES. THE CONTRACTOR SHALL ENSURE THAT PROPER SOIL COMPACTION LEVELS OCCUR TO PREVENT AIR ENTRAPMENT AND APPROPRIATE CORRECTIVE MEASURES (E.G., BROADCASTING) MAY BE NECESSARY.
- 6) THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE WETLAND TOPSOIL (OR TESTING FROM TO INVESTIGATE AND SHALL BE APPROVED BY THE WETLAND SCIENTIST.
- 7) PRIOR TO PLANTING, THE BASIN BOTTOMS WILL BE LINED WITH EROSION CONTROL MATTING. BASIN SIDE SLOPES WILL BE PLANTED WITH THE RECOMMENDED BY THE WETLAND SCIENTIST. THE MATTING SHALL BE PLANTED WITH THE RECOMMENDED BY THE WETLAND SCIENTIST. THE MATTING SHALL BE PLANTED WITH THE RECOMMENDED BY THE WETLAND SCIENTIST. THE MATTING SHALL BE PLANTED WITH THE RECOMMENDED BY THE WETLAND SCIENTIST.
- 8) CONSTRUCTED STORMWATER WETLAND BASIN PLANTINGS WILL TAKE PLACE ONCE THE ABOVE LISTED TASKS HAVE BEEN COMPLETED. THE SPECIES, SIZE AND QUANTITY OF THE PLANTINGS WILL FOLLOW THE CONSTRUCTED STORMWATER WETLAND BASIN PLANTING SCHEDULES FOUND IN TABLE 1.
- 9) PRIOR TO DELIVERY TO THE SITE, THE SUPERVISOR WETLAND SCIENTIST MAY VISIT THE WEBSITE PROVIDING THE PLANTING SCHEDULE TO ENSURE THAT THE SPECIES ARE HEALTHY, FREE FROM PESTS, AND SUITABLE FOR USE. WHEN THE PLANTING ARELANDSCAPE SPECIMENS WILL BE RECEIVED AND REPLACED WITH OUTSIDE SPECIMENS. THE WETLAND SCIENTIST MUST APPROVE ANY PLANTING SUBSTITUTION. ALL HOBBY PLANT SPECIES WILL BE CONTAINER-GROWN. PLANTING WITHIN THE BASIN AREA WILL CONFORM TO THE PLAN OR WILL BE COMPLETED IN ACCORDANCE WITH DIRECTIONS PROVIDED IN THE FIELD BY THE WETLAND SCIENTIST. ONLY PLANT MATERIALS NATIVE AND INDIGENOUS TO THE REGION SHALL BE USED UNLESS OTHERWISE SPECIFIED IN THE PLAN.
- 10) ALL PLANTINGS TO BE SPACED EQUIVALENT TO PROVIDE A DENSE PLANTING BED FOR EFFECTIVE STORMWATER TREATMENT. PLANTINGS WILL BE PLACED IN HEELS CREATED BY THE EROSION CONTROL MATTING.
- 11) THE CONTRACTOR WANTS TO BUILD THE CONSTRUCTED STORMWATER WETLAND BASIN SHALL ATTEND THE PRE-CONSTRUCTION MEETING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CAREFUL INSTALLATION, MAINTENANCE INCLUDING WEEDING IF NECESSARY, AND ESTABLISHMENT OF THE PLANT MATERIAL IN THE BASIN AREA. ALL PLANTS SHALL BE MAINTAINED BY THE CONTRACTOR TO REMAIN HEALTHY AND HEALTHY FOR A FULL TWENTY FOUR (24) MONTH PERIOD.
- 12) IF THE STORMWATER BASIN CANNOT BE ESTABLISHED BY THE END OF THE GROWING SEASON, THE BOTTOM OF THE BASIN SHALL BE LINED WITH A HEAVY DUTY FAS MATTING. THE MATTING SHALL BE PLANTED WITH THE RECOMMENDED BY THE WETLAND SCIENTIST. THE MATTING SHALL BE PLANTED WITH THE RECOMMENDED BY THE WETLAND SCIENTIST. THE MATTING SHALL BE PLANTED WITH THE RECOMMENDED BY THE WETLAND SCIENTIST. THE MATTING SHALL BE PLANTED WITH THE RECOMMENDED BY THE WETLAND SCIENTIST.



CONSTRUCTED STORMWATER WETLAND BASIN: TYPICAL CROSS SECTION
 NTS

Table 1: Stormwater Wetland Basin Planting Schedule

Botanical Name	Common Name	Size	Spacing	Quantity
Low Marsh:				
Carex lasiocarpa	Shoebush	2" plugs	2' x 0'-0" @ 36"	98
Scheuchzeria palustris (Scheuch)	Flamnettle	2" plugs	2' x 0'-0" @ 36"	98
Sparganium angustifolium	Sparganium	2" plugs	2' x 0'-0" @ 36"	98
High Marsh:				
Carex lasiocarpa	Shoebush	2" plugs	2' x 0'-0" @ 36"	153
Alnus incana	Ball nut	2" plugs	2' x 0'-0" @ 36"	153
Saxifraga oppositifolia	Blue Saxifrage	2" plugs	2' x 0'-0" @ 36"	153
Salix humilis	Green Sallow	2" plugs	2' x 0'-0" @ 36"	153
Salix caprea	Willow	2" plugs	2' x 0'-0" @ 36"	153
Micropond & Edge of Forebay:				
Phragmites australis	Common Reed	2" plugs	2' x 0'-0" @ 36"	50
Sagittaria arifolia	Arrowhead	2" plugs	2' x 0'-0" @ 36"	50
Sparganium angustifolium	Sparganium	2" plugs	2' x 0'-0" @ 36"	50
Scirpus americanus	Hardstem Bulrush	2" plugs	2' x 0'-0" @ 36"	50
Sparganium angustifolium	Sparganium	2" plugs	2' x 0'-0" @ 36"	50

Proposed Development
 Washington Street and Plaza Drive
 Middletown, Connecticut

NO.	REVISION	DATE	BY
1.	ACCE. DIMENSION	11/27/2017	MRG
2.	FOR. CLOSER COMMENTS	6/18/2017	
3.	PER CITY STAFF COMMENTS	5/1/2017	

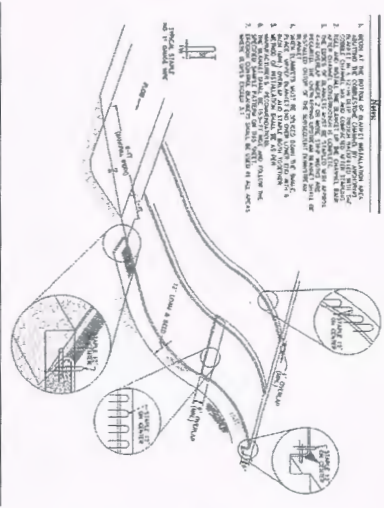
Local Approvals April 19, 2017

Not Approved for Construction

Constructed Stormwater Wetland Basin Plan



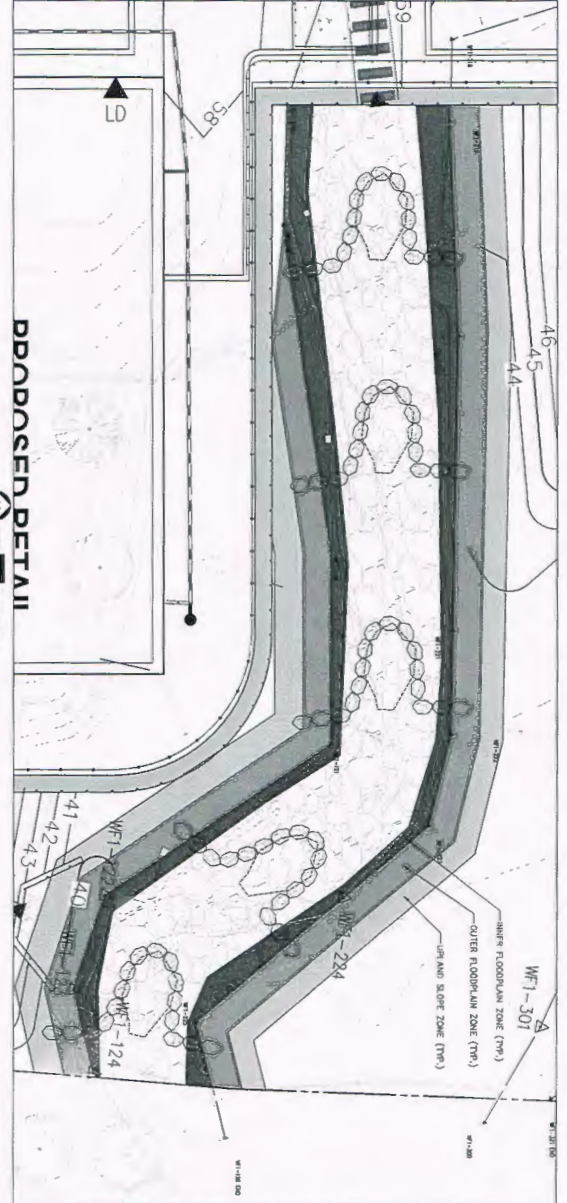
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Proposed Control Basin

Planting Notes

1. ALL PLANTING SHALL BE PLANTED AT THE SPECIFIED LOCATIONS AND AT THE SPECIFIED TIMES AND IN THE SPECIFIED MANNER.
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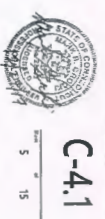
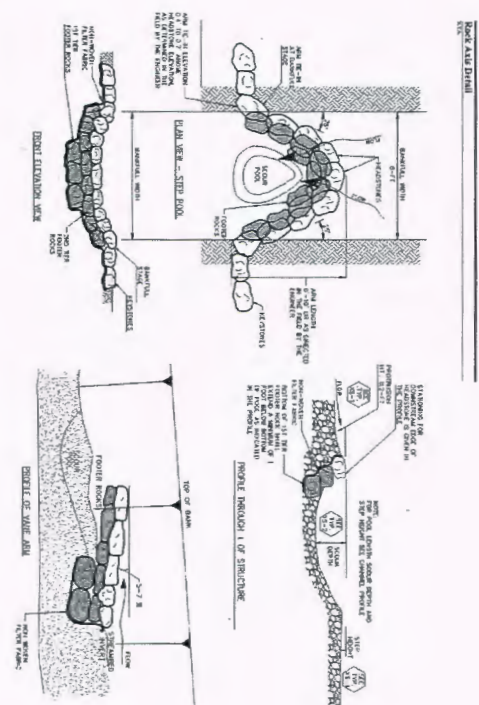


PROPOSED DETAIL

Planting Schedule

SCIENTIFIC NAME	COMMON NAME	SIZE	USE
<i>Asplenium platyneuron</i>	Woods Fern	1-2' HT	Use in shade or dappled light
<i>Carex lasiocarpa</i>	Large-tufted Hairgrass	1-2' HT	Use in wet areas
<i>Galium aparine</i>	Witch Ham	1-2' HT	Use in shade or dappled light
<i>Geranium robertianum</i>	St. Geranium	1-2' HT	Use in shade or dappled light
<i>Impatiens noli-tangere</i>	Busy Lizzie	1-2' HT	Use in shade or dappled light
<i>Lythrum hyssopus</i>	Red Loosestrife	1-2' HT	Use in wet areas
<i>Phlox subulata</i>	Common Phlox	1-2' HT	Use in shade or dappled light
<i>Salix humilis</i>	Slender Willow	1-2' HT	Use in wet areas
<i>Sedum album</i>	White Dead Nettle	1-2' HT	Use in shade or dappled light
<i>Urtica dioica</i>	Stinging Nettle	1-2' HT	Use in wet areas
<i>Veronica spicata</i>	Common Speedwell	1-2' HT	Use in shade or dappled light
<i>Viola sp.</i>	Field Violet	1-2' HT	Use in shade or dappled light
<i>Yucca filamentosa</i>	Adam's Needle	1-2' HT	Use in shade or dappled light

Slip-Pool Structure Detail



C-4.1

5 of 15



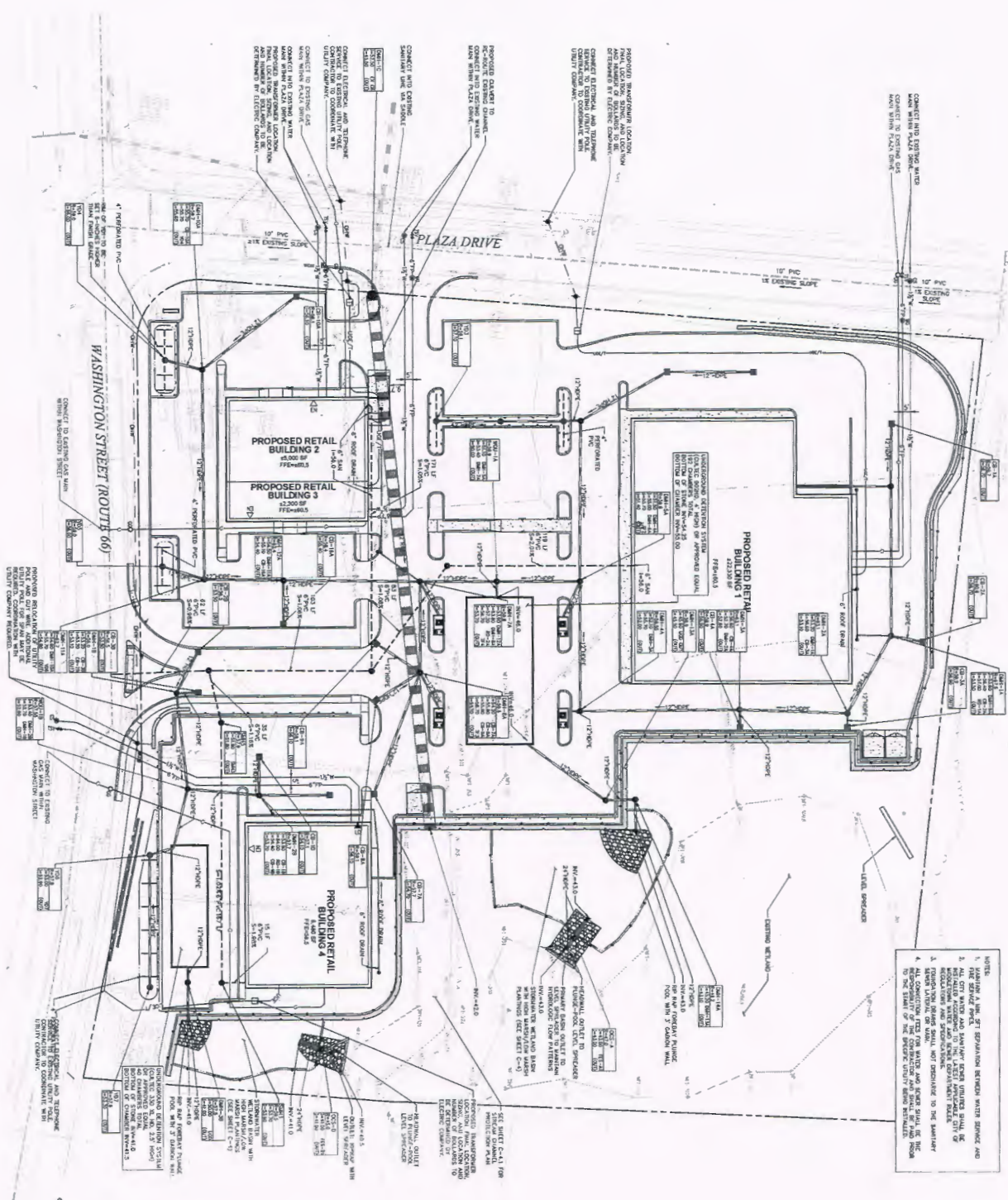
Stream Channel Protection Plan

Local Approvals
April 19, 2017

Proposed Development
Washington Street and Plaza Drive
Middletown, Connecticut

NO.	DATE	DESCRIPTION
1	12/27/2014	LOCAL APPROVALS
2	09/19/2017	LOCAL APPROVALS
3	04/19/2017	LOCAL APPROVALS

100 Great Meadow Road
Suite 200
Waterfield, CT 06409
860.807.4320



- NOTES:
1. MAINTAIN A MIN. 5 FT SEPARATION BETWEEN WATER SERVICE AND THE SERVICE PIPES.
 2. THE SERVICE PIPES SHALL BE MAINTAINED TO THE LATEST AVAILABLE CITY OF MIDDLETOWN AND SPECIFICATIONS SHALL BE USED UNLESS OTHERWISE NOTED.
 3. SERVICE LINES SHALL NOT BE DEGRADED TO THE SERVICE PIPES.
 4. ALL CONCRETE FLOORS ON WATER AND SEWER SHALL BE 2" MIN. TO THE SURFACE OF THE SERVICE UTILITY BENCH MARKETS.



C-5.0

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vhb.com

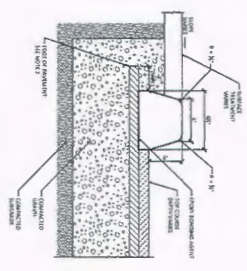
100 Great Meadow Road
Suite 200
Westfield, CT 06109
860.807.4300

Proposed Development
Washington Street and Plaza Drive
Middletown, Connecticut

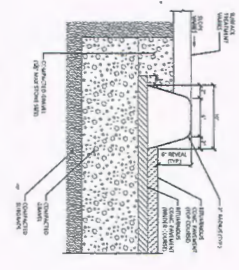
NO.	DATE	DESCRIPTION
1	02/27/2017	ISSUE FOR PERMITS
2	03/27/2017	ISSUE FOR PERMITS
3	05/07/2017	ISSUE FOR PERMITS
4	05/07/2017	ISSUE FOR PERMITS

Local Approvals: April 19, 2017

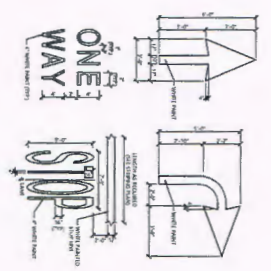




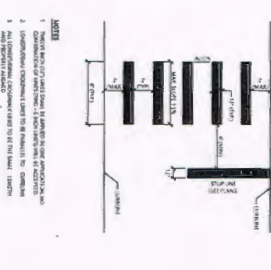
Extended Concrete Curb (ECC)
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR CONCRETE AND REINFORCEMENT.
 2. SEE STANDARD SPECIFICATIONS FOR CONCRETE AND REINFORCEMENT.
 3. SEE STANDARD SPECIFICATIONS FOR CONCRETE AND REINFORCEMENT.



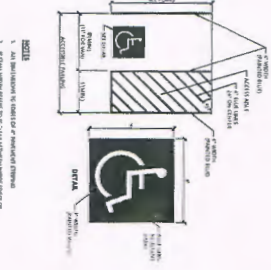
Bituminous Curb (BC)
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR BITUMINOUS CONCRETE AND REINFORCEMENT.
 2. SEE STANDARD SPECIFICATIONS FOR BITUMINOUS CONCRETE AND REINFORCEMENT.



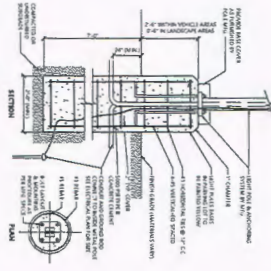
Painted Pavement Markings - On Site
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR PAINTED PAVEMENT MARKINGS.
 2. SEE STANDARD SPECIFICATIONS FOR PAINTED PAVEMENT MARKINGS.



Crossover
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR CROSSOVERS.
 2. SEE STANDARD SPECIFICATIONS FOR CROSSOVERS.



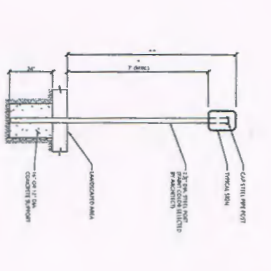
Accessible Parking Space
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR ACCESSIBLE PARKING SPACES.
 2. SEE STANDARD SPECIFICATIONS FOR ACCESSIBLE PARKING SPACES.



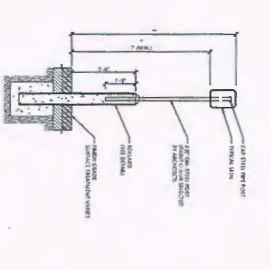
Light Pole Foundation Detail (Up to 40' Pole)
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR LIGHT POLE FOUNDATION DETAILS.
 2. SEE STANDARD SPECIFICATIONS FOR LIGHT POLE FOUNDATION DETAILS.



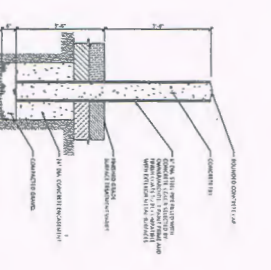
Modular Retaining Wall
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR MODULAR RETAINING WALLS.
 2. SEE STANDARD SPECIFICATIONS FOR MODULAR RETAINING WALLS.



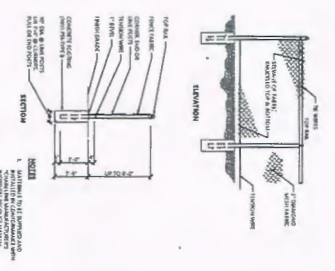
Sign Post - Type 'X'
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR SIGN POSTS.
 2. SEE STANDARD SPECIFICATIONS FOR SIGN POSTS.



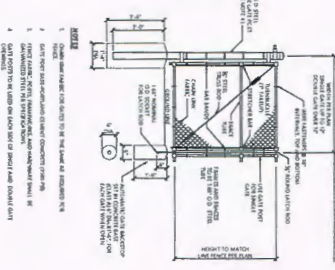
Ballast Mounted Sign
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR BALLAST MOUNTED SIGNS.
 2. SEE STANDARD SPECIFICATIONS FOR BALLAST MOUNTED SIGNS.



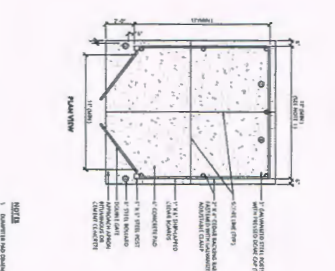
Ballast
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR BALLAST.
 2. SEE STANDARD SPECIFICATIONS FOR BALLAST.



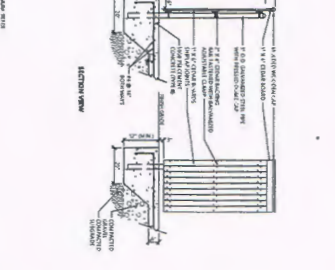
Chain Link Fence up to 6'
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR CHAIN LINK FENCES.
 2. SEE STANDARD SPECIFICATIONS FOR CHAIN LINK FENCES.



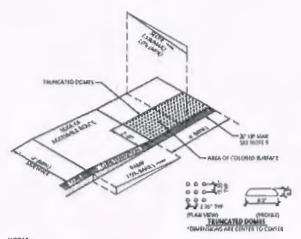
Chain Link Fence Gate
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR CHAIN LINK FENCE GATES.
 2. SEE STANDARD SPECIFICATIONS FOR CHAIN LINK FENCE GATES.



Dumpster Pad w/ Enclosure
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR DUMPSTER PADS.
 2. SEE STANDARD SPECIFICATIONS FOR DUMPSTER PADS.



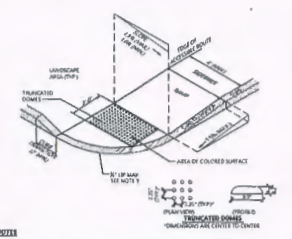
Loading Dock Pad
 N.T.S. Scale: 1/8" = 1'-0"
 1. SEE STANDARD SPECIFICATIONS FOR LOADING DOCK PADS.
 2. SEE STANDARD SPECIFICATIONS FOR LOADING DOCK PADS.



NOTE

1. THE MAXIMUM ALLOWABLE SLOPE OF ANY CURB RAMP CROSS SECTION SHALL BE 1:1 (8% MAX).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP INCLUDING CURB RAMP SHALL BE 1:16.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP AT CURB RAMP SHALL BE 1:16.
4. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP AT CURB RAMP SHALL BE 1:16.
5. CURB TREATMENT SHALL BE SET PLAIN FOR CURB TYPE.
6. CURB TREATMENT SHALL BE SET PLAIN FOR CURB TYPE.
7. SEE SPECIAL REQUIREMENTS SECTION FOR RAMP CONSTRUCTION.
8. RAMP CURB AND ADJACENT PAVEMENT SHALL BE GRADED TO PREVENT POONDING.
9. SEE SPECIAL REQUIREMENTS SECTION FOR RAMP CONSTRUCTION.
10. DETECTABLE WARNING SHALL BE INSTALLED PERMANENTLY TO ACCESSIBLE RAMP.
11. DETECTABLE WARNING SHALL BE INSTALLED PERMANENTLY TO ACCESSIBLE RAMP.

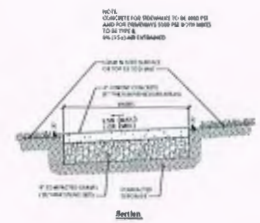
Accessible Curb Ramp (ACR) Type 'A-D' V16
 N.T.S. Source V16 LD_360



NOTE

1. THE MAXIMUM ALLOWABLE SLOPE OF ANY CURB RAMP CROSS SECTION SHALL BE 1:1 (8% MAX).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP INCLUDING CURB RAMP SHALL BE 1:16.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP AT CURB RAMP SHALL BE 1:16.
4. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP AT CURB RAMP SHALL BE 1:16.
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10. DETECTABLE WARNING SHALL BE INSTALLED PERMANENTLY TO ACCESSIBLE RAMP.
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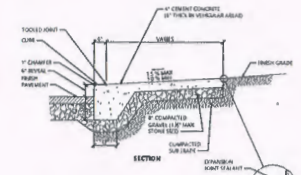
Accessible Curb Ramp (ACR) - Type 'B-D' V16
 N.T.S. Source V16 LD_360



NOTE

1. PREPARE FORMWORK AS AT MIN. 18" O.C. WITH PRE-FORMED JOINT FILLER.
2. PREPARE FORMWORK AS AT MIN. 18" O.C. WITH PRE-FORMED JOINT FILLER.
3. FORMWORK SHALL BE REMOVED IN DIRECTION PERPENDICULAR TO FINISH SURFACE.

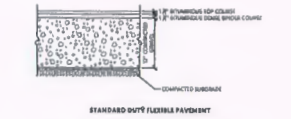
Concrete Sidewalk in Landscape Area V16
 N.T.S. Source V16 LD_426



NOTE

1. CONCRETE FOR MONOLITHIC TO BE 4000 PSI AND THE FINISH SHALL BE AS SHOWN.
2. FINISH SHALL BE AS SHOWN.
3. FINISH SHALL BE AS SHOWN.
4. FINISH SHALL BE AS SHOWN.

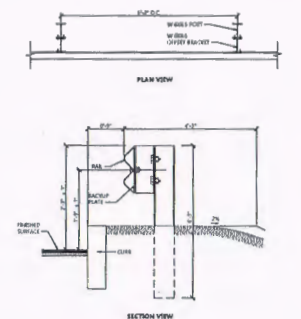
Monolithic Concrete Curb (MCC) & Sidewalk V16
 N.T.S. Source V16 LD_427



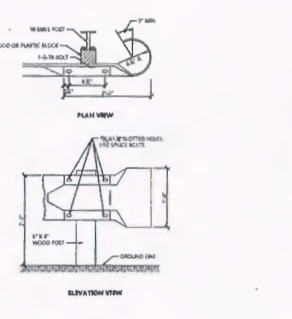
NOTE

1. PAVEMENT SECTION ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE POSITION OF OTHER GEOTECHNICAL INVESTIGATION.

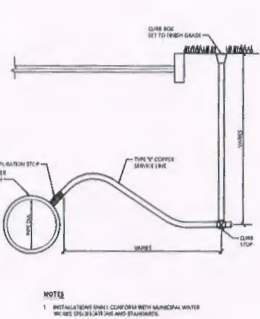
Bituminous Concrete Pavement Sections V16
 N.T.S. Source V16 LD_430



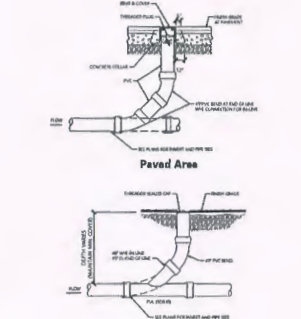
Steel Beam Guardrail with Steel Post V16
 N.T.S. Source V16 LD_418



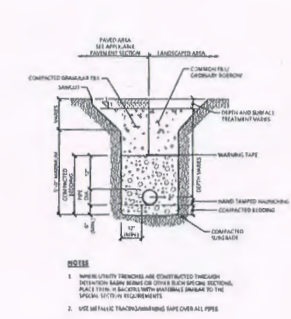
Wood Guardrail - Tapered End V16
 N.T.S. Source V16 LD_451



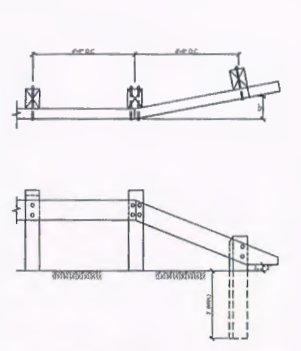
Corporation/Curb Stop with Box V16
 N.T.S. Source V16 LD_414



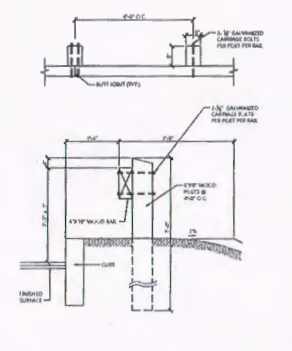
Cleanout V16
 N.T.S. Source V16 LD_387



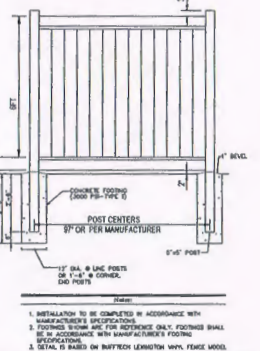
Utility Trench V16
 N.T.S. Source V16 LD_360



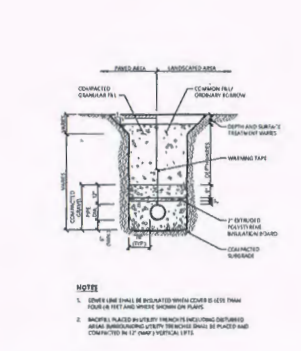
Wood Guardrail V16
 N.T.S. Source V16 LD_458



Solid White Vinyl Screening Fence V16
 N.T.S. Source V16 LD_412



Sewer Line Insulation V16
 N.T.S. Source V16 LD_379



Sanitary Sewer Manhole (SMH) V16
 N.T.S. Source V16 LD_360

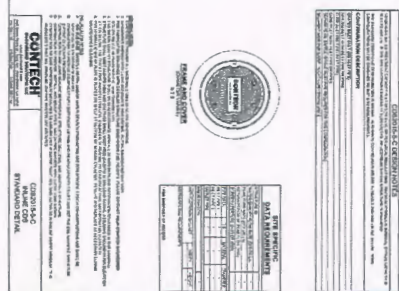
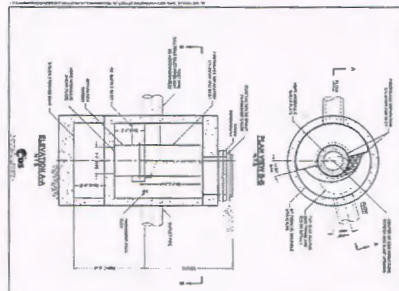
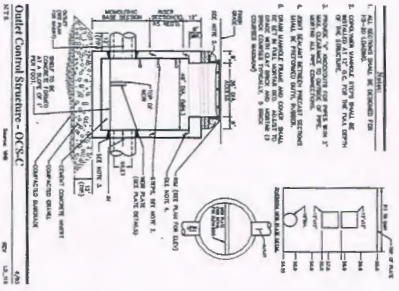
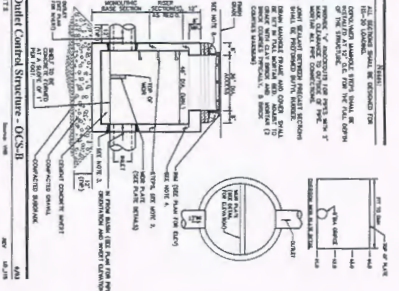
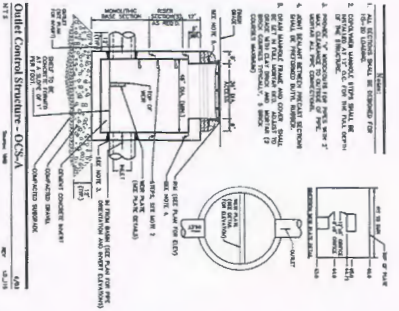
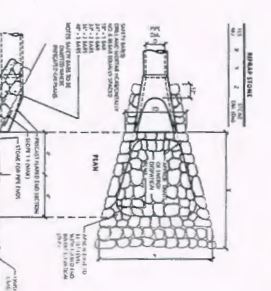
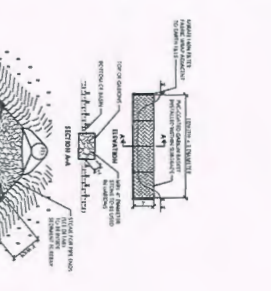
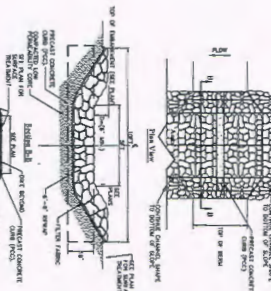
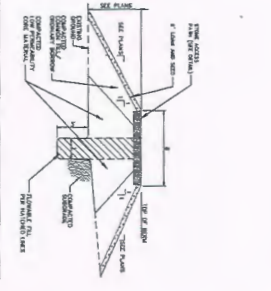
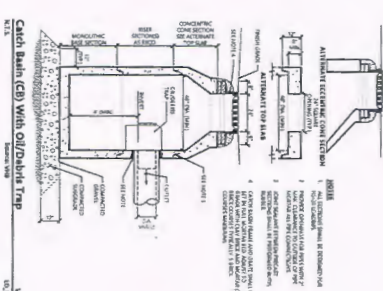
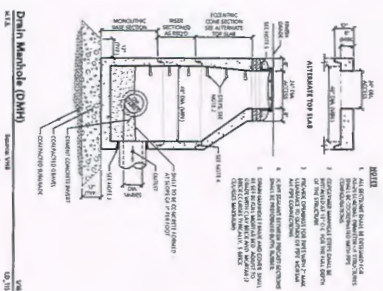
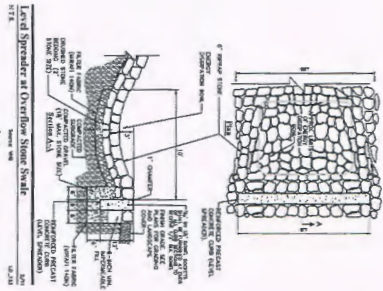
Proposed Development
 Washington Street and Plaza Drive
 Middletown, Connecticut

No.	Revision	Date	By
1.	ACCL SUBMISSION	12/17/2017	
2.	PER CLIENT COMMENTS	5/19/2017	
3.	PER CITY STAFF COMMENTS	5/17/2017	

Local Approvals April 19, 2017

Not Approved for Construction

Site Details 2



C-7.2
10
15

Site Details 3

Local Approvals

April 19, 2017

1. DATE SUBMITTED	1/21/2017
2. DATE OF MEETING	4/19/2017
3. DATE OF MEETING	4/19/2017
4. DATE OF MEETING	4/19/2017

Proposed Development
Washington Street and Plaza Drive
Middletown, Connecticut

vhb.com

100 Great Meadow Road
Suite 200
Wethersfield, CT 06109
860.607.4300

<p>GENERAL NOTES</p> <ol style="list-style-type: none"> 1. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. 2. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. 3. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. 4. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. 5. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. 6. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. 7. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. 8. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. 9. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. 10. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. 	<p>CULTEC RECHARGER 330XLHD HEAVY DUTY THREE VIEW</p>	<p>CULTEC RECHARGER 330XLHD HEAVY DUTY END DETAIL INFORMATION</p>
<p>GENERAL NOTES</p>	<p>CULTEC RECHARGER 330XLHD HEAVY DUTY TYPICAL CROSS SECTION</p>	<p>CULTEC RECHARGER 330XLHD HEAVY DUTY TYPICAL INTERLOCK</p>
<p>CULTEC TYPICAL INLET CONNECTION</p>	<p>CULTEC RECHARGER 330XLHD HEAVY DUTY TYPICAL CROSS SECTION</p>	<p>CULTEC RECHARGER 330XLHD HEAVY DUTY TYPICAL INTERLOCK</p>
<p>CULTEC RECHARGER 330XLHD HEAVY DUTY PLAN VIEW</p>	<p>CULTEC HVLY FC-04 FEED CONNECTOR THREE VIEW</p>	<p>OPTIONAL INSPECTION PORT-ZOOM DETAIL</p>

CULTEC, Inc.
 Subsurface Stormwater Management Systems
 P.O. Box 280
 878 Federal Road
 Brookfield, CT 06004
 www.cultec.com
 PH: (203) 775-4416
 FX: (203) 775-1462
 tech@cultec.com

THIS DRAWING WAS PREPARED TO SUPPORT THE DESIGN ENGINEER FOR THE PROPOSED SYSTEM. IT IS THE ULTIMATE RESPONSIBILITY OF THE DESIGN ENGINEER TO ASSURE THAT THE STORMWATER SYSTEMS DESIGN IS IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THAT THE CULTEC PRODUCTS ARE DESIGNED IN ACCORDANCE WITH CULTEC'S MINIMUM REQUIREMENTS. CULTEC, INC. DOES NOT APPROVE PLANS, SIZING, OR SYSTEM DESIGNS. THE DESIGNING ENGINEER IS RESPONSIBLE FOR ALL DESIGN DECISIONS.

RECHARGER 330XLHD TRAFFIC APPLICATION

CULTEC RECHARGER 330XLHD

PROJECT NO: -	DATE: 02/2016
DESIGNED BY: CULTEC, INC	DRAWN BY: TECH
SCALE: N.T.S.	SHEET NO: 1 OF 2

Proposed Development
 Washington Street and Plaza Drive
 Middletown, Connecticut

DATE: 12/17/2017
 PER CITY STAFF COMMENTS: 3/17/2017
 LOCAL APPROVALS: April 19, 2017

Not Approved for Construction

Site Details 4

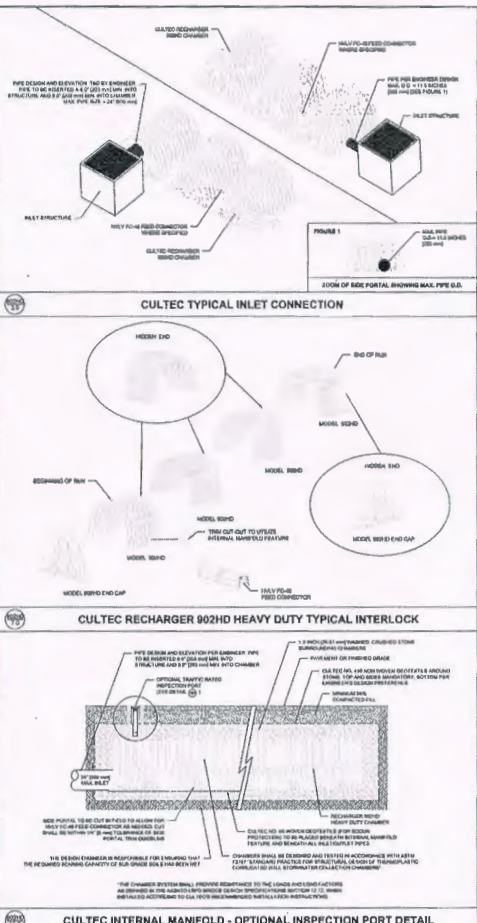
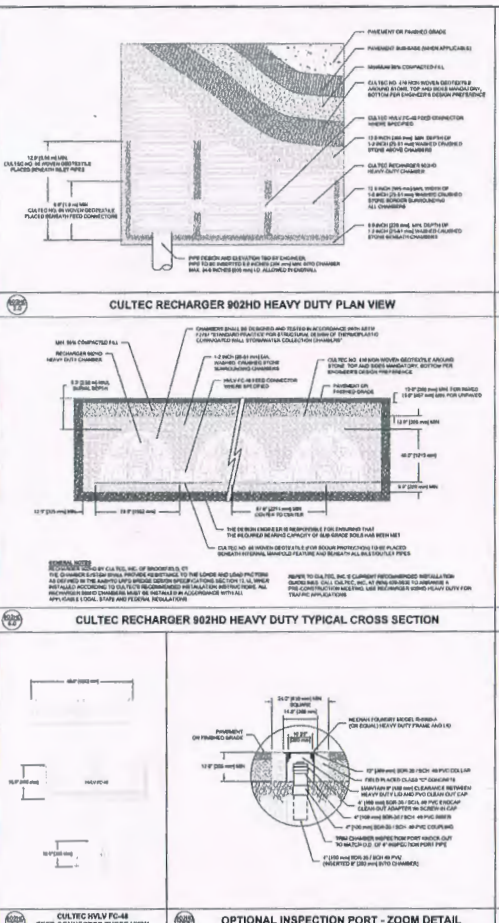
C-7.3

11 15

42198.00

GENERAL NOTES

1. THE DESIGNER HAS REVIEWED THE SUBMITTALS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE CITY OF WATERSFIELD, CONNECTICUT, DEPARTMENT OF PUBLIC WORKS, SPECIFICATIONS FOR STORMWATER MANAGEMENT SYSTEMS, LATEST EDITION.
2. THE DESIGNER SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXPOSED SURFACES AND SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXPOSED SURFACES AND SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXPOSED SURFACES.
3. THE DESIGNER SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXPOSED SURFACES AND SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXPOSED SURFACES AND SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXPOSED SURFACES.
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13. THE DESIGNER SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXPOSED SURFACES AND SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXPOSED SURFACES AND SHALL PROVIDE ADEQUATE PROTECTION FOR ALL EXPOSED SURFACES.
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CULTEC RECHARGER 902HD HEAVY DUTY THREE VIEW

PIPE	A	B
4" (102mm)	10.0"	10.0"
6" (152mm)	12.0"	12.0"
8" (203mm)	14.0"	14.0"
10" (254mm)	16.0"	16.0"
12" (305mm)	18.0"	18.0"
14" (356mm)	20.0"	20.0"
16" (406mm)	22.0"	22.0"
18" (457mm)	24.0"	24.0"
20" (508mm)	26.0"	26.0"

CULTEC RECHARGER HEAVY DUTY END CAP THREE VIEW

CULTEC RECHARGER 902HD HEAVY DUTY TYPICAL PIPE INVERTS

CULTEC RECHARGER 902HD HEAVY DUTY FEED CONNECTOR THREE VIEW

OPTIONAL INSPECTION PORT - ZOOM DETAIL

CULTEC INTERNAL MANFOLD - OPTIONAL INSPECTION PORT DETAIL

RECHARGER 902HD DETAIL SHEET TRAFFIC APPLICATION

CULTEC RECHARGER 902HD

PROJECT NO: - DATE: 02/20/18

DESIGNED BY: CULTEC, INC. DRAWN BY: TECH

SCALE: N.T.S. SHEET NO: 1 OF 2

Proposed Development

Washington Street and Plaza Drive
 Middletown, Connecticut

Local Approvals April 19, 2017

Site Details 5


C-7.4

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42188.00

Laredo LMC

Medium-size Multi-passes



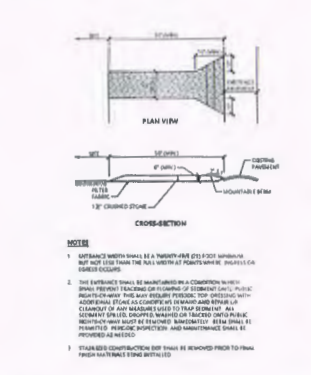
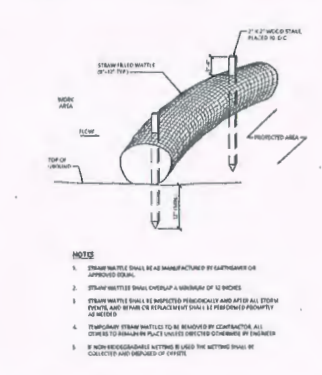
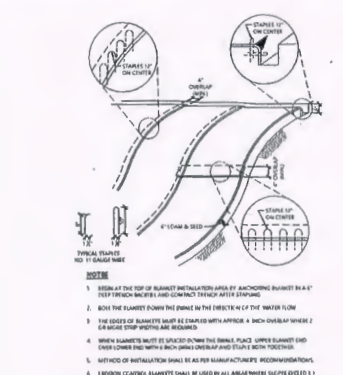
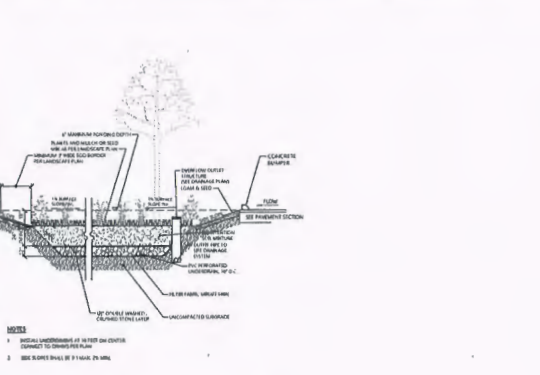
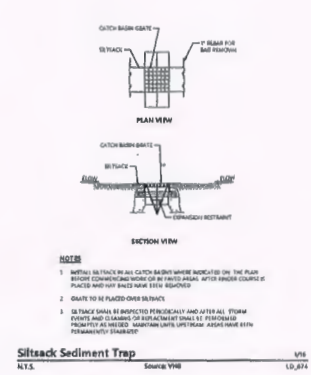
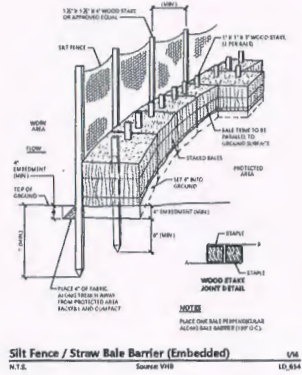
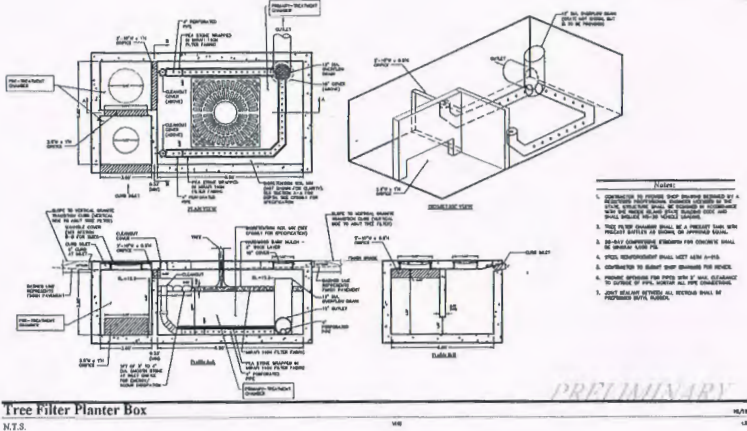
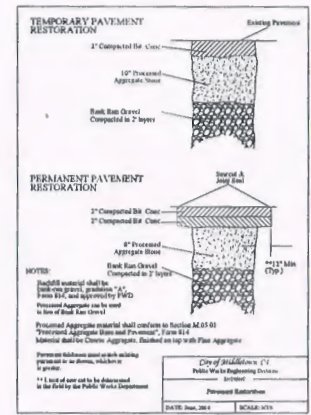
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Cimarron CL1

Area-site Lighting



1. For use with 120V AC, 60 Hz, 150W max. power. 2. For use with 277V AC, 60 Hz, 150W max. power. 3. For use with 480V AC, 60 Hz, 150W max. power. 4. For use with 600V AC, 60 Hz, 150W max. power. 5. For use with 800V AC, 60 Hz, 150W max. power. 6. For use with 1000V AC, 60 Hz, 150W max. power. 7. For use with 1200V AC, 60 Hz, 150W max. power. 8. For use with 1500V AC, 60 Hz, 150W max. power. 9. For use with 2000V AC, 60 Hz, 150W max. power. 10. For use with 2500V AC, 60 Hz, 150W max. power. 11. For use with 3000V AC, 60 Hz, 150W max. power. 12. For use with 3500V AC, 60 Hz, 150W max. power. 13. For use with 4000V AC, 60 Hz, 150W max. power. 14. For use with 4500V AC, 60 Hz, 150W max. power. 15. For use with 5000V AC, 60 Hz, 150W max. power. 16. For use with 5500V AC, 60 Hz, 150W max. power. 17. For use with 6000V AC, 60 Hz, 150W max. power. 18. For use with 6500V AC, 60 Hz, 150W max. power. 19. For use with 7000V AC, 60 Hz, 150W max. power. 20. For use with 7500V AC, 60 Hz, 150W max. power. 21. For use with 8000V AC, 60 Hz, 150W max. power. 22. For use with 8500V AC, 60 Hz, 150W max. power. 23. For use with 9000V AC, 60 Hz, 150W max. power. 24. For use with 9500V AC, 60 Hz, 150W max. power. 25. For use with 10000V AC, 60 Hz, 150W max. power.



Proposed Development

Washington Street and Plaza Drive
 Middletown, Connecticut

NO.	REVISION	DATE
1.	ACDC SUBMISSION	11/27/2017
2.	PER CTDEEP COMMENTS	5/18/2017
3.	PER CITY STAFF COMMENTS	5/17/2017

Local Approvals April 19, 2017

Not Approved for Construction

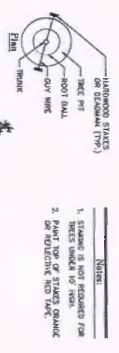
Site Details 6



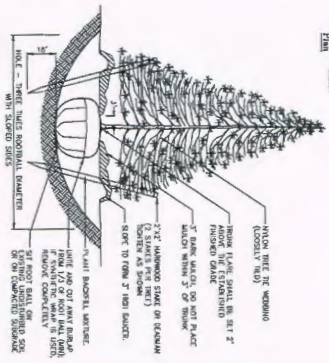
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42198.00



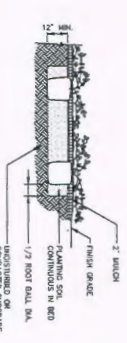
- Notes:
1. STAKE IS NOT REQUIRED FOR THIS SIZE OF TREE PLANTING OR REFLECTIVE AND TAP.
 2. FINISH GRADE TO BE MAINTAINED BY CONTRACTOR SUBSEQUENT.



- Notes:
1. STAKE IS NOT REQUIRED FOR THIS SIZE OF TREE PLANTING OR REFLECTIVE AND TAP.
 2. FINISH GRADE TO BE MAINTAINED BY CONTRACTOR SUBSEQUENT.

Evergreen Tree Planting
 Scale: 1/8" = 1'-0"
 N.T.S. U.S. 2011

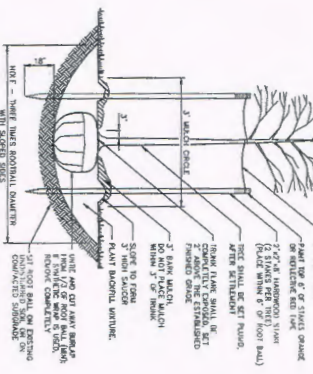
PAVING DIMENSIONS (TYP.)	ROW SPACING (TYP.)
8' R.M. O.C.	7' R.M. O.C.
10' R.M. O.C.	8'-1/2' R.M. O.C.
12' R.M. O.C.	10'-1/2' R.M. O.C.
15' R.M. O.C.	13' R.M. O.C.
18' R.M. O.C.	16' R.M. O.C.
21' R.M. O.C.	21' R.M. O.C.



Ground Cover Planting
 Scale: 1/8" = 1'-0"
 N.T.S. U.S. 2011

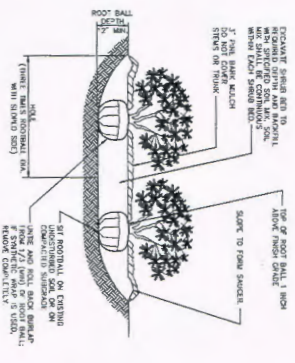


- Notes:
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- Notes:
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Tree Planting (For Trees Under 4" Caliper)
 Scale: 1/8" = 1'-0"
 N.T.S. U.S. 2011



- Notes:
1. STAKE IS NOT REQUIRED FOR THIS SIZE OF TREE PLANTING OR REFLECTIVE AND TAP.
 2. FINISH GRADE TO BE MAINTAINED BY CONTRACTOR SUBSEQUENT.

Shrub Bed Planting
 Scale: 1/8" = 1'-0"
 N.T.S. U.S. 2011



L-2

15' 15'

4/17/2010

Proposed Development
 Washington Street and Plaza Drive
 Middletown, Connecticut

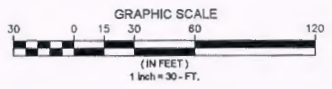
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Local Approvals April 19, 2017

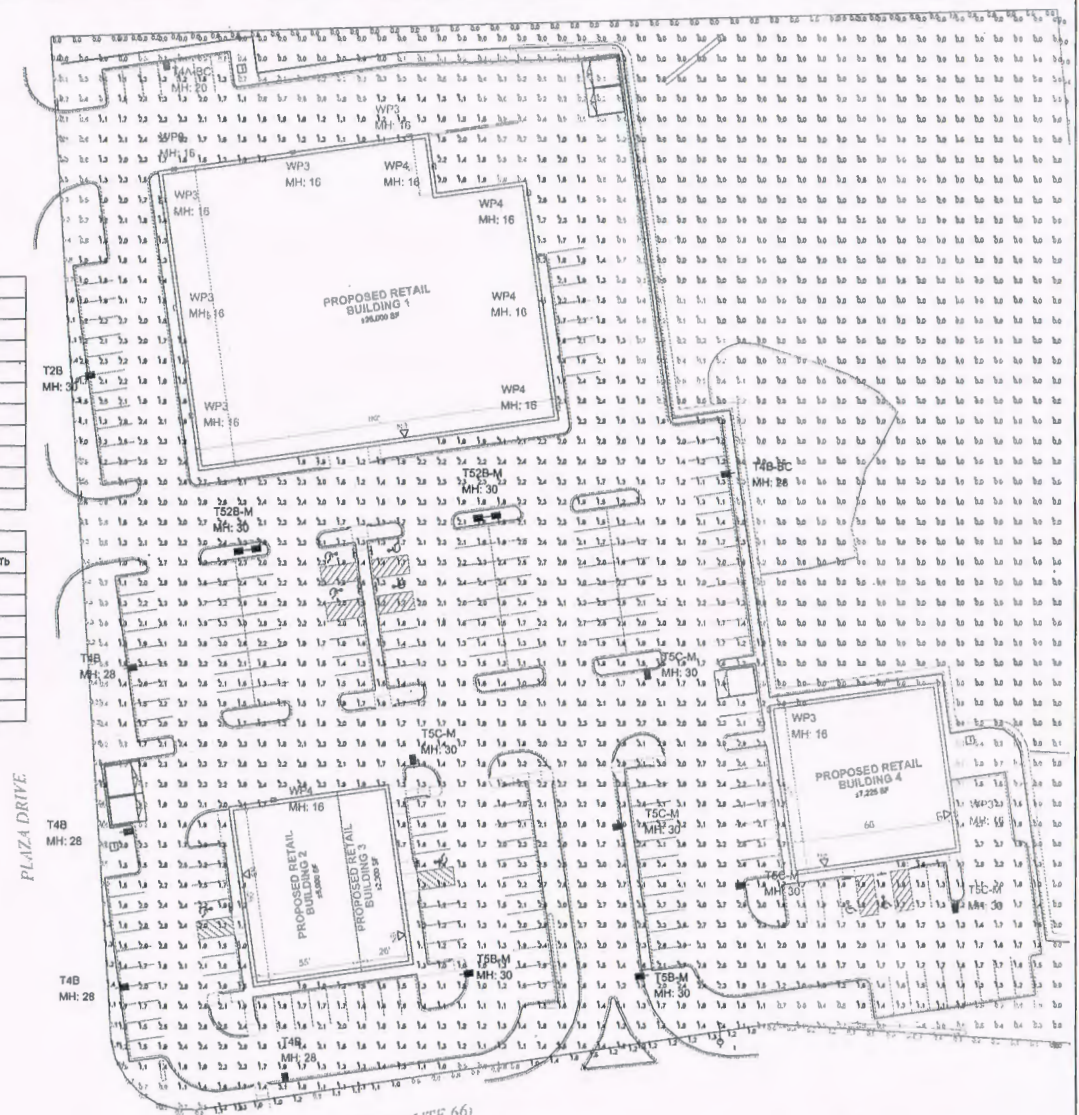
vhb.com
 100 Great Meadow Road
 Suite 200
 Whitefield, CT 06199
 860.807.2300

Symbol	Label	Qty	Arrangement	Description	Lum. Lumens	LMF	Lum. Waits	Arr. Waits	Total Waits
T2B	T2B	1	SINGLE	CL1-60L-4K-2	14984	0.850	135	135	135
T4B	T4B	4	SINGLE	CL1-60L-4K-4	15154	0.850	135	135	540
T4B-BC	T4B-BC	1	SINGLE	CL1-60L-4K-4-BC	12392	0.850	135	135	135
T4A-BC	T4A-BC	1	SINGLE	CL1-30L-4K-4-BC	6318	0.850	70	70	70
T5B-M	T5B-M	2	SINGLE	CL1-60L-4K-5M	15421	0.850	135	135	270
T52B-M	T52B-M	2	BACK-BACK	CL1-60L-4K-5M	15421	0.850	135	270	540
T5C-M	T5C-M	5	SINGLE	CL1-60L-4K-5M	22678	0.850	205	205	1025
WP3	WP3	8	SINGLE	LMC-30LU-4K-3-C35	3234	0.850	34.81	34.81	278.48
WP4	WP4	5	SINGLE	LMC-30LU-4K-4	5461	0.850	72.5	72.5	362.5

Label	Csk/Type	Units	Avg	Max	Min	Avg/Min	Max/Min	FSpc/Lr	FSpc/Tb
Boundary	Illuminance	Fc	0.34	1.8	0.0	N.A.	N.A.	10	N.A.
StatArea - Retail Building 1 Core Parking Area	Illuminance	Fc	2.05	4.1	1.0	2.05	4.10		
StatArea - Retail Building 1 East Parking Area	Illuminance	Fc	1.62	2.3	1.3	1.40	1.77		
StatArea - Retail Building 1 North Parking Area	Illuminance	Fc	1.70	2.4	0.8	2.13	3.00		
StatArea - Retail Building 1 West Parking Area	Illuminance	Fc	1.92	2.9	1.0	1.92	2.90		
StatArea - Retail Building 2 & 3 Parking Area	Illuminance	Fc	1.75	2.8	1.0	1.75	2.80		
StatArea - Retail Building 4 Parking Area	Illuminance	Fc	2.21	4.1	0.9	2.46	4.58		



NOT A CONSTRUCTION DOCUMENT - FOR DESIGN PURPOSES ONLY



PHOTOMETRIC PLAN
MIDDLETOWN CT
RETAIL DEVELOPMENT

DATE: 4-21-17
REVISED: AS NOTED
SCALE: 1/8" = 1'-0"

1782199 SL-1