



## Report to the Historical Resources Board

DATE ISSUED: October 22, 2018 REPORT NO.

ATTENTION: Historical Resources Board  
Agenda of November 15, 2018

SUBJECT: **719-721 14<sup>th</sup> Street (HRB Site #403 Daggett Family Residence and HRB Site #404 Murray Apartments) –SITE DEVELOPMENT PERMIT NO. 2017-18**

APPLICANT: Civic San Diego / Heritage Architecture & Planning

LOCATION: 719-721 14<sup>th</sup> Street, San Diego, CA, Downtown Community, Council District 3

DESCRIPTION: Consideration of Site Development Permit (SDP) No. 2017-18, a Capital Improvement Program (CIP) Process 5 SDP to relocate and rehabilitate two historic homes currently located at 719-721 14<sup>th</sup> Street. The new location of the two historic homes would be on the same block, directly east of 1455 F Street, within the planned East Village Green (EVG) park site in the East Village neighborhood of the Downtown Community Plan (DCP) area ("Downtown").

### STAFF RECOMMENDATION

Staff recommends that the Historical Resources Board (HRB) recommend to the City Council approval of SDP No. 2017-18 for the relocation and rehabilitation the designated historical resources located at 719-721 14<sup>th</sup> Street (HRB Site #403 Daggett Family Residence, and HRB Site #404 Murray Apartments).

### BACKGROUND

The City of San Diego ("City") Municipal Code Section 126.0503(b)(2) requires a recommendation from the Historical Resources Board (HRB) prior to the City Council decision on a CIP Process 5 SDP when historical resources are present. The HRB has adopted the following procedure for making recommendations to decision-makers (HRB Procedures, Section II.D):

When the HRB is taking action on a recommendation to a decision-maker, the HRB shall make a recommendation on only those aspects of the matter that relate to the historical aspects of the project. The HRB's recommendation action(s) shall relate to the cultural resources section, recommendations, findings and mitigation measures of the final environmental document, the SDP findings for historical purposes, and/or the project's compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties. If the HRB desires to recommend the inclusion of additional conditions, the motion should include a request for staff to incorporate permit

conditions to capture the HRB's recommendations when the project moves forward to the decision maker.

The "Murray Apartments" building at 719 14<sup>th</sup> Street (HRB Site #404) was constructed in 1903 at an unknown location and moved to its current location in 1932-33. The structure has been used as an apartment building since the early 1930's and today has 13 rooms. The "Daggett Family Residence" building at 721 14<sup>th</sup> Street (HRB Site #403) was constructed sometime between 1893 and 1896 for William B. Morris at 2361 (currently 1461) G Street, just southeast of its current location, and has been used as an apartment building since its relocation in 1948-49 and currently contains eight rooms. The Daggett Family Residence is currently located behind the Murray Apartments and has little visibility from the street. On February 24, 2000, the HRB adopted resolutions (Resolution No. R-00022402 and Resolution No. R-00022403) approving local historical designations for HRB Site #403 Daggett Family Residence, and HRB Site #404 Murray Apartments, respectively.

Although the buildings have been altered, the changes have not substantially affected their architectural significance as Queen Anne styled buildings constructed during the late 1890's and early 1900's. The Murray Apartments building displays distinctive characteristics indicative of the Queen Anne style, including a steeply pitched hipped roof, a dominant front-facing gable, patterned shingles, half timbering, cutaway bay windows and projections, and an asymmetrical façade with a one-story partial (formerly full length) porch. Similarly, the Daggett Family Residence building displays a steeply pitched gabled roof, a dominant front-facing gable, patterned shingles, decorative spindle work, and a one-story full length porch which extends along the northerly side wall.

The City proposes construction of a new EVG park on the two blocks bounded by 13<sup>th</sup>, F, 15<sup>th</sup>, and G streets. The City's Park and Recreation Board approved the EVG General Development Plan (GDP) in November 2015 (Attachment 1). The park has been designed to be constructed in three phases, with Phase I consisting of approximately two acres. Phase I of the EVG GDP contains the following main elements: a central multi-purpose lawn; community center; children's park; performance pavilion, interactive water feature, café building; off-leash dog park; 14<sup>th</sup> Street plaza; groves and casual park areas; underground public parking garage; and public restrooms.

In order to meet the programming desires of the neighborhood, developed through multiple public workshops, it was determined that the historic houses would be better suited in Phase II of the park development. The locally-designated historical homes located on 14<sup>th</sup> Street would be relocated to the south side of F Street on property already owned by the City. The historic buildings would be placed on elevated building pads near sidewalk level fronting on 14<sup>th</sup> Street east of, and adjacent to, the existing house at 1455 F Street (Mattie Bearn's House). The buildings' exteriors are proposed to be rehabilitated and site construction will consist of accommodating current accessibility standards and new facilities to support the structures. Once relocated and renovated, the designated historic homes would be reused for uses consistent with the "P/OS" Park/Open Space land use district, such as eating and drinking establishments, arts and/or cultural uses, or other similar uses. Although there is no timeline for the development of Phase II of the EVG Park around the relocated structures, the structures will be leased and utilized in the interim period.

## DISCUSSION

When development is proposed with a designated historical resource on site, it must comply with regulations of SDMC Chapter 14, Article 3, Division 2. The proposed relocation of a designated historical resource is considered a substantial alteration and findings for the substantial alteration and relocation must be made in order to approve the SDP. The City Council is the decision-maker for a CIP Process 5 SDP, and HRB's role in this process is to make a recommendation to the City Council.

The two historic houses were evaluated in a Historical Resources Technical Report (HRTR) dated September 19, 2017 by Eileen Magno, MA, Principal Historian, Heritage Architecture & Planning (Attachment 2). Historic American Buildings Survey (HABS) Reports were also prepared by the same author (Attachment 3). The HRTR evaluated the structures and found that neither was eligible for listing on either the California Register of Historical Resources or the National Register of Historic Places. The HRTR concluded that the new locations adjacent to the Mattie Bearns House are compatible with the original character and use of the historical resources and would reintroduce the previously lost residential setting along the south side of F Street between 14th and 15th Streets. Heritage Architecture & Planning prepared Treatment Plans and Monitoring Plans for both historic homes (Attachments 4 and 5, respectively). The treatment plans and monitoring plans ensure adherence to The Secretary of the Interior's Standards for the Treatment of Historic Properties and enable the buildings to continue to convey their architecture, retaining a high degree of their integrity of design, workmanship, materials, feeling, and association, for which the properties received their designation.

Implementation of the Treatment Plans for both historic homes would be facilitated by a qualified historic structure mover. Construction observation services will be provided by the Project Architect/Historic Architect/Monitor, Heritage Architecture & Planning. The Treatment Plans are accompanied by HABS drawings which depict the current floor plans and exterior elevations of the houses. No exterior alterations are planned other than restoration of missing features and removal of non-historic modifications and all recommendations have been incorporated into construction drawings for the structures as described below.

### Murray Apartment Relocation/Rehabilitation Procedures:

The Murray Apartments will be moved to a vacant lot on the same block, adjacent to and east of the historic Mattie Bearns House. As part of the move, the Murray Apartments will be rotated 90° east (clockwise) to face F Street. The mover will outline the details of the schedule and sequence of the move as well as the means by which the house will be braced for the relocation. The Historic Architect/Monitor and City staff shall approve the plan prior to the relocation date.

Monitoring: Construction monitoring shall be provided during the relocation process, adhering to the Monitoring Plan by Heritage Planning & Architecture dated October 16, 2017. Following each site visit, the Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties.

After the completion of grading work and a new foundation on the new site, the Murray Apartments will be moved. It is anticipated that the move of the Murray Apartments will consist of the steps listed below:

1. The building will be moved in one piece, so no cutting or dismantling above the foundation walls will occur.
2. Exterior door and window openings will not need to be braced. Only the area around the four fireplaces are expected to require supplemental bracing.
3. Some items will need to be removed prior to the relocation. These include the non-historic cast-concrete foundation walls, three brick chimneys, parts of the fireplaces, and the non-historic rear stairs.
4. The original chimney bricks, which are only exposed above the roofline, will be transported to the new site. Reconstruction will incorporate salvaged or new matching bricks.
5. The front steps may be modified at the new site based on historical evidence.
6. No new openings in the walls or roof are anticipated.
7. Steel beams will be used under the building to raise and support the structure during relocation. The final number and configuration of beams will depend on the existing floor joists and if they are full length or spliced.
8. The moving company expects to use rolling dollies. Once the building has been raised and can be weighed, the exact number of dollies will be determined. A truck will then transport the Murray Apartments.
9. The proposed route of the move is north on 14th Street then west on F Street to the destination site.

#### Daggett Family Residence Relocation/Rehabilitation Procedures:

The Daggett Family Residence will be moved to a vacant lot on the same block, adjacent to and east of the historic Mattie Bearn House. As part of the move, the Daggett Family Residence will be rotated 90° east (clockwise) to face F Street. The mover will outline the details of the schedule and sequence of the move as well as the means by which the house will be braced for the relocation. The Historic Architect/Monitor and City staff shall approve the plan prior to the relocation date.

Monitoring: Construction monitoring shall be provided during the relocation process, adhering to the Monitoring Plan by Heritage Planning & Architecture dated October 16, 2017. Following each site visit, the Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with The Standards.

After the completion of grading work and a new foundation on the new site, the Daggett Family Residence will be moved. It is anticipated that the move of the Daggett Family Residence will consist of the steps listed below:

1. The building will be moved in one piece, so no cutting or dismantling above the foundation walls will occur.
2. Exterior door and window openings will not need to be braced. No chimneys or fireplaces are intact to require supplemental bracing.
3. Some items will need to be removed prior to the relocation. These include the non-historic cast-concrete foundation walls, a chimney remnant in the crawlspace, and the non-historic front steps and rear stairs.
4. The original chimney bricks in the basement will be removed.
5. New front steps will be constructed at the new site based on historical evidence and precedence.
6. No new openings in the walls or roof are anticipated, other than restoring previously removed windows.

7. Steel beams will be used under the building to raise and support the structure during relocation. The final number and configuration of beams will depend on the existing floor joists and if they are full length or spliced.
8. The moving company expects to use rolling dollies. Once the building has been raised and can be weighed, the exact number of dollies will be determined. A truck will then transport the Daggett Family Residence.
9. The proposed route of the move is north on 14th Street then west on F Street to the destination site.

### SDP Findings

In order to approve a SDP, the City Council must make specific general findings in addition to supplemental findings for substantial alterations to a historical resource. Below is a summary of the required findings and supplemental findings for approval of a SDP.

#### Findings for Site Development Permit Approval SDMC § 126.0504 (e):

1. *The proposed development will not adversely affect the applicable land use plan;*

The EVG park project is located on a block in the East Village neighborhood of Downtown designated in the Centre City Planned District Ordinance (CCPDO) as the "P/OS" Park/Open Space land use district. This district provides areas for public parks and open spaces. Below-ground parking facilities, eating and drinking establishments, arts and cultural uses, and community centers are also permitted. The relocation and rehabilitation of the two historic homes at 719-721 14<sup>th</sup> Street to the south side of F Street will preserve the historic buildings and will facilitate their incorporation to the park through their potential reuse for eating and drinking establishments, arts and/or cultural uses, or other uses consistent with the "P/OS" land use designation. The proposed project is consistent with the DCP Historical Conservation Goals and Policies:

9.1-G-1 "Protect historical resources to communicate downtown's heritage."

9.1-G-2 "Encourage the rehabilitation and reuse of historical resources."

9.1-G-3 "Allow development adjacent to historical resources respectful of context and heritage, while permitting contemporary design solutions that do not adversely affect historical resources."

9.1-P-4 to "Encourage the retention of historical resources on-site with new development. If retention of a historical resource on-site is found to be infeasible under appropriate City review procedures, the potential relocation of the historical resource to another location within downtown shall be explored, and if feasible, adopted as a condition of a site development permit."

Therefore, the proposed development supports the goals and policies of, and will not adversely affect, the DCP.

2. *The proposed development will not be detrimental to the public health, safety, and welfare; and,*

The relocation and rehabilitation of the two historic homes at 719-721 14<sup>th</sup> Street will not be detrimental to public health, safety and welfare. The proposed historic resources' Treatment and Monitoring Plans will ensure the preservation of the historic resources in compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties. The project is consistent with the DCP and CCPDO with approval of a SDP. The project will be compatible with the adjacent residential house (Mattie Bearn House) and complement the East Village neighborhood without harming the public health, safety and welfare. The relocation and

rehabilitation of the historic resources will comply with applicable building codes in accordance with current construction standards as they apply to historic structures.

3. *The proposed development will comply with the applicable provisions of the LDC.*

The proposed development will meet the development standards of the CCPDO with approval of a SDP. The proposed relocation and rehabilitation work will be consistent with the Treatment and Monitoring Plans and will not create adverse impacts to the historical resources.

Supplemental Findings – Historical Resources Deviations for Relocation of Designated Historical Resources -SDMC§126.0505(h):

Findings for relocation of a designated historical resource are required for approval of the permit, consistent with the Municipal Code Section 126.0504(h) as follows:

1. *There are no feasible measures, including maintaining the resource on site, that can further minimize the potential adverse effects on historical resources.*

The project proposes to relocate the historic resources to F Street adjacent to a similar house (Mattie Bearns House) at 1455 F Street to group the remaining historic houses on the block and create open space for public park use consistent with the Park/Open Space land use district. The historic resources were previously relocated in the 1930's-1940's, and the new location and rehabilitation will ensure the preservation of the historic resources. Implementation of the Treatment and Monitoring Plans will ensure compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties. The relocation will allow of the rehabilitation of the historic structures on the same block, allow for their reuse consistent with the surrounding future park improvements, and allow for the development of a major public park whose design was based on numerous public workshops and approved by the City's Park and Recreation Board.

2. *The proposed relocation will not destroy the historical, cultural, or architectural values of the historical resource and the relocation is part of a definitive series of actions that will assure the preservation of the designated historical resource.*

Implementation of the Treatment and Monitoring Plans will ensure the preservation of the historic resources in compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties. A qualified historical architect will act as a monitor and supervise the relocation and rehabilitation of the historic homes. The property's status as a designated historical resource will remain under the jurisdiction of the San Diego HRB. These measures ensure that the proposed relocation, rehabilitation and reuse of the historic resources will not destroy the value of the resources. The relocation is part of a definitive series of actions to assure preservation and continued use of the two historic homes.

3. *There are special circumstances or conditions apart from the existence of the historical resource, applying to the land that are peculiar to the land and are not of the applicant's making, whereby the strict application of the provisions of the historical resources regulations would deprive the property owner of reasonable use of the land.*

The site is designated as a public park which will be the largest public park developed away from the bayfront for the dense urban neighborhood of Downtown. The GDP for the park was developed through several public workshops and the relocation will allow for the most efficient park uses while allowing for the reuse and integration of the historic resources into the park design. It is appropriate to group the remaining historic homes in the EVG park site together

on F Street, thereby creating more usable open space for the EVG public park. The existing site constraints which include the City's designation of Park/Open Space on the block bounded by 14<sup>th</sup>, 15<sup>th</sup>, F and G streets in order to facilitate the EVG park; the location of the historical resources on a lot zoned for Park/Open Space; and the overall setting and context of the neighborhood constitute special circumstances and conditions which exist apart from the presence of the historical resources. Overall, the proposed relocation, rehabilitation and reuse of the historic resources on the site will meet the intent and provisions of the historical resource regulations.

#### ENVIRONMENTAL REVIEW

Development within the DCP area is covered under the following documents, all referred to as the "Downtown FEIR": Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and 10th Amendment to the Centre City Redevelopment Plan, certified by the former Redevelopment Agency ("Former Agency") and the City Council on March 14, 2006 (Resolutions R-04001 and R-301265, respectively); subsequent addenda to the FEIR certified by the Former Agency on August 3, 2007 (Former Agency Resolution R-04193), April 21, 2010 (Former Agency Resolution R-04510), and August 3, 2010 (Former Agency Resolution R-04544), and certified by the City Council on February 12, 2014 (City Council Resolution R-308724) and July 14, 2014 (City Council Resolution R-309115); and, the Final Supplemental Environmental Impact Report for the Downtown San Diego Mobility Plan certified by the City Council on June 21, 2016 (Resolution R-310561). Development within the DCP area is also covered under the following documents, all referred to as the "CAP FEIR": FEIR for the City of San Diego Climate Action Plan (CAP), certified by the City Council on December 15, 2015 (City Council Resolution R-310176), and the Addendum to the CAP, certified by the City Council on July 12, 2016 (City Council Resolution R-310595). The Downtown FEIR and CAP FEIR are both "Program EIRs" prepared in compliance with California Environmental Quality Act (CEQA) Guidelines Section 15168. The information contained in the Downtown FEIR and the CAP FEIR reflects the independent judgement of the City of San Diego as the Lead Agency. The Downtown FEIR and CAP FEIR are located on the CivicSD website (<http://civicsd.com/departments/planning/environmental-documents>) and on the City website ([https://www.sandiego.gov/planning/programs/ceqa#Final CEQA Documents](https://www.sandiego.gov/planning/programs/ceqa#Final%20CEQA%20Documents)). The EVG park project, including the relocation and rehabilitation of the two historic homes, is a designated public park in the DCP that was evaluated in the Downtown FEIR. The HABS Reports, Treatment Plans and Monitoring Plans for the two historic homes were prepared in compliance with Downtown FEIR historical resources mitigation measures. The 15162 Evaluation Memorandum (Attachment 6) describes how the proposed project meets the Downtown FEIR mitigation measures for the treatment of historical resources in Downtown. No further review under CEQA is required for consideration of the recommended approval of the relocation and rehabilitation of the two historic homes in the EVG park site at 719-721 14<sup>th</sup> Street.

CONCLUSION

Staff concurs that the Treatment and Monitoring Plans and permit conditions contained in the draft Centre City SDP No. 2017-18 (Attachment 7) provided to the HRB are sufficient to reduce potential impacts to the historic resources. Therefore, staff recommends that the Historical Resources Board recommend to the City Council approval of SDP No. 2017-18 for the relocation and rehabilitation of the designated historical resources located at 719-721 14<sup>th</sup> Street (HRB Site #403 Daggett Family Residence and HRB Site #404 Murray Apartments).



William Chopyk, Planner  
Civic San Diego



Brad Richter, Vice-President Planning  
Civic San Diego

Attachments:

1. East Village Green General Development Plan concept drawings
2. Historical Resources Technical Report dated September 19, 2017
3. HABS Reports, Murray Apartments and Daggett Family Residence
4. Treatment Plans, Heritage Architecture & Planning, September 20, 2017
5. Monitoring Plans, Heritage Architecture & Planning, October 16, 2017
6. 15162 Evaluation Memorandum, Civic San Diego, October 22, 2018
7. Draft Centre City Site Development Permit



# EAST VILLAGE GREEN GENERAL DEVELOPMENT PLAN



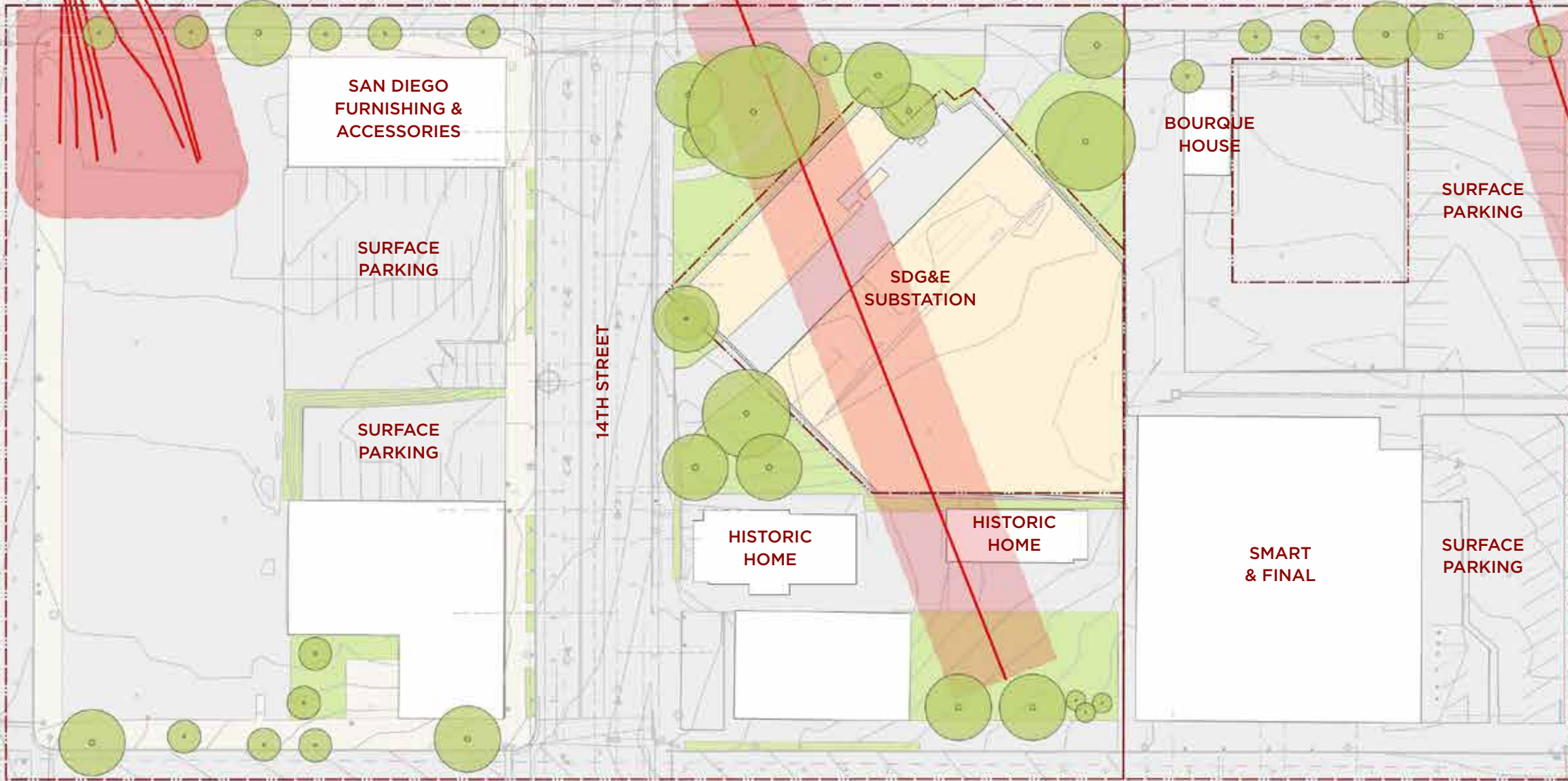
FUTURE  
IDEA1  
SITE

# SITE PLAN

FUTURE  
MAKER'S QUARTER  
BLOCK C

FUTURE  
MAKER'S QUARTER  
BLOCK

F STREET



SAN DIEGO  
FURNISHING &  
ACCESSORIES

SURFACE  
PARKING

SDG&E  
SUBSTATION

BOURQUE  
HOUSE

SURFACE  
PARKING

SILO

FUTURE  
MAKER'S QUARTER  
BLOCK F

SURFACE  
PARKING

HISTORIC  
HOME

HISTORIC  
HOME

SMART  
& FINAL

SURFACE  
PARKING

NEW SCHOOL  
OF ARCHITECTURE  
AND DESIGN

13TH STREET

14TH STREET

15TH STREET

G STREET

688 LOFTS

13TH AND MARKET

MARKET STREET  
VILLAGE

FORM 15

AZTEC  
APPLIANCE



# PHASE 1

FUTURE  
IDEA1  
SITE

URBAN  
DISCOVERY  
ACADEMY

FUTURE  
MAKER'S QUARTER  
BLOCK C

FUTURE  
MAKER'S QUARTER  
BLOCK

F STREET



13TH STREET

14TH STREET  
PLAZA

15TH STREET

G STREET

688 LOFTS

13TH AND MARKET

MARKET STREET  
VILLAGE

FORM 15

AZTEC  
APPLIANCE



FUTURE  
IDEA1  
SITE

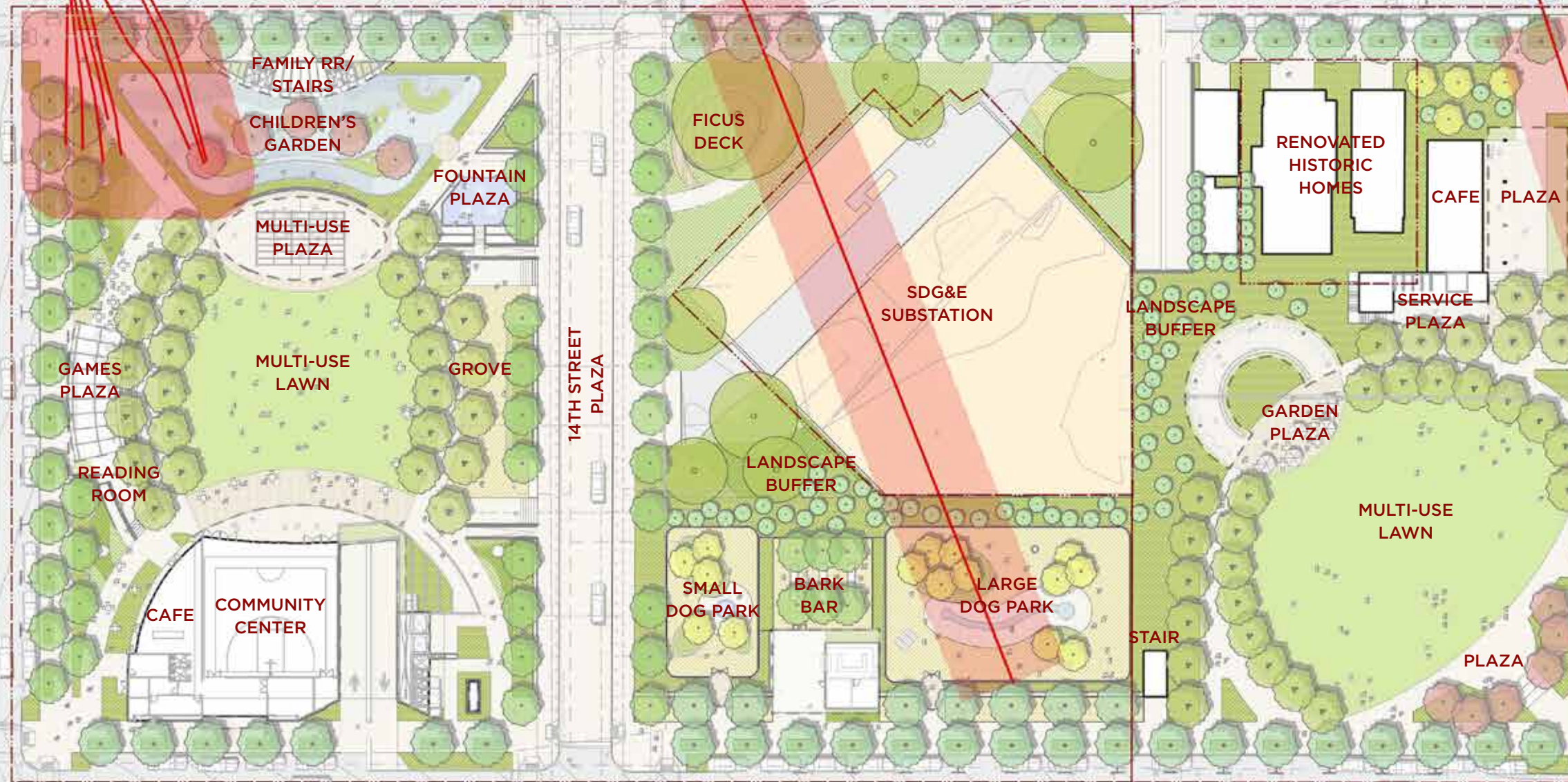
# PHASE 2

URBAN  
DISCOVERY  
ACADEMY

FUTURE  
MAKER'S QUARTER  
BLOCK C

FUTURE  
MAKER'S QUARTER  
BLOCK

F STREET



13TH STREET

14TH STREET PLAZA

15TH STREET

G STREET

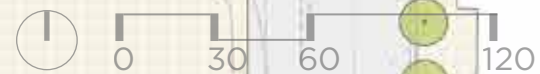
688 LOFTS

13TH AND MARKET

MARKET STREET VILLAGE

FORM 15

AZTEC APPLIANCE



FUTURE  
IDEA1  
SITE

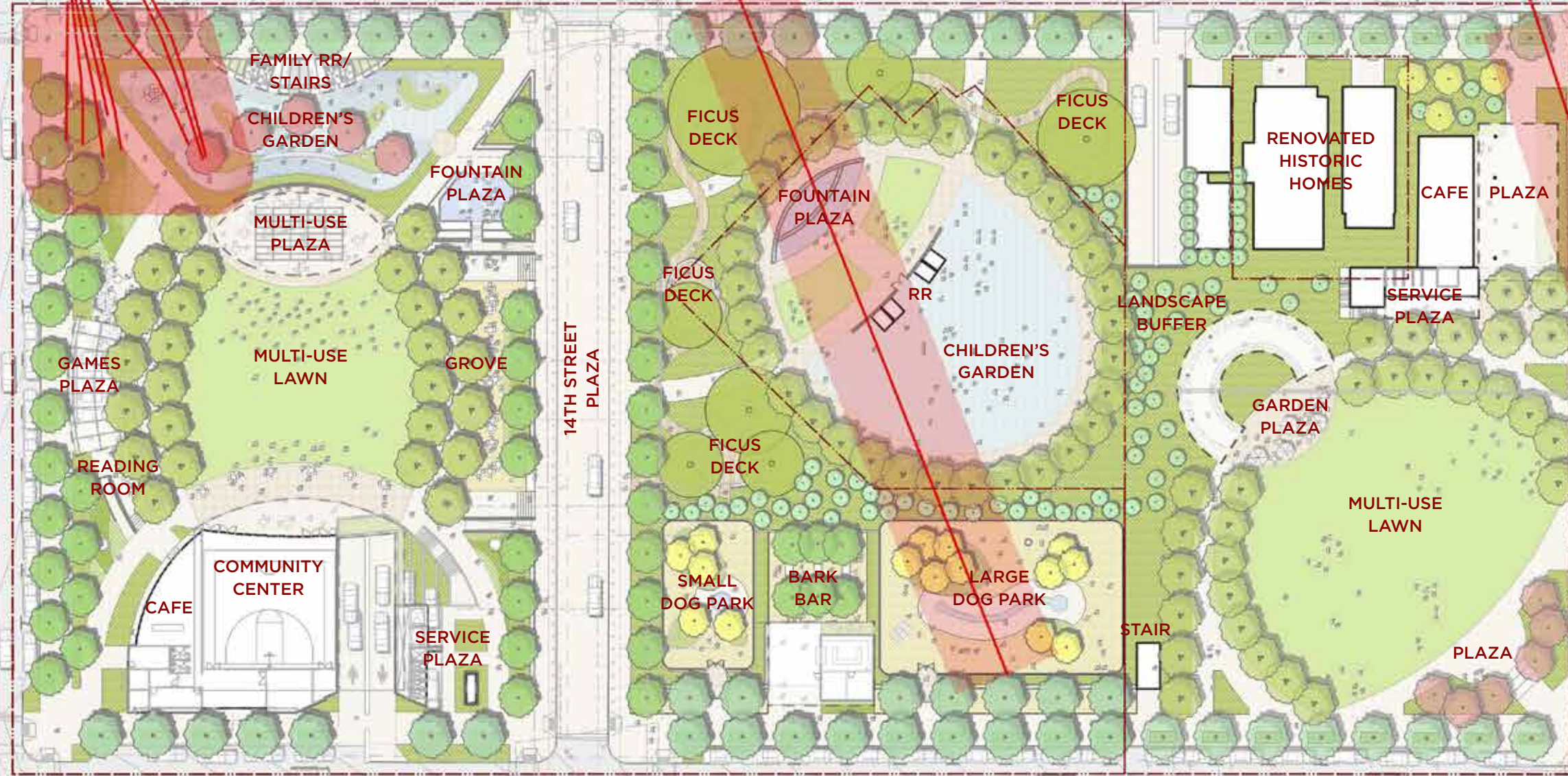
# PHASE 3

URBAN  
DISCOVERY  
ACADEMY

FUTURE  
MAKER'S QUARTER  
BLOCK C

FUTURE  
MAKER'S QUARTER  
BLOCK

F STREET



13TH STREET

14TH STREET  
PLAZA

15TH STREET

G STREET

688 LOFTS

13TH AND MARKET

MARKET STREET  
VILLAGE

FORM 15

AZTEC  
APPLIANCE



# LOOKING SOUTHWEST



# HISTORICAL RESOURCES TECHNICAL REPORT

[PTS/LDR # \_\_\_\_\_]

for

# EAST VILLAGE GREEN



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September 19, 2017

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**EAST VILLAGE GREEN**

Historical Resources Technical Report

September 19, 2017

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**EXECUTIVE SUMMARY**

The City of San Diego proposes to introduce a new urban park in the East Village neighborhood of downtown San Diego. The 4.1 acre project, known as East Village Green, is located between F and G Streets and 13<sup>th</sup> and 15<sup>th</sup> Streets. The proposed East Village Green project is an integral component to downtown's parks and open space plan. The proposed project offers an engaging and interactive place for residents, employees, and visitors to play, gather, and participate in community events.

The East Village Green project includes three locally designated properties within its boundary. They are the Murray Apartments (HRB #404), 719 14<sup>th</sup> Street (APN 5351430500); the Daggett Family Residence (HRB #403), 721 14<sup>th</sup> Street (APN 5351430800); and the Mattie Bearns House (HRB #970), 1455 F Street (APN 5351710900). The project proposes to relocate both the Murray Apartments and the Daggett Family Residence to a vacant lot adjacent to and east of the Mattie Bearns House along F Street. Upon their move, the two buildings will be rotated 90° east to face F Street. A Site Development Permit is required for the proposed relocation project. Once relocated, the two buildings will be mothballed per the recommendations of the National Park Service Preservation Briefs 31: Mothballing Historic Buildings until an occupancy classification, use, and/or tenant has been established. As a designated resource, modifications to the Murray Apartments or the Daggett Family Residence must be in compliance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. The Mattie Bearns House will remain in situ.

The Area of Potential Effect (APE) is limited to the parcels encompassing Lots E and H of Block 176 of Horton's Addition and portions of Lots 3, 4, and 5 of Block 15 of Culverwell's Addition. These lots are located within the eastern block of the project boundary encompassing 14<sup>th</sup> Street to the east, 15<sup>th</sup> Street to the west, F Street to the north, and G Street to the south. Archival and historical research as well as a field survey were conducted to identify previously recorded resources located within the APE. Property data was also collected at the County of San Diego's Assessor's Office and the City of San Diego Building Department.

This Historical Resources Technical Report acknowledges that the Murray Apartments, the Daggett Family Residence, and the Mattie Bearns House are historically significant at the local level and are currently listed in the City of San Diego Register of Historical Resources. Historic research and site evaluation reveal that the buildings retain sufficient integrity from their period of significance. Therefore, the residences are considered historical resources under CEQA. The residences do not appear to be eligible for listing in the National Register or California Register under any of the applicable criterion.

As a result of the proposed development project, the Murray Apartments and the Daggett Family Residence would be relocated to the adjacent lot east of the Mattie Bearns House. The two buildings would then be rotated 90° so their orientation faces north on F Street. Once relocated, the two relocated buildings will undergo exterior rehabilitation per *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. They will then be mothballed per the recommendations of the National Park Service Preservation Briefs 31: Mothballing Historic Buildings until the buildings are leased or

sold. Since future use, occupancy, or tenants have yet to be determined, any future modifications must be completed per *The Secretary of the Interior's Standards for the Treatment of Historic Properties*.

Both the Murray Apartments and the Daggett Family Residence have previously been relocated to their existing site. This proposed project would be their second move. Relocation of a historical resource is considered a significant direct impact under CEQA. Mitigation measures would reduce impacts to the historical resource to less than significant since both resources will be relocated within the same city block and the Daggett Family Residence will recapture its original orientation facing north. Adherence to *The Secretary of the Interior's Standards for the Treatment of Historic Properties* will be conducted on the relocated resources which will enable the buildings to continue to convey their architectural significance while retaining a high degree of their integrity of design, workmanship, materials, feeling, and association, for which the buildings received their designation. Likewise, the relocation of the buildings adjacent to the Maggie Bearns House would not pose as a significant impact to the Maggie Bearns House since it will reintroduce a residential setting that was lost when the adjacent buildings were previously razed.

**SECTION I INTRODUCTION**

This Historical Resources Technical Report (HRTR) is written in support of the environmental assessment process in compliance with the California Environmental Quality Act (CEQA). The East Village Green project includes a new 4.1-acre urban park in the East Village neighborhood of downtown San Diego. The proposed park site is bound by F and G Streets to the north and south and 13<sup>th</sup> and 15<sup>th</sup> Streets along the east and west. The project is an important component of the downtown parks and open space plan offering an engaging and interactive place for residents, employees, and visitors to play, gather, and participate in community events.

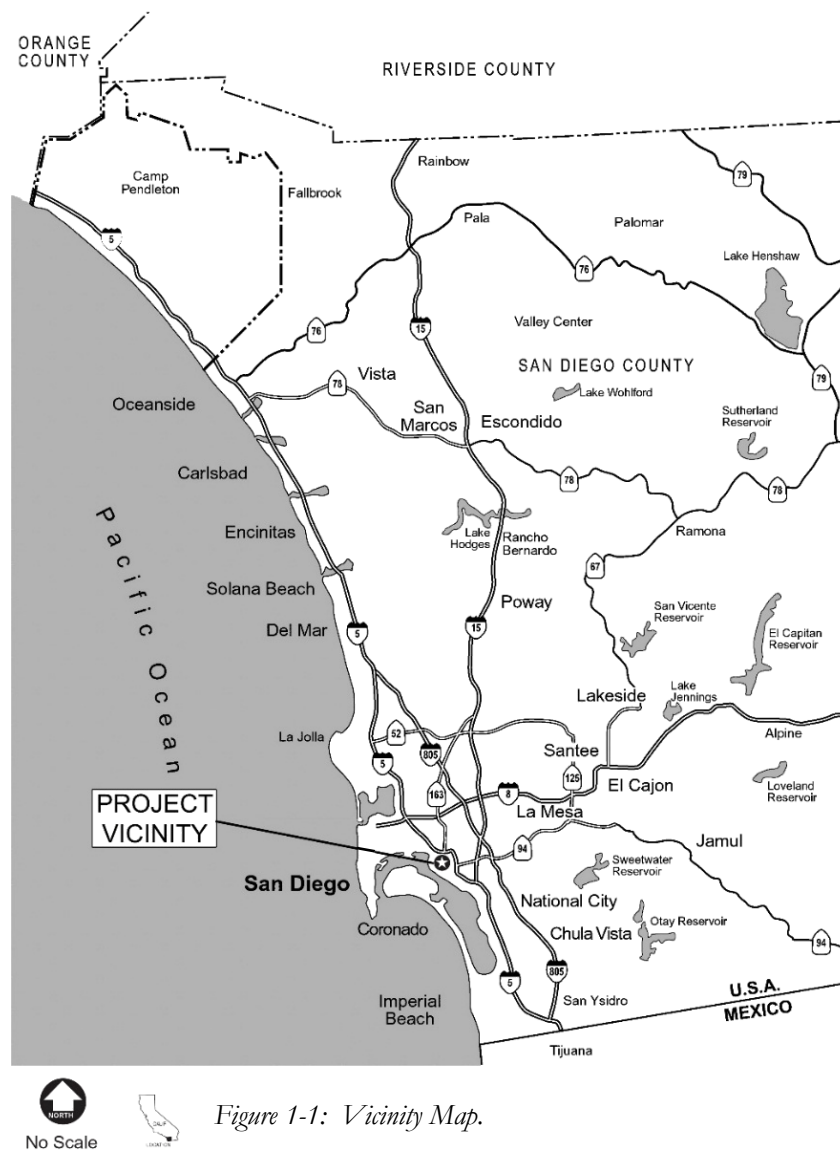


Figure 1-1: Vicinity Map.

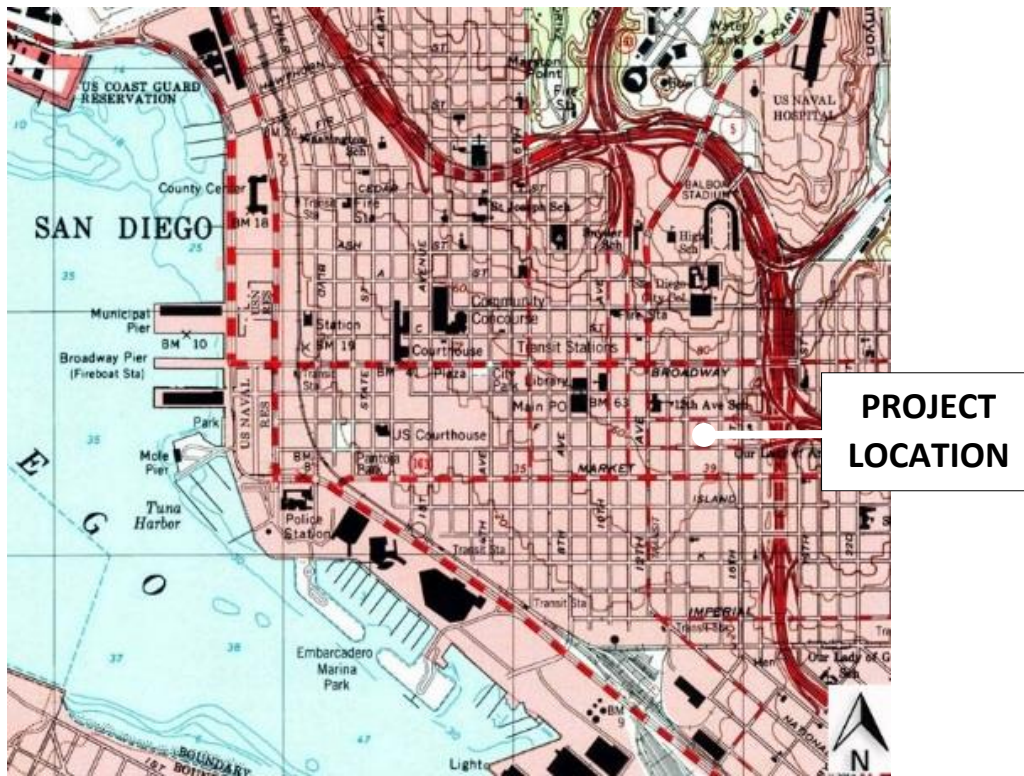


Figure 1-2: Location Map.

Source: USGS, Point Loma, CA 1996



Figure 1-3: Proposed project boundary location.

Source: Google Maps

There are a total of nine buildings within the proposed project site. Three buildings are locally designated as historical resources by the City of San Diego. The three properties are:

- 719 14<sup>th</sup> Street (HRB #404) – The Murray Apartments
- 721 14<sup>th</sup> Street (HRB #403) – The Daggett Family Residence
- 1455 F Street (HRB #970) – The Mattie Bearns House

The proposed East Village Green project includes the relocation of the Murray Apartments and the Daggett Family Residence (719 and 712 14<sup>th</sup> Street, respectively) to a vacant lot adjacent to and east of the Mattie Bearns House (1455 F Street). Upon their move, the two buildings will be rotated 90° so their orientation faces F Street followed by exterior rehabilitation per *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, and then mothballed until a future use, occupancy, or tenant has been determined. The Mattie Bearns House will remain in situ.

The purpose of this Historical Resources Technical Report (HRTR) is to identify and evaluate the potential eligibility of resources located within the project study area and Area of Potential Effect (APE) for listing in the National, State, and/or Local register of historic resources. In addition, this HRTR will address proposed project effects on identified historic resources in accordance with local, state, and national regulatory requirements.

This report contains the following information:

- Review of the existing exterior conditions of the resources.
- Review of the history of the resources and their physical development.
- Review of the subject resource's eligibility under local, state, and national register designation criteria.
- An analysis of the effects of proposed project on historic resources.

## **A. REPORT ORGANIZATION**

This HRTR has been prepared in compliance with the City of San Diego Historical Resources Board Historical Resource Technical Report Guidelines and Requirements. This report is organized into seven sections. The first section is the Introduction, providing purpose and overview of the report and resource location information. The Introduction is followed by the Project Setting, which describes the current environment as well its historical development. The third section, Methods and Results, details the work that was completed, such as research and field assessments, and provides a description of all resources within the project study area. The Significance Evaluations section provides an analysis of the significance of the resource against local, state, and national designation criteria. Section five, Findings and Conclusions, summarizes the results of the study and includes a potential impact discussion on identified historic resources. Next, the Bibliography notes all citations made in the document. Lastly, the Appendices includes necessary background information regarding the resources including building development information, ownership and occupancy information, maps, DPR forms, and preparer's qualifications.

## **B. PROJECT STUDY AREA**

A project study area and Area of Potential Effect (APE) were established through consultation with City of San Diego Historical Resources Board staff. The project study area and APE are located in the East Village community of Downtown, within the City of San Diego, California. Its boundary is



limited to the parcels encompassing Lots E and H of Block 176 of Horton’s Addition and portions of Lots 3, 4, and 5 of Block 15 of Culverwell’s Addition. These lots are located within the eastern block of the proposed project boundary encompassing 14<sup>th</sup> Street to the east, 15<sup>th</sup> Street to the west, F Street to the north, and G Street to the south. There are three (3) buildings located within the APE.



Figure 1-4: Area of Potential Effect (APE) Map.

Source: Google Maps

Map Reference:	1
Current Property Name:	Murray Apartments
Construction Date:	1903
Relocation Date:	ca. 1932-1933
Original Property Address:	Unknown
Current Property Address:	719 14 <sup>th</sup> Street
Current Assessor Parcel Number:	5351430500
Community Planning Area:	Downtown Community Planning Area
Legal Description:	Lot E in Block 176 of Horton’s Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof Made by L.L. Lockling on File in the Office of the County Recorder of San Diego County.

Map Reference:	2
Current Property Name:	Daggett Family Residence
Construction Date:	ca. 1893-1896
Relocation Date:	ca. 1948-1949
Original Property Address:	2361 G Street (1897-1913) 1461 G Street (1913-ca. 1948-1949)

## EAST VILLAGE GREEN

Current Property Address:	721 14 <sup>th</sup> Street (ca. 1948-1949 to current)
Current Assessor Parcel Number:	5351430800
Community Planning Area:	Downtown Community Planning Area
Legal Description:	Lot H in Block 176 of Horton's Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof Made by L.L. Lockling on File in the Office of the County Recorder of San Diego County.
Map Reference:	3
Current Property Name:	Mattie Bearns House
Construction Date:	ca. 1907-1909
Property Address:	1455 F Street
Assessor Parcel Number:	5351710900
Community Planning Area:	Downtown Community Planning Area
Legal Description:	Portion of Lots 4 and 5 of Block 15 Culverwell's Addition. Parcel 1 of Parcel Map No. 8360, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, January 30, 1979 as File/Page No. 79-045827 of Official Records.

### C. PROJECT PERSONNEL

The primary investigators from Heritage Architecture & Planning were Eileen Magno, Principal Historian/Architectural Historian and Carmen Pauli, Principal Architect. Oversight was provided by President and Senior Principal, David Marshall, AIA. All principal staff members meet or exceed *The Secretary of the Interior's Qualification Standards* as published in the Code of Federal Regulations, 36 CFR Part 61.

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**SECTION II PROJECT SETTING****A. PHYSICAL PROJECT SETTING**

The proposed East Village Green project is located within the center of the East Village neighborhood of Downtown San Diego, between F and G Streets and 13<sup>th</sup> and 15<sup>th</sup> Streets. The area has evolved dramatically within the past decade from a mixture of light industrial and warehouse buildings; artist and design studios; residential; and social service providers to a vibrant residential, employment, education, and entertainment district. The proposed project site includes historically designated buildings and non-historic buildings. The three (3) locally significant buildings are:

- 719 14<sup>th</sup> Street (HRB #404) – The Murray Apartments
- 721 14<sup>th</sup> Street (HRB #403) – The Daggett Family Residence
- 1455 F Street (HRB #970) – The Mattie Bearns House

**B. HISTORICAL OVERVIEW*****East Village Historical Background*<sup>1</sup>**

The history of the Bayside and Centre City East areas are inexorably linked to the development of downtown San Diego and its founder Alonzo Erastus Horton. Horton, who came to San Diego in 1867, purchased 960 acres of land for \$265 for his “New Town” San Diego development. Horton divided the acres into blocks and lots, a number of which were located in the Bayside and Centre City East areas. Thus, “Horton’s Addition” was established. Later subdivisions in the area included “Sherman’s Addition” and “Remondino’s Subdivision of Sherman’s Addition.”

During the 1860s and 1870s, the Bayside area, then known as “South San Diego,” relied heavily upon the wharf established at the foot of Fifth Avenue. Prior to the establishment of Horton’s Wharf, a few warehouse structures were located along the bay, but none remain today. These early businesses transported stored grain, honey, and other products. They also received incoming shipments of lumber, iron, ore, and other necessities from other parts of the nation. In 1869, McDonald’s store (later known as the San Diego Lumber Company) was erected at Sixth Avenue and L Street. Lumber, floated [through] the bay from Northern California and Oregon was pulled from the bay by Native Americans and stacked at the lumber company building, which was erected on redwood planks in order to protect the wood from muddy soil. In 1872, Bailey’s Foundry (later known as San Diego Foundry) was constructed at the corner of 8th Avenue and M Street (now Imperial). This business provided much of the structural ironwork for businesses and commercial buildings in the Gaslamp Quarter.

During the 1880s, New Town San Diego businesses spread north to H Street (renamed Market Street), which was at the time considered the main cross road. Commercial growth was centered on Fifth Avenue and Market Street. Ultimately, San Diego expanded to D Street (renamed Broadway) and beyond as merchants moved northward. With the coming of the railroad, Horton and other prominent

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<sup>1</sup> Excerpt from Scott Moomjian, “East Village Historical Overview” in the City of San Diego’s “Revised Draft East Village Combined Historical Property Survey Report, 2005.”

business leaders lobbied for a railroad link which would facilitate transportation to this area. In 1885, the California Southern Railroad, a subsidiary of the Atchison, Topeka, and Sante Fe line, established tracks into San Diego from the north. This line greatly increased San Diego's population in the late 1880s. A later link with the Southern Pacific Railroad along the United States/Mexico border proved beneficial as well, particularly to the Bayside and Centre City East areas. San Diegans longed for an eastern railroad terminus.

With the 1885 railroad connection [from the north], an influx of newcomers to the San Diego area sparked a four- year building boom. In the Bayside and Centre City East area, simple Victorian single-family cottages were erected on 16<sup>th</sup> and 17<sup>th</sup> [Streets] to accommodate laborers, porters, clerks, and other blue collar workers. The Rood Rental cottage, Bay View Hotel, Sheldon House and Joseph Ireland Building are examples of Victorian structures built during the boom. Standard Iron Works erected its manufacturing business on the corner of 7<sup>th</sup> Avenue and L Street, and the Silver Gate Warehouse, owned by local entrepreneur John Ginty, was constructed on 8<sup>th</sup> Avenue and M Street (renamed Imperial).

In 1886, the San Diego Gas Company enlarged its gas operations. The company, which had started from modest beginnings on 9th Avenue between M and N Streets (Imperial and Commercial) in 1881, expanded in order to supply the needs of San Diego's growing residential and business community. The San Diego Gas Company built a new electric generating plant at 10<sup>th</sup> Avenue and M (Imperial) adjacent to the old gas plant. In 1887, the San Diego Gas and Electric Light Company was incorporated as the successor to the San Diego Gas Company and began supplying electricity for arc lights on a sundown to midnight basis in downtown San Diego. After the bust of 1889, the gas and electric company found it could easily service the utility needs of San Diego with existing equipment. Therefore, no new major additions were made to the plant until 1905.

After 1900, businesses chose the Centre City East area from which to conduct operations due to the area's proximity to the railroad tracks and the wharf. San Diego's commercial center continued to expand as harbor facilities and the city's population grew. [Many] types of commercial structures were built south of Broadway and along the water's edge. Warehouses, manufacturing centers, bars, restaurants, laundries, and hotels all provided services and goods for city residents and businesses. The entire area south of Broadway from the water eastward was a large commercial center for the city.

Businesses anticipated the creation of a much needed railroad line that would link San Diego to Arizona and then eastward across the southern part of the United States. It was believed that such a line would encourage the exchange of goods between the West and East Coasts of the United States through Yuma. In 1905, the Southern Pacific Railroad desired to break the Sante Fe Railroad's monopoly. Southern Pacific Railroad officials approached sugar magnate and San Diego businessman, John D. Spreckels to act as the "front man" for an operation that would build the railroad from San Diego to Arizona. Although the San Diego and Eastern Arizona Railroad would not be completed until 1919, railroad line and commercial speculation drew local businessmen to the Centre City East area.

The Second World War affected the area as it did the entire country. A surge of activity occurred in the Centre City East area. Very few structures were constructed during the war years, and although little new construction took place during the early 1940s, many of the Centre City East buildings were

drafted into service. The Schiefer & Sons factory, located at 371 8<sup>th</sup> Avenue, was used by the Standard Parachute Corporation from 1941-1945. Although no longer in existence, the Standard Parachute Corporation also used the building located at 304 11<sup>th</sup> Avenue as a supply stockroom from 1943-1948. In addition, the San Diego Machine Company, an airplane parts manufacturer, operated from 345 15<sup>th</sup> Street from 1934-1958. During the war years, the San Diego Gas and Electric Company had all new utility extensions put on hold, since copper wire and steel pipe were in short supply.

During and after the Second World War, as suburbs developed, many businesses relocated to newer communities where land was cheaper and buyers more plentiful. The amount of people residing in the Centre City area also declined, resulting in less local support of goods produced by the downtown businesses. From the late 1970s to the present, Centre City East has slowly become revitalized with the development of the Gaslamp Quarter, which has brought new businesses and life into the old industrial area. The opening of Petco Park in East Village in 2004 also helped spur redevelopment within the community.

### ***Residential Patterns in 1906***<sup>2</sup>

The turn-of-the-century period in East Village is characterized by home ownership expanding to the working classes. Live-in servants were becoming less prevalent (especially for the middle class) and housing styles in general were simplifying under Progressive ideals of good government through universal suffrage and political reform. During this period, it was widely thought that many urban ills brought on by industrialization and unbridled capitalism could be resolved through elevating the lower classes into the middle class through home ownership. As a result, unprecedented attention was given to housing design, production, and financing instruments.

In San Diego, the 1906 Sanborn Map reflects these wider national trends, as well as local economic recovery and continued urban expansion due to railroad-related in-migration. Population growth is evident in residential patterns that clearly reflect denser living conditions more characteristic of cities than of towns or villages. Hotels and boarding establishments have a diminished presence in East Village, while apartments or rooms-to-rent are now dispersed throughout the expanded business district between Fourth and Seventh Avenues. Many of these residential arrangements are located on the second or third floors of business blocks, strengthening the trend noticed on the 1888 Sanborn Map.

While single family residential development had spread eastward to 19th Street, representing incipient development in Sherman Heights, several blocks of sparsely developed land remained between 16th and 18th Streets. Conversely, many single family residences between 8<sup>th</sup> Avenue and 12<sup>th</sup> [Avenue], now Park Boulevard, have been converted to multi-family accommodations, indicating an interest in living quarters within walking distance to the business center of the city. Less change is obvious south of I Street, where modest cottages continued to fill in previously platted parcels. The node of boarding houses at 7<sup>th</sup> and K, however, was no longer evident, reflecting both the eastward spread of the warehouse district and the rise of modest living arrangements elsewhere in the city.

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<sup>2</sup> City of San Diego's "Revised Draft East Village Combined Historical Property Survey Report, 2005."

### ***Building History***<sup>3,4</sup>

#### 719 14<sup>th</sup> Street (HRB #404) – The Murray Apartments

Residential Building Records indicate that this building was constructed in 1903, but was moved to its present location sometime during the early 1930s, likely in either 1932 or 1933. An aerial photograph of the area dated December 1937, shows the 719 14<sup>th</sup> Street building at that location during this time. A Sanborn Fire Insurance Map from 1940 shows the presence of the building at this location by this year. Sanborn Maps from 1888 and 1906, show the presence of a different, rectangular-shaped, two-story dwelling at the 719 14<sup>th</sup> Street location. A 1921 Sanborn map indicates that by this year, the original building was used as “furnished rooms.” It could not be determined whether this original structure was moved, burned-down, or demolished prior to the relocation of the current 719 14<sup>th</sup> Street building to this location.

*San Diego City Directories* first list multiple tenants as residing in the 719 14<sup>th</sup> Street building in 1933. This supports the belief that the building was used as furnished rooms during this period, and indicates that the building was moved to this location in either 1932 or 1933. 1940 and 1956 Sanborn Maps show the current 719 14<sup>th</sup> Street building as “rooms.” Historical research indicates that beginning around 1936, the building was known as the “Murray Apartments,” and around 1955, it became known as the “Wismer Apartments,” after Jack and Eliza Wismer, the property owners who also lived in the apartment building from approximately 1937-1966. A 1959 notation made by a San Diego County Assessor’s Office Appraiser state that the building appeared “to be 1 unit over 1 unit with possible 3 or 4 persons sleeping to rent out.” Since 1995, the building has been known as the “Villa Victoria.” The building today currently serves as an apartment building with 13 units.

#### 721 14<sup>th</sup> Street (HRB #403) – The Daggett Family Residence

Residential Building Records on this building could not be located. Nevertheless, historical research and examination of historic photographs indicate that the building was likely constructed for William B. Norris at 2361 G Street sometime between 1893-1896, although it may have been earlier. The original location of the building, located near the southwest corner of G and 14th Streets, was property owned by Norris and was one of about eleven buildings that were constructed on that block during the 1890s. William Norris, a native of Maine, was born in January 1839, and moved to San Diego likely in 1872.

An examination of the 1888 Sanborn Fire Insurance Map did not reveal the presence of the 721 14th Street building at either its current location or along G Street. However, the 1906 Sanborn Map does show the building at 2361 G Street as a two-story “dwelling” with basement. An inspection of *San Diego City Directories* during the 1890s indicates that William B. Norris, carpenter, is first listed at 2361 G Street in 1897. Norris lived at the 2361 G Street address from at least 1897 until 1913. After 1913, the 2361 G Street address was renumbered to become 1461 G Street. This is supported by a 1921 Sanborn Map which shows the building still at its original location with the new address. In 1914, William and Flora Norris are listed as living at 1461 G Street. William Norris lived at this address until

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<sup>3</sup> Office of Marie Burke Lia, Attorney at Law, “Historical Assessment of the 719 & 721 14<sup>th</sup> Street Buildings, San Diego, California 92101.” Prepared for Mr. Shel Kulick. January 2000.

<sup>4</sup> Office of Marie Burke Lia, Attorney at Law, “Historical Assessment of 1455 F Street, San Diego, California 92101.” Prepared for Mr. Shel Kulick. June 2010.

his death in September 1917. Norris' wife Flora continued to live at the 1461 G Street location until her death in March 1937.

An examination of historic photographs, on file in the San Diego Historical Society Photographic Archives, in conjunction with Sanborn Fire Insurance Maps, indicate that the 1461 G Street building was moved to its current location at 721 14th Street, in either 1948 or 1949 despite the fact that the building appears at its current location in a 1940 Sanborn Map. A review of *San Diego City Directories* indicate that after the death of Flora Norris in 1937, the home at 1461 G Street was thereafter occupied by two tenants, suggesting that the home was divided into two units. Between 1939-1944, occupants of the building included Ralph Peterson (1939-1942), Thomas Castro (1940), Joseph Mendoza (1941), Joseph Kachmarek (1942), W.A. Brunson and G.T. Denny (1943), and R.C. Pittsley and A.N. Wolfe (1944). The building was listed as vacant in 1948. Historic aerial photographs taken in 1937 and 1941 show the 1461 G Street building in its original location. In 1950, *San Diego City Directories* first list the 721 14<sup>th</sup> Street address, with the occupant listed as C.M. Montgomery.

Based upon the historical record, therefore, the building appears to have been moved to its 721 14<sup>th</sup> Street location in 1948 or 1949 by Jack and Eliza Wisner, who, at the time lived in the 719 14<sup>th</sup> Street apartment building they owned. This point is strongly supported by June 11, 1947 agreement between Jack and Eliza Wisner and the City of San Diego regarding the “moving, construction and alterations” for the “building as living quarters.” This agreement clearly indicates that the Wisner intended to “move in, construct and alter a building to living quarter” on Lot H, which at the time did not have street frontage.

From 1952-1955, the 721 14<sup>th</sup> Street building served tenants Armando Mendoza and Rober Munos (1952), Robert L. and Charles B. Lane (1953-1954), and Ramon A. Sanchez and John W. Quigley (1955). Inspection of a 1956 Sanborn Map shows the 719 and 721 14<sup>th</sup> Street buildings in their current locations, with the 721 14<sup>th</sup> Street building serving as “two flats.” Nevertheless, the 1956 San Diego City Directory lists the building as “apartments” with four units each. The building appears to have accommodated four units until around 1971 when only one tenant was listed. This seems to have been the case until 1998 when the City Directory once again listed four tenants. The building currently serves as an apartment building with eight units.

#### 1455 F Street (HRB #970) – The Mattie Bearn House

According to the original subdivision map and subsequent maps, the subject property is Parcel Number 535-171-09, which includes portions of Lots 4 and 5 of Block 14 of Culverwell's Addition. According to the Chain of Title:

- Gustav Schroepel and Hakes Investment Co. owned this property in 1906 when the Sanborn Map shows the store building present.
- Hakes Investment Co. sold a 25' wide lot (Lot 4) to Mattie Bearn in April 1904.
- Hakes Investment Co. sold the east 14' of Lot 5 to Mattie Bearn in March 1908.
- Mattie Bearn later became Mattie Stroehl and, in 1919, a Degree Quieting Title confirmed her ownership of west 36 feet of Lot 4 and the east 14 feet of Lot 5.

The Lot Block Book Page indicates George Gerhard and Mattie Bearn were owners of the west 36 feet of Lot 4 and the east 14 feet of Lot 5 in 1909 when the first improvements on the property were



assessed during the period of 1907-1909. The structure at 1455 F Street was constructed during the ownership of portions of Lots 4 and 5 by Mattie Bears in 1909.

Ms. Bears continued ownership of the parcel until 1919 when Adolph M. Strochl became the Administrator. From 1919-1938, F.W. and Zoetta P. Stumpf retained ownership of the residence followed by John Ameruss from 1938-1978. In 1978, Antonio and Christine Grimalda along with Ken and Sue Bourke obtained ownership. From 1979 to present, Ken and Sue Bourke are listed as owners.

**SECTION III            METHODS AND RESULTS****A. ARCHIVAL AND HISTORICAL RESEARCH**

This report was prepared using primary and secondary sources related to the resource's site development history.

Archival research has been conducted to determine the location of previously documented historic and architectural resources within the project study area and to help establish a context for resource significance. National, state, and local inventories of architectural/historic resources were examined in order to identify significant local historical events and personages, development patterns, and unique interpretations of architectural styles.

Information was solicited regarding the location of historic properties in the project area from local governments, public and private organizations, and other parties likely to have knowledge of or concerns about such resources. The following inventories, sources, and persons were consulted in the process of compiling this report:

- National Register of Historic Places
- California Historical Resources Information System (CHRIS) Information Center
- California Historical Landmarks
- California Points of Historical Interest
- California Register of Historic Resources
- County of San Diego Assessor's Office
- City of San Diego Planning Department
- City of San Diego Historical Resources Board
- City of San Diego, Development Services Department, Records Office
- City of San Diego Water Department
- San Diego History Center
- San Diego Central Public Library, California Room
- San Diego State University, Love Library

Materials included documentation of previous reports, photographs, building permits, news articles, City/County directories, title information, and maps. Published sources focusing on local history were consulted, as well as material relating to federal, state, and location designation requirements. Research for the report was not intended to produce a large compendium of historical and genealogical material, but rather to provide specific information necessary to understand the evolution of the site and its significance.

**B. FIELD SURVEY**

A site walk-through and existing conditions survey were conducted by Carmen Pauli, Historic Architect, and David Marshall, Historic Architect. Photographs were taken by Thomas Saunders, Carmen Pauli, and David Marshall, Heritage Architecture & Planning. The survey was conducted to understand the existing condition of the site, identify character-defining features, and assess each

structure's historical integrity. Analysis focused on each structure's exterior and did not include detailed assessments of the archaeological, structural, electrical, mechanical systems, or interiors. Following the fieldwork, the resources were recorded on DPR 523 forms according to the *Instructions for Recording Historic Resources, Department of Parks and Recreation, Office of Historic Preservation, State of California*. The resources were photographed with a digital camera and representative photographs are included in this report and on the DPR 523 forms.

### C. DESCRIPTION OF SURVEYED RESOURCES

The following resources are located within the East Village Green APE.

- |                                |                              |
|--------------------------------|------------------------------|
| 1. 719 14 <sup>th</sup> Street | The Murray Apartments        |
| 2. 721 14 <sup>th</sup> Street | The Daggett Family Residence |
| 3. 1455 F Street               | The Mattie Bears House       |



Figure 3-1: Resource Location Map.

Source: Google Maps.

**1. 719 14<sup>th</sup> Street - The Murray Apartments**

*Figure 3-2: The Murray Apartments, 719 14<sup>th</sup> Street looking northeast.*

**General Description:**

The Murray Apartments building was constructed in 1903 and moved to its present location in 1932 or 1933. The original location of the Murray Apartments is not known, but the building has served as an apartment building since its relocation under several different names including “Murray Apartments,” “Wisner Apartments,” and “Villa Victoria.” The Murray Apartments is the first documented building name and that is why the building is referenced under this name in the historical designation.

The style of the building is listed in the historical designation as Queen Anne Victorian though the building also includes some characteristics of Arts-and-Crafts architecture, including flared eaves, triangular knee braces, and half-timber detailing. Other character-defining architectural features including the horizontal wood siding, patterned shingles, cutaway bay windows, hipped and gable roofs, and ornamented front-facing gable are typical of Queen Anne Victorian architecture.

**Roof:**

The roof of the Murray Apartments is hipped with front and side cross gables. There is a curved eyebrow dormer window or attic vent on the front face of the hipped roof that has been filled-in. The roofing is composite shingles which appears to be more than ten years old, but remains in fair condition.

**Exterior Walls:**

The Murray Apartments is a wood-framed structure. The exterior is finished with horizontal wood siding. The siding boards are 9” wide with a milled profile to create the illusion of 3” boards. The

exterior of the building was repainted in March of 2015. Some difficult to reach areas were not painted. The new paint is in good condition. Areas that were not repainted are in poor condition. The existing color scheme does not reflect the historic period.

#### Windows:

Many of the original 1/1 double-hung wood windows remain. The windows on the north and south facades are generally historic and they are in fair condition with recent paint. The windows on the front (west) façade have been replaced with the exception of the diamond patterned divided-lite window between the two front doors. The windows on the rear (east) façade have also been replaced and some of the original window openings have been filled-in.

#### Exterior Doors:

There are two entry doors on the front (west) facade which provide access to the apartments on the first and second floor. The doors are original. It appears likely that the building was originally divided into two apartments (one on each floor) and later altered to provide multiple units on each floor.

#### Foundation:

The existing foundation system includes cast-in-place concrete stem walls around the perimeter of the building and wood interior supports. The foundation was constructed in the 1930s when the building was relocated. It appears that the building may have been raised several inches when it was relocated in the 1930s. There is currently a crawl space/partial basement below the building.

#### Front Porch:

The front porch has been altered to enclose a portion of the first floor next to the main entrance, providing a small kitchen for the adjacent dwelling unit. The second floor of the porch has also been enlarged and enclosed with a shed roof addition to add kitchens for the two adjacent apartment units on the second floor. The original configuration likely included a semi-open sunroom or screened porch on the ground floor. It is not known whether the second floor above the porch was a “widow’s walk” balcony or simply a sloped roof. The original bay windows are still extant on north end of the porch below the front-facing gable. The front of the gable end is currently covered by the non-historic porch addition on the second floor. At the base of the porch there are two arched wood casings that are currently filled in with siding. If the porch was originally open, these would have been open as well.

#### Rear Porch/Stair:

The existing rear porch and stair were constructed in 2009. They are constructed of pressure-treated lumber with a painted finish. They were added to provide code-required egress and they are in good condition, but they do not contribute to the historical character of the building and could be removed if the occupancy changes.

#### Chimneys:

There are three brick chimneys which appear to be original. The chimneys were observed from the ground and a detailed structural investigation is beyond the scope of this report. Visible parts of the existing chimneys appear to be in fair condition. Some displaced bricks were visible and the mortar joints should be repointed. The chimneys are constructed of unreinforced masonry and have unbraced projections above the roofline.

Interior:

The basic interior configuration of the Murray Apartments appears to be fairly original. Some alterations have been completed, but many of the original features remain, including several original interior doors, window and door trim, picture moldings, and four original fireplace mantels. The fireplaces are no longer functional, but the original decorative millwork and ceramic tile remain.

The Murray Apartments currently contains 13 residential units. Four of the units (units 1, 3, 8, and 10) have the original fireplaces. Six units (units 1, 3, 7, 8, 10, and 12) have small kitchenettes. There are shared restrooms, shower, and laundry facilities. Some of the units also have their own wall-mounted sinks. Generally, interior finishes such as paint, floor, and window treatments have been renewed as new tenants moved into the building. Floor finishes in the units generally include vinyl composition tile (VCT) and carpet. The walls and ceilings are finished with plaster on wood lath. Where new interior walls have been added, they are wood-framed with painted gypsum wall board. The original stair remains. It features a curved upper landing with a wood guardrail. The existing guardrail is original and has a shaped wood handrail with large wood newel posts and square 1x1 balusters spaced 3” on center. The original finish was probably stain and varnish. It is currently painted white. The 28” guardrail height does not comply with current code which requires 42” tall guardrails.

The interior features and finishes in the Murray Apartments are generally in fair condition.

**2. 721 14<sup>th</sup> Street - The Daggett Family Residence**General Description:

The building at 721 14<sup>th</sup> Street was constructed between 1893 and 1896 for William B. Norris. The original location of the building was at 2361 G Street (that address was later renumbered, becoming 1461 G Street). The building was relocated to its present site in 1948 or 1949 by Jack and Eliza Wismer and the orientation was changed 90 degrees. The public view of this building is currently screened by 719 14<sup>th</sup> Street although the south side of the house is visible from G Street.

The style of the building for which it is locally designated is Queen Anne Victorian although the building also possesses characteristics of the Stick style including fan brackets, decorative milled panels, wood spindle detailing at the porch columns and gable ends, stick work at the porch eaves, and patterned shingles. The building is rectangular in footprint, has a wrap-around corner porch, and has a gabled roof. The building has been lifted at least six-feet to accommodate added storage rooms and garages below the building. The elevated position detracts from the historical character of the building and alters the original massing

The property at 721 14<sup>th</sup> Street is referenced in the City of San Diego’s historic designation as the “Daggett Family Residence.” Generally the historical name of a property is the first known owner or builder of the building. The historical name would be closely associated with the historical significance of the resource. Title records for the properties at 719 and 721 14<sup>th</sup> Street indicate that the Daggett Family did own both properties between 1887 and 1912, but that would have pre-dated the relocation of either building to the site by several years. Therefore, the use of the Daggett name as the historic name for this building does not appear to be appropriate and it does not reflect the historical significance of the building. The actual historical name of the property should have been associated with the original owners (or first documented occupants) of the building, William and Flora Norris.



*Figure 3-3: The Daggett Family Residence, looking northeast. Note the non-historic porch stairs which were added to accommodate the basement and garage which have been added below the original house. The entire house was lifted at least six-feet when it was moved to its present location at 721 14<sup>th</sup> Street.*

William and Flora resided in the house in its original location on G Street until their deaths in 1917 and 1937 respectively.<sup>1</sup>

#### Roof:

The roof is gabled with a prominent and ornately decorated front facing gable. The roofing is composite shingles which appear to be more than ten years old and in fair condition. There is a flat roof over front porch. The porch roof has a wood-shingled mansard with decorative shaped shingles that match the shingles on the gable ends of the main roof.

#### Exterior Walls:

The house is a wood-framed structure. The exterior is finished with 9” horizontal wood drop siding. The exterior should be repainted, ideally using the original exterior color scheme, which can be established via paint color analysis.

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<sup>1</sup> Historical Assessment of the 719 and 721 14<sup>th</sup> Street Buildings, San Diego, California, 92101, prepared by Scott A. Moomjian Esq., Office of Marie Burke Lia Attorney At Law, January 2000.

Windows:

The original wood windows have been replaced with aluminum windows that detract from the historical character of the building. There is one existing wood double-hung window on the second floor of the south façade which appears to be original.

Exterior Doors:

The exterior doors of the house have been replaced.

Foundation:

The existing cast-in-place concrete foundation is not original, it was replaced in the late 1940s when the house was moved to the site. There are no apparent signs of structural failure, but the foundation should be replaced as part of any future rehabilitation efforts and the house should be lowered to match its original height.

Front Porch:

The front porch retains many of the original decorative elements which are character-defining features of the house. The original wood-shingled mansard roof, spandrel detailing, decorative brackets, and turned wood posts remain. The existing porch railing, porch floor, and porch stairs are not historic.

Rear Porch/Stair:

Early Sanborn Fire Insurance Maps from 1906 and 1921 prior to relocation of the house to its present site indicate that the original rear porch was smaller than the existing porch. The existing rear porch, now enclosed, was apparently added to the building when it was moved to its present site in 1948 or 1949. The detailing of the roof on the existing porch matches the detailing of the existing house very closely, making it difficult to distinguish it as a later addition. In recent years, however, the rear porch has been altered to enclose the previously open sides, creating a small apartment (unit D). The added walls include smaller windows and trim which detract from the historical character of the building. New wood-framed stairs have also been added to provide access to the raised first floor level. Ideally, future rehabilitation efforts would include the restoration of the original porch and removal of the stairs, if not required by code.

Chimney:

A masonry chimney was visible from one of the lower windows. The chimney is brick with larger masonry units, possibly hollow clay tile, below the brick. This change in material is further evidence that the house was raised above its original height. The original brick chimney has been abandoned and cut short to eliminate the projection above the roofline. It has been abandoned since the original fireplaces and kitchen were removed from the house. The chimney may be reconstructed as part of the future rehabilitation.

Interior:

The house was originally constructed as a single-family residence. After William and Flora's death, the house was adapted for two units. In recent years the house was adapted for multiple tenants. *San Diego City Directories* indicate that the building had four units in 1998 and eight units in 2000. The house currently contains ten dwelling units.



The interior of the building has been altered substantially, modifying the original interior wall layout to subdivide the building into multiple small apartment units. Some original interior features remain, including interior door and window trim, some transom windows at original door locations, and the original interior stair and balustrade. Four of the apartments also include the original decorative cast-plaster ceiling medallions. The location of the medallions, which are mounted off-center in the existing apartments, further indicates that original interior wall layout has been altered to subdivide previously larger rooms into smaller apartments.

Three of the apartment units (units B, E, and I) include private bathrooms. All other units use shared toilet and shower facilities. There is a communal kitchen on the first floor. All of the existing bathrooms and the kitchen are non-historic. In order to add bathrooms for Units E and I a small addition was added at the northeast corner of the porch at both floors. Generally, interior finishes such as paint, floor, and window treatments have been renewed as new tenants moved into the building. Floor finishes in the units generally include vinyl and carpet. The walls and ceilings are finished with plaster on wood lath. Where new interior walls have been added, they are wood-framed with painted gypsum wall board. The original stair remains. It features a large carved wood newel post and turned balusters. The original finish was probably stain and varnish. It is currently painted white. The railing on the upper landing has been replaced with a non-historic wood lattice.

The interior features and finishes in the building are generally in fair condition. Care should be exercised during future rehabilitation work to preserve and protect remaining original interior features and finishes to the greatest extent possible.

### **3. 1455 F Street – The Mattie Bearn House**

Unlike the two buildings on 14<sup>th</sup> Street, the Mattie Bearn house has never been relocated. It stands today in its original location on F Street. The Mattie Bearn House is privately owned and currently occupied by residential tenants. Due to uncooperative ownership, the assessment of this building is limited to a visual survey of the exterior of the building which was performed from the adjacent public right-of-way.

#### General Description:

The Mattie Bearn house is a Folk Victorian-style residential building with a gabled roof and simple detailing. The construction date of the residence is ca. 1909. The building is located on a sloped lot and the front (north) façade has two stories facing F Street. The property slopes down steeply from F Street and the remaining three facades are three-stories in height leaving the exterior walls of the lower floor (basement level) exposed. A wood-framed addition has been added on the rear (south) façade. According to the 2010 historical survey, the rear addition contains kitchens and bathrooms on each level for the apartment units which are located within the original building footprint.

#### Roof:

The roof of the Mattie Bearn house is gabled. The roofing is composite shingles which have been patched in multiple locations and appear to have exceeded their useable lifespan. There is a shed roof over front porch. The roofing on the porch should also be replaced. The roofing on the non-historic rear addition is similarly deteriorated.



*Figure 3-4: The Mattie Bearn House, 1455 F Street, looking southwest at the east façade.*

#### Exterior Walls:

The Mattie Bearn house is a wood-framed structure. The exterior is finished with horizontal wood siding. The exterior should be repainted, ideally using the original color scheme.

#### Windows:

Several of the original 2/2 double-hung wood windows remain, but they are generally in poor condition. Non-historic aluminum windows have been installed in several locations. These windows are also generally in poor condition. There is a large front window on the north façade which has been replaced by a single fixed glass window. The size of the window opening suggests that the original window may have been a pair of double-hung windows with a center mullion.

#### Exterior Doors:

Visible exterior doors at the Mattie Bearn house have been replaced and the existing non-historic doors are in poor condition.

#### Foundation:

The foundation was not accessible for this survey.

#### Front Porch:

The front porch has been altered to add a metal security screen on all open sides. Remaining features and finishes are in poor condition with significant paint and wood deterioration visible from the adjacent sidewalk.

Chimneys:

There are no visible chimneys at the Mattie Bearns house. Either the house never had them or they have been removed.



Figure 3-5: View of the Murray Apartments, primary west façade from 14th Street.



Figure 3-6: The Murray Apartments, view looking northeast at the porch. The second floor was extended on top of the original single-story porch.



Figure 3-7: The Murray Apartments, view of the front steps on the west facade. The stairs on the right appear to be original. The stairs on the left appear to have been altered to replace the original treads and risers. The front doors and window are original. The door hardware on the right door also appears to be historic.



Figure 3-8: The Murray Apartments, view of portions of the north facade.



Figure 3-9: The Murray Apartments, view looking west at the east facade. Note the non-original exterior stairs and most of the fenestration has been in-filled.



Figure 3-10: The Murray Apartments, detail of in-filled window at the east facade.



Figure 3-11: The Murray Apartments, view of the south façade.



Figure 3-12: The Murray Apartments, detail at the south facade's second floor bay window, siding, and eaves.



Figure 3-13: View looking east at the Daggett Family Residence's primary west façade. The porch railing and stairs were added later.



Figure 3-14: The Daggett Family Residence, view of portions of the north façade.





Figure 3-15: The Daggett Family Residence, view of portions of the east and south facades. The former porch (in the foreground) has been filled in to add an additional apartment unit. The garages beneath were added below the original house, raising the house above its original height.



Figure 3-16: The Daggett Family Residence, view looking northeast at the south facade.



Figure 3-17: The Daggett Family Residence's only remaining historic window located at the second floor of the south facade. All other windows have been replaced.



Figure 3-18: View looking south at the Mattie Bearns House's primary north facade.



Figure 3-19: The Mattie Bearn House, view looking west at the east facade.



Figure 3-20: The Mattie Bearn House, view looking northeast at the south facade from the 14th Street properties. The shed roof addition on the back of the house is old, but non-historic.



Figure 3-21: The Mattie Bearns House, view looking southeast at the west facade.

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## SECTION IV SIGNIFICANCE EVALUATION

### A. EVALUATION CRITERIA

Federal, state, and local historic preservation programs provide specific criteria for evaluating the potential historic significance of a resource. Although the criteria used by the different programs (as relevant here, the National Register of Historic Places, the California Register of Historical Resources, and the City of San Diego Register of Historical Resources) vary in their specifics, they focus on many of the same general themes. In general, a resource need only meet one criterion in order to be considered historically significant.

Another area of similarity is the concept of integrity — generally defined as the survival of physical characteristics that existed during the resource’s period of significance. Federal, state, and local historic preservation programs require that resources maintain sufficient integrity in order to be identified as eligible for listing as historic.

#### 1. National Designation: The National Register of Historic Places

The National Register of Historic Places (commonly referred to as the “National Register” or “NRHP”) is a Congressionally-authorized inventory of “districts, sites, building, structures, and objects significant in American history...” (16 U.S.C. § 470a). To be eligible for listing in the National Register, a resource must meet the following requirements.

**Criterion (A):** Associated with events that have made a significant contribution to the broad patterns of our history

**Criterion (B):** Associated with the lives of persons significant in our past

**Criterion (C):** Embody the distinctive characteristics of a type, period, or method of construction; represent the work of a master; possess high artistic values; or represent a significant and distinguishable entity whose components may lack individual foundation

**Criterion (D):** Has yielded or is likely to yield information important in prehistory or history.

Ordinarily cemeteries, birthplaces, graves of historical figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, reconstructed historic buildings, properties primarily commemorative in nature, and properties that have achieved significance within the past 50 years shall not be considered eligible for the National Register. However, such properties will qualify if they are integral parts of districts that do meet the criteria or if they fall within the following categories:

**Criteria Consideration A:** A religious property deriving primary significance from architectural or artistic distinction or historical importance; or

**Criteria Consideration B:** A building or structure removed from its original location but which is primarily significant for architectural value, or which is the surviving structure most importantly associated with a historic person or event; or

**Criteria Consideration C:** A birthplace or grave of a historical figure of outstanding importance if there is no appropriate site or building directly associated with his or her productive life; or

**Criteria Consideration D:** A cemetery which derives its primary importance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events; or

**Criteria Consideration E:** A reconstructed building when accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan, and when no other building or structure with the same association has survived; or

**Criteria Consideration F:** A property primarily commemorative in intent if design, age, tradition, or symbolic value has invested it with its own exceptional significance; or

**Criteria Consideration G:** A property achieving significance within the past 50 years if it is of exceptional importance.

The property must also retain integrity. Integrity is “evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association” and it “must be judged with reference to the particular criteria under which a resource is proposed for eligibility.”

(36 C.F.R. § 60.4)

## **2. State Criteria Evaluation: California Register of Historical Resources**

The California Register of Historical Resources (“California Register” or “CRHR”) identifies historical and archeological resources significant to the state. The eligibility requirements for listing in the California Register are very similar to the eligibility requirements for listing in the National Register, though they have a somewhat stronger focus on California-specific issues.

More specifically, to qualify as an historical resource for purposes of the California Register, a resource must meet at least one of four criteria:

**Criterion 1:** Associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage

**Criterion 2:** Associated with the lives of persons important to local, California, or national history

**Criterion 3:** Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic value

**Criterion 4:** Has yielded or has the potential to yield information important to the prehistory or history of the local area, California, or the nation.

(Cal. Pub. Res. Code § 5024.1).

In order to be eligible for listing in the California Register, an historical resource must have integrity. (Cal. Code Regs. tit. 14, § 4851).

**3. Local Criteria Evaluation: City of San Diego Historical Resources**

The Historical Resources Guidelines of the City of San Diego's Land Development Manual (LDM) identifies the criteria under which a resource may be historically designated. It states that any improvement, building, structure, sign, interior element and fixture, site, place, district, area, or object, typically over 45 years old, regardless of whether they have been altered or continue to be used, may be designated a historical resource by the City of San Diego Historical Resources Board (HRB) if it meets one or more of the following designation criteria:

- A. Exemplifies or reflects special elements of the City's, a community's, or a neighborhood's, historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development;
- B. Is identified with persons or events significant in local, state or national history;
- C. Embodies distinctive characteristics of a style, type, period, or method of construction or is a valuable example of the use of indigenous materials or craftsmanship;
- D. Is representative of the notable work or a master builder, designer, architect, engineer, landscape architect, interior designer, artist, or craftsman;
- E. Is listed or has been determined eligible by the National Park Service for listing on the National Register of Historic Places or is listed or has been determined eligible by the State Historical Preservation Office for listing on the State Register of Historical Resources; or
- F. Is a finite group of resources related to one another in a clearly distinguishable way or is a geographically definable area or neighborhood containing improvements which have a special character, historical interest or aesthetic value or which represent one or more architectural periods or styles in the history and development of the City.

**B. RESOURCE SIGNIFICANCE****1. 719 14<sup>th</sup> Street - The Murray Apartments****National and California Register***National Register Criterion A / California Register Criterion 1*

The Murray Apartments was moved to its current location in 1932 or 1933. Its previous location is undetermined. Since its relocation to the current site, the apartment building has been associated with the residential development of East Village. However, no historical evidence has been identified which would support that the Murray Apartments is associated with events that have made significant contributions to the broad patterns of national history, California's history, or cultural heritage. Therefore, the property does not qualify under National Register Criterion A or California Register Criterion 1.

*National Register Criterion B / California Register Criterion 2*

Research has failed to disclose any direct identification with persons significant in local, state, or national history. None of the persons who owned or occupied the resource had performed any activities, achievements, or contributions which were demonstrably important to the City of San Diego, the State of California, or the nation while residing at the property. Therefore, the property does not qualify under National Register Criterion B or California Register Criterion 2.



*National Register Criterion C / California Register 3*

The resource is constructed in the Queen Anne Victorian style of architecture, which is not unique to San Diego. In its current condition, although the property retains a good degree of architectural integrity, there are other locally significant examples of the Queen Anne Victorian style of architecture that have also retained a higher degree of architectural integrity, including location. These resources include the 1898 Daniel O. Cook Residence (HRB#279) and the 1887-1888 Bayside Properties along 16<sup>th</sup> Street (HRB#341, 342, 343). Therefore, the property does not meet National or California Register criteria for architecture.

*National Register Criterion D / California Register Criterion 4*

The resource at 719 14<sup>th</sup> Street is not likely to yield archaeological information regarding history or prehistory. It does not appear to qualify under National Register Criterion D or California Register Criterion 4.

*National Register Criteria Consideration B: Moved Properties*

*A property removed from its original location or historically significant location can be eligible if it is significant primarily for architectural value or it is the surviving property most importantly association with an historic person or event. A moved property under Criterion C must retain enough historic features to convey its architectural values and retain integrity of design, materials, workmanship, feeling, and association. In addition to the requirements above, moved properties must still have an orientation, setting, and general environment that are comparable to those of the historic location and that are compatible with the property's significance.*

The Murray Apartment does not appear to be significant on the National Register for Criterion A, B, or C as noted above, therefore, it does not qualify under National Register Criteria Consideration B for moved properties.

**City of San Diego Register**

The Murray Apartments building is locally designated on the City of San Diego Register of Historical Resources as HRB #404. It achieved its significance for its architecture as a good example of a Queen Anne Victorian style residence. The building exhibits architectural details indicative of this style, such as steeply pitched hipped roof, dominant front-facing gable, patterned shingles, half timbering, cutaway bay windows and projections, asymmetrical façade with a one-story partial (formerly full length) porch.

**Integrity**

In addition to meeting one of the local, state, or national criteria, a property must also retain a significant amount of its historic integrity to be considered eligible for listing. Historic integrity is made up of seven aspects: location, design, setting, materials, workmanship, feeling, and association. The following is an integrity analysis of the Murray Apartments.

Location *is the place where the historic property was constructed or the place where the historic event occurred.*

The Murray Apartment was constructed in 1903 at an undetermined location. In either 1932 or 1933, the building was moved to its current location in the East Village area of Downtown San Diego. Although the building was not constructed at its present site, it has been at this location for over 50 years. As such, the building has attained a new location element for integrity purposes.

*Design is the combination of elements that create the form, plan, space, structure, and style of a property.*

The building was originally designed in a Queen Anne Victorian style. Although it has been altered and/or modified to some degree, the changes have not substantially affected the original design of the building. The building continues to retain much of its original form, plan, space, structure, and style. Therefore, the resource's design integrity remains.

*Setting is the physical environment of a historic property.*

The original location of the building is unknown. However, since the building has been at its current location for over 50 years, it has developed a new, surrogate setting at this location for integrity purposes. Therefore, the setting aspect of integrity is retained.

*Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form a historic property.*

The building materials evident in the Murray Apartments largely appear to be original, therefore, retaining its materials element of integrity.

*Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.*

The workmanship evident in the Murray Apartments is represented in its standard construction details and in its Queen Anne Victorian details. The workmanship, particularly in the ornamentation of the building, exemplifies the popular style from the period.

*Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.*

Because the building is reasonably intact, it continues to exude a historic sense of turn-of-the-century Queen Anne Victorian. Therefore, the building retains its integrity of feeling.

*Association is the direct link between an important historic event or person and a historic property.*

The building, in its current condition, is directly linked with San Diego's turn-of-the-century Queen Anne Victorian heritage and architectural history. Thus, the building retains its association integrity.

## **2. 721 14<sup>th</sup> Street – The Daggett Family Residence**

### **National and California Register**

#### *National Register Criterion A / California Register Criterion 1*

The Daggett Family Residence is associated with the residential development of East Village during the turn-of-the-century. Although it has moved to its current location around 1948-1949, its original location was across G Street at 2361 G Street (later 1461 G Street), it is still a testament of the surviving residences located within the East Village community. However, no historical evidence was identified which would support that the Daggett Residence is associated with events that have made significant contributions to the broad patterns of national history, California's history, and cultural heritage. Therefore, the property does not qualify under National Register Criterion A or California Register Criterion 1.

#### *National Register Criterion B / California Register Criterion 2*

This residence does not qualify National Register Criterion B or California Register Criterion 2. Research has failed to disclose any direct identification with persons significant in local, state, or

national history. The apartment has passed through several owners and many occupants. None of the owners or tenants had performed any activities, achievements, or contributions which were demonstrably important to the City of San Diego, the State of California, or the nation while residing at the property.

*National Register Criterion C / California Register 3*

The Daggett Family Residence is constructed in the Queen Anne Victorian style of architecture, which is not unique to San Diego. In its current condition, although the property retains a high degree of architectural integrity, there are other locally significant examples of the Queen Anne Victorian style of architecture that have also retained a higher degree of architectural integrity, including location. These resources include the 1898 Daniel O. Cook Residence (HRB#279) and the 1887-1888 Bayside Properties along 16<sup>th</sup> Street (HRB#341, 342, 343). Therefore, the property does not meet National or California Register criteria for architecture.

*National Register Criterion D / California Register Criterion 4*

The resource at 721 14<sup>th</sup> Street is not likely to yield archaeological information regarding history or prehistory. It does not appear to qualify under National Register Criterion D or California Register Criterion 4.

*National Register Criteria Consideration B: Moved Properties*

*A property removed from its original location or historically significant location can be eligible if it is significant primarily for architectural value or it is the surviving property most importantly association with an historic person or event. A moved property under Criterion C must retain enough historic features to convey its architectural values and retain integrity of design, materials, workmanship, feeling, and association. In addition to the requirements above, moved properties must still have an orientation, setting, and general environment that are comparable to those of the historic location and that are compatible with the property's significance.*

The Daggett Family Residence does not appear to be significant on the National Register for Criterion C, therefore, it does not qualify under Criteria Consideration B for moved properties.

**City of San Diego Register**

The Daggett Family Residence is locally designated under the City of San Diego Register of Historical Resources as HRB #404. It achieved its significance as a good example of a Queen Anne Victorian architectural style. The building retains most of its architectural details including a steeply pitched gabled roof, a dominant front-facing gable, patterned shingles, decorative spindle work, and a one-story full-length porch, which extends along the northerly side wall.

**Integrity**

In addition to meeting one of the local, state, or national criteria, a property must also retain a significant amount of its historic integrity to be considered eligible for listing. Historic integrity is made up of seven aspects: location, design, setting, materials, workmanship, feeling, and association. The following is an integrity analysis of the Daggett Family building.

Location *is the place where the historic property was constructed or the place where the historic event occurred.*

The Daggett Family Residence was constructed between 1893-1896 at 2361 G Street (later 1461 G Street) and was moved to its present location circa 1948 or 1949. Although the building was not

constructed at its present site, it has been at its current location for over 50 years. As such, the building has attained a new location element for integrity purposes.

*Design is the combination of elements that create the form, plan, space, structure, and style of a property.*

The building was originally designed in a Queen Anne Victorian style. Although it has been altered and/or modified to some degree, the changes have not substantially affected the original design of the building. The building continues to retain its original form, plan, space, structure, and style. Therefore, the resource's design integrity remains.

*Setting is the physical environment of a historic property.*

The 721 14<sup>th</sup> Street residence formerly occupied a parcel located at 2361 G Street (later 1461 G Street), a location essentially across the street to the southeast from its present location. Due to the close proximity of its former and present location, coupled with the fact that the building has been located at its current location for over 50 years, the setting or physical environment of the two locations is sufficiently similar for integrity purposes.

*Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form a historic property.*

The Daggett Family Residence's building materials largely appear to be original, therefore, retaining its materials element of integrity.

*Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.*

The Daggett Family Residence's workmanship is represented in its standard construction details and in its Queen Anne Victorian details. The workmanship, particularly in the ornamentation of the building, exemplifies the popular style from the period.

*Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.*

Because the building is reasonably intact, it continues to exhibit a historic sense of turn-of-the-century Queen Anne Victorian. Therefore, the Daggett Family Residence building retains its integrity of feeling.

*Association is the direct link between an important historic event or person and a historic property.*

The building, in its current condition, is directly linked with San Diego's turn-of-the-century Queen Anne Victorian heritage and architectural history. Thus, the 721 14<sup>th</sup> Street residence retains its association integrity.

### **3. 1455 F Street – The Mattie Bearn House**

#### **National and California Register**

*National Register Criterion A / California Register Criterion 1*

The property does not qualify under National or California Criterion A: Event. Historical research has failed to identify any important event that has made a significant contribution to the broad patterns of regional history or the cultural heritage of California or the United States as association with the property over the course of its existence.

*National Register Criterion B / California Register Criterion 2*

Research has failed to disclose any direct identification with persons significant in local, state, or national history. Since 1909, the residence has passed through several owners and many occupants. None of the persons who owned or occupied the resource had performed any activities, achievements, or contributions which were demonstrably important to the City of San Diego, the State of California, or the nation while residing at the property. Therefore, the property does not qualify under National Register Criterion B or California Register Criterion 2.

*National Register Criterion C / California Register 3*

In its current condition, the resource does not reach a level of significance as a good example of Folk Victorian Vernacular architectural style that meets local, state, or national levels of significance for the National Register or the California Register under this criterion. The building is a locally based vernacular example of the style that lacks the identifying features of the type, period, or method of Folk Victorian Vernacular style construction.

*National Register Criterion D / California Register Criterion 4*

The resource is not likely to yield archaeological information regarding history or prehistory. It does not appear to qualify under National Register Criterion D or California Register Criterion 4.

**City of San Diego Register**

The Mattie Bearns House is locally designated under the City of San Diego Register of Historical Resources as HRB #970. The resource embodies the distinctive characteristics through the retention of character-defining features of the Folk Victorian Vernacular style and retains a good level of architectural integrity from its ca. 1909 period of significance. Specifically, its medium pitched, front gable roof with slight eave overhang; wood framed, double hung windows; simplified detailing, plain frieze; wood horizontal shiplap siding, and a full width front porch, a rectangular floor plan and a symmetrical façade.

**Integrity**

In addition to meeting one of the local, state, or national criteria, a property must also retain a significant amount of its historic integrity to be considered eligible for listing. Historic integrity is made up of seven aspects: location, design, setting, materials, workmanship, feeling, and association. The following is an integrity analysis of the Mattie Bearns House.

Location is the place where the historic property was constructed or the place where the historic event occurred.

The Mattie Bearns House was constructed in ca. 1909, in the growing East Village area of Downtown San Diego. The building has not been moved since its construction and has retained its integrity of location.

Design is the combination of elements that create the form, plan, space, structure, and style of a property.

The building retains the majority of its original design including its form, plan, space, structure, and style. The building continues to retain its character-defining features including symmetrical façade, rectangular floor plan; a wood frame and foundation; a medium pitched, front gable roof with a slight eave overhang; exterior horizontal wood shiplap siding with corner board; plain frieze; and simplified detailing.

Setting *is the physical environment of a historic property.*

Since its construction, the Mattie Bearn House has retained its location. When it was constructed, it was surrounded by other residential buildings. While there has been considerable redevelopment in the area, which has led to multi-story residential and commercial buildings, the residential buildings within the subdivision block in which the Mattie Bearn House is located, have been razed leaving only two other residential buildings. Accordingly, the setting has been changed and setting integrity has been lost.

Materials *are the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form a historic property.*

The residence has had some alteration since its construction, including door and window replacements. The wood floor on the front porch was replaced. On the rear of the property, a two-story addition was added for ancillary functions. The addition is clearly demarcated from the original structure. Although modifications have taken place, this building retains character-defining features of the Folk Victorian Vernacular style. Therefore, the property maintains its materials integrity.

Workmanship *is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.*

The workmanship evident in this residence is represented in its standard construction details of the Folk Victorian Vernacular style, exemplifying the popular style from that period. Thus, the property retains its workmanship integrity.

Feeling *is a property's expression of the aesthetic or historic sense of a particular period of time.*

Because the building is reasonably intact in its location, design, workmanship, and materials, it retains the feeling of a period of time, that is, as a Folk Victorian Vernacular style residence.

Association *is the direct link between an important historic event or person and a historic property.*

The property at 1455 F Street continues to retain its association with the residential development of Downtown's East Village.

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**SECTION V FINDINGS AND CONCLUSIONS**

Under CEQA, the City of San Diego has established significance determination thresholds for significant impact, in accordance with CEQA Guidelines Section 21082.2. Significant impacts include direct, indirect, and cumulative impacts to historical resources, as described in the City’s “CEQA Significance Determination Thresholds” dated January 2007.

**A. IDENTIFYING HISTORICAL RESOURCES OF THE BUILT ENVIRONMENT**

The APE contains three (3) buildings and are categorized as follows:

City of San Diego Register of Historical Resources

- |                                |                              |          |
|--------------------------------|------------------------------|----------|
| 1. 719 14 <sup>th</sup> Street | The Murray Apartments        | HRB #404 |
| 2. 721 14 <sup>th</sup> Street | The Daggett Family Residence | HRB #403 |
| 3. 1455 F Street               | The Mattie Bearn House       | HRB #970 |

**B. PROPOSED PROJECT DESCRIPTION**



Figure 5-1: Proposed relocation site map.

Source: Google Maps.



Located on a 4.1-acre site in the heart of San Diego’s growing East Village neighborhood, East Village Green is anticipated to be a highly programmed urban park that will include a wide range of public amenities identified through a series of public workshops. Currently an industrial neighborhood in transition, the East village is anticipated to evolve over the next decade to a mixed-use community of nearly 30,000 residents. The East Village Green site is located within the center of East Village community on two blocks between F and G Streets, a primary arterial roadway to and from



Figure 5-2: East Village Green proposed site plan.

Downtown San Diego, and 13<sup>th</sup> and 14<sup>th</sup> Streets. The block of 14<sup>th</sup> Street between F and G Streets is envisioned as a pedestrian plaza that could be closed to accommodate street fairs, farmers markets, and community events. East Village Green will be the signature urban park and open space for the neighborhood and is envisioned as the hub of community activity.

The proposed project elements include the relocation, mothballing, and exterior restoration of two historically designated homes at the eastern block; demolition of existing structures; a 10,000 SF community center; two 800 SF food and beverage structures; a 1,500 SF performance pavilion; a 200-stall underground parking structure located at the western block; and park improvements, including shade structure, event lawn, children’s play area, games/reading area, and right-of-way improvements. The project is anticipated to be completed in a single phase of design and construction.

### **Building Relocation, Rehabilitation, and Repair**

As part of the East Village Green Development Plan, the Murray Apartments and the Daggett Family Residence will be moved to a vacant lot on the same block, adjacent to and east of the historic Mattie Bearns House. The moving route will be north on 14<sup>th</sup> Street and east on F Street. As part of the move, both buildings will be rotated 90° (clockwise) so their primary façades face north toward F

Street. Grading work and new foundations on the new site will be completed prior to moving both buildings to the F Street site. Both the Murray Apartments and the Daggett Family Residence will be moved in one piece with no cutting or dismantling above the foundation walls.

#### Murray Apartments

For the Murray Apartments, all doors and window openings shall be protected with plywood prior to relocation. The non-historic cast-concrete foundation walls, three historic brick chimneys, parts of the fireplaces, and the non-historic rear stairs will be removed prior to relocation. It is anticipated that the area around the four fireplaces will require supplemental bracing. The three historic brick chimneys shall be measured and photo documented prior to being disassembled. Once approved by the City, the bricks shall be catalogued, salvaged, and stored for reinstallation at the new site. The color, tooling, and composition of the historic mortar will be determined from salvaged samples and the new mortar will match.

The front porch, including the porch steps, floor, T&G ceiling, trim, posts, and decorative brackets shall be protected in place and securely shored in order to facilitate the relocation. After the move, the non-historic front porch enclosure, including four large windows, shall be removed to recreate the original open porch and bay window. Two previously enclosed arched opening in the porch wall will be re-opened. A new wheelchair accessible ramp or lift will be added to the side of the building to provide ADA access to the first floor. The non-historic addition at the west end of the second floor above the porch will be removed to recreate the original façade and bay window.

#### Daggett Family Residence

All doors and window openings of the Daggett Family Residence shall also be protected with plywood prior to relocation. The non-historic cast-concrete foundation walls and the non-historic front steps and rear stairs will be removed prior to relocation. The original chimney bricks, no longer exposed to the exterior, will be removed. New front steps will be constructed at the new site based on historical evidence and precedence. The existing non-historic front porch enclosure shall be removed to recreate the original full-length porch. Likewise, the non-historic rear addition shall also be removed and restored to the original rear porch configuration. New, period appropriate porch railings shall replace the existing railings at both the front and rear porch. A new wheelchair ramp or lift will be added to the side of the building to provide ADA access to the first floor.

Once the relocation and exterior rehabilitation are complete per *The Secretary of the Interior's Standards for Rehabilitation (The Standards)* both buildings will be mothballed in accordance with the recommendations of the National Park Service Preservation Briefs 31: Mothballing Historic Buildings until a future use or tenant have been determined. As a designated resource, any future modifications to either the Murray Apartments or the Daggett Family Residence must follow *The Standards*. Additional review and approval by the City of San Diego's Development Services Department and the Historical Resources Board will be required for any future exterior alterations. The Mattie Bearns House will remain in situ.

## **C. PROPOSED PROJECT IMPACTS**

### CEQA Impacts

In determining potential impacts on historical resources under CEQA, a “project with an effect that may cause a substantial adverse change in the significance of a historical resources is a project that may have significant effect on the environment” (CEQA Guidelines §15064.5). A “substantial adverse change” means “demolition, destruction, relocation, or alteration of the resource such that the significance of a historical resource would be materially impaired” [PRC §5020.1(q)]. Generally, a project that follows *The Secretary of the Interior’s Standards for the Treatment of Historic Properties* shall be considered as mitigated to a level less than a significant impact on the historical resource.

Direct or indirect effects can occur to the eligible historical resources with the implementation of the project. Direct effects can include alteration, demolition, or removal of buildings, structures, and cultural landscape elements. Direct effects can also include the addition of new buildings, structures, or infill elements which would alter the historic setting, the site lines, or view corridors from one point to another by changing spatial relationships of buildings to each other along with landscape elements.

Implementation of the proposed project will result in significant impacts to on-site historical resources due to the relocation of the Murray Apartments and Daggett Family Residence buildings. Compliance with recommended mitigation measures would reduce the significance of impacts to a level that is less than significant.

It should be noted that upon designation of both the Murray Apartments and the Daggett Family Residence, it was anticipated that relocation of the two buildings would occur.

*“Staff has been advised by the applicant of his intention to move the buildings....Given the fact that the buildings have been moved previously to their present location, staff sees no objection to their proposed move, provided that assurances are given that upon relocation the buildings would be expeditiously restored and used.”*  
-- City of San Diego Historical Resources Board Staff Report dated February 9, 2000.

Furthermore, the Staff Report’s conclusion states: *“Given the fact that the buildings acquired their historical distinction at another site, staff recommends that the Board designate the buildings only with the specific provision that they may be moved.”*

### City of San Diego’s Significance Thresholds

The City of San Diego’s Significance document has identified various activities that will cause damage or have an adverse effect on the resource.

#### 1. Direct Impacts

##### Relocation from Existing Site

The proposed project requires the relocation of the Murray Apartments and the Daggett Family Residence buildings from their existing site. The proposed relocation activity shall be considered a direct impact on the historical resources even though both buildings had been previously moved from their original site. The relocation of the buildings would retain the buildings’ significance under HRB Criterion C as the buildings’ historic features and their integrity of design, materials, workmanship, feeling, and association would remain. Moreover, the Daggett Family Residence would reintroduce its street frontage and original orientation facing north that was lost during the first move.

The relocation of the both the Murray Apartments and the Daggett Family Residence adjacent to the Mattie Bearns House would not pose as a significant impact to the Mattie Bearns House since it will reintroduce the residential setting that was previously lost when the original surrounding residential buildings were razed.

#### Alteration or Repair of a Historic Structure

After relocation, both buildings will undergo repair and exterior rehabilitation treatment per *The Standards* and will be mothballed per the National Park Service Preservation Briefs 31: Mothballing Historic Buildings while awaiting its future use or tenant. Once the use has been determined, repair and rehabilitation of the Murray Apartments and Daggett Family Residence buildings shall be in compliance with *The Secretary of the Interior's Standards for Rehabilitation* and, therefore, shall be considered as mitigated to a level of less than a significant impact on the historical resource.

#### 2. Indirect Impacts

Indirect impacts were examined to determine if the project would cause the introduction of visual, audible, or atmospheric effects that were out of character with a historic resource or alter would their setting. The proposed project is not expected to have a significant indirect or cumulative impact to the Murray Apartments, Daggett Family Residence, and Mattie Bearns House buildings. Historically this subdivision block was built-up and initially included residential buildings and a few warehouses when the two buildings were relocated to their current site. Most of the original buildings were razed by the early 1970s. The proposed project would change the setting to an urban park.

#### 3. Mandatory Findings Significance

CEQA sets forth mandatory findings of significance addressed below.

*Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of an endangered, rare or threatened species, or eliminate important examples of the major periods of California history or prehistory?*

The three historical buildings' role in the architectural development trends of San Diego is important and they will continue to convey their architectural style retaining a high degree of their integrity of design, workmanship, materials, and association, for which the buildings have received their designation. The buildings' setting and location have already been compromised as two of buildings were previously relocated to their existing location and many of the original buildings within the proposed development block have been razed.

According to the City of San Diego "Guidelines for the Application of Historical Resources Board Designation Criteria" regarding moved buildings:

The City of San Diego limits the consideration of moved properties because significance is embodied in locations and settings as well as in the properties themselves. Moving a property destroys the relationship between the property and its surroundings and destroys association with historic events and persons. A move may also cause the loss of historic features such as landscaping, foundations, and chimneys, as well as loss of

the potential for associated archaeological deposits. Properties that were moved before their period of significance may still be eligible for designation.

A moved property significant under HRB Criterion C or D must retain enough historic features to convey its architectural values and retain integrity of design, materials, workmanship, feeling, and association.

In addition to the requirements above, moved properties must still have an orientation, setting, and general environment that are comparable to those of the historic location and that are compatible with the property's significance. For a property whose design or historical associations are directly dependent of its location, any move will cause the property to lose its integrity and prevent it from conveying its significance.

The initial repair and exterior rehabilitation of the buildings after their final relocation will be conducted in accordance with *The Secretary of the Interior's Standards for Rehabilitation*. Once a new use or tenants have been established, further rehabilitation treatments will comply with *The Standards*. Therefore, the proposed East Village Green project would not eliminate the resource from its architectural association as an important example of this period of San Diego history and would not result in a mandatory finding of significance.

#### **D. MITIGATION MEASURES**

##### 1. Redesign

Per the City of San Diego's Land Development Manual – Historical Resources Guidelines, preferred mitigation is to avoid impacts to the resource through project redesign. If the resources cannot be entirely avoided, all prudent and feasible measures to minimize harm to the resources shall be taken.

Depending upon project impacts, measures can include, but not be limited to:

- a. Preparing a historic resource management plan;
- b. Adding new construction which is compatible in size, scale, materials, color and workmanship to the historic resource (such additions, whether portions of existing buildings or additions to historic districts, shall be clearly distinguishable from historic fabric);
- c. Repairing damage according to *The Secretary of the Interior's Standards for Rehabilitation*;
- d. Screening incompatible new construction from view through the use of berms, walls and landscaping in keeping with the historic period and character of the resource;
- e. Shielding historic properties from noise generators through the use of sound walls, double glazing and air conditioning; and
- f. Removing industrial pollution at the source of production.

##### 2. Relocation

If there are no other ways to save a building, structure or object other than relocation, such measures shall be performed in accordance with National Parks Service standards. Appropriate relocation sites shall duplicate, as closely as possible, the original location in terms of size, topography, neighborhood setting, orientation and site landscaping. Prior to the move, the

resource shall be documented in its original location according to the Historic American Buildings Survey (HABS) standards. Such documentation will serve as baseline data for historically correct reconstruction on the new site.

3. Salvage Materials

Prior to relocation, distinctive representative architectural features shall be identified, and if feasible, salvaged for reuse in relation to the proposed plan, or perhaps removed to another location on site as provided in *The Secretary of the Interior's Standards*. If reuse onsite is not feasible, opportunities shall be made for the features to be donated to various interested historical or archival depositories.

4. Interpretive Signage or Display Panels

Installation of interpretive signs or display panels in a publicly visible location that describe the history and significance of the three historic buildings. The interpretive signage and its location within the new project must be approved by the City's Historical Resources Board staff and shall include historic photographs and a brief narrative describing the history and significance of the Murray Apartments, Daggett Family Residence, and the Mattie Bearn House. The signage shall be displayed/installed in an appropriate public or open space area within the site.

## **E. CONCLUSION**

The proposed East Village Green project would result in a project that is a significant impact on the historical resources since both the Murray Apartments and the Daggett Family Residence will be relocated. Mitigation measures would reduce impacts to the historical resources to less than significant since the new location is compatible with the original character and use of the historical resources. Adherence to *The Secretary of the Interior's Standards for the Treatment of Historic Properties* will be conducted on the relocated resources which will enable the buildings to continue to convey their architecture, retaining a high degree of their integrity of design, workmanship, materials, feeling, and association, for which the properties received their designation. The relocation of the two buildings adjacent to the Mattie Bearn House would not pose a significant impact to the designated Mattie Bearn House since it will reintroduce the previously lost residential setting along the south side of F Street between 14<sup>th</sup> and 15<sup>th</sup> Streets.

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**SECTION VII APPENDICES**

- A. BUILDING DEVELOPMENT INFORMATION**
- B. OWNERSHIP AND OCCUPANT INFORMATION**
- C. MAPS**
- D. DPR FORM**
- E. PREPARERS QUALIFICATIONS**

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**SECTION VII APPENDICES**

**A. BUILDING DEVELOPMENT INFORMATION**

- 1. County Assessor's Building Record**
- 2. Notice of Completion**
- 3. Water/Sewer Connection Records**
- 4. Construction Permits**
- 5. Previous Historical Resources Survey Forms**

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- 1. County Assessor's Building Record**
  - a. Murray Apartments** – Information Not Available

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**b. Daggett Family Residence**



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RESIDENTIAL BUILDING RECORD

VILLA VICTORIA

ADDRESS 779 19<sup>th</sup> ST

Jobe Living APTS. 283-1540

DESCRIPTION OF BUILDING

CLASS & SHAPE		CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOM AND FINISH DETAIL								
ARCHITECTURE		FOUNDATION	WINDOWS		PLUMBING			BATH DETAIL								
D4.5	1 1/2	Light	X Frame	Stucco on	Flat	X Pitch	Heating	(E)								
D4.5	1 1/2	Sub-Standard	" " "		Gable	3/4 M	Forced	FLOORS	FLOOR FINISH	TRIM	INTERIOR FINISH					
		Standard	Sheathing	X Siding 1/2" x 3"	X Hip	3/4 M	Gravity	ROOMS	Material	Grade	Walls	Ceilings				
		Above-Standard	Concrete Block		Shed	4	X Wall Unit	All	X	X	LINO + PINE	A	OP	PL	PL	
		Special	B & B.	T & G.	Cut Up			Ent. Hall								
			Brick	Shingle	Dormers		X Avg.	Living								
			Adobe	Shake	X Raft. "x"		Many	Dining								
		X Concrete	X Floor Joists	B & B.	T & G.	Gutters		Bed								
		Reinforced	1 1/2" "x"					Bed								
		Brick	2" "x"	Brick	Shingle		Paar									
		Wood	Sub-Floor	Stone	Shake			Oil Burner								
		Piers	Concrete Floor													
				X D.H.	Casement	Tile Trim	X Laundry	M-B.T.U.								
			Insulated Ceilings	Metal Sash		Compo.	X Water Htr.-Auto.	Fireplace	Kitchen	4 1/2 x 5 1/2	LINO	A	OP	PL	PL	
			Insulated Walls	X Screens	X Compo. Shingle		X Water-Softner		Drain Bd.	Material: LINO	Lght: 4 Ft.	Splash:				

CONSTRUCTION RECORD				EFFEC. YEAR	APPR. YEAR	NORMAL % GOOD				RATING (E, G, A, F, P)						BATH DETAIL									
Permit No.	For	Amount	Date	YEAR	YEAR	Age	Remain'g Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage	Space	Work-ship	Fl.	No.	FINISH		FIXTURES			SHOWER	
			1903	1903	1960	55	11	R-55	37	F	F	A	A	-	-	A	1	1	LINO	PL	1 1/4	060	A		
			1903	1966	63	7	R-55	25	F	F	F	F	F	F	F	F	2	1	LINO	PL	1 1/4	060	A		
				1977				R-55		F	F	-	F	-	-	F									

SPECIAL FEATURES		
Book Cases	Built in Refrig.	Venetian Blinds
Shutters	" " Oven & Plate	
Vent Fan	" " Dishwasher	

COMPUTATION

Appraiser & Date	Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
6-19-57	1 <sup>st</sup> FL	1850	5.30	9837					14.00	25894						
10/10/65	2 <sup>nd</sup> FL	1916	5.10	9772					13.00	24908						
12-20-74	STAIRS (WOOD)	160	2.10	336						400						
	AC	2	1.20	240						300						
	W.C.P.	92	1.60	115						150						
					N.C.											
					N.C.											
	TOTAL			20300		20300		20300		51642						
	NORMAL %			37		25				135						
	R.C.L.N.D.			2511		5075		5075		18074						

**c. Mattie Bearns House**

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DESCRIPTION OF BUILDING

CLASS & SHAPE	CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF		LIGHTING		AIR CONDITION		ROOM AND FINISH DETAIL						
				Flat	Pitch	Wiring	Heating	Cooling	ROOMS	FLOORS		FLOOR FINISH		TRIM	INTERIOR FINISH	
D.S. + 0	Light	Frame	Stucco on	Flat	4/12	x	K.T.	Forced	Humid.	All	1	OP	F	S	Drywall	TB
ARCHITECTURE	Sub-Standard	Sheeting	x Siding	x Gable	4/12		B.X.	Cable	Gravity	Kit-Bk.	1	Acn	P		Wd - 14	Wd - 14
1 Stories	Above-Standard	Concrete Block		Hip	4				Humid.	Ent Hall						
TYPE	Special	B & B.	T & G.	Shed	4				Humid.	Living	1					
USE	Design	FOUNDATION	Adobe	Shingle	Dormers		Arg.	Med.	Floor Unit	Dining	1					
x Single	x	x Concrete	x Floor Joists	B & B.	T & G.	Gutters			Central	Bed	1					Wd - 14
Double		Reinforced	" " " "							Bed	1					
Duplex		Brick	2" " " "	Brick	Shingle		x	Par	Spec.	Oil Burner						
Apartment		Wood	Sub-floor	Stone	Shingle											
Flat-Court		Piers	Concrete Floor	WINDOWS	Tile											
Motel				x D.N.	x Casement	Tile Trim			M-B.T.U.	Kitchen	1					Wd - 14
2 x Units	Light	Heavy	Insulated Ceilings	Metal Sash	x Comp.	Water Htr-Auto			Fireplace	Drain Bd.	Material					Lgth: Ft. Splash:
			Insulated Walls	Screens	Compa. Shingle	Water-Softner										

CONSTRUCTION RECORD				EFFECTIVE APPR. NORMAL % GOOD				RATING (E, G, A, F, P)				BATH DETAIL												
Permit No.	For	Amount	Date	YEAR	YEAR	Age	Remain'g Life	Table	%	Cond.	Arch. Attr.	Fane. Plan	Can. Form	Storage Space	Work-Shop	FL No.	FINISH		FIXTURES		SHOWE			
																	Floors	Walls	Wc. Lin.	Wb.	Type	Grade	St. O.T.G.	Fix.
	Duplex		1891	1891	1960	67	5	255	28	P	F	P-F	A	F	F	1	OP	Wd-Pl	1	1	Old	P		
					1966			5		P						2	OP	Wd-Pl	1	1	Old	P		

COMPUTATION

Appraiser & Date	Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	OLD VALUE
W. Finch 3-2-60	1st sty	520	7.20	3744											TAKE OFF
Stallis 10-14-61	2nd sty	520	2.60	1352											LEAVING
	Basmt	520	2.00	1040											+ ADDITION
	Pods 162 sty	340	4.00	1440											NEW VALUE
															MAKE FIELD CHECK 10
															FIELD CHECK WRITTEN
															PERMIT HELD
															OCCUPIED
															VACANT
															STATUS
TOTAL				7576		100	722								
NORMAL % GOOD	50%			20	AS IS										
R.C.L.N.D	DN			15/15		100									



## **EAST VILLAGE GREEN**

- 2. Notice of Completion**
  - a. Murray Apartments** – Information Not Available
  - b. Daggett Family Residence** – Information Not Available
  - c. Mattie Bearns House** – Lot Block Book Page

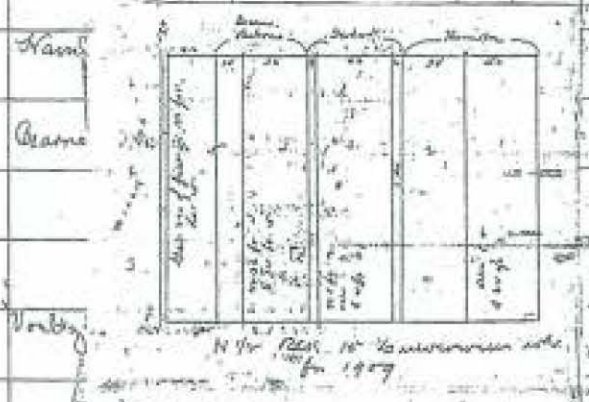
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The Last Name Given is the One to Whom Property is Assessed.

The Last Value Given is the Assessed Value for the Present Year.

NAME OF OWNER					SEE SEE	SERIAL	The Last Value Given is the Assessed Value for the Present Year.												
At Date as First Shown in March, 1927	At Date as First Shown in March, 1928	At Date as First Shown in March, 1929	At Date as First Shown in March, 1930	At Date as First Shown in March, 1931			CLASS	VALU	VALU	VALU	VALU	VALU	VALU	VALU	VALU	VALU	VALU	VALU	VALU
Mertzman, Frank							1	12	400	600	700	800	900	1000	1100	1200	1300	1400	1500
Snyder, John H.							4		250	300	350	400	450	500	550	600	650	700	750
Mertzman, Frank							10		350	400	450	500	550	600	650	700	750	800	850
Bassell, J. E.							1	14	400	500	600	700	800	900	1000	1100	1200	1300	1400
Lidst, N.							4		400	500	600	700	800	900	1000	1100	1200	1300	1400
Webb, Saml E.							7		400	500	600	700	800	900	1000	1100	1200	1300	1400
Grossman, J. A.							8		400	500	600	700	800	900	1000	1100	1200	1300	1400
Kustera, Mathelona							10		400	500	600	700	800	900	1000	1100	1200	1300	1400
Abernethy, Helen							11		400	500	600	700	800	900	1000	1100	1200	1300	1400
Abernethy, Helen							12	14	400	500	600	700	800	900	1000	1100	1200	1300	1400
Kearse, Marshall							1	15	375	500	600	700	800	900	1000	1100	1200	1300	1400
Noddy, Daniel							2		375	500	600	700	800	900	1000	1100	1200	1300	1400
Hamilton, Ann Lynn							3		375	500	600	700	800	900	1000	1100	1200	1300	1400
Hamilton, Ann							4		175	200	250	300	350	400	450	500	550	600	650
Kearse, Marshall							5		145	175	200	250	300	350	400	450	500	550	600
Noddy, Daniel							6		145	175	200	250	300	350	400	450	500	550	600
Hamilton, Ann Lynn							7		235	250	300	350	400	450	500	550	600	650	700
Kearse, Marshall							8		35	50	75	100	125	150	175	200	225	250	275
Noddy, Daniel							9		145	175	200	250	300	350	400	450	500	550	600
Hamilton, Ann Lynn							10		145	175	200	250	300	350	400	450	500	550	600
Kearse, Marshall							11		145	175	200	250	300	350	400	450	500	550	600
Noddy, Daniel							12		145	175	200	250	300	350	400	450	500	550	600
Hamilton, Ann Lynn							13		145	175	200	250	300	350	400	450	500	550	600



Handwritten notes and calculations in the right margin of the table, including values like '375', '500', '600', '700', '800', '900', '1000', '1100', '1200', '1300', '1400' and various other numerical entries.

**3. Water/Sewer Connection Records**

- a. **Murray Apartments** – Information Not Available
- b. **Daggett Family Residence** – Information Not Available
- c. **Mattie Bearns House** – Information Not Available

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**EAST VILLAGE GREEN**

- 4. Construction Permits**
  - a. Murray Apartments** – Information Not Available
  - b. Daggett Family Residence** – Information Not Available
  - c. Mattie Bearn House**

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Y40P1 BRANCH CODE: BUILDING PERMIT AND INSPECTION SYSTEM 051006 16.15  
SWD: PROJECT INFORMATION 1 JUR: SD OFFICE:  
ACTION: PLAN FILE: E504720 97 SUBMITTED: 09 02 97 EXPIRES: 08 28 98  
CTC: Y PERMIT NO: E504720 97 STATUS: A INIT: SJR  
APN: 535 171 09 00 TRA: 08001 CEN TRACT: 52.00 THMS BROS: 1289B3  
ADDRESS: 001455 F ST COMM: SD SAN:  
CROSS ST:  
PIC CODES: 8002  
DESC OF WORK: INSTALL A PULL BOX

OWNER-BUILDER: Y OWNER: BOURKE KENNETH P PH:  
MAIL ADDR: 1455 F ST SAN DIEGO CA 92101

NEW OWNER: APPLICANT: PH:  
MAIL ADDR:

CITY: ST: ZIP:

CONTACT: PH:

MAIL ADDR:  
CITY: ST: ZIP:

CONTRACTOR: OWNER-BUILDER PH:

LIC: EXPIRES: CLS: BTC:

MC INS: NOT REQUIRED SJR POLICY: EXPIRES:

Press PF1 for Menu

'SWD: JUR: SD OFFICE:  
 ACTION: PLAN FILE: E504720 97 STRUCT: 001 STATUS: F PLAN CHKR:  
 PERMIT NO: E504720 97 ISSUED: 09 02 97 EXPIRES: 04 04 98 FINALED: 10 06 97  
 LOT: MODEL/DESC: BC CODES: 8002 APN: 535 171 09 (C  
 ADDRESS: 001455 F ST COMM: SD SAN:  
 TYPE CONSTR: OCC GROUP: OCC LOAD:  
 BEDROOMS-> STUDIO: 0 1: 0 2: 0 3: 0 4: 0 0 : 0  
 STORIES: INSP CAT: E DESC: ELECTRICAL 3+ FAMILY OR NONRES SOIL:  
 PERMITTED-> UNITS: 0 FLR AREA: 0 BLDG AREA: 0 CHARGEABLE:  
 TOTALS---> UNITS: 0 FLR AREA: 0 BLDG AREA: 0  
 PLAN CHECK FEE: .00 VALUATION-> INIT: 0 FINAL:  
 COMMENTS:

ACT	CODE	QUANTITY	USE/TYPE OF CONSTRUCTION	RATE	UNIT	VALUE
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Press PF1 for Menu \* Press PA1 to page

- 5. Previous Historical Resources Survey Forms**
  - a. Murray Apartments**



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THE CITY OF SAN DIEGO

# Historical Resources Board

DATE ISSUED: February 9, 2000

ATTENTION: Historical Resources Board

SUBJECT: Historical Resources Board Agenda of February 24, 2000, Action Item #6  
DAGGETT FAMILY RESIDENCE and THE MURRAY APARTMENTS

APPLICANT: Mr. Shel Kulick

OWNER: Shel and Bonnie Kulick

LOCATION: 719-21 14<sup>th</sup> Street, Centre City Community Plan Area, Council District 2

DESCRIPTION: Nomination by the owner for Historic Resource Designation under HRB  
CRITERIA C, Architecture

TODAY'S ACTION: Designate or Note and File

**STAFF RECOMMENDATION:** Designate the Daggett Family Residence (721 14<sup>th</sup> Street) and the Murray Apartments (719 14<sup>th</sup> Street) based upon being notable examples of Queen Anne Victorian style architecture (Criteria C)

## BACKGROUND:

These residences are being brought before the Historical Site Board by the owner for historical resource designation. They are located at 719 and 721 14<sup>th</sup> Street in the Centre City East/East



Planning and Development Review

202 C Street, MS 5A • San Diego, CA 92101-3864

Tel (619) 236-6479 Fax (619) 236-6478

Village neighborhood of the Centre City Community Plan area, and are zoned RCX (residential-commercial combined) in the Centre City East Planned District.

ANALYSIS:

The Queen Anne styles buildings at 719 and 721 14<sup>th</sup> Street are located in Centre City East on separate lots and parcels arranged in tandem. Both were moved to their present locations, the 719 14<sup>th</sup> Street building (the westerly building fronting 14<sup>th</sup> Street) in 1932 or 1933 and the 721 14<sup>th</sup> Street (easterly) building in 1948 or 1949.

The 719 14<sup>th</sup> Street building was constructed in 1903 at an unknown location. The structure has been used as an apartment building since the early 1930s and today has 13 units. The 721 14<sup>th</sup> Street building was constructed sometime between 1893 and 1896 for William B. Morris at 2361 (currently 1461) G Street, just southeast of its current location, and has been used as an apartment building since its relocation in 1948 or 1949. It currently serves eight units.

Although the buildings have been altered, the changes have not extensively affected their architectural significance as Queen Anne styled buildings constructed during the late 1890s and early 1900s. The 719 14<sup>th</sup> Street building displays such distinctive characteristics indicative of the Queen Anne style as a steeply pitched hipped roof, a dominant front-facing gable, patterned shingles, half timbering, cutaway bay windows and projections, and an asymmetrical facade with a one-story partial (formerly full length) porch. Similarly, the 721 14<sup>th</sup> Street building displays such Queen Anne features as a steeply pitched gabled roof, a dominant front-facing gable, patterned shingles, decorative spindle work, and a one-story full-length porch which extends along the northerly side wall.

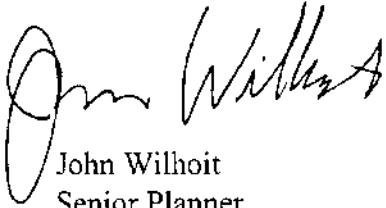
It is believed that William Norris was the individual responsible for the construction of 721 14<sup>th</sup> Street, although this could not be confirmed. Mr. Morris has never been regarded as a master craftsman or master architect. The individual responsible for the design or construction of the 719 14<sup>th</sup> Street building could not be determined.

Staff has been advised by the applicant of his intention to move the buildings, one to Golden Hill and the other to Grant Hill. Given the fact that the buildings have been moved previously to their present location, staff sees no objection to their proposed move, provided that assurances are given that upon relocation the buildings would be expeditiously restored and used.

CONCLUSION:

After reviewing the historical report submitted by the applicant, staff recommends that the Daggett Family Residence (721 14<sup>th</sup> Street) and the Murray Apartments (719 14<sup>th</sup> Street) have enough historical value to warrant historical site designation under Criteria C - Architecture. Historic site designation would allow the property owner to take advantage of a Mills Act

agreement to obtain property tax benefits, possible use of a Conditional Use Permit for adaptive reuse, and use of the Historic Building Code where necessary to meet building code requirements. Given the fact that the buildings acquired their historical distinction at another site, staff recommends that the Board designate the buildings only with the specific provision that they may be moved.

A handwritten signature in black ink, appearing to read "John Wilhoit". The signature is fluid and cursive, with a large initial "J" and "W".

John Wilhoit  
Senior Planner

JW

Attachment: Historical Site Board Report

#### IDENTIFICATION

1. COMMON NAME: Apartment House
2. HISTORIC NAME: Daggett Family Residence
3. ADDRESS: 719 14th Street      CITY: San Diego  
ZIP: 92101      4. PARCEL #: 535-143-05
5. PRESENT OWNER: Shel and Bonnie Kulick  
ADDRESS: 89 Port of Spain      CITY: Coronado  
ZIP: 92118      OWNERSHIP IS: PUBLIC: PRIVATE: X
6. PRESENT USE: Residential  
ORIGINAL USE: Residential

#### DESCRIPTION

- 7A. ARCHITECTURAL STYLE: Transitional: Queen Anne to Craftsman
- 7B. BRIEFLY DESCRIBE THE PRESENT PHYSICAL DESCRIPTION OF STRUCTURE AND DESCRIBE ANY MAJOR ALTERATIONS FROM ITS ORIGINAL CONDITION.

Legal Description: Horton's Addition, Block 176, Lot E

An example of certain pre-First World War expressions of the Queen Anne style, this two-story house was altered by a second story addition to the west elevation. It has a combined gable and hipped roof, the gable end of the west elevation exhibiting a decorative half-timbered look that was common to Queen Anne houses. Original portions of the building have clapboard siding. The fascia on the gabled portion of the roof is flared at the ends. The second story addition hides other details which may have provided more definition to the house. Windows are predominantly double hung sash, either one over one or two over two lights. What may once have been a single porch entry has since been divided into two entries.



8. CONST. DATE: 1911  
EST: X FACT:
9. ARCHITECT:  
unknown
10. BUILDER:  
unknown
11. APPROX. PROP. SIZE(FT):  
50' X 100'
12. DATE OF PHOTO:  
1988

TENTATIVE RANK: 3

SIGNIFICANCE: This building serves as an example of certain pre-First World War expressions of the Queen Anne style.

13. CONDITION: Excell Good X Fair Deteriorated  
No longer in existence
14. ALTERATIONS: Addition built on second story front
15. SURROUNDINGS:  
Open Land Scattered Bldgs Densely built-up? X  
Resid X Indust Com'l Other
16. THREATS TO SITE: None known X Pvt devel Zoning  
Vandalism Public Works Project Other
17. IS STRUCTURE: On its orig site? -X Moved? Unknown?
18. RELATED FEATURES: Cast stone retaining wall

SIGNIFICANCE

19. BRIEFLY STATE HISTORICAL AND/OR ARCHITECTURAL IMPORTANCE

W. T. Daggett, a real estate agent, purchased this property from attorney, N.H. Conklin in 1887, probably erecting his residence on it sometime in 1888. Daggett and his wife, Fannie, lived at this address until 1890, then leased the #721 building out to various tenants until 1911, when architect Walter S. Keller purchased the property. Keller, also a non-resident, owned the structure until 1917, when he left to fight in World War I. From 1917 up to the late 1920s, various owners have rented the #721 address, including David and Lizzie Garra (1917), Albert and Queene L. Lane (1926) C. F. and Ida Weeber (1927) and William E. McDonald (1928).

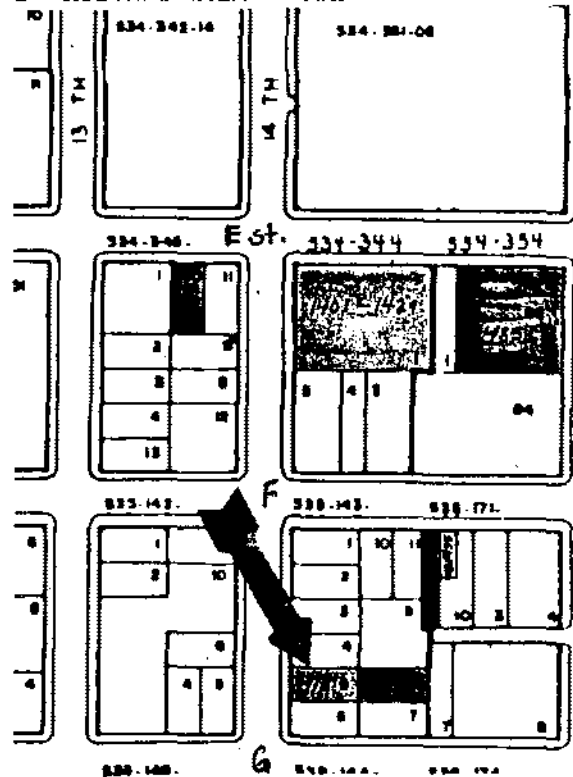
20. MAIN THEME OF THE HISTORIC RESOURCE: (IN ORDER OF IMPORTANCE).  
Architecture X Arts & Leisure  
Economic/Industrial  
Exploration/Settlement  
Govt Military Religion  
Social/Education

21. SOURCES (BOOKS, DOCUMENTS, PERSONAL INTERVIEWS, AND THEIR DATES).

San Diego City Directories;  
San Diego County Recorder's Office

22. DATE FORM PREPARED: 11/10/88  
BY: R. Brandes, K. Flanigan,  
K. Webster, A.P. Cooper  
ORG: Office of Marie Burke Lia  
ADDRESS: 427 C Street, Suite 310  
CITY: San Diego, CA ZIP: 92101  
PHONE: (619) 235-9766

LOCATIONAL SKETCH MAP



**b. Daggett Family Residence**

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THE CITY OF SAN DIEGO

# Historical Resources Board

DATE ISSUED: February 9, 2000

ATTENTION: Historical Resources Board

SUBJECT: Historical Resources Board Agenda of February 24, 2000, Action Item #6  
DAGGETT FAMILY RESIDENCE and THE MURRAY APARTMENTS

APPLICANT: Mr. Shel Kulick

OWNER: Shel and Bonnie Kulick

LOCATION: 719-21 14<sup>th</sup> Street, Centre City Community Plan Area, Council District 2

DESCRIPTION: Nomination by the owner for Historic Resource Designation under HRB  
CRITERIA C, Architecture

TODAY'S ACTION: Designate or Note and File

**STAFF RECOMMENDATION:** Designate the Daggett Family Residence (721 14<sup>th</sup> Street) and the Murray Apartments (719 14<sup>th</sup> Street) based upon being notable examples of Queen Anne Victorian style architecture (Criteria C)

## BACKGROUND:

These residences are being brought before the Historical Site Board by the owner for historical resource designation. They are located at 719 and 721 14<sup>th</sup> Street in the Centre City East/East



Planning and Development Review

202 C Street, MS 5A • San Diego, CA 92101-3864

Tel (619) 236-6479 Fax (619) 236-6478

Village neighborhood of the Centre City Community Plan area, and are zoned RCX (residential-commercial combined) in the Centre City East Planned District.

ANALYSIS:

The Queen Anne styles buildings at 719 and 721 14<sup>th</sup> Street are located in Centre City East on separate lots and parcels arranged in tandem. Both were moved to their present locations, the 719 14<sup>th</sup> Street building (the westerly building fronting 14<sup>th</sup> Street) in 1932 or 1933 and the 721 14<sup>th</sup> Street (easterly) building in 1948 or 1949.

The 719 14<sup>th</sup> Street building was constructed in 1903 at an unknown location. The structure has been used as an apartment building since the early 1930s and today has 13 units. The 721 14<sup>th</sup> Street building was constructed sometime between 1893 and 1896 for William B. Morris at 2361 (currently 1461) G Street, just southeast of its current location, and has been used as an apartment building since its relocation in 1948 or 1949. It currently serves eight units.

Although the buildings have been altered, the changes have not extensively affected their architectural significance as Queen Anne styled buildings constructed during the late 1890s and early 1900s. The 719 14<sup>th</sup> Street building displays such distinctive characteristics indicative of the Queen Anne style as a steeply pitched hipped roof, a dominant front-facing gable, patterned shingles, half timbering, cutaway bay windows and projections, and an asymmetrical facade with a one-story partial (formerly full length) porch. Similarly, the 721 14<sup>th</sup> Street building displays such Queen Anne features as a steeply pitched gabled roof, a dominant front-facing gable, patterned shingles, decorative spindle work, and a one-story full-length porch which extends along the northerly side wall.

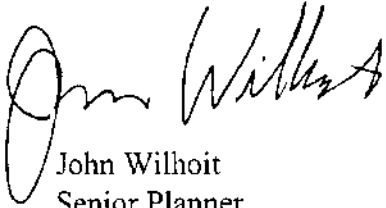
It is believed that William Norris was the individual responsible for the construction of 721 14<sup>th</sup> Street, although this could not be confirmed. Mr. Morris has never been regarded as a master craftsman or master architect. The individual responsible for the design or construction of the 719 14<sup>th</sup> Street building could not be determined.

Staff has been advised by the applicant of his intention to move the buildings, one to Golden Hill and the other to Grant Hill. Given the fact that the buildings have been moved previously to their present location, staff sees no objection to their proposed move, provided that assurances are given that upon relocation the buildings would be expeditiously restored and used.

CONCLUSION:

After reviewing the historical report submitted by the applicant, staff recommends that the Daggett Family Residence (721 14<sup>th</sup> Street) and the Murray Apartments (719 14<sup>th</sup> Street) have enough historical value to warrant historical site designation under Criteria C - Architecture. Historic site designation would allow the property owner to take advantage of a Mills Act

agreement to obtain property tax benefits, possible use of a Conditional Use Permit for adaptive reuse, and use of the Historic Building Code where necessary to meet building code requirements. Given the fact that the buildings acquired their historical distinction at another site, staff recommends that the Board designate the buildings only with the specific provision that they may be moved.

A handwritten signature in black ink, appearing to read "John Wilhoit". The signature is fluid and cursive, with a large initial "J" and "W".

John Wilhoit  
Senior Planner

JW

Attachment: Historical Site Board Report

#### IDENTIFICATION

1. COMMON NAME: Apartments
2. HISTORIC NAME: Murray Apartments
3. ADDRESS: 721 14th Street (rear)      CITY: San Diego  
ZIP: 92101      4. PARCEL #: 535-143-08
5. PRESENT OWNER: Shel and Bonnie Kulick  
ADDRESS: 89 Port of Spain      CITY: Coronado  
ZIP: 92118      OWNERSHIP IS: PUBLIC:      PRIVATE: X
6. PRESENT USE: Rooming House  
ORIGINAL USE: Residence

#### DESCRIPTION

- 7A. ARCHITECTURAL STYLE: Queen Anne
- 7B. BRIEFLY DESCRIBE THE PRESENT PHYSICAL DESCRIPTION OF STRUCTURE AND DESCRIBE ANY MAJOR ALTERATIONS FROM ITS ORIGINAL CONDITION.

Legal Description: Horton's Addition, Block 176, Lot H

The two-story house on the rear of the lot shared with 719 14th Avenue, is a typical Queen Anne, "shotgun" cottage, with a wrap-around porch and single gable roof. The Queen Anne detailing included in the house's design begins with spindle work at the gable end. The spindle work was also used under the cornice of the porch. Fish scale shingles appear on the gable end and on the mansard porch roof. Turned posts supporting the porch are braced against the cornice and the spindle work with brackets. Shiplap siding was used over most of the exterior. Double hung sash windows of the first floor have ornamental pediments above them. On the second floor, windows have spindle work in the place of pediments. No major alterations have been noted.



8. CONST. DATE:  
c. 1887  
EST: X FACT:
9. ARCHITECT:  
unknown
10. BUILDER:  
unknown
11. APPROX. PROP. SIZE(FT):  
50' X 100'
12. DATE OF PHOTO:  
1988

TENTATIVE RANK: 2

SIGNIFICANCE: This building is a significant example of Queen Anne architecture created on a modest scale.

13. CONDITION: Excell Good X Fair Deteriorated  
No longer in existence
14. ALTERATIONS: Addition to the rear
15. SURROUNDINGS:  
Open Land Scattered Bldgs Densely built-up?  
Resid X Indust X Com'l Other
16. THREATS TO SITE: None known X Pvt devel Zoning  
Vandalism Public Works Project Other
17. IS STRUCTURE: On its orig site? Moved? X Unknown?  
c.1911
18. RELATED FEATURES: Building sited in broad arroyo which  
ran from the Golden Hill area to the harbor.

SIGNIFICANCE

19. BRIEFLY STATE HISTORICAL AND/OR ARCHITECTURAL IMPORTANCE

The history of this structure is difficult to trace. The Daggett family also owned this house for a time, as well as that which was built at 719 14th Avenue. The building at 721 14th Avenue eventually became known as the Murray Apartments, which it remained until at least 1950. From all appearances, this building was constructed first and moved from the front of the lot to the rear. It is a significant example of Queen Anne architecture, created on a modest scale.

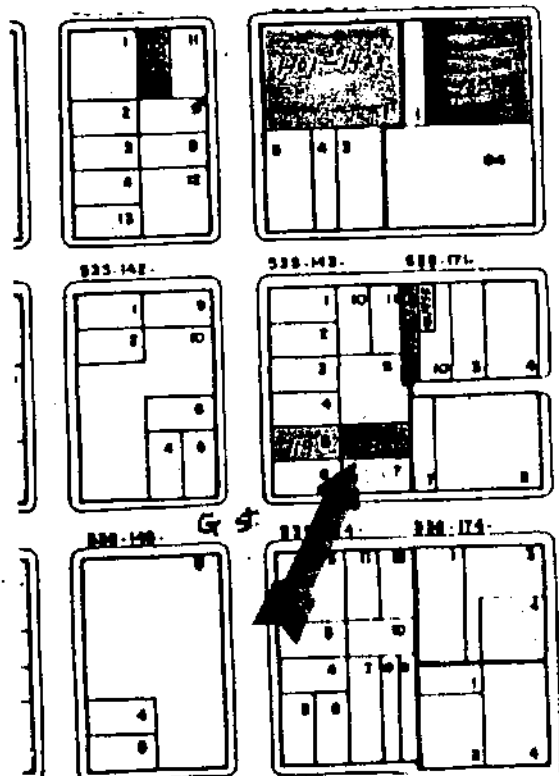
20. MAIN THEME OF THE HISTORIC RESOURCE: (IN ORDER OF IMPORTANCE).  
Architecture X Arts & Leisure  
Economic/Industrial  
Exploration/Settlement  
Govt Military Religion  
Social/Education

LOCATIONAL SKETCH MAP

21. SOURCES(BOOKS, DOCUMENTS, PERSONAL INTERVIEWS, AND THEIR DATES).

San Diego City Directories;  
San Diego County Recorder's  
Office; City of San Diego  
Sewer Records

22. DATE FORM PREPARED: 11/10/88  
BY: R. Brandes, K. Flanigan,  
K. Webster, A.P. Cooper  
ORG: Office of Marie Burke Lia  
ADDRESS: 427 C Street, Suite 310  
CITY: San Diego, CA ZIP: 92101  
PHONE: (619) 235-9766



**c. Mattie Bearns House**

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THE CITY OF SAN DIEGO

# Historical Resources Board

DATE ISSUED: September 15, 2010 REPORT NO. HRB-10-047

ATTENTION: Historical Resources Board  
Agenda of September 23, 2010

SUBJECT: **ITEM #10 – Mattie Bearns House**

APPLICANT: Kenneth P. Bourke represented by Marie Burke Lia

LOCATION: 1455 F Street, East Village Community, Council District 2

DESCRIPTION: Consider the designation of the Mattie Bearns House located at 1455 F Street as a historical resource.

## STAFF RECOMMENDATION

Designate the Mattie Bearns House located at 1455 F Street as a historical resource with a period of significance of circa 1909 under HRB Criterion C. This recommendation is based on the following finding:

The resource embodies the distinctive characteristics through the retention of character defining features of the Folk Victorian Vernacular style and retains a good level of architectural integrity from its period of significance c. 1909. Specifically, the character defining features reflected in the building include a medium pitched, front gable roof with slight eave overhang; wood framed, double hung windows; simplified detailing, plain



City Planning & Community Investment  
202 C Street, MS 5A • San Diego, CA 92101-3865  
Tel (619) 235-5200 Fax (619) 533-5951



frieze; wood horizontal shiplap siding, and a full width front porch, a rectangular floor plan and a symmetrical façade with a wood frame and foundation.

## BACKGROUND

This item is being brought before the Historical Resources Board in conjunction with a preliminary review application to determine whether or not the building is historically significant as part of a constraints analysis for future development. The building is a three story residence constructed in the Folk Victorian Vernacular style in c. 1909. The actual date of construction has not been determined due to lack of documentation and inconsistencies in the information available for the property. It is located in East Village, a mixed use area of Downtown San Diego.

The historic name of the resource, the Mattie Bearns House, has been identified consistent with the Board's adopted naming policy and includes the name of the first owner. This conclusion is based on the Lot and Block Book page date of construction in 1909 under the ownership of Mattie Bearns.

## ANALYSIS

A historical resource research report was prepared by K.A. Crawford/Marie Burke Lia, which concludes that the resource is not significant under any HRB Criteria. Staff's position is that the resource is a significant historical resource under HRB Criterion C. This determination is consistent with the *Guidelines for the Application of Historical Resources Board Designation Criteria*, as follows:

*CRITERION C - Embodies distinctive characteristics of a style, type, period or method of construction or is a valuable example of the use of natural materials or craftsmanship.*

The structure was designed in the Folk Victorian Vernacular architectural style and built in c.1909. Closely tied to the National Folk style popular after the nationwide expansion of the railroad in 1850's, Folk Victorian style houses were generally built in the late 19<sup>th</sup> and early 20<sup>th</sup> century, declining in popularity by 1910 with the trend turning toward Craftsman Bungalow style houses. The c. 1909 date is believed to be rather late for this style of construction. As mentioned in the 2005 East Village Combined Historical Surveys, the Single Family Vernacular style was part of the property boom prior to 1887. The historical context specifically mentions the Judson Property (Mattie Bearns House) as being built in c. 1900. The information available does not provide a consistent date of construction for the property, and the Notice of Completion and Water and Sewer Records have not been located. The Assessor's Building Record dates the structure to 1891 and the Sanborn Maps from 1888, 1906 and 1921 all show different structures; which provides contradictory information for the date of construction.

This three-story residence has a symmetrical façade, rectangular floor plan; and a wood frame and foundation. A medium pitched, front gable roof with a slight eave overhang comprises the third floor. The exterior has horizontal wood shiplap siding with corner board; plain frieze; and

simplified detailing. A full width, open front porch with minimal stick work and a shed style roof supported by wooden posts spans the front facade. The property sits on a unusual lot due to the way it slopes sharply away from the street leaving only the first two stories of the structure visible from the sidewalk.

The fenestration throughout the majority of the structure is wood frame two-over-two double hung sash windows, covered with metal security grilles. On the first floor, visible from the street, there is one large wood framed fixed pane window covered with a metal security grille. The entrances to second and third floor units are accessed by two doors located on the front façade.

Modifications to the structure include door and window replacements. The wood floor on the front porch was replaced. On the rear of the property a two story addition was added for ancillary functions; the addition is clearly demarcated from the original structure. Although modifications have taken place this building retains the character defining features of the Folk Victorian Vernacular style.

As explained in the 2005 East Village Historical Context, the simple Residential Vernacular style is rare and therefore expected to be in poor condition, almost nothing remains from that period making this property an extremely valuable piece of San Diego's history. This type of construction represents the architectural style of the late 19<sup>th</sup> century housing boom and is a property that still remains despite the aggressive removal, recycling and deterioration of almost all of the structures built during this time period. The resource embodies the distinctive characteristics through the retention of character defining features of the Folk Victorian Vernacular style and retains a good level of architectural integrity in the design, setting, materials, and workmanship of the original structure. Therefore, staff recommends designation of this resource under HRB Criterion C.

#### OTHER CONSIDERATIONS

If the property is designated by the HRB, conditions related to restoration or rehabilitation of the resource may be identified by staff during the Mills Act application process, and included in any future Mills Act contract.

#### CONCLUSION

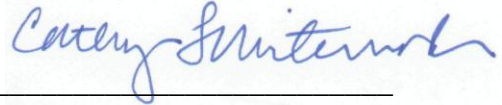
Based on the information submitted and staff's field check, it is recommended that the Mattie Bearn House located at 1455 F Street be designated with a period of significance of c. 1909 under HRB Criterion C due to the retention of character defining features of a Folk Victorian Vernacular home from a period in San Diego's history that has very few examples present today.

Designation brings with it the responsibility of maintaining the building in accordance with the Secretary of the Interior's Standards. The benefits of designation include the availability of the Mills Act Program for reduced property tax; the use of the more flexible Historical Building Code; flexibility in the application of other regulatory requirements; the use of the Historical Conditional Use Permit which allows flexibility of use; and other programs which vary depending on the specific site conditions and owner objectives.



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Terra King  
Planning Intern



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Cathy Winterrowd  
Principal Planner/HRB Liaison

TK/cw

Attachment(s): Draft Resolution  
Applicant's Historical Report under separate cover

RESOLUTION NUMBER N/A  
ADOPTED ON 9/23/2010

WHEREAS, the Historical Resources Board of the City of San Diego held a noticed public hearing on 9/23/2010, to consider the historical designation of the **Mattie Bearns House** (owned by Kenneth P. Bourke, 1455 F Street, San Diego, CA 92101) located at **1455 F Street, San Diego, CA 92101**, APN: **535-171-09-00**, further described as PAR 1 in the City of San Diego, County of San Diego, State of California; and

WHEREAS, in arriving at their decision, the Historical Resources Board considered the historical resources report prepared by the applicant, the staff report and recommendation, all other materials submitted prior to and at the public hearing, inspected the subject property and heard public testimony presented at the hearing; and

WHEREAS, the property would be added to the Register of Designated Historical Resources as **Site No. 0**, and

WHEREAS, designated historical resources located within the City of San Diego are regulated by the Municipal Code (Chapter 14, Article 3, Division 2) as such any exterior modifications (or interior if any interior is designated) shall be approved by the City, this includes but is not limited to modifications to any windows or doors, removal or replacement of any exterior surfaces (i.e. paint, stucco, wood siding, brick), any alterations to the roof or roofing material, alterations to any exterior ornamentation and any additions or significant changes to the landscape/ site.

NOW, THEREFORE,

BE IT RESOLVED, the Historical Resources Board based its designation of the Mattie Bearns House on the following findings:

(1) The property is historically significant under CRITERION C for its distinctive characteristics of the Folk Victorian Vernacular style and retains a good level of architectural integrity from its period of significance of c. 1909. Specifically, the character defining features reflected in the building include a medium pitched, front gable roof with a slight eave overhang; wood framed, double hung windows; simplified detailing, plain frieze; wood horizontal shiplap siding, and a full width front porch, a rectangular floor plan and a symmetrical façade with a wood frame and foundation. This finding is further supported by the staff report, the historical research report, and written and oral evidence presented at the designation hearing.

BE IT FURTHER RESOLVED, in light of the foregoing, the Historical Resources Board of the City of San Diego hereby approves the historical designation of the above named property. The designation includes the parcel and exterior of the building as Designated Historical Resource **Site No. 0**.

BE IT FURTHER RESOLVED, the Secretary to the Historical Resources Board shall cause this resolution to be recorded in the office of the San Diego County Recorder at no fee, for the benefit of the City of San Diego, and with no documentary tax due.

Vote: N/A

BY: \_\_\_\_\_  
JOHN LEMMO, Chair  
Historical Resources Board

APPROVED AS TO FORM AND  
LEGALITY: JAN I. GOLDSMITH,  
CITY ATTORNEY

BY: \_\_\_\_\_  
NINA FAIN  
Deputy City Attorney

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
PRIMARY RECORD

Primary # \_\_\_\_\_  
HRI # \_\_\_\_\_  
Trinomial \_\_\_\_\_  
NRHP Status Code 6Z

Other Listings \_\_\_\_\_  
Review Code \_\_\_\_\_ Reviewer \_\_\_\_\_ Date \_\_\_\_\_

\*Page 1 of 20 \*Resource Name or #: 1455 F Street, San Diego, CA 92101

\*P1. Other Identifier: None

\*P2: Location: Not for publication Unrestricted  a. County: San Diego

And (P2b and P2c or P2d. Attach a location map as necessary.)

\*b. USGS Quad Point Loma \*Date: 1975 T; R;  $\frac{1}{4}$  of  $\frac{1}{4}$  of Sec. \_\_\_\_\_ B.M. \_\_\_\_\_

c. Address: 1455 F Street City: San Diego Zip: 92101

d. UTM: (Give more than one large or linear resources) Zone: Me/ mN

e. Other Locational Data (e.g. parcel #, directions to resource, elevation, etc. as appropriate);

APN: #535-171-09, Portion of Lots 4 and 5, Block 15, Culverwell's Addition

\*P3a. Description (Describe resource and its major elements, include design, materials, condition, alterations, size, setting and boundaries.)

The building addressed as 1455 F Street is a three level, rectangular-shaped Folk Victorian Vernacular style, multiple family residential building located on a sloping lot in the East Village. The original building is constructed of redwood. The parcel containing this building is small, 25' x 70' or 1750 square feet, and the building occupies three-quarters of it. A three story addition has been added to the rear. The building is wood frame with a gable roof. The building is in poor condition.



\*P3b. Resource Attributes: (List attributes and codes) HP 3:Multile Family Property

P4. Resources Present: Building X

Structure Object Site District

Element of District Other

P5b. Description of Photo: (View, date

Accessions #) View: West/ June 2010

\*P6. Date Constructed/Age and Source

Historic X Prehistoric Both

c. 1909/Lot and Block Book Page & Sanborn Maps

\*P7. Owner and Address: Kenneth Paul Bourke, 1455 F Street, San Diego, CA

\*P8: Recorded by: (Name, Affiliation, Address) K.A. Crawford/Marie Burke Lia, 427 C Street, #416 San Diego 92101

\*P9. Date Recorded: 06/01/2010

\*P10. Type of Survey: Intensive \*P11: Report Citation (Cite Survey Report and other sources: None)

\*Attachments: Location Map Sketch Map Continuation Sheet  Building, Structure and Object Record  Archaeological Record District Record Linier Resource Record Milling Station Record Rock Art Record Artifact Record Photograph Record Other (List):

State of California – The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
RESIDENCE, STRUCTURE, AND OBJECT RECORD

Primary # \_\_\_\_\_  
HRI# \_\_\_\_\_  
\*NRHP Status Code 6Z

\*Page 2 of 20 \*Resource Name or # (Assigned by Recorder) 1455 F Street, San Diego, CA 92101

B1. Historic Name: None

B2. Common Name: None

B3. Original Use: Residential / Multiple Family

B4. Present Use: Residential / Multiple Family

\*B5. Architectural Style:

\*B6. Construction History: (Construction Date, alterations and dates of alterations)

The construction date is uncertain because of the contradictory information in several sources but it appears to be 1909. Alterations included: door and window changes, addition of rear section, dates unknown.

\*B7. Moved?  No Yes Unknown Date: \_\_\_\_\_ Original Location \_\_\_\_\_

\*B8. Related Features: None

B9a. Architect: Unknown b. Builder: Unknown

\*B10. Significance: Folk Victorian Vernacular Architecture Area: San Diego Period of Significance: 1891-Present Property Type: Residential Applicable Criteria: C

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

As a result of the lack of the main character defining features of the Folk Victorian Vernacular style and as a very limited example of the style, the property is not considered to be historically and architecturally significant under Criterion C: Architecture or any of the other pertinent criteria. The property has retained only three of the seven key aspects of integrity: location, materials, and workmanship. See the Continuation Sheets for further significance discussion.

B11. Additional Resource Attributes: (List attributes and codes) None

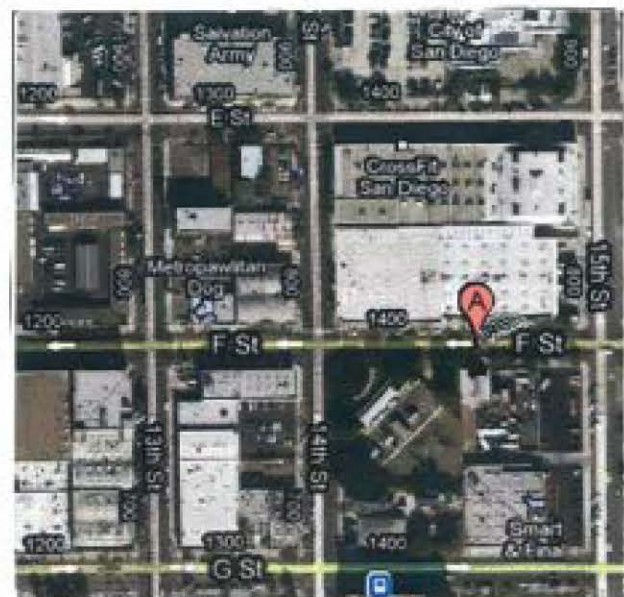
\*B12. References: McAlester and McAlester, A Guide to American Houses, 1991; City of San Diego Building Department Records; County of San Diego Assessor's Department Records; City of San Diego Water and Sewer Records, San Diego City Directories, etc.

B13. Remarks: None

\*B14. Evaluators: K.A. Crawford

\*Date of Evaluation: 06/01/2010

(This space reserved for official comments.)



**CONTINUATION SHEET**

Primary # \_\_\_\_\_

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Trinomial \_\_\_\_\_

Page 3 of 20 \*Resource Name or # (Assigned by recorder) 1455 F Street, San Diego, CA 92101

\*Recorded by K.A. Crawford/Office of Marie Burke Lia Date June 1, 2010 Continuation  Update

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**P3a. Building Description**

The building addressed as 1455 F Street is a three level, or two-story plus basement, rectangular-shaped Folk Victorian Vernacular style multiple family residential building located on a sloping lot in the East Village. The original building is constructed of redwood. The parcel containing this building is small, 25' x 70' or 1750 square feet, and the building occupies three-quarters of it. Although the address of 1459 F Street has been attributed to a lower unit in this building, the Sanborn Maps identify 1459 F Street as the building that formerly occupied the lot to the east of this site and today the only address for this building is 1455 F Street.

North Façade

The building has a wood foundation, wood horizontal shiplap siding exterior with corner boards and a pitched front gable roof with a slight eave overhang. The building has a full width, open front porch with minimal stickwork detailing and wood floor. The porch is supported by wooden posts and includes a shed style roof. The porch has metal security grilles across the entire front of the porch. The only window on the first floor is a large wood framed fixed pane window with metal security grille. The east entrance, to the first floor unit, has a single wood door and a metal security door. The west entrance, to the upper floor unit, also has a single wood door with a transom. The second floor contains two evenly spaced wood framed double hung sash style windows with metal security grilles. The front yard is fenced with a small wood picket fence and a large tree.

West Façade

The west façade contains several wood framed, multi-lite, double hung sash style or metal framed slider style windows placed at irregular intervals. Several of the windows have metal security grilles.

South Façade

The rear of the building contains a wood over concrete, three-story addition. The addition has vertical wood siding walls, portions are unpainted, and the section has a sloping shed style roof. The addition has a variety of windows in a variety of styles with metal grilles and other security

**CONTINUATION SHEET**

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\*Recorded by K.A. Crawford/Office of Marie Burke Lia Date June 1, 2010 Continuation  Update

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**P3a. Building Description continued:**

measures. The middle level contains a single wood door that was formerly accessible by a stair from the ground level. The interior areas of the rear addition contain the kitchen and bathroom areas for each level of the building. The rear yard is small and filled with junk. The addition is in very poor condition.

East Façade

The east façade contains two single wood door entrances into the basement level unit. This façade of the structure has several wood framed, multi-lite double hung sash style windows on the second and third floors.

B6. Alterations

The building has been altered by the replacement of some of the doors and windows with non-historic elements. The front porch has been altered with the addition of a metal security grille and new wood floor. Many of the windows have been altered with the addition of metal security grilles. The building was altered by the addition of a three-story rear structure that eliminated the original integrity of the rear of the building.

B10. Significance

**Property History**

Inclusion in Previous Historical Surveys

The building has been evaluated in 1988 and 2001 by historians from the office of Marie Burke Lia, Attorney. In 1988 it was described as an interesting example of Vernacular Victorian architecture adapted to a steep siting, but was ranked as 3, meaning not eligible for the local register. The 1988 inventory also identified John B Judson as the owner in 1900, whereas Judson owned the western portion of Lot 5, now addressed as 1451-1453 F Street and the subject property consists of the eastern portion of Lot 5 and the western portion of Lot 4. In 2001, the property was described in another inventory form by the Lia office wherein it was identified as Folk Victorian architecture but found not to qualify as a good example of that style sufficient for listing on the local register. The 1988 and 2001 inventory forms also attributed a 1459 F Street address to this property, but the 1459 address appears



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\*Recorded by K.A. Crawford/Office of Marie Burke Lia Date June 1, 2010 Continuation  Update

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**B10. Significance continued:**

on the 1921 to 1956 Sanborn Maps for the commercial property next door and it is believed those Maps are accurate on this point.

In 2005, the *East Village Combined Historical Surveys 2005* publication was produced by the Historical Resources Board Staff. It contained a copy of the 2001 inventory form for this property, but disagreed with the previous conclusions, finding the property to be an example of Folk Victorian Vernacular architecture eligible for the local register. As the result of the *Surveys 2005*, the subject property's status as historical resource has yet to be determined.

Sanborn Map Research:

The 1888 and 1906 Sanborn Maps of this block differ from the later Maps in that the street addresses on this block range from 2313 to 2378. This represents a brief experiment with re-numbering the streets in Downtown San Diego that occurred before and after the turn of the last century. After this experiment, the address numbers were restored to their former and later pattern, i.e. the street addresses between 14<sup>th</sup> and 15<sup>th</sup> Streets are in the 1400's and those between 15<sup>th</sup> and 16<sup>th</sup> Streets are in the 1500's.

The 1888 Sanborn Map shows a two story rectangular dwelling set back from the street with a one story covered porch and stair access at the rear. Both the dwelling and porch had shingle roofs. No structures were located in the back of the property. The property is addressed on the Map as 2355 F Street.

The 1906 Sanborn Map shows a new structure on the site, a two story square store building plus basement with a covered porch extending north all the way to the property line. Both the store and the porch had shingle roofs. A terra cotta chimney is located in the rear of the store and a one story basement is below a rear porch extension also with a shingle roof. The property is addressed on the Map as 2355 F Street.

The 1921 Sanborn Map of this property shows a different dwelling on this site, addressed as 1453-1455 F Street. This dwelling conforms to the current structure and differs from the 1906 structure. It is set back from the street and has a front porch, is two levels or flats above ground with a wood shingle roof over both the dwelling and porch. A small one story structure is in the rear yard. The 1940 Sanborn Map is consistent with the 1921 Map and show a shed at the rear of the lot. The 1956 Sanborn Map is consistent but the shed is gone. The property is addressed as 1453-1455 F Street.

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\*Recorded by K.A. Crawford/Office of Marie Burke Lia Date June 1, 2010 Continuation  Update

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### **B10. Significance continued:**

The Sanborn Map research indicates that this structure was built between 1906 and 1921.

#### Assessor's Building Record Research:

The Assessor's Building Record dates this structure to 1891 and describes it as a one story duplex. However, another portion of the same Record describes the building as containing the three levels, including the basement, of 520 square feet each, and notes that the upper levels each had a 120 square foot rear addition added. The current owner advises that each floor contains an identical living unit with a living room, kitchen, two bedrooms and a bath.

The Assessor's Building Record information is, therefore, internally inconsistent and inconsistent with the Sanborn Maps.

#### Assessor's Parcel Maps:

The 1870 Plat of Culverwell's Addition (C 15) identifies the five lots that extend along F Street, going west from 15<sup>th</sup> Street, as Lots 1 through 5. The west edge of Lot 5 is on the border with the adjacent Horton's Addition (Block 176).

The 1979 Parcel Map #8360 further delineates these lot lines and illustrates that "Parcel 1", the parcel containing 1455 F Street, is a portion Lots 4 and 5 of Block 15 of Culverwell's Addition, as is stated in the property's legal description in the Chain of Title. The current Parcel Map identifies this parcel as APN 535-171-09 and its boundaries are consistent with Parcel 1 on the 1979 Map.

#### Lot Block Book Page Research:

The Lot Block Book Page numbered 171 covers Blocks 13 – 15 in this subdivision from 1907 to 1911. In March of 1909, it identifies the owners of Lots 4 and 5 in Block 15 as George Gerhard and Mattie Bearns and it describes the property as the west 36 feet of Lot 4 and the east 14 feet of Lot 5. More importantly, although this Page covered 1907-1911, 1909 is the first year this source records an assessment for a structure on the property.

The Lot Block Book Page research indicates that this structure was built in 1909.

State of California – The Resource Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

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**B10. Significance continued:**

Chain of Title Research:

According to the original subdivision map and subsequent maps, the subject property is Parcel Number 535-171-09, which includes portions of Lots 4 and 5 of Block 15 of Culverwell's Addition. According to the Chain of Title:

- Gustav Schroepel and Hakes Investment Co. owned this property in 1906 when the Sanborn Map shows the store building present.
- Hakes Investment Co. sold a 25' wide lot (Lot 4) to Mattie Bearns in April of 1904.
- Hakes Investment Co. sold the east 14' of Lot 5 to Mattie Bearns in March of 1908.
- Mattie Bearns later became Mattie Stroehl and, in 1919, a Degree Quieting Title confirmed her ownership of west 36 feet of Lot 4 and the east 14 feet of Lot 5.

The Lot Block Book Page indicates George Gerhard and Mattie Bearns were owners of the west 36 feet of Lot 4 and the east 14 feet of Lot 5 in 1909 when the first improvements on the property were assessed during the period of 1907-1909.

Conclusion: The structure at 1455 Street was constructed during the ownership of portions of Lots 4 and 5 by Mattie Bearns in 1909.

The complete chain of title for this property is attached. It can be summarized as follows:

Parcel 1, Parcel Map 8360: S.S. Culverwell (1871); A.S. Grant (1871); Joseph Nash (1871-1877); L.G. Cole (1877-1883); Joseph Nash (1883-1887); Claude T. Hamilton, ½ interest (1887); Sterling McLean and Rena B. McLean, ½ interest (1887-1888); Eliza Gregg and Robert Gregg (1887); Edwin D. Ingalls and Louesa Ingalls (1887-1889); Hakes Investment Company (1899-1904); Mattie Bearns (1904).

The following deeds affect all of APN 535-171-09-00:

H.R. Emerling (1908-1914); Mattie Bearns Stroehl (1908-1919); Adolph M. Stroehl, Administrator (1919); F.W. Stumpf and Zoetta P. Stumpf (1919-1938); John Ameruss (1938-1978); Antonio Grimalda, Christine Grimalda, Ken Bourke and Sue Bourke (1978); Ken Bourke and Sue Bourke (1979-Present).

State of California – The Resource Agency  
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**B10. Significance continued:**

Permit Record Research:

The Building Permit records for the property were limited to a 1997 SDG&E conversion overhead to upgrade. No Water or Sewer permits were located for the property.

Historical Photograph Research:

One 1950 aerial historical photograph was located at the San Diego Historical Society archives. It shows the property with conditions similar to those shown on the Sanborn Maps however there is no shed at the rear of the property. It is also the case that this is a shallow lot with a limited rear yard.

City Directory Research:

City Directory listings by address began in 1926 and in that year V.P. Corona was listed at 1455 F Street. Tracing this listing backwards by year it can be established V.P. Corona was only listed once between 1921 and 1925, in 1924 when he resided at 922 16<sup>th</sup> Street.

City Directory listings for all owners of this property between 1905 and 1909 were also researched in case information could be obtained to help determine the actual date of construction on the theory that they might be in residence on the property. Mattie Bearn's owned a portion of this property from 1904 and another portion from 1908. She had no listings in the City Directories from 1905 to 1909. E.P. Bearn's was listed at this address, 2355 F Street, in 1908, but not in any other year. He could have occupied the structure shown on the 1906 Sanborn Map. H.R. Emerling was listed at the property next door, 2351 F Street, in 1908 and 1909, but never at this address. The following persons who are listed in the title were not listed in the City Directories during this period: Edwin D and Louesa Ingalls, Clara B Porter, Rena B McLean, Elizza Greg, Claude T. Hamilton and Joseph Nash.

The City Directory listings indicate that the front unit at 1455 F Street was occupied by short term tenants and one long term, owner occupant, John Ameruss, from 1950-1970. A 1945 obituary was found for former owner Mattie Bearn's and a 1967 obituary was found for Emma Stumpf who was listed as an occupant of the property when she died. Copies of the City Directory listings and obituaries are attached.

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\*Recorded by K.A. Crawford/Office of Marie Burke Lia Date June 1, 2010 Continuation  Update

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## **B10. Significance continued:**

### **Property History Summary**

The building was constructed as a two-story with basement residential property on 1909. The building has been occupied by a variety of occupants over the years, including long time residents, the Ameruss family. At an unknown time, the building was altered by a substantial rear addition. The building has lost integrity due to the non-historic building changes and the building is in extremely poor condition.

### **Integrity of the Structure**

To determine the significance of a property under local, state and federal criteria, it is necessary to assess whether the property has integrity. Integrity is the ability of a property to convey and maintain its significance. A property must not only be shown to be significant under the established criteria, it must also have integrity. In order to retain historic integrity, a property must possess several, and usually most, of the seven key aspects of integrity, which are location, design, setting, materials, workmanship, feeling and association.

**Location:** *Location is the place where the historic property was constructed or the place where the historic event occurred.*

The 1455 F Street property has remained in its original location since its construction. Therefore, the property retains its location element for integrity purposes.

**Design:** *Design is the combination of elements that create the form,, plan, space, structure, and style of a property.*

The building has retained some of its key elements but the building has been altered with non-historic door and window changes and the addition of a rear structure. Therefore, the building has not retained its design element for integrity purposes.

**Setting:** *Setting is the physical environment of a historic property.*

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**B10. Significance continued:**

The property is located within a mixed use commercial/residential neighborhood which originally consisted of single-family residences. The neighborhood originally contained a variety of residences from a wide range of styles dating from the 1910s to the c. 1950s. Some have remained, while others have been replaced from the 1960s-present. The neighborhood has changed substantially over the decades and does not retain the historical appearance of the surrounding properties. Therefore, the building has not retained its setting element for integrity purposes.

***Materials:*** *Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.*

The building does not contain any unusual materials used in its construction. The materials used have been identified as average types of wood, concrete and stone construction elements. Therefore, the building retains the materials element for integrity purposes.

***Workmanship:*** *Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.*

The workmanship demonstrated in the construction of the building is apparent from the materials analysis. The level of workmanship is of average quality. The building retains its integrity of workmanship.

***Feeling:*** *Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.*

The building has remained in its original location since it was constructed but the structure does not convey a sense of the period during which it was constructed. The building, therefore, has not retained its feeling element for integrity purposes.

***Association:*** *Association is the direct link between an important historic event or person and a historic property.*

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**B10. Significance continued:**

The property has not been determined to have been directly linked to an historically significant person. Consequently, the building does not have an associative element for integrity purposes.

**Historic Context of the structure**

The boundaries of Centre City East, also known as East Village, have been defined as Interstate 5 on the east, Commercial Avenue to the south, Sixth Avenue to the west and as far as north as Russ and Park Boulevards. Historically, from the 1860s to the present time, the area has been home to a wide range of industrial and retail businesses, modest single family homes to large multiple resident complexes, churches of various sizes, and mixed residential and commercial neighborhoods. The various neighborhoods have provided shelter, jobs and religious opportunities for a variety of ethnic groups and people with varying degrees of economic status. The area has been in a continuous state of transition as new businesses have entered the neighborhoods, different ethnic groups have moved in at various times, and fortunes have risen and fallen with the tides of time.

The true development of the downtown San Diego area began in 1867 with the purchase of 960 acres of land by Alonzo Horton. Horton paid \$265.00 for his "New Town" San Diego pioneer development. Horton created an orderly division of the land by dividing the acres into blocks and lots, thus setting the pattern for the development of the residential and commercial properties. Many of the East Village properties are located within this early subdivision of the land known as "Horton's Addition" (including the eastern edge of the subject property at 1451-1453 F Street).

After 1900, new businesses coming into the city chose the Centre City East area from which to conduct operations due to the proximity to the railroad tracks and the wharf. The entire area south of Broadway from the water to the east was a large commercial center for the city and, as such, provided jobs, goods and services while substantially increasing the prosperity of the city. During the 1920s, many San Diego businesses flourished in the Centre City East area and despite the Great Depression of the 1930s, this area in general continued to benefit from new development. In some instances, businesses could not survive the economic downturn and were forced to close. Structures were left in a state of disrepair as some businesses moved their base of operations north of Broadway, leaving abandoned buildings in their wake.

As illustrated by the Sanborn Fire Maps from 1921 to 1956 and the 1950 aerial photograph, the subject block retained more of a balanced mix of residential and industrial than did the surrounding blocks.

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**B10. Significance continued:**

The 1940s and the advent of World War II brought additional changes to the neighborhood, as it did to all parts of San Diego County and the nation. During the 1950s, the East Village area transitioned to a densely developed industrial area and the residential component was reduced significantly. The earlier businesses were joined by larger concerns as new industrial uses moved into the area. Wholesale produce and grocery warehouses continued to operate from the area, but remnants of the former mixed residential and small scale industrial development still managed to survive in the area north of J Street and east of 7<sup>th</sup> Street. The subject property is an example of such a remnant of the former residential uses in the vicinity. A complete Historic Context Statement for this vicinity is included Attachment E.1 to this Historical Resources Research Report.

**Application of the San Diego Historical Resources Board (HRB) Register Significance Criteria**

According to the City of San Diego Land Development Code, Historical Resources Guidelines (Adopted September 28, 1999; Amended June 6, 2000; April 30, 2001), a building, structure, sign, interior element and fixture, feature, site, place, district, area or object may be designated as a historic by the City of San Diego Historical Resources Board if it meets any of the following criteria.

*Criterion A: Community Development: If it exemplifies or reflects special elements of a City's, a community's or a neighborhood's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development.*

No historical evidence was identified which would support the determination that the property exemplifies or reflects special elements of San Diego's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development.

The residence was one of many homes in the East Village/San Diego area constructed during this period and does not exemplify or reflect special elements of the San Diego community. This is not a property that is distinct among others of its kind and it does not surpass the usual in significance.

*Criterion B: Person: Is identified with persons or events significant in local, state, or national history;*



**CONTINUATION SHEET**

Primary # \_\_\_\_\_

HRI# \_\_\_\_\_

Trinomial \_\_\_\_\_

Page 13 of 17 \*Resource Name or # (Assigned by recorder) 1451-1453 F Street, San Diego, CA 92101

\*Recorded by K.A. Crawford/Office of Marie Burke Lia Date June 1, 2010 Continuation  Update

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**B10. Significance continued:**

No historical evidence was identified which would support the determination that the Property was identified or associated with persons or events significant in local, state or national history.

*Criterion C: Architecture: Embodies distinctive characteristics of a style, type, period or method of construction or is a valuable example of the use of indigenous materials or craftsmanship;*

The subject property located at 1455 F Street, San Diego, CA 92101 was identified as having been designed and constructed in the Folk Victorian Vernacular style. The building was evaluated as an example of the Folk Victorian Vernacular style.

According to pages 309-310 of A Field Guide to American Houses by Virginia and Lee McAlester, the identifying features of Folk Victorian architecture are porches with spindlework detailing (turned spindles and lace-like spandrels) or flat, jigsaw cut trim appended to National Folk house forms, symmetrical facades and cornice-line brackets. Of these features, this property has only a somewhat symmetrical façade. "The style is defined by the presence of Victorian decorative detailing on simple folk house forms, which are generally much less elaborated than the Victorian styles that they attempt to mimic." "The primary areas for the application of this detailing are the porch and cornice line." No such detailing is present at these locations. "Porch supports are commonly either Queen Anne-type turned spindles, or square posts with the corners beveled (chamfered) as in many Italianate porches." The porch supports lack both of these characteristics. "In addition, lace-like spandrels are frequent and turned balusters may be used in porch railings and in friezes suspended from the porch ceiling." These features are also lacking.

This building cannot be considered to be a good representative example of the Folk Victorian Vernacular architectural style and alterations have compromised the integrity of whatever design elements might originally have been present. The building does not embody the distinctive characteristics of a style, type, period, or method of Folk Victorian Vernacular style construction to a level of significance. The building retains its massing, shape, footprint and but the building is a limited example of the style and does not serve as a good example of a designed Folk Victorian Vernacular style home.

Due to the fact that no indigenous materials went into the construction of the building, the building is not a valuable example of the use of indigenous materials or craftsmanship. As a

Primary # \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 14 of 20 \*Resource Name or # (Assigned by recorder) 1451-1453 F Street, San Diego, CA 92101  
\*Recorded by K.A. Crawford/Office of Marie Burke Lia Date June 1, 2010 Continuation  Update

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**B10. Significance continued:**

result of the lack of the main character defining features of the Folk Victorian Vernacular style, its subsequent alterations and as a limited example of the style, the property is not considered to be architecturally significant under Criterion C: Architecture.

*Criterion D: Master Architect: Is representative of the able work of a master builder, designer, architect, engineer, landscape architect, interior designer, artist, or craftsman;*

No architect or contractor was identified for the design of the building. Therefore, the subject building is not representative of the work of a master builder, designer, architect, engineer, landscape architect, interior designer, artist or craftsman.

**Application of National Register of Historic Places and California Register of Historical Resources Criteria**

*When evaluated within its historic context, a property must be shown to be significant for one or more of the four Criteria for Evaluation – A, B, C, or D. The Criteria describes how properties are significant for their association with important events or persons, for their importance in design or construction, or for its information potential. In addition, a property must not only be shown to be significant under the National and/or California Register criteria, but it also must have integrity. The seven aspects of integrity include: location, design, setting, materials, workmanship, feeling, and association.*

**Criterion A: Event**

*National Criteria – To be considered for listing under Criterion A, a property must be associated with one or more events important in the defined historic context. The event or trends must clearly be important within the associated context. Mere association with historic events or trends is not enough, in and of itself to qualify under Criterion A. the property's specific association must be considered important as well.*

*California Criteria – It is associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.*

**CONTINUATION SHEET**

Primary # \_\_\_\_\_

HRIP# \_\_\_\_\_

Trinomial \_\_\_\_\_

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\*Recorded by K.A. Crawford/Office of Marie Burke Lia Date June 1, 2010 Continuation  Update

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**B10. Significance continued:**

The property does not qualify under National or California Criterion A: Event. Historical research failed to identify any important events that have made a significant contribution to the broad patterns of regional history or the cultural heritage of California or the United States as associated with the property over the course of its existence.

**Criterion B: Person**

*National Criteria – Criterion B applies to properties associated with individuals whose specific contributions to history can be identified and documented. Persons “significant in our past” refers to individuals whose activities are demonstrably important within a local, State, or national historic context. The criterion is generally restricted to those properties that illustrate (rather than commemorate) a person’s important achievements. The persons associated with the property must be individually significant within a historic context. Significant individuals must be directly associated with the nominated property. Properties eligible under Criterion B are usually those associated with a person’s productive life, reflecting the time period when he or she achieved significance. Speculative associations are not acceptable. Documentation must make clear how the nominated property represents an individual’s significant contributions. A property must retain integrity from the period of its significant historic associations. Architects are often represented by their works, which are eligible under Criterion C. Their homes, however, can be eligible for consideration under Criterion B, if these properties were personally associated with the individual.*

*California Criteria – It is associated with the lives of persons important to local, California or national history.*

The property does not qualify under National or California Criterion B: Person at the state or national levels. Historical research failed to identify any important owners, tenants, and/or occupants associated with the building over the course of its existence to derive historical significance. No owners, tenants, or occupants affected the course of state or national history.

*National Criteria – Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction. Properties which embody the*

Primary # \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_

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\*Recorded by K.A. Crawford/Office of Marie Burke Lia Date June 1, 2010 Continuation  Update

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**B10. Significance continued:**

**Criterion C: Design/Construction**

*distinctive characteristics of a type, period, or method of construction refer to the way in which a property was conceived, designed or fabricated by a people or a culture in past periods of history. Distinctive characteristics are the physical features or traits that commonly recur in individual types, periods, or methods of construction. To be eligible, a property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction.*

*A master is a figure of generally recognized greatness in a field, a known craftsman of consummate skill, or an anonymous craftsman whose work is distinguishable from others by its characteristic style and quality. The property must express a particular phase in the development of the master's career, an aspect of his or her work, or a particular theme in his or her craft.*

*California Criteria – It embodies the distinctive characteristics of a type, period, region or method of construction, or represents the work of a master or possesses high artistic values.*

The property does not qualify under National or California Criterion C: Design/Construction at state or national levels.

**Embodying the Distinctive Characteristics of a Type, Period, or Method of Construction**

In its current condition, the building is not considered to be a representative example of the Folk Victorian Vernacular architectural style to the level necessary to meet state or national criteria and it is not considered to be a valuable example of the use of indigenous materials or craftsmanship. The building does not embody the key characteristics of the Folk Victorian Vernacular style to a level that would allow it to qualify for the state or national registers. The building is a locally based vernacular example of the style that lacks the identifying features of the type, period, or method of Folk Victorian Vernacular style of construction to reach a state or national level of recognition. Also, the subsequent alterations have reduced its integrity to below a level of significance.

Primary # \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 17 of 20 \*Resource Name or # (Assigned by recorder) 1451-1453 F Street, San Diego, CA 92101  
\*Recorded by K.A. Crawford/Office of Marie Burke Lia Date June 1, 2010 Continuation  Update

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**B10. Significance continued:**

**Possessing High Artistic Values**

The building does not qualify under National or California Register Criterion C: Design/Construction as a structure which possesses high artistic values. The building does not articulate a particular concept of Folk Victorian Vernacular design to the extent that an aesthetic ideal is expressed. The original design concepts have limited the residence's ability to serve as a good example of the Folk Victorian Vernacular style of architecture to qualify at the national or state levels.

**Criterion D: Information Potential**

*National Criteria – Properties may be eligible under Criterion D if they have yielded, or may be likely to yield, information important in prehistory or history.*

*California Criteria – It has yielded or has the potential to yield information important in prehistory or history of the local area, California or the nation.*

The Property is not considered to have the potential to yield information important in prehistory or history. Therefore, the property does not qualify under National or California Criterion D: Information Potential.

**Findings and Conclusions**

**Impacts Discussion**

The property is not considered to meet the criteria for significance at any level, therefore, it is not considered to be an historic resource under CEQA. This determination means that all future actions pertaining to the residence are not required to comply with the Secretary of the Interior's Standards for the Treatment of Historic Properties or meet the requirements for the issuance of a Site Development Permit per SDMC 126.0504. There will not be impacts to historic resources with the implementation of the proposed project since the property is not considered to be an historic resource.

Primary # \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 18 of 20 \*Resource Name or # (Assigned by recorder) 1451-1453 F Street, San Diego, CA 92101  
\*Recorded by K.A. Crawford/Office of Marie Burke Lia Date June 1, 2010 Continuation  Update

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**B10. Significance continued:**

**City of San Diego CEQA Significance Evaluation**

*According to the City of San Diego Land Development Code, Historical Resources Guidelines (Adopted September 28, 1999, Amended June 6, 2000, April 20, 2001), the determination of potential significance for historic buildings, structures and objects, and landscapes is based on age, location, context, association with an important person or event, uniqueness, and integrity.*

Age: The building was built in 1891 or 1909. As such, it is more than 100 years of age.

Location: The 1455 F Street residence has remained in its current location since its original construction.

Context: The physical environment surrounding the property has substantially changed to the extent that its original context has been altered. The neighborhood is not substantially the same as when the original home was constructed.

Association – Event: Historical research failed to reveal any historically important event at the local, state, or national level ever having been associated with the property.

Association – Person: Historical research has not revealed that the residence has been associated with a historically significant person.

Uniqueness – Architecture: The 1455 F Street residence has been evaluated as an example of the Folk Victorian Vernacular architectural style, but it lacks almost all of the identifying features of that style. The residence is not a good example of the style in its current condition.

Uniqueness – Use: The primary building on the property was designed and constructed as a multiple-family residence with rental units. Multiple-family residential use is not considered unique in general or in particular in this mixed commercial, multiple or single family neighborhood.

Structural Integrity: The 1455 F Street residence does not meet the criteria for structural integrity as it is in very poor condition. Evidence of dry rot and instability was located which indicates that the building is not structurally sound.

Primary # \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_

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\*Recorded by K.A. Crawford/Office of Marie Burke Lia Date June 1, 2010 Continuation  Update

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### **Application of CEQA Criteria**

As a resource that is not historically or architecturally significant under local criteria C, the building is not considered to be a Historical Resource under CEQA.

### **Mitigation Measures**

Since the instant project will not impact a historical resource, no mitigation measures are required.

### **Conclusion**

Since the instant project will not impact an historical resource, no mitigation measures are required.

### **B12. Bibliography**

California Department of Parks and Recreation, Office of Historic Preservation, *California Historic Resources Inventory Survey Workbook*, Third Revision, August 1986.

California Lot Book, Inc., Chain of Title for 1455-1459 F Street, San Diego, California, June 2010.

California Room, San Diego Public Library, San Diego Union Tribune indexes and articles, other research materials.

City of San Diego, Building Permit files on file at Building Department.

City of San Diego, Historical Resources Board, *Historical Resources Technical Report Guidelines and Requirements*, Land Development Manual, Historical Resources Guidelines, Appendix E, Part 1.1, February 2009.

City of San Diego, Land Development Code, *Historical Resources Guidelines*, Adopted September 28, 1999, Amended June 6, 2000 and April 30, 2001.

City of San Diego, Water and Sewer Department Records.

State of California – The Resource Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary # \_\_\_\_\_  
HRI# \_\_\_\_\_  
Trinomial \_\_\_\_\_

Page 20 of 20 \*Resource Name or # (Assigned by recorder) 1451-1453 F Street, San Diego, CA 92101  
\*Recorded by K.A. Crawford/Office of Marie Burke Lia Date June 1, 2010 Continuation  Update

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**B12. Bibliography continued:**

McAlester, Virginia and Lee, *A Field Guide to American Houses*, New York, Alfred A. Knopf, 2000.

San Diego City Directories, c. 1891-1970.

San Diego County Assessor's Office, Residential Building Record, San Diego, California 92101.

San Diego Historical Society Research and Photographic Archives, Balboa Park, Union Title Collection.

United States Department of the Interior, National Park Service, *How to Apply the National Register Criteria for Evaluation*, *National Register Bulletin 15*, Revised 1991.

White, Norval, *The Architecture Book*, New York, Alfred A. Knopf, First Edition, 1976.



**SECTION VII APPENDICES**

**B. OWNER AND OCCUPANT INFORMATION**

1. Chain of Title
2. City Directory
3. Copy of Deed from Date of Construction

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**EAST VILLAG GREEN**

Historical Resources Technical Report  
Section VII.B – Owner and Occupant Information

September 19, 2017

Page 7B.1

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**1. Chain of Title**

- a. Murray Apartments** – No Information Available

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**b. Daggett Family Residence**

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DOCUMENT TYPE	GRANTOR	GRANTEE	RECORDED	BOOK	PAGE	DOCUMENT #	GENERAL NOTES
DEED	HORTON: A. E.	CHRISTIAN: D. G.	5-16-1873*	20	347		*DATED DATE
DEED	CHRISTIAN: D. G.	FRISBIE: J. C.	4-25-1876*	7	329		*DATED DATE, MISC RECORDS.
DEED	CHRISTIAN: D. G., ET AL	FRISBIE: J. C.	5-4-1878*	32	61		*DATED DATE, SIGNED BY SHERIFF
DEED	FRISBIE: J. G.	CONKLIN: MYRA	5-4-1878*	32	103		*DATED DATE
DECLARATION OF HOMESTEAD	CONKLIN: N. H. CONKLIN: MYRA		6-12-1879	3	45		BOOK OF HOMESTEADS
ABANDONMENT OF HOMESTEAD	CONKLIN: N. H. CONKLIN: MYRA		4-26-1884	3	218		BOOK OF HOMESTEADS
DEED	CONKLIN: N. H. CONKLIN: MYRA	DAGGETT: W. T.	5-19-1887*	82	414		*DATED DATE
DEED	DAGGETT: W. T. DAGGETT: F. E.	DAGGETT: J. A.	12-5-1895*	247	30		*DATED DATE
DEED	DAGGETT: W. T.	DAGGATT: J. R.	2-8-1904	238	241		
DEED	DAGGETT: W. T. DAGGETT: E. F.	KELLER: WALTER S.	1-31-1912	599	2		
DEED	KELLER: WALTER S.	SO. TITLE GUARANTY CO.	2-23-1912	545	375		
DEED	SO. TITLE GUARANTY CO.	KEENAN: WILLIAM	9-21-1915	691	224		

DOCUMENT TYPE	GRANTOR	GRANTEE	RECORDED	BOOK	PAGE	DOCUMENT #	NOTES
DEED	KEENAN: WILLIAM	GARRA: DAVID A. GARRA: LIZZIE L. KEENAN	7-6-1917	738	119	12005	
DEED	GARRA: DAVID A. GARRA: LIZZIE L. KEENAN	LANE: ALBERT M. LANE: QUEENE L.	3-5-1926	1161	24	12433	
DEED	LANE: ALBERT M. LANE: QUEENE L.	JACQUES: GRACE ROOD	10-2-1926	1244	407		
DEED	JACQUES: GRACE ROOD	WEEBER: C. F. WEEBER: IDA	3-26-1927	1340	185		
DEED	WEEBER: C. F. WEEBER: IDA	LANDGRAF: HAZEL	2-21-1928	1416	435		
AGREEMENT TO EXCHANGE	WEEBER: C. F.	LANDGRAF: P. C.	4-20-1928	1453	169	23759	*****PULL
DEED	LANDGRAF: P. C. LANDGRAF: HAZEL	MCDONALD: WILLIAM E.	6-8-1928	1492	78	33405	
DEED	MCDONALD: WILLIAM E.	JOVANOVICH: LEE JOVANOVICH: MIKE	7-3-1928	1497	134	38363	
DEED	JOVANOVICH: LEE JOVANOVICH: MIKE	STUART: JOHN M. STUART: GRACE L.	1-15-1931	1858	208	2382	
DEED	STUART: JOHN M. STUART: GRACE L.	SIMS: JOHN	1-15-1931	1848	350	2384	
DEED	SIMS: JOHN	FUNCHEON: GLEN FUNCHEON: MARY	" "	1841	412	2385	
DEED	FUNCHEON: GLEN FUNCHEON: MARY	WUPPER: LAURA M.	3-31-1931	1874	319	19826	



DOCUMENT TYPE	GRANTOR	GRANTEE	RECORDED	BOOK	PAGE	DOCUMENT #	NOTES
AGREEMENT	WUPPER: CARL F.	WUPPER: LAURA M.	4-20-1931	1884	217	23414	
TRUSTEE'S DEED	UNION TRUST CO. OF SAN DIEGO	MCDONALD: WILLIAM E., ET AL	March 4, 1995	457	211	69247	
DECREE	MCDONALD: WILLIAM EVEN, ESTATE OF	MCDONALD: CHRISTINA	April 1, 1938			14502	
DEED	MCDONALD: CHRISTINA	WISMER: JACK WISMER: ELIZA L.	August 4, 1942			45530	
AGREEMENT	WISMER: JACK WISMER: ELIZA L.		June 12, 1947			60418	RE: ZONING *****COPY
JUDGEMENT			May 15, 1968			81639	*****COPY
DEED			July 12, 1968			117896	*****COPY
DEED	HIRZEL: WERNER	RUSSELL: ELMER L.	12-31-1975			369830	
DEED	RUSSELL: ELMER L.	H & H PROPERTIES INC.	12-15-1978			539163	
DEED	H & H PROPERTIES INC.	H & H PROPERTIES	June 24, 1981			196916	
DEED	H & H PROPERTIES	KULICK: SHEL	August 3, 1983			268958	
DEED	KULICK: SHEL	KULICK: SHEL	12-19-1995			578109	AFFECTS LOT H
VARIANCE?????	KULICK: BONNIE	DEVELOPMENT SERVICES DEPARTMENT	12-29-1995			596665	*****COPY

**APPENDIX E**

**AGREEMENT**

**BETWEEN JACK & ELIZA WISMER AND THE CITY OF SAN DIEGO**

**JUNE 11, 1947**

Regarding ~~#####~~ moving, construction and alterations.

Regarding use of building as living quarters

STATE OF CALIFORNIA )  
COUNTY OF SAN DIEGO ) SS.  
CITY OF SAN DIEGO )

Jack Wismer and Elisa L. Wismer, after  
being first duly sworn, each for himself  
deposes and says;

That we are the owners of the hereinafter described real  
property; One hundred  
Lots "E" and "H" Block seventy six (176)  
Subdivision Horton's Addition, located at  
14th Street, 50 ft. north of "Q" Street

THAT we desire to move in, construct and alter  
a building to living quarters on a lot which does not have  
street frontage; the lot being Lot "H";

THAT we, in consideration of approval granted by the City  
of San Diego to move in, construct and alter a building to living  
quarters on Lot "H";

do hereby covenant and agree to and with said City of San Diego, a  
Municipal Corporation, that Lots "E" and "H" will remain in the  
same ownership and will not be sold separately as long as there  
are living quarters on Lot "H".

THAT this agreement shall run with the land and be part of a  
general plan for the protection and benefit of all parties concerned,  
and that if the property should hereafter be conveyed to any other  
person, firm or corporation that the instrument by means of which  
title or any interest in or to said real property, or any parcel  
thereof, is conveyed will contain a restriction limiting the use of  
the part or parcel so conveyed, or in the event of the conveyance of  
the whole of said property hereinbefore described, then to use the  
whole of said property in keeping with this agreement.

Elisa L. Wismer Jack Wismer  
Owner's Name Owner's Name  
719-14th St. 719-14th St. S.D.2.  
Address Address

On this 11th day of June A.D. Nineteen Hundred and forty seven  
before me, August M. Wadstrom

A Notary Public in and for said County, residing therein, duly commis-  
sioned and sworn, personally appeared Jack Wismer and Elisa L. Wismer  
known to me to be the person described in and whose name  
subscribed to the within instrument, and acknowledged to me that  
they executed the same.

IN WITNESS WHEREOF, I have herunto set my hand  
and affixed my Official Seal, at my office in  
San Diego County of San Diego,  
State of California, the day and year in this  
certificate first above written.

August M. Wadstrom  
Notary Public in and for the County  
of San Diego, State of California

**c. Mattie Bearns House**

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**California Lot Book, Inc.**  
*dba California Title Search Co.*  
P.O. Box 9004  
Rancho Santa Fe, CA 92067  
(858) 278-8797 Fax (858) 278-8393  
WWW.LOTBOOK.COM

## **Chain of Title Report**

Marie Burke Lia  
427 C St., Ste. 416  
San Diego, CA 92101

CTS Reference No.:0610002  
Your Reference No.:26

**Title Search Through:** May 10, 2010

**Property Address:** 1459 F St.  
San Diego, CA 92101

**Assessor's Parcel No.:** 535-171-09-00

**Assessed Value:** \$36,903

**Exemption:** None

**Use:** Property Characteristics  
Duplex

**Improvements:** 1,800 square feet

### **Short Legal Description**

PARCEL 1 OF PARCEL MAP NO. 8360, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 30, 1979 AS FILE/PAGE NO. 79-045827 OF OFFICIAL RECORDS.

Chain of Title  
(April 6, 1871 through May 10, 2010)

The following documents affect a portion of the underlying legal description.

1. Deed

Grantor: S.S. Culverwell  
Grantee: A.S. Grant  
Recorded: April 6, 1871, Book 13, Page 73, of Deeds

2. Deed

Grantor: A.S. Grant  
Grantee: J. Nash  
Recorded: April 6, 1871, Book 13, Page 75, of Deeds

3. Deed

Grantor: Joseph Nash  
Grantee: L.G. Cole  
Recorded: December 24, 1877, Book 31, Page 291, of Deeds

4. Deed

Grantor: L.G. Cole  
Grantee: Joseph Nash  
Recorded: October 17, 1883, Book 45, Page 109, of Deeds

5. Deed

Grantor: Joseph Nash  
Grantee: Claude T. Hamilton, ½ int.  
Recorded: March 10, 1887, Book 80, Page 112, of Deeds

6. Deed

Grantor: Joseph Nash  
Grantee: Rena B. McLean, ½ int.  
Recorded: May 31, 1887, Book 86, Page 228, of Deeds

**Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10**

7. Deed  
Grantor: Sterling McLean, Rena B. McLean and Claude T. Hamilton  
Grantee: Gustav Schroeppel  
Recorded: November 15, 1887, Book 107, Page 251, of Deeds

8. Deed  
Grantor: Rena B. McLean  
Grantee: Clara B. Porter, 1/4 int.  
Recorded: September 5, 1888, Book 132, Page 389, of Deeds

9. Deed  
Grantor: Rena P. Porter McLean  
Grantee: Clara B. Porter, 1/2 int.  
Recorded: March 21, 1889, Book 146, Page 365, of Deeds

10. Deed  
Grantor: George H. Mastick, Trustee  
Grantee: Gustav Schroeppel  
Recorded: March 12, 1906, Book 389, Page 15, of Deeds

11. Deed  
Grantor: Gustav Schroeppel  
Grantee: Hakes Investment Co.  
Recorded: March 14, 1906, Book 388, Page 233, of Deeds

12. Deed  
Grantor: Hakes Investment Co.  
Grantee: Mattie Bearn  
Recorded: March 13, 1908, #3496, Book 433, Page 358, of Deeds

**Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10**



The following documents affect a portion of the underlying legal description.

1. Deed

Grantor: S.S. Culverwell  
Grantee: A.S. Grant  
Recorded: April 6, 1871, Book 13, Page 73, of Deeds

2. Deed

Grantor: A.S. Grant  
Grantee: J. Nash  
Recorded: April 6, 1871, Book 13, Page 75, of Deeds

3. Deed

Grantor: Joseph Nash  
Grantee: L.G. Cole  
Recorded: December 24, 1877, Book 31, Page 291, of Deeds

4. Deed

Grantor: L.G. Cole  
Grantee: J. Nash  
Recorded: October 17, 1883, Book 45, Page 109, of Deeds

5. Deed

Grantor: Joseph Nash  
Grantee: Claude T. Hamilton, ½ int.  
Recorded: March 10, 1887, Book 80, Page 112, of Deeds

6. Deed

Grantor: Joseph Nash  
Grantee: Rena B. McLean, ½ int.  
Recorded: May 31, 1887, Book 86, Page 228, of Deeds

7. Deed

Grantor: Claude T. Hamilton, Rena B. McLean and Sterling McLean  
Grantee: Eliza Gregg  
Recorded: November 7, 1887, Book 107, Page 163, of Deeds

8. Deed

Grantor: Eliza Gregg and Robert Gregg  
Grantee: Edwin D. Ingalls  
Recorded: December 31, 1887, Book 110, Page 279, of Deeds

**Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10**

The following documents affect all of APN 535-171-09-00

1. Deed

Grantor: H.R. Emerling  
Grantee: Mattie Bearn  
Recorded: October 12, 1908, Book 450 Page 190, of Deeds

2. Decree Quieting Title

Plaintiff: Mattie Stroehl  
Defendant: Adolph M. Stroehl, as Administrator with the Will Annexed of the Estate of E.F. Bearn, deceased  
Recorded: December 19, 1919, Book 800 Page 105, of Deeds

3. Deed

Grantor: Mattie Stroehl  
Grantee: F. W. Sumpf and Zoetta P. Sumpf  
Recorded: December 30, 1919, Book 800 Page 166, of Deeds

4. Decree of Settlement of Final Account and Distribution of Estate

In the Matter of  
the Estate of: Fred W. Sumpf aka F. W. Sumpf, Deceased  
Recorded: April 5, 1929, Book 1588 Page 436, of Deeds

5. Grant Deed

Grantor: Zoette P. Sumpf  
Grantee: John Ameruss  
Recorded: June 27, 1938, Book 784, Page 447

6. Grant Deed

Grantor: John Ameruss  
Grantee: Antonio Grimalda, Christine Grimalda, Ken Bourke and Sue Bourke  
Recorded: May 26, 1978, Records File No. 78-216748

7. Grant Deed

Grantor: Antonio Grimalda, Christine Grimalda, Ken Bourke and Sue Bourke  
Grantee: Ken Bourke and Sue Bourke  
Recorded: February 9, 1979, Records File No. 79-62476

8. The Redevelopment Agency of the City of San Diego

Description of Land Within the Centre City Redevelopment Project Area and Statement that Redevelopment Proceedings are Continuing and/or Have Been Instituted  
Recorded: May 12, 1992, Records File No. 92-287642

**Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10**

9. Judgment

Petitioner: Susan Mae Bourke  
Respondent: Kenneth Paul Bourke  
Recorded: September 14, 1993, Recordors File No. 93-603691

10. Statement that Redevelopment Proceedings Have Been Instituted

Recorded: January 27, 1995, Recordors File No. 95-38806

11. The Redevelopment Agency of the City of San Diego

Description of Land Within the Centre City Redevelopment Project Area and Statement that Redevelopment Proceedings are Continuing and/or Have Been Instituted

Recorded: December 6, 1999, Recordors File No. 99-794656

12. Centre City Redevelopment Project Area Statement

Recorded: April 30, 2007, Recordors File No. 07-292863

13. Ordinance Number O-19663

Certified Ordinance - Approving and Adopting the Proposed Eleventh Amendment to the Redevelopment Plan for the Centre City Redevelopment Project

Recorded: September 4, 2009, Recordors File No. 09-499449

- End of Report -

Note: We find no recorded evidence of a Notice of Completion.

\*\*\*\*\*

Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10. Note that we are not a Title Insurance Company, and that no express or implied warranty as to the accuracy or completeness of the information provided herein is granted. Our work has been performed under short time constraints with a quick turn around, and is based in part on the use of databases outside of our control. The recipient hereby acknowledges that California Lot Book, Inc. assumes no liability with respect to any errors or omissions related to the information provided herein. Also note that this search has been performed without the benefit of a Statement of Identification from the property owners, and if a search was performed for liens recorded against owner names, we cannot be sure that the information provided relates to the actual property owners, or is complete with respect to the property owners. In any event, our liability is limited to the amount of fees collected for the information provided herein.

\*\*\*\*\*

9. Deed  
Grantor: Rena B. McLean  
Grantee: Clara B. Porter, 1/4 int.  
Recorded: September 5, 1888, Book 132, Page 389, of Deeds

10. Deed  
Grantor: Rena B. Porter McLean  
Grantee: Clara B. Porter, 1/2 int.  
Recorded: March 21, 1889, Book 146, Page 365, of Deeds

11. Deed  
Grantor: Edwin D. Ingalls and Louesa Ingalls  
Grantee: Hakes Investment Company  
Recorded: October 16, 1899, Book 280, Page 392

12. Deed  
Grantor: Hakes Investment Company  
Grantee: Mattie Bearns  
Recorded: April 1, 1904, Book 341, Page 186, of Deeds

**Please be advised that this is not Title Insurance. The information provided herein reflects matters of public record which impart constructive notice in accordance with California Insurance Code 12340.10**

**2. City Directory****a. Murray Apartments<sup>1</sup>**

1933	-	719 14 <sup>th</sup> Street	
1936	-	719 14 <sup>th</sup> Street	Murray Apartments
1937-1966	-	719 14 <sup>th</sup> Street	Jack & Eliza Wismer
1955	-	719 14 <sup>th</sup> Street	Wismer Apartments
1995	-	719 14 <sup>th</sup> Street	Villa Victoria

**b. Daggett Family Residence<sup>1</sup>**

1897-1913	-	2361 G Street	William B. Norris, carpenter
1914-1917	-	1461 G Street	William & Flora Norris
1917-1937	-	1461 G Street	Flora Norris
1939-1942	-	1461 G Street	Ralph Peterson
1940	-	1461 G Street	Thomas Castro
1941	-	1461 G Street	Joseph Mendoza
1942	-	1461 G Street	Joseph Kachmarek
1943	-	1461 G Street	W.A. Brunson
			G.T. Denny
1944	-	1461 G Street	R.C. Pittsley
			A.N. Wolfe
[1948 or 1949	-	Relocation to 721 14 <sup>th</sup> Street	]
1950	-	721 14 <sup>th</sup> Street	C.M. Montgomery
1952-1955	-	721 14 <sup>th</sup> Street	Armando Mendoza
1952	-	721 14 <sup>th</sup> Street	Robert L. & Charles B. Lane
1953-1954	-	721 14 <sup>th</sup> Street	Charles B. Lane
1955	-	721 14 <sup>th</sup> Street	Ramon A. Sanchez
			John W. Quigley
1956-1971	-	721 14 <sup>th</sup> Street	[4 units]
1971	-	721 14 <sup>th</sup> Street	[1 tenant]
1998	-	721 14 <sup>th</sup> Street	[4 tenants]

**c. Mattie Bearn's House<sup>2</sup>**

1926	-	1455 F Street	V.P. Corona
1930	-	1455 F Street	Vacant
1935	-	1455 F Street	Paula Gonzales
			Carmen Horcasitas
1940	-	1455 F Street	Louis Stumpf
1945	-	1455 F Street	Emma Stumpf
1950-1955	-	1455 F Street	John B. Ameruss

<sup>1</sup> Office of Marie Burke Lia, Attorney at Law. "Historical Assessment of the 719 & 721 14<sup>th</sup> Street Buildings, San Diego, California 92101." Prepared for Mr. Shel Kulick. January 2000.

<sup>2</sup> K.A. Crawford/Office of Marie Burke Lia, Attorney at Law, "Historical Resource Research Report, 1455 F Street, San Diego, California 92101." June 1, 2010.

1960	-	1455 F Street	Vacant
1965-1970	-	1455 F Street	John B. Ameruss
1975	-	1455 F Street	No Listing
1980-1984	-	1455 F Street	Bourke Real Estate Sales – Melvin C. Bourke

**EAST VILLAG GREEN**

Historical Resources Technical Report

September 19, 2017

Section VII.B – Owner and Occupant Information

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Page 7B.3

- 3. Copy of Deed from Date of Construction**
  - a. Murray Apartments – No Information Available**
  - b. Daggett Family Residence – No Information Available**

[This page intentionally left blank.]



**c. Mattie Bearns House**

[This page intentionally left blank.]

the within instrument, and acknowledged to me that such corporation executed the same.  
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, at my office, in the City of San Diego, County of San Diego, State of California, the day and year in this Certificate first above written.



J. J. HESSE,  
Notary Public in and for the County of  
San Diego, State of California.

Recorded at request of Grantee Apr 1 1904, at 10 min. past 3 o'clock P.M.  
Geo. F. Forward, County Recorder.  
By *Montgomery M. Martin* Deputy Recorder.

Fee \$1.

4/1/1904 BK 341 PG 186 DEEDS

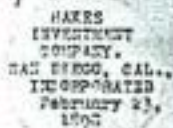
Makes Investment Company, a corporation, organized and existing under the laws of the State of California, for and in consideration of the sum of Ten Dollars and other valuable consideration, DO HEREBY GRANT to Matie Bearns of San Diego, County of San Diego, State of California, ALL THAT REAL PROPERTY situated in the City of San Diego, County of San Diego, State of California, bounded and described as follows:-

Commencing at a point 25 feet East from the Northwest corner of Block Fifteen (15) of Culverwell's Addition to San Diego, according to the official map thereof now on file in the office of the County Recorder of San Diego County, State of California, thence running South 140 feet; thence running East 25 feet; thence running North 140 feet; thence running West 25 feet to the point of commencement, together with all improvements thereon.

TO HAVE AND TO HOLD the above granted and described premises, unto the said Grantee her heirs and assigns forever, as her separate property and for her sole use and benefit.

WITNESS the hand of said corporation by its President, Secretary and Corporation Seal, this first day of APRIL 1904.

Signed and executed in presence of }  
a. H. Himebaugh. }



MAKES INVESTMENT COMPANY.  
L.B. Makes, President.  
C.C. Makes, Secretary.

State of California,  
County of San Diego.

On this first day of April A.D. Nineteen Hundred and four, before me, H.H. Himebaugh, a Notary Public, in and for said County, residing therein, duly commissioned and sworn, personally appeared L.B. Makes and C. C. Makes known to me to be the President and Secretary of the Corporation that executed the within instrument, and acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Notarial Seal, at my office in San Diego, County of San Diego, State of California, the day and year in this Certificate first above written.

H. H.  
HIMEBAUGH.

H. H. Himebaugh,  
Notary Public in and for the County of  
San Diego, State of California.

Recorded at request of Grantee Apr 1 1904, at 10 min. past 3 o'clock P.M.  
Geo. F. Forward, County Recorder.  
Fee \$ 20¢  
By *Montgomery M. Martin* County Recorder.

IN THE SUPERIOR COURT OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

No. 2600

P R O B A T E .

Sept. 2.

In the Matter of the Estate of }  
Erna T. Dayton, Deceased. }

Decree of Settlement of Final Account and Distribution.

F. J. Layne, Administrator of the estate of Erna T. Dayton, deceased.

Photographed By M. DULAC, Deputy Recorder

H. R. Emerling }  
Mattie Beames. } H. R. Emerling (unmarried)

For and in consideration of the sum of One (\$1.00) Dollar,  
DO HEREBY Quitclaim to  
Mattie Beames

All that Real Property situated in the City of San Diego, County of San Diego,  
State of California, bounded and described as follows:

The East Fourteen feet of Lot Five in Block Fifteen of  
Cyberwells Addition in the City of San Diego, County of  
San Diego, State of California according to map titled  
No. 1430 filed in the office of the Recorder of said San  
Diego County June 3, 1871.

To Have and To Hold the above quitclaim and benefit of same, unto the said Mattie Beames  
heirs and assigns forever.

Witness my hand and seal the fifth day of October 1908  
Signed and executed in presence of  
H. R. Emerling (Seal)  
(Seal)  
(Seal)

STATE OF CALIFORNIA,  
County of San Diego

On this Fifth day of October A. D. Nineteen hundred and Eight  
before me, C. S. Hutton, a Notary Public in and for said County, residing therein,  
duly commissioned and sworn, personally appeared H. R. Emerling (unmarried)

known to me to be the person described in said instrument, and acknowledged to me that he executed the same.

In witness whereof, I have hereunto set my hand and official seal at my office in  
San Diego, County of San Diego, State of California, the day and year in this  
certificate first above written.  
C. S. Hutton,  
Notary Public in and for the County of San Diego, State of California.



Recorded at Request of Annette (W. B. Moore), Oct. 12, 1908, at 3 min. past 9 o'clock, A. M.  
John H. Ferry, County Recorder.  
Walter Forward, Deputy Recorder.  
No. 76 Gold Mountain

IN THE SUPERIOR COURT  
OF THE STATE OF CALIFORNIA IN AND FOR THE COUNTY OF SAN DIEGO.

No. 32134

Dept. --

Mattie Strochl, formerly  
Mattie Bearn, Plaintiff.

vs.

ORDER QUIETING TITLE

Adolph M. Strochl, as Administrator  
With the Will Annexed of the Estate  
of E. F. Bearn, deceased. Defendant.

THIS CAUSE came on regularly for hearing in open Court on the 19th day of December, 1919, plaintiff appearing by and through her attorney, James E. Nathan, and the defendant appearing by and through his attorney Frank J. Macomber, and the Court having examined the pleadings in said action, and having heard the evidence adduced by both of the parties hereto, and having heard the arguments of counsel, and being fully advised in the premises, finds that all the allegations contained in plaintiff's complaint are true, and that plaintiff is entitled to judgment against the defendant as prayed for in said complaint.

WHEREFORE, it is ordered, adjudged and decreed that the plaintiff, Mattie Strochl, formerly Mattie Bearn, was at the commencement of this action, and now is, seized in fee of, and is the absolute and unqualified owner of, the following described real estate, to-wit:

PARCEL I.--Lots Five (5), Six (6), Seven (7) and Eight (8) of Judson's Subdivision of Orange Hill Park Reserve in the City of San Diego, County of San Diego, State of California, according to map No. 741 filed in the office of the Recorder of said San Diego County, February 23rd, 1898; also commencing at the Northeast corner of Lot Eight (8) in said Judson's subdivision; thence East and parallel with the South line of Lot Thirteen (13) of said subdivision fifty (50) feet; thence at right angles South and parallel with the East line of said Lots Eight (8), Seven (7), Six (6) and Five (5), one hundred (100) feet; thence at right angles West 50 feet to the Southeast corner of said Lot Five (5); then North to the point of commencement.

PARCEL II.--Lot Six (6), in Block Fifteen (15) of Culverwell's Addition in the City of San Diego, County of San Diego, State of California, according to map thereof No. 148 filed in the office of the Recorder of the County of San Diego, State of California, June 2nd, 1870.

PARCEL III.--Commencing at a point on the North line of Block Fifteen (15) of Culverwell's Addition in the City of San Diego, County of San Diego, State of California, according to map thereof No. 148, filed in the office of the Recorder of the County of San Diego, June 2nd, 1870, one hundred twenty-four (124) feet westerly from the Northeast corner of said block; thence westerly along "F" Street a distance of fifty (50) feet; thence at right angles southerly one hundred forty (140) feet to alley in said block; thence easterly along said alley fifty (50) feet to a point one hundred twenty-four (124) feet westerly from the southeast corner of Lot One (1) in said block; thence at right angles northerly to a point of commencement; being the west thirty-six (36) feet of Lot Four (4) and the East fourteen (14) feet of Lot Five (5), all in Block Fifteen (15) of said Culverwell's Addition.

IT IS FURTHER ORDERED AND DECREED that the defendant has no estate, right, title, claim or interest in or to said real estate, or any part thereof, and the fee title of the plaintiff thereto be, and the same is quieted as against the defendant, and his claim, and that the defendant be, and he is hereby forever barred and estopped from asserting any claim whatsoever in or to said real property adverse to the title of the plaintiff.

DONE IN OPEN COURT this 19th day of December, 1919.

C. H. Andrews.

Judge of the Superior Court.

State of California )  
County of San Diego ) ss

Mattie Stroehl formerly  
Mattie Bearnas  
Plaintiff

vs.

Adolph M. Stroehl, as administrator with  
the will annexed of the Estate of  
E. P. Bearnas, deceased,  
Defendant.

I, J. B. McLEES, County Clerk of the County of San Diego, State of California,  
and ex-officio Clerk of the Superior Court of said County, hereby certify that I have com-  
pared the foregoing copy with the original DECREE QUIETING TITLE, in the above entitled  
action, now on file in my office; that the same contains a full, true and correct tran-  
script therefrom and of the whole thereof.

WITNESS my hand and the seal of the Superior Court, this 19th day of Decem-  
ber, A. D. 1919.



J. B. McLEES, Clerk.

By Geo. L. Flagg, Deputy.

Recorded at Request of Leonard Wright, Dec. 19, 1919, at 6 Min. past 2 o'clock P. M.

John H. Ferry, County Recorder.

By H. C. Parsons, Deputy.

COMPARED:

*Handwritten signature of J. H. Parsons*

IN THE SUPERIOR COURT

OF THE STATE OF CALIFORNIA IN AND FOR THE COUNTY OF SAN DIEGO.

No. 2240

Dept. ---

In the Matter of the Estate of :  
: W. W. Dogge, Deceased. :  
:

DECREE SETTLING FIRST AND FINAL  
ACCOUNT OF ADMINISTRATOR AND OF  
FINAL DISTRIBUTION.

\*\*\*\*\*

E. B. Hakes, administrator of the estate of W. W. Dogge, deceased, having  
heretofore, to-wit: on the 8th day of December, 1919, rendered herein his first and final  
account as such administrator, and having also on said day filed herein his petition for  
final distribution of said estate, and said matters coming on regularly to be heard this  
19th day of December, 1919, and it having been proven to the satisfaction of the Court  
that the Clerk of this Court had heretofore duly and regularly appointed December 19th,  
1919, at ten (10) o'clock A. M., of said day, in this Court room, as the time and place  
for the settlement of said account and for the hearing of said petition for final distri-  
bution, and that notice of the time and place of said hearing had been duly and regularly  
given by said Clerk as required by law; and

So one appearing to object to said account, or to said petition, or to the  
distribution as prayed for, and the Court having examined the said account, and the vouch-  
ers filed in support thereof, and having heard the evidence in respect to said account;

and

IT FURTHER APPEARING to said Court that said account is supported by proper  
vouchers and by the oath positive of said administrator, and is in all respects full, true  
and correct, and that the same should be settled, allowed and approved; and

IT FURTHER APPEARING that more than four (4) months have elapsed since the

**SECTION VII APPENDICES**

**C. BUILDING DEVELOPMENT INFORMATION**

1. City of San Diego 800 Scale Engineering Map
2. USGS Map
3. Original Subdivision Map
4. Sanborn Fire Insurance Maps

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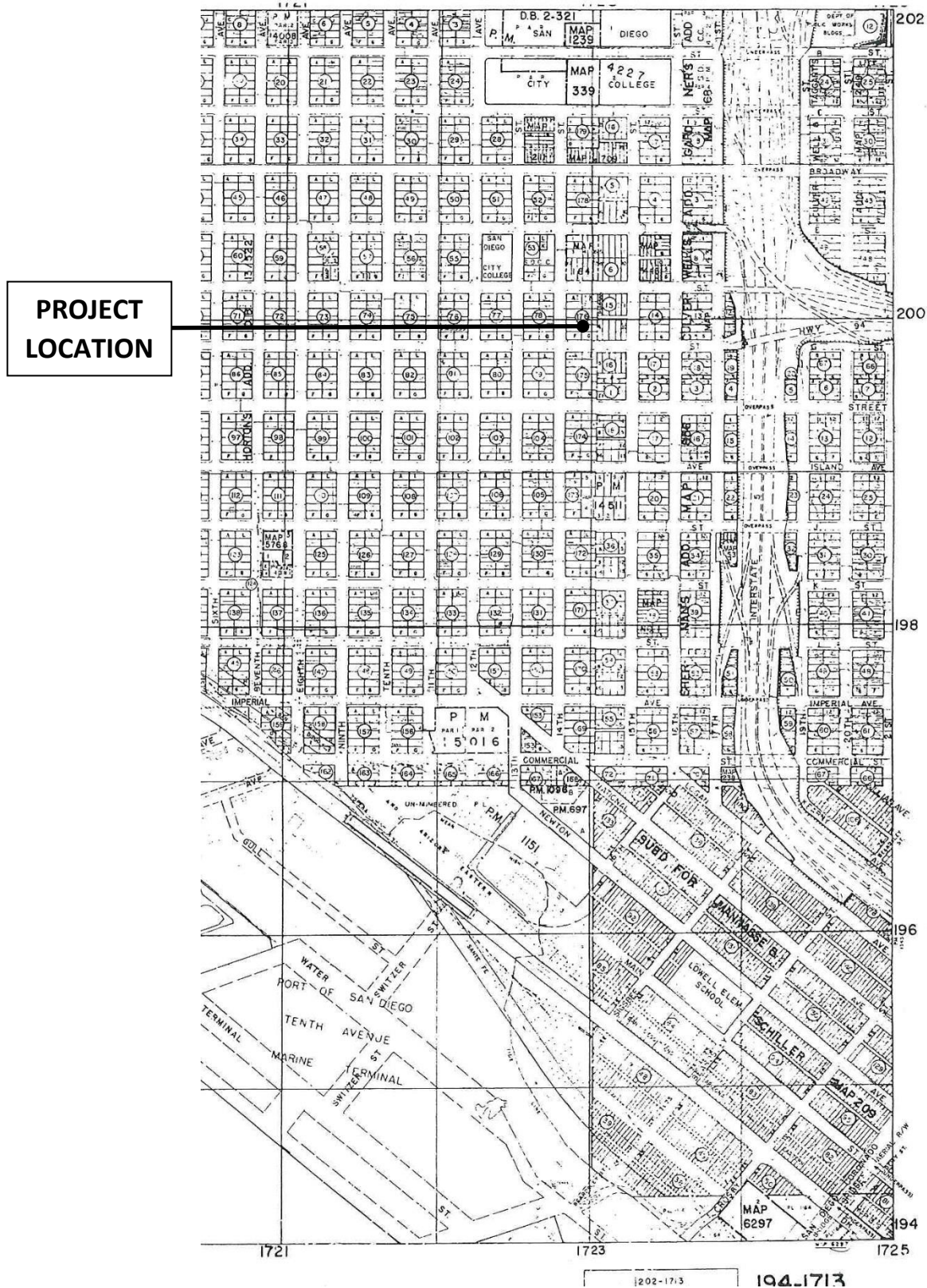
# EAST VILLAGE GREEN

Historical Resources Technical Report  
Section VII.C – Maps

September 19, 2017

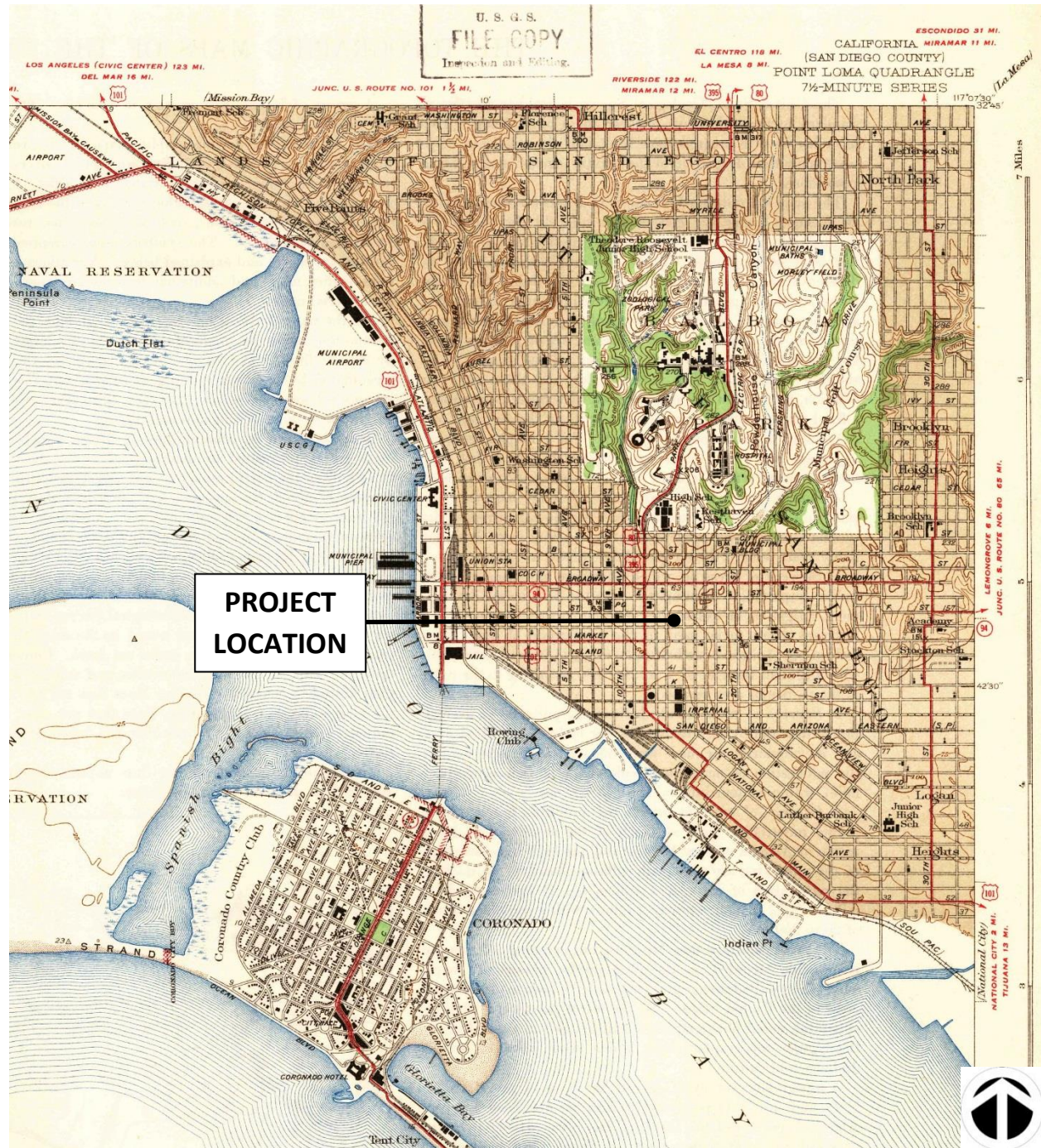
Page 7C.1

## 1. City of San Diego 800 Scale Engineering Map

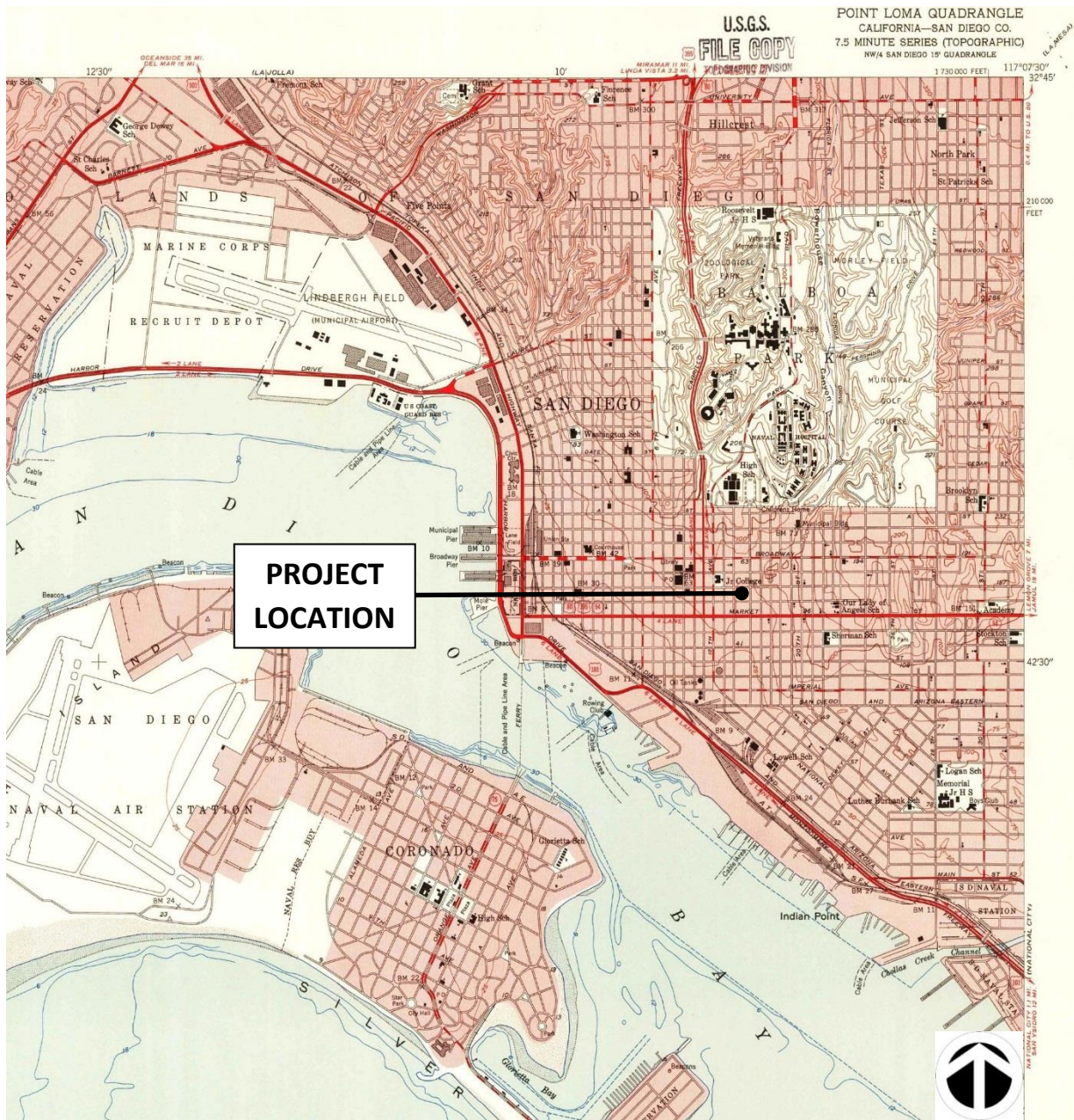


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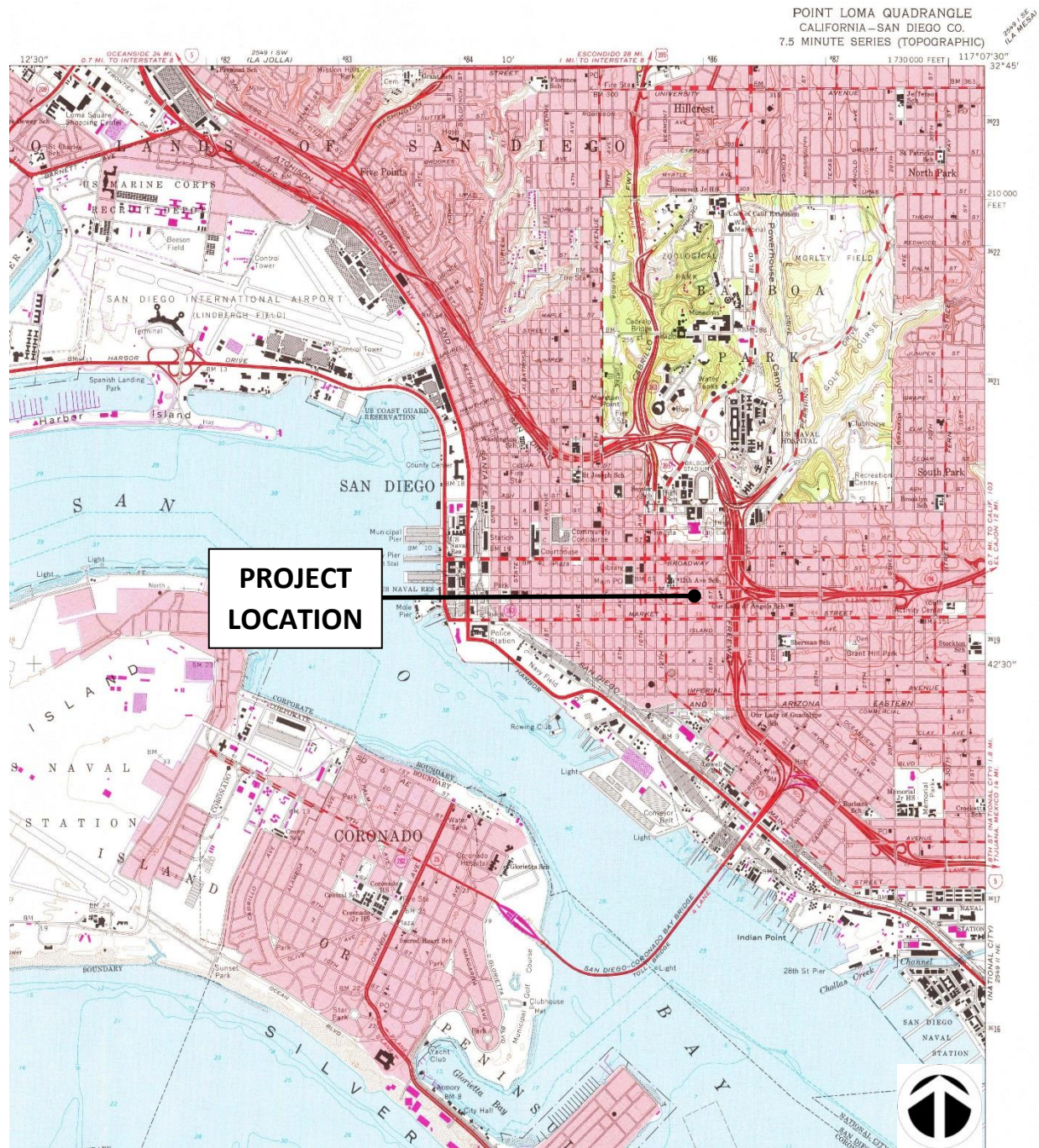
2. USGS Map



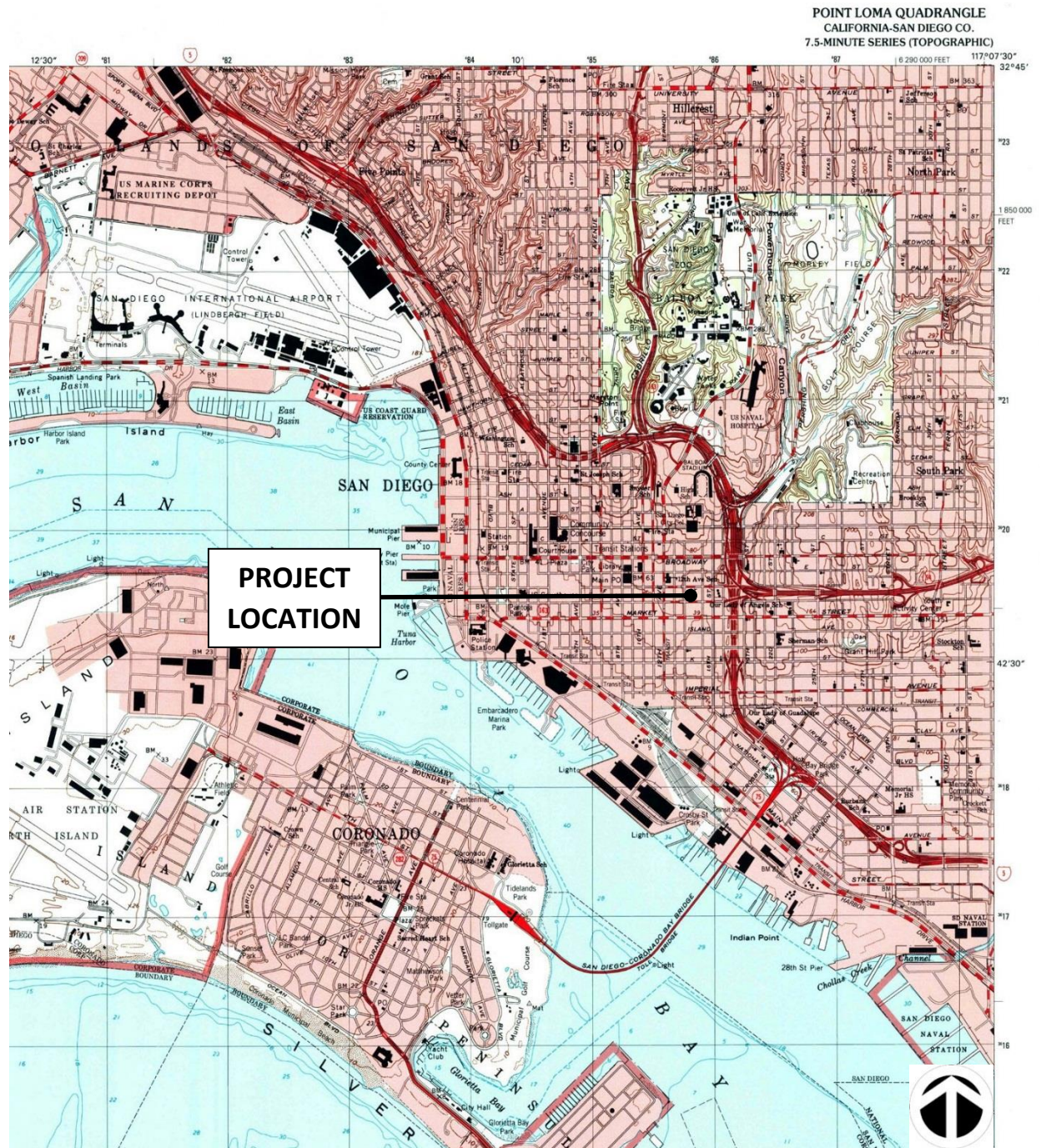
Point Loma, USGS Map, 1942.



Point Loma, USGS Map, 1953.

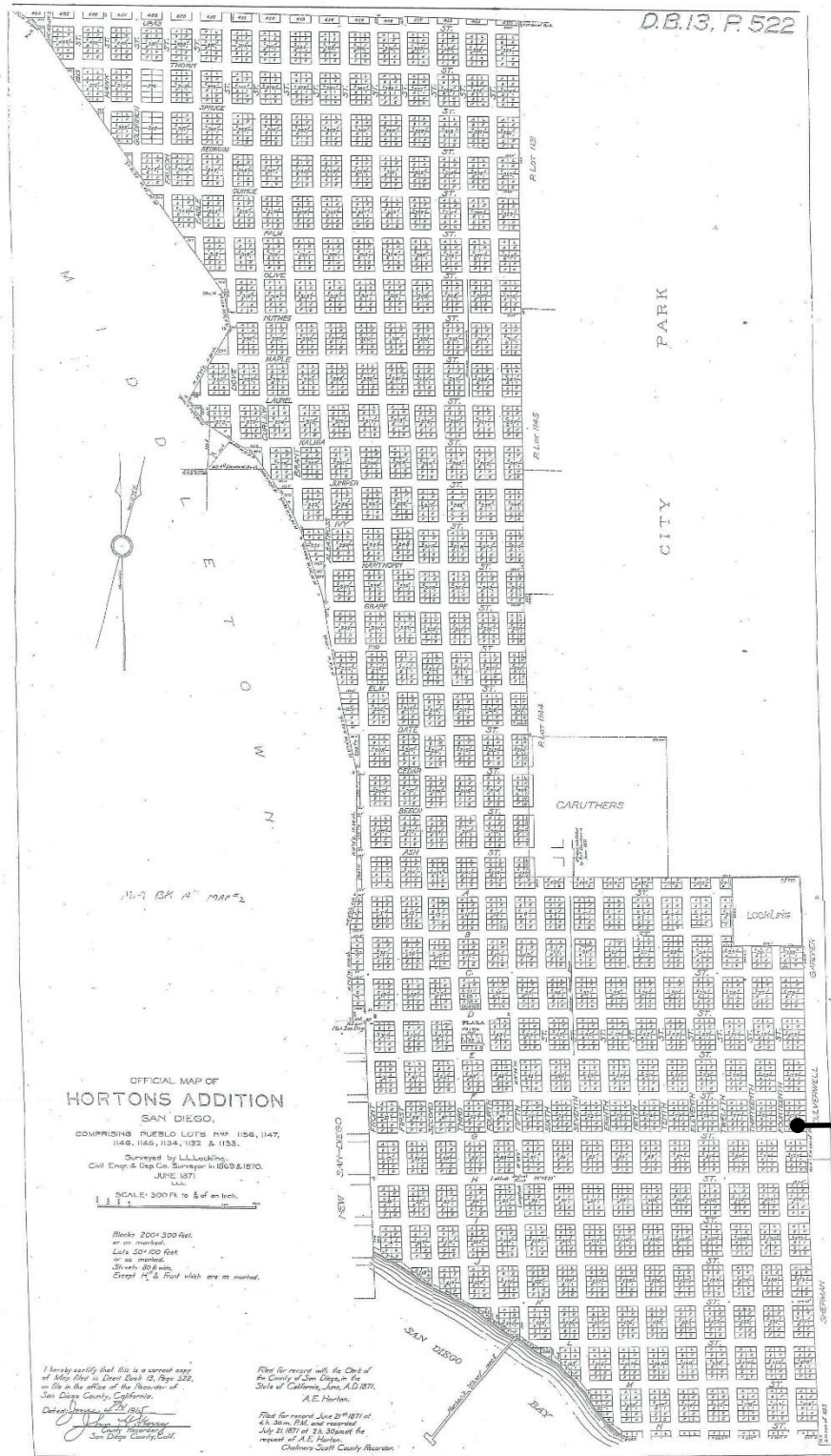


Point Loma, USGS Map, 1967.



Point Loma, USGS Map, 1996.

### 3. Original Subdivision Map



Hortons Addition Subdivision Map for 719-721 14<sup>th</sup> Street buildings.

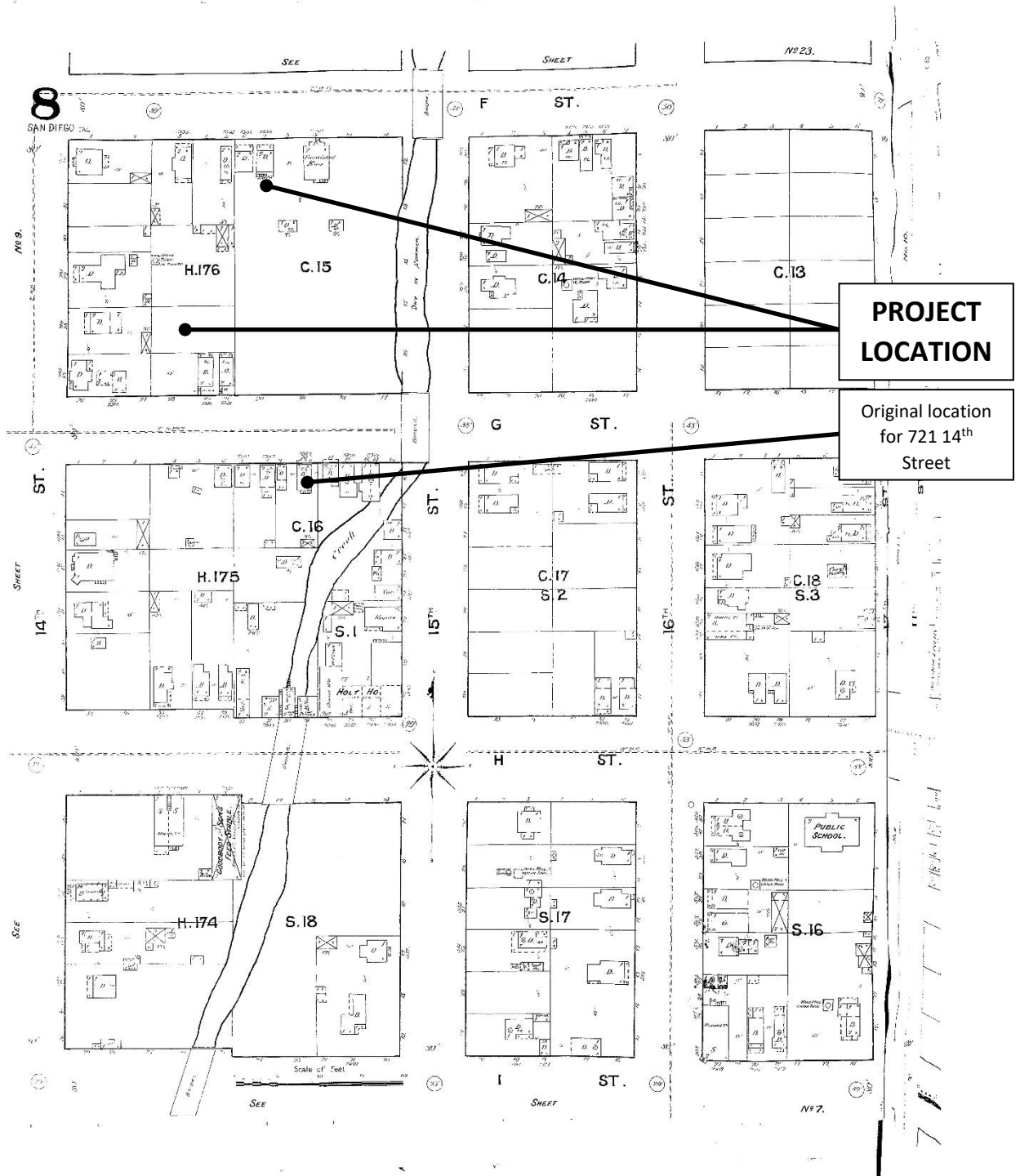




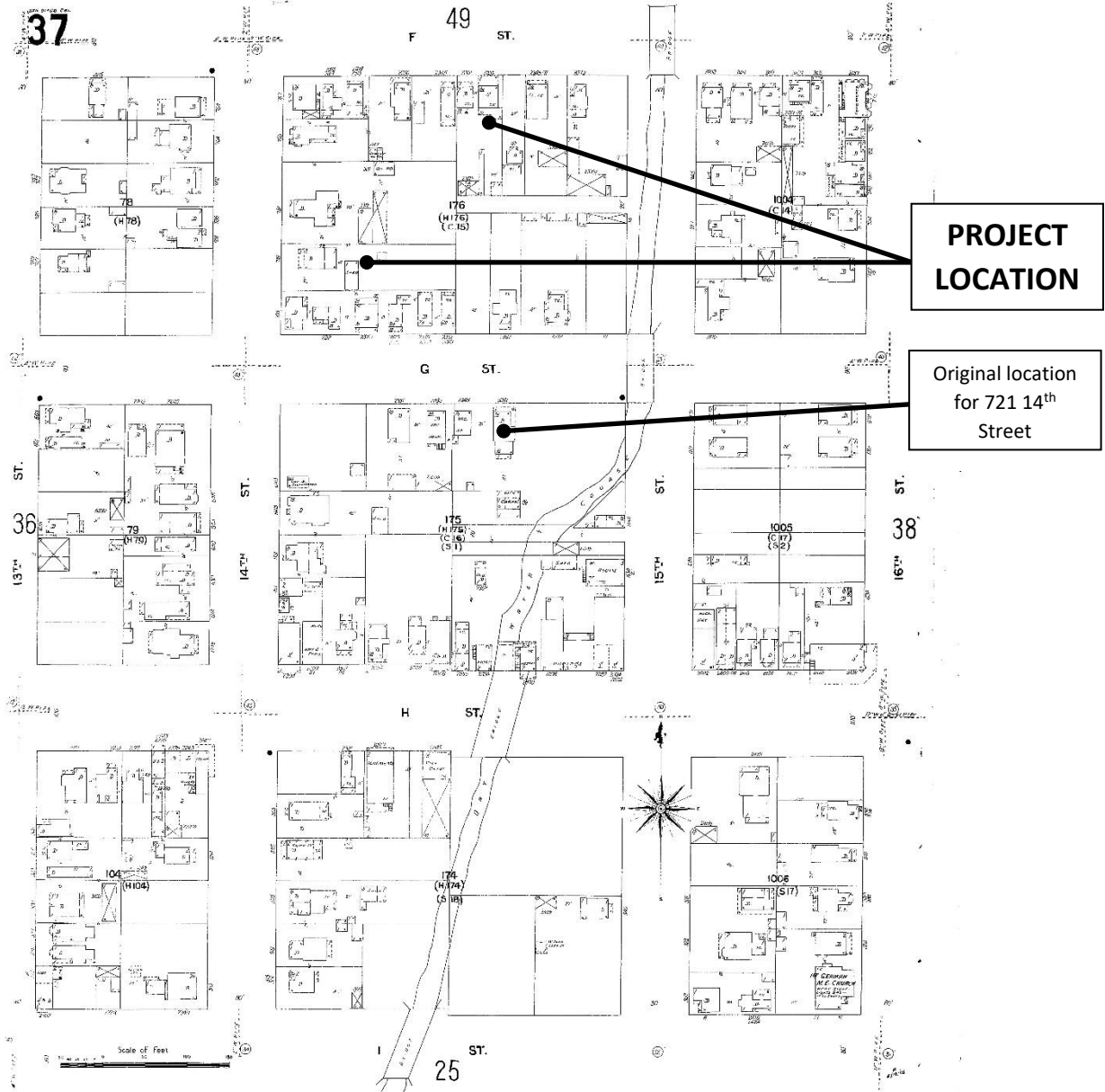


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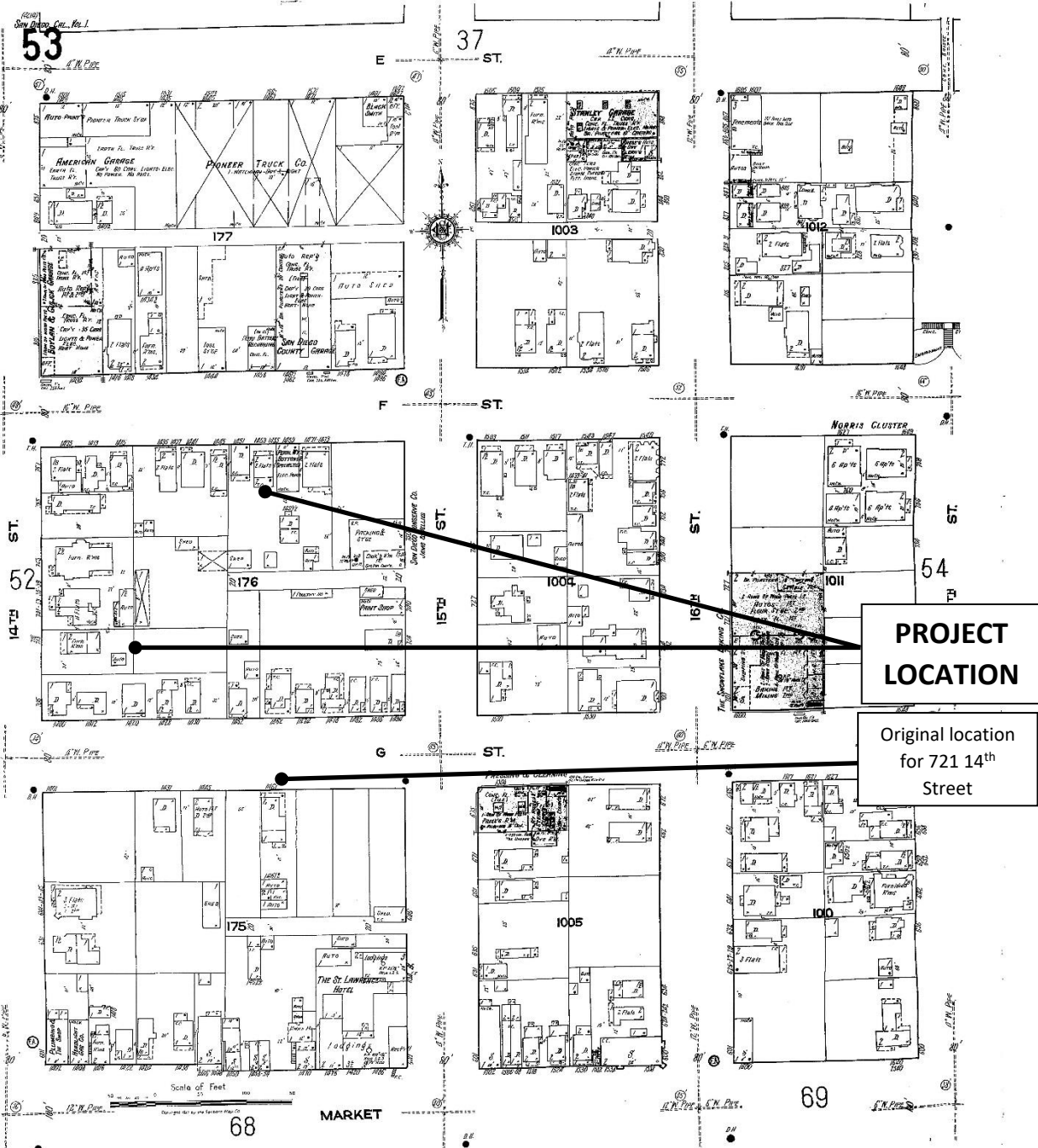
### 4. Sanborn Fire Insurance Maps



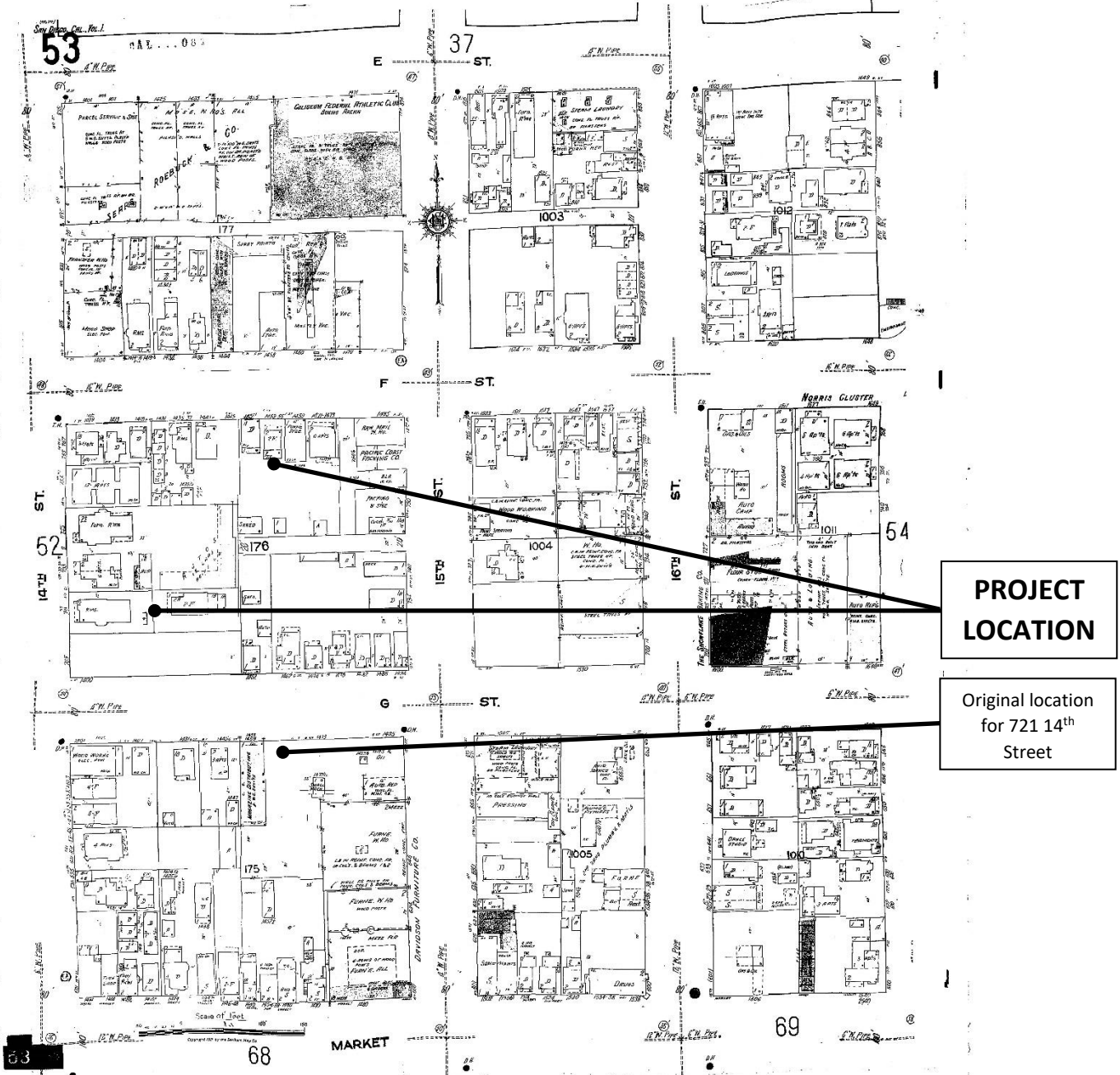
Sanborn Fire Insurance Map, 1888.



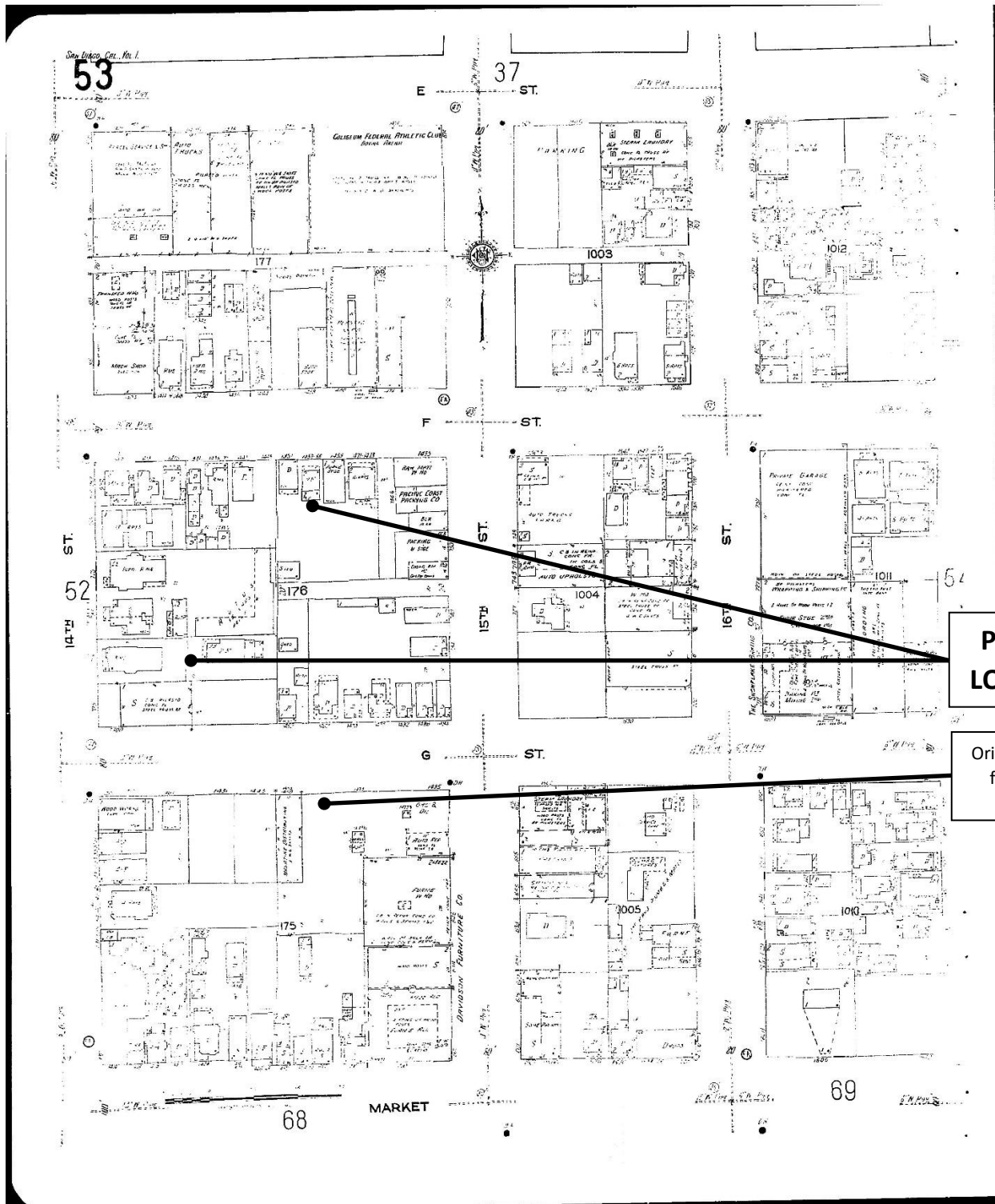
Sanborn Fire Insurance Map, 1906.



Sanborn Fire Insurance Map, 1921.



Sanborn Fire Insurance Map, 1950.



Sanborn Fire Insurance Map, 1956.

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**SECTION VII APPENDICES**

**D. DPR**

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State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary #  
HRI #  
Trinomial  
NRHP Status Code 5S1

Other Listings HRB #404  
Review Code

Reviewer

Date

Page 1 of 7

\*Resource Name or #: 719 14th Street

P1. Other Identifier: Murray Apartments (HRB #404)

\*P2. Location:  Not for Publication  Unrestricted

\*a. County: San Diego

and (P2b and P2c. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad Point Loma 7.5 Minute Date: 1996 T ; R ; 1/4 of 1/4 of Sec ; M.D.

c. Address: 719 14th Street City: San Diego Zip: 92101 B.M.

d. UTM: Zone: ; mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

Parcel Number: 53514305

Horton's Addition, Block 176, Lot E

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Queen Anne architectural style Murray Apartments, 719 14th Street, is a two-story asymmetrical building constructed of standard frame construction on a 1930s concrete foundation with stem walls around the perimeter of the building and interior wood supports. The exterior is finished with horizontal wood siding. The building has a rectangular plan with two cutaway bay projections on the south and north facades. The southern bay is more distinct as it displays six sides, accessible from both the first and second floors. The northern bay, by contrast, displays three sides, the northern of which is the longest and the broadest. Fenestration consists of 1/1 double-hung wood windows on the north and south facades. The windows located on the primary west and rear east facades have been replaced with some of the original window openings filled in. The exception is the original diamond patterned divided-lite window between the two original entry doors at the west façade. The composite shingle roof is hipped with front and side cross gables. There is an eyebrow dormer window or attic vent on the front face of the hipped roof that has been filled in. The residence has three unreinforced masonry brick chimneys that appear to be original to the building. A portion of the primary entry porch on the west façade has been enclosed. The second floor of the porch has also been enlarged and enclosed with a shed roof addition. The rear east façade porch and stairs were constructed in 2009. Overall, the building appears to be in good condition.

\*P3b. Resource Attributes: (List attributes and codes) HP03 Multiple Family Property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #)

Looking east at the primary west façade. \DPR photo 719 14th EVG (127).jpg

\*P6. Date Constructed/Age and Sources:

1903 Building Record

Prehistoric  Historic  Both

\*P7. Owner and Address:

City of San Diego  
Planning Department  
1222 First Avenue,  
San Diego, CA 92101

\*P8. Recorded by: (Name, affiliation, and address)

Heritage Architecture & Planning  
633 Fifth Avenue  
San Diego, CA 92101

\*P9. Date Recorded: 6/21/2017

\*P10. Survey Type: (Describe)  
Intensive

\*P11. Report Citation: (Cite survey report and othersources, or enter "none.")

East Village Green Historical Resources Technical Report

\*Attachments:  NONE  Location Map  Sketch Ma  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other (List):

DPR 523A (1/95)

\*Required Information

# BUILDING, STRUCTURE, AND OBJECT RECORD

\*Resource Name or # (Assigned by recorder) 719 14th Street

B1. Historic Name: Murray Apartments

B2. Common Name: Murray Apartments

B3. Original Use: Multiple Family Property

B4. Present Use: Multiple Family Property

\*B5. Architectural Style: Queen Anne

\*B6. Construction History: (Construction date, alterations, and date of alterations)

1903 - Construction per Residential Building Record

ca. 1932-1933 - Relocation

2009 - Rear east porch and stairs addition.

Unknown Date - Partial front porch enclosure, second floor porch enlarged and enclosed with a shed roof addition.

\*B7. Moved?  No  Yes  Unknown Date: ca. 1932 or 1933 Original Location: Unknown

\*B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\*B10. Significance: Theme: Residential Development

Area: East Village, Downtown San Diego

Period of Significance: 1903

Property Type: Multiple Family Property

**Applicable Criteria:** (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographical scope. Also address integrity.)

The Murray Apartments building is locally designated under the City of San Diego Register of Historical Resources as HRB #404. It achieved its significance for its architecture (Criterion C) as a notable example of a Queen Anne two-story residence. The building retains its architectural details and is maintained. Although the building was relocated to its present site, its period of significance is 1903, encompassing the original construction. Only the building is designated.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References:

See Continuation Sheet

B13. Remarks:

\*B14. Evaluator:

Heritage Architecture & Planning

\*Date of Evaluation: 7/6/2016

(This space reserved for official comments.):



# CONTINUATION SHEET

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

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\*Resource Name or # (Assigned by recorder) 719 14<sup>th</sup> Street

\*Recorded by: Heritage Architecture & Planning

\*Date: 06.01.2017

Continuation  Update

## B10. Significance (cont.)

### *East Village Historical Background <sup>1</sup>*

The history of the Bayside and Centre City East areas are inexorably linked to the development of downtown San Diego and its founder Alonzo Erastus Horton. Horton, who came to San Diego in 1867, purchased 960 acres of land for \$265 for his "New Town" San Diego development. Horton divided the acres into blocks and lots, a number of which were located in the Bayside and Centre City East areas. Thus, "Horton's Addition" was established. Later subdivisions in the area included "Sherman's Addition" and "Remondino's Subdivision of Sherman's Addition."

During the 1860s and 1870s, the Bayside area, then known as "South San Diego," relied heavily upon the wharf established at the foot of Fifth Avenue. Prior to the establishment of Horton's Wharf, a few warehouse structures were located along the bay, but none remain today. These early businesses transported stored grain, honey, and other products. They also received incoming shipments of lumber, iron, ore, and other necessities from other parts of the nation. In 1869, McDonald's store (later known as the San Diego Lumber Company) was erected at Sixth Avenue and L Street. Lumber, floated [through] the bay from Northern California and Oregon was pulled from the bay by Native Americans and stacked at the lumber company building, which was erected on redwood planks in order to protect the wood from muddy soil. In 1872, Bailey's Foundry (later known as San Diego Foundry) was constructed at the corner of 8th Avenue and M Street (now Imperial). This business provided much of the structural ironwork for businesses and commercial buildings in the Gaslamp Quarter.

During the 1880s, New Town San Diego businesses spread north to H Street (renamed Market Street), which was at the time considered the main cross road. Commercial growth was centered on Fifth Avenue and Market Street. Ultimately, San Diego expanded to D Street (renamed Broadway) and beyond as merchants moved northward. With the coming of the railroad, Horton and other prominent business leaders lobbied for a railroad link which would facilitate transportation to this area. In 1885, the California Southern Railroad, a subsidiary of the Atchison, Topeka, and Sante Fe line, established tracks into San Diego from the north. This line greatly increased San Diego's population in the late 1880s. A later link with the Southern Pacific Railroad along the United States/Mexico border proved beneficial as well, particularly to the Bayside and Centre City East areas. San Diegans longed for an eastern railroad terminus.

With the 1885 railroad connection [from the north], an influx of newcomers to the San Diego area sparked a four- year building boom. In the Bayside and Centre City East area, simple Victorian single-family cottages were erected on 16<sup>th</sup> and 17<sup>th</sup> [Streets] to accommodate laborers, porters, clerks, and other blue collar workers. The Rood Rental cottage, Bay View Hotel, Sheldon House and Joseph Ireland Building are examples of Victorian structures built during the boom. Standard Iron Works erected its manufacturing business on the corner of 7<sup>th</sup> Avenue and L Street, and the Silver Gate Warehouse, owned by local entrepreneur John Ginty, was constructed on 8<sup>th</sup> Avenue and M Street (renamed Imperial).

In 1886, the San Diego Gas Company enlarged its gas operations. The company, which had started from modest beginnings on 9th Avenue between M and N Streets (Imperial and Commercial) in 1881, expanded in order to supply the needs of San Diego's growing residential and business community. The San Diego Gas Company built a new electric generating plant at 10<sup>th</sup> Avenue and M (Imperial) adjacent to the old gas plant. In 1887, the San Diego Gas and Electric Light Company was incorporated as the successor to the San Diego Gas Company and began supplying electricity for arc lights on a sundown to midnight basis in downtown San Diego. After the bust of 1889, the gas and electric company found it could easily service the utility needs of San Diego with existing equipment. Therefore, no new major additions were made to the plant until 1905.

After 1900, businesses chose the Centre City East area from which to conduct operations due to the area's proximity to the railroad tracks and the wharf. San Diego's commercial center continued to expand as harbor facilities and the city's population grew. [Many] types of commercial structures were built south of Broadway and along the water's edge. Warehouses, manufacturing centers, bars, restaurants, laundries, and hotels all provided services and goods for city residents and businesses. The entire area south of Broadway from the water eastward was a large commercial center for the city.

Businesses anticipated the creation of a much needed railroad line that would link San Diego to Arizona and then eastward across the southern part of the United States. It was believed that such a line would encourage the exchange of goods between the West and East Coasts of the United States through Yuma. In 1905, the Southern Pacific Railroad desired to break the Sante Fe Railroad's monopoly. Southern Pacific Railroad officials approached sugar magnate and San Diego businessman, John D. Spreckels to act as the "front man" for an operation that would build the railroad from San Diego to Arizona. Although the San Diego and Eastern Arizona Railroad would not be completed until 1919, railroad line and commercial speculation drew local businessmen to the Centre City East area.

<sup>1</sup> Excerpt from Scott Moomjian, "East Village Historical Overview" in the City of San Diego's "Revised Draft East Village Combined Historical Property Survey Report, 2005."

The Second World War affected the area as it did the entire country. A surge of activity occurred in the Centre City East area. Very few structures were constructed during the war years, and although little new construction took place during the early 1940s, many of the Centre City East buildings were drafted into service. The Schiefer & Sons factory, located at 371 8<sup>th</sup> Avenue, was used by the Standard Parachute Corporation from 1941-1945. Although no longer in existence, the Standard Parachute Corporation also used the building located at 304 11<sup>th</sup> Avenue as a supply stockroom from 1943-1948. In addition, the San Diego Machine Company, an airplane parts manufacturer, operated from 345 15<sup>th</sup> Street from 1934-1958. During the war years, the San Diego Gas and Electric Company had all new utility extensions put on hold, since copper wire and steel pipe were in short supply.

During and after the Second World War, as suburbs developed, many businesses relocated to newer communities where land was cheaper and buyers more plentiful. The amount of people residing in the Centre City area also declined, resulting in less local support of goods produced by the downtown businesses. From the late 1970s to the present, Centre City East has slowly become revitalized with the development of the Gaslamp Quarter, which has brought new businesses and life into the old industrial area. The opening of Petco Park in East Village in 2004 helped spur redevelopment within the community.

### ***Residential Patterns in 1906<sup>2</sup>***

The turn-of-the-century period in East Village is characterized by home ownership expanding to the working classes. Live-in servants were becoming less prevalent (especially for the middle class) and housing styles in general were simplifying under Progressive ideals of good government through universal suffrage and political reform. During this period, it was widely thought that many urban ills brought on by industrialization and unbridled capitalism could be resolved through elevating the lower classes into the middle class through home ownership. As a result, unprecedented attention was given to housing design, production, and financing instruments.

In San Diego, the 1906 Sanborn Map reflects these widernational trends, as well as local economic recovery and continued urban expansion due to railroad-related in-migration. Population growth is evident in residential patterns that clearly reflect denser living conditions more characteristic of cities than of towns or villages. Hotels and boarding establishments have a diminished presence in East Village, while apartments or rooms-to-rent are now dispersed throughout the expanded business district between Fourth and Seventh Avenues. Many of these residential arrangements are located on the second or third floors of business blocks, strengthening the trend noticed on the 1888 Sanborn Map.

While single family residential development had spread eastward to 19th Street, representing incipient development in Sherman Heights, several blocks of sparsely developed land remained between 16th and 18th Streets. Conversely, many single family residences between 8<sup>th</sup> Avenue and 12<sup>th</sup> [Avenue], now Park Boulevard, have been converted to multi-family accommodations, indicating an interest in living quarters within walking distance to the business center of the city. Less change is obvious south of I Street, where modest cottages continued to fill in previously platted parcels. The node of boarding houses at 7<sup>th</sup> and K, however, was no longer evident, reflecting both the eastward spread of the warehouse district and the rise of modest living arrangements elsewhere in the city.

### ***Building History***

Residential Building Records indicate that this building was constructed in 1903, but was moved to its present location sometime during the early 1930s, likely in either 1932 or 1933. An aerial photograph of the area, however, dated December 1937, shows the 719 14<sup>th</sup> Street building at this location during this time. A Sanborn Fire Insurance Map from 1940 shows the presence of the building at this location by this year. Sanborn Maps from 1888 and 1906, show the presence of a different, rectangular-shaped, two-story dwelling at the 719 14<sup>th</sup> Street location. A 1921 Sanborn map indicates that by this year, the original building was used as "furnished rooms." It could not be determined whether this original structure was moved or demolished prior to the relocation of the current 719 14<sup>th</sup> Street building to this location.

*San Diego City Directories* first list multiple tenants as residing in the 719 14<sup>th</sup> Street building in 1933. This supports the belief that the building was used as furnished rooms during this period, and indicates that the building was moved to this location in either 1932 or 1933. 1940 and 1956 Sanborn Maps show the current 719 14<sup>th</sup> Street building as "rooms." Historical research indicates that beginning around 1936, the building was known as the "Murray Apartments," and around 1955, it became known as the "Wismer Apartments," after Jack and Eliza Wismer, the property owners who also lived in the apartment building from approximately 1937-1966. A 1959 notation made by a San Diego County Assessor's Office Appraiser state that the building appeared "to be 1 unit over 1 unit with possible 3 or 4 persons sleeping to rent out." Since 1995, the building has been known as the "Villa Victoria." The building today currently serves as an apartment building with 13 units.

<sup>2</sup> City of San Diego's "Revised Draft East Village Combined Historical Property Survey Report, 2005."

## RESOURCE SIGNIFICANCE

### National and California Register

#### *National Register Criterion A / California Register Criterion 1*

The Murray Apartments was moved to its current location in 1932 or 1933. Its previous location is undetermined. Since its relocation to the current site, the apartment building has been associated with the residential development of East Village. However, no historical evidence has been identified which would support that the Murray Apartments are associated with events that have made significant contributions to the broad patterns of national history, California's history, or cultural heritage. Therefore, the property does not qualify under National Register Criterion A or California Register Criterion 1.

#### *National Register Criterion B / California Register Criterion 2*

Research has failed to disclose any direct identification with persons significant in local, state, or national history. None of the persons who owned or occupied the resource had performed any activities, achievements, or contributions which were demonstrably important to the City of San Diego, the State of California, or the nation while residing at the property. Therefore, the property does not qualify under National Register Criterion B or California Register Criterion 2.

#### *National Register Criterion C / California Register 3*

The resource is constructed in the Queen Anne Victorian style of architecture, which is not unique to San Diego. In its current condition, although the property retains a high degree of architectural integrity, there are other locally significant examples of the Queen Anne Victorian style of architecture that have also retained a higher degree of architectural integrity, including location. These resources include the 1898 Daniel O. Cook Residence (HRB#279) and the 1887-1888 Bayside Properties along 16<sup>th</sup> Street (HRB#341, 342, 343). Therefore, the property does not meet National or California Register criteria for architecture.

#### *National Register Criterion D / California Register Criterion 4*

The resource at 719 14<sup>th</sup> Street is not likely to yield archaeological information regarding history or prehistory. It does not appear to qualify under National Register Criterion D or California Register Criterion 4.

#### *National Register Criteria Consideration B: Moved Properties*

*A property removed from its original location or historically significant location can be eligible if it is significant primarily for architectural value or it is the surviving property most importantly association with an historic person or event. A moved property under Criterion C must retain enough historic features to convey its architectural values and retain integrity of design, materials, workmanship, feeling, and association. In addition to the requirements above, moved properties must still have an orientation, setting, and general environment that are comparable to those of the historic location and that are compatible with the property's significance.*

The Murray Apartment does not appear to be significant on the National Register for Criterion A, B, or C as noted above, therefore, it does not qualify under Criteria Consideration B for moved properties.

### City of San Diego Register

The Murray Apartments building is locally designated on the City of San Diego Register of Historical Resources as HRB #404. It achieved its significance for its architecture as a good example of a Queen Anne Victorian style residence. The building exhibits architectural details indicative of this style such as steeply pitched hipped roof, dominant front-facing gable, patterned shingles, half timbering, cutaway bay windows and projections, asymmetrical façade with a one-story partial (formerly full length) porch.

### Integrity

In addition to meeting one of the local, state, or national criteria, a property must also retain a significant amount of its historic integrity to be considered eligible for listing. Historic integrity is made up of seven aspects: location, design, setting, materials, workmanship, feeling, and association. The following is an integrity analysis of the Murray Apartments.

#### Location is the place where the historic property was constructed or the place where the historic event occurred.

The Murray Apartment was constructed in 1903 at an undetermined location. In either 1932 or 1933, the building was moved to its current location in the East Village area of Downtown San Diego. Although the building was not constructed at its present site, it has been at this location for over 50 years. As such, the building has attained a new location element for integrity purpose.

Design is the combination of elements that create the form, plan, space, structure, and style of a property.

The building was originally designed in a Queen Anne Victorian style. Although it has been altered and/or modified to some degree, the changes have not substantially affected the original design of the building. The building continues to retain much its original form, plan, space, structure, and style. Therefore, the resource's design integrity remains.

Setting is the physical environment of a historic property.

The original location of the building is unknown. However, since the building has been at its current location for over 50 years, it has developed a new, surrogate setting at this location for integrity purposes. Therefore, the setting aspect of integrity is retained.

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form a historic property.

The building materials evident in the Murray Apartments largely appear to be original, therefore, retaining its materials element of integrity.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

The workmanship evident in the Murray Apartments is represented in its standard construction details and in its Queen Anne Victorian details. The workmanship, particularly in the ornamentation of the building, exemplifies the popular style from the period.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.

Because the building is reasonably intact, it continues to exude a historic sense of turn-of-the-century Queen Anne Victorian. Therefore, the building retains its integrity of feeling.

Association is the direct link between an important historic event or person and a historic property.

The building, in its current condition, is directly linked with San Diego's turn-of-the-century Queen Anne Victorian heritage and architectural history. Thus, the building retains its association integrity.

## **B12. References (cont.)**

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**CONTINUATION SHEET**

\*Recorded by: Heritage Architecture & Planning

\*Date: 06.01.2017

Continuation  Update

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State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary #  
HRI #  
Trinomial  
NRHP Status Code 5S1

Other Listings HRB #403  
Review Code

Reviewer

Date

Page 1 of 7

\*Resource Name or #: 721 14th Street

P1. Other Identifier: Daggett Family Residence (HRB #403)

\*P2. Location:  Not for Publication  Unrestricted

\*a. County: San Diego

and (P2b and P2c. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad Point Loma 7.5 Minute Date: 1996 T ; R ; 1/4 of 1/4 of Sec ; M.D.

c. Address: 721 14th Street City: San Diego Zip: 92101 B.M.

d. UTM: Zone: ; mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

Parcel Number: 53514308

Horton's Addition, Block 176, Lot H

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Queen Anne architectural style Daggett Family Residence, 721 14th Street, is a two-story asymmetrical building constructed of standard frame construction on a late 1940s concrete foundation. The building has been lifted at least six-feet when it was moved in order to accommodate added storage rooms and garages below the building. The building has a rectangular footprint and gabled roof with several distinctive decorative features including a wrap-around corner porch, patterned shingles, and decorative wood spindle detailing at the gable ends and porch. The exterior finish is horizontal wood drop siding. Fenestration includes aluminum replacement windows with one original wood double-hung on the second floor of the south façade. The front porch retains many of the original decorative, character-defining features of the building including the original wood-shingle mansard roof, spandrel detailing, decorative brackets, and turned wood posts. The existing porch railing, porch floor, and stairs are not original. The original rear porch was smaller than the existing porch which was added to the building when it was relocated. The rear porch has been enclosed to create a small unit apartment. The composite shingle gabled roof has a prominent and ornately decorated front facing gable. The original brick chimney has been abandoned and cut short to eliminate the projection above the roofline. Overall, the building appears to be in general good condition.

\*P3b. Resource Attributes: (List attributes and codes) HP03 Multiple Family Property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #)

Looking east at the primary west façade. DPR photo 721 14thEVG (517).jpg

\*P6. Date Constructed/Age and Sources:

ca. 1893-1896

Prehistoric  Historic  Both

\*P7. Owner and Address:

City of San Diego  
Planning Department  
1222 First Avenue,  
San Diego, CA 92101

\*P8. Recorded by: (Name, affiliation, and address)

Heritage Architecture & Planning  
633 Fifth Avenue  
San Diego, CA 92101

\*P9. Date Recorded: 6/21/2017

\*P10. Survey Type: (Describe)  
Intensive

\*P11. Report Citation: (Cite survey report and othersources, or enter "none.")

East Village Green Historical Resources Technical Report

\*Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other (List):

DPR 523A (1/95)

\*Required Information

# BUILDING, STRUCTURE, AND OBJECT RECORD

\*Resource Name or # (Assigned by recorder) 721 14th Street

B1. Historic Name: Daggett Family Residence

B2. Common Name: Daggett Family Residence

B3. Original Use: Single Family Residence

B4. Present Use: Multiple Family Residence

\*B5. Architectural Style: Queen Anne

\*B6. Construction History: (Construction date, alterations, and date of alterations)

ca. 1893-1896 - Construction

ca. 1948-1949 - Relocation with storage and garage below structure and front porch railing, floor, and stair addition.

Unknown Date - replacement aluminum windows and rear porch enclosure.

\*B7. Moved?  No  Yes  Unknown Date: ca. 1948 or 1949 Original Location: 2361 G Street (address changed to 1461 G Street after 1913)

\*B8. Related Features:

B9a. Architect: Unknown

b. Builder Unknown

\*B10. Significance: Theme: Residential Development

Area: East Village, Downtown San Diego

Period of Significance: ca. 1893-1896

Property Type: Multiple Family Residence

**Applicable Criteria:** (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographical scope. Also address integrity.)

The Daggett Family Residence building is locally designated under the City of San Diego Register of Historical Resources as HRB #403. It achieved its significance for its architecture (Criterion C) as a notable example of a Queen Anne two-story residence. The building exhibits its architectural details and is maintained. Although the building was relocated to its present site, its period of significance is ca.1893-1896, encompassing the original construction. Only the building is designated.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References:

See Continuation Sheet

B13. Remarks:

\*B14. Evaluator:

Heritage Architecture & Planning

\*Date of Evaluation: 6/1/2017

(This space reserved for official comments.):



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Continuation  Update

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Page 4 of 7

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Continuation  Update

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### **Residential Patterns in 1906 <sup>2</sup>**

The turn-of-the-century period in East Village is characterized by home ownership expanding to the working classes. Live-in servants were becoming less prevalent (especially for the middle class) and housing styles in general were simplifying under Progressive ideals of good government through universal suffrage and political reform. During this period, it was widely thought that many urban ills brought on by industrialization and unbridled capitalism could be resolved through elevating the lower classes into the middle class through home ownership. As a result, unprecedented attention was given to housing design, production, and financing instruments.

In San Diego, the 1906 Sanborn Map reflects these widernational trends, as well as local economic recovery and continued urban expansion due to railroad-related in-migration. Population growth is evident in residential patterns that clearly reflect denser living conditions more characteristic of cities than of towns or villages. Hotels and boarding establishments have a diminished presence in East Village, while apartments or rooms-to-rent are now dispersed throughout the expanded business district between Fourth and Seventh Avenues. Many of these residential arrangements are located on the second or third floors of business blocks, strengthening the trend noticed on the 1888 Sanborn Map.

While single family residential development had spread eastward to 19th Street, representing incipient development in Sherman Heights, several blocks of sparsely developed land remained between 16th and 18th Streets. Conversely, many single family residences between 8<sup>th</sup> Avenue and 12<sup>th</sup> [Avenue], now Park Boulevard, have been converted to multi-family accommodations, indicating an interest in living quarters within walking distance to the business center of the city. Less change is obvious south of I Street, where modest cottages continued to fill in previously platted parcels. The node of boarding houses at 7<sup>th</sup> and K, however, was no longer evident, reflecting both the eastward spread of the warehouse district and the rise of modest living arrangements elsewhere in the city.

### **Building History**

Residential Building Records on this building could not be located. Nevertheless, historical research and examination of historic photographs indicate that the building was likely constructed for William B. Norris at 2361 G Street sometime between 1893-1896, although it may have been earlier. The original location of the building, located near the southwest corner of G and 14th Streets, was property owned by Norris and was one of about eleven buildings that were constructed on that block during the 1890s. William Norris, a native of Maine, was born in January 1939, and moved to San Diego likely in 1872.

An examination of the 1888 Sanborn Fire Insurance Map did not reveal the presence of the 721 14th Street building at either its current location or along G Street. However, the 1906 Sanborn Map does show the building at 2361 G Street as a two-story "dwelling" with basement. An inspection of *San Diego City Directories* during the 1890s indicates that William B. Norris, carpenter, is first listed at 2361 G Street in 1897. Norris lived at the 2361 G Street address from at least 1897 until 1913. After 1913, the 2361 G Street address was renumbered to become 1461 G Street. This is supported by a 1921 Sanborn Map which shows the building still at its original location with the new address. In 1914, William and Flora Norris are listed as living at 1461 G Street. William Norris lived at this address until his death in September 1917. Norris' wife Flora continued to live at the 1461 G Street location until her death in March 1937.

An examination of historic photographs, on file in the San Diego Historical Society Photographic Archives, in conjunction with Sanborn Fire Insurance Maps, indicate that the 1461 G Street building, was moved to its current location at 721 14th Street, in either 1948 or 1949/9 despite the fact that the building appears at its current location in a 1940 Sanborn Map. A review of *San Diego City Directories* indicate that after the death of Flora Norris in 1937, the home at 1461 G Street was thereafter occupied by two tenants, suggesting that the home was divided into two units. Between 1939-1944, occupants of the building included Ralph Peterson (1939-1942), Thomas Castro (1940), Joseph Mendoza (1941), Joseph Kachmarek (1942), W.A. Brunson and G.T. Denny (1943), and R.C. Pittsley and A.N. Wolfe (1944). The building was listed as vacant in 1948. Historic aerial photographs taken in 1937 and 1941 show the 1461 G Street

<sup>2</sup> City of San Diego's "Revised Draft East Village Combined Historical Property Survey Report, 2005."

# CONTINUATION SHEET

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

Page 5 of 7

\*Resource Name or # (Assigned by recorder) 721 14<sup>th</sup> Street

\*Recorded by: Heritage Architecture & Planning

\*Date: 06.01.2017

Continuation  Update

building in its original location. In 1950, *San Diego City Directories* first list the 721 14<sup>th</sup> Street address, with the occupant listed as C.M. Montgomery.

Based upon the historical record, therefore, the building appears to have been moved to its 721 14<sup>th</sup> Street location in 1948 or 1949 by 8Jack and Eliza Wisner, who, at the time lived in the 719 14<sup>th</sup> Street apartment building they owned. This point is strongly supported by June 11, 1947 agreement between Jack and Eliza Wisner and the City of San Diego regarding the "moving, construction and alterations" for the "building as living quarters." This agreement clearly indicates that the Wisner intended to "move in, construct and alter a building to living quarter" on Lot H, which at the time did not have street frontage.

From 1952-1955, the 721 14<sup>th</sup> Street building served tenants Armando Mendoza and Rober Munos (1952), Robert L. and Charles B. Lane (1953-1954), and Ramon A. Sanchez and John W. Quigley (1955). Inspection of a 1956 San born Map shows the 719 and 721 14<sup>th</sup> Street buildings in the current locations, with the 721 14<sup>th</sup> Street building serving as "two flats." Nevertheless, the 1956 San Diego City Directory list the building as "apartments" with four units each. The building appears to have accommodated four units until around 1971 when only one tenant was listed. This seems to have been the case until 1998 when the City Director once again listed four tenants. The building currently serves as an apartment building with eight units.

## RESOURCE SIGNIFICANCE

### National and California Register

#### *National Register Criterion A / California Register Criterion 1*

The Daggett Family Residence is associated with the residential development of East Village during the turn-of-the-century. Although it was moved to its current location around 1948-1949, its original location was across G Street at 2361 G Street (later 1461 G Street), it is still a testament of the surviving residences located within the East Village community. However, no historical evidence was identified which would support that the Daggett Residence is associated with events that have made significant contributions to the broad patterns of national history, California's history, and cultural heritage. Therefore, the property does not qualify under National Register Criterion A or California Register Criterion 1.

#### *National Register Criterion B / California Register Criterion 2*

This residence does not qualify National Register Criterion B or California Register Criterion 2. Research has failed to disclose any direct identification with persons significant in local, state, or national history. The apartment has passed through several owners and many occupants. None of the owners or tenants had performed any activities, achievements, or contributions which were demonstrably important to the City of San Diego, the State of California, or the nation while residing at the property.

#### *National Register Criterion C / California Register 3*

The Daggett Family Residence is constructed in the Queen Anne Victorian style of architecture, which is not unique to San Diego. In its current condition, although the property retains a high degree of architectural integrity, there are other locally significant examples of the Queen Anne Victorian style of architecture that have also retained a higher degree of architectural integrity, including location. These resources include the 1898 Daniel O. Cook Residence (HRB#279) and the 1887-1888 Bayside Properties along 16<sup>th</sup> Street (HRB#341, 342, 343). Therefore, the property does not meet National or California Register criteria for architecture.

#### *National Register Criterion D / California Register Criterion 4*

The resource at 721 14<sup>th</sup> Street is not likely to yield archaeological information regarding history or prehistory. It does not appear to qualify under National Register Criterion D or California Register Criterion 4.

#### *National Register Criteria Consideration B: Moved Properties*

*A property removed from its original location or historically significant location can be eligible if it is significant primarily for architectural value or it is the surviving property most importantly association with an historic person or event. A moved property under Criterion C must retain enough historic features to convey its architectural values and retain integrity of design, materials, workmanship, feeling, and association. In addition to the requirements above, moved properties must still have an orientation, setting, and general environment that are comparable to those of the historic location and that are compatible with the property's significance.*

The Daggett Family Residence does not appear to be significant on the National Register for Criterion C, therefore, it does not qualify under Criteria Consideration B for moved properties.

**City of San Diego Register**

The Daggett Family Residence is locally designated under the City of San Diego Register of Historical Resources as HRB #404. It achieved its significance as a good example of a Queen Anne Victorian architectural style. The building retains most of its architectural details including a steeply pitched gabled roof, a dominant front-facing gable, patterned shingles, decorative spindle work, and a one-story full-length porch, which extends along the northerly side wall.

**Integrity**

In addition to meeting one of the local, state, or national criteria, a property must also retain a significant amount of its historic integrity to be considered eligible for listing. Historic integrity is made up of seven aspects: location, design, setting, materials, workmanship, feeling, and association. The following is an integrity analysis of the Daggett Family building.

Location is the place where the historic property was constructed or the place where the historic event occurred.

The Daggett Family Residence was constructed between 1893-1896 at 2361 G Street (later 1461 G Street) and was moved to its present location circa 1948 or 1949. Although the building was not constructed at its present site, it has been at its current location for over 50 years. As such, the building has attained a new location element for integrity purposes.

Design is the combination of elements that create the form, plan, space, structure, and style of a property.

The building was originally designed in a Queen Anne Victorian style. Although it has been altered and/or modified to some degree, the changes have not substantially affected the original design of the building. The building continues to retain its original form, plan, space, structure, and style. Therefore, the resource's design integrity remains.

Setting is the physical environment of a historic property.

The 721 14<sup>th</sup> Street residence formerly occupied a parcel located at 2361 G Street (later 1461 G Street), a location essentially across the street to the southeast from its present location. Due to the close proximity of its former and present location, coupled with the fact that the building has been located at its current location for over 50 years, the setting or physical environment of the two locations is sufficiently similar for integrity purposes.

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form a historic property.

The Daggett Family Residence's building materials evident largely appear to be original, therefore, retaining its materials element of integrity.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

The Daggett Family Residence's workmanship is represented in its standard construction details and in its Queen Anne Victorian details. The workmanship, particularly in the ornamentation of the building, exemplifies the popular style from the period.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.

Because the building is reasonably intact, it continues to exhibit a historic sense of turn-of-the-century Queen Anne Victorian. Therefore, the Daggett Family Residence building retains its integrity of feeling.

Association is the direct link between an important historic event or person and a historic property.

The building, in its current condition, is directly linked with San Diego's turn-of-the-century Queen Anne Victorian heritage and architectural history. Thus, the 721 14<sup>th</sup> Street residence retains its association integrity.

**B12. References (cont.)**

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\*Recorded by: Heritage Architecture & Planning

\*Date: 06.01.2017

Continuation  Update

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State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary #  
HRI #  
Trinomial  
NRHP Status Code 5S1

Other Listings HRB #907  
Review Code

Reviewer

Date

Page 1 of 7

\*Resource Name or #: 1455 F Street

P1. Other Identifier: Mattie Bears House (HRB #907)

\*P2. Location:  Not for Publication  Unrestricted

\*a. County: San Diego

and (P2b and P2c. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad Point Loma 7.5 Minute Date: 1996 T ; R ; 1/4 of 1/4 of Sec ; M.D.

c. Address: 1455 F Street City: San Diego Zip: 92101 B.M.

d. UTM: Zone: ; mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

Parcel Number: 53517109

Portion of Lots 4 and 5, Block 15, Culverwell's Addition

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Mattie Bears House, located at 1455 F Street, is a Folk Victorian Vernacular-style multifamily residential building. The resource is located on a sloped lot and the primary north façade has two stories that face F Street. The property slopes down steeply from F Street and the remaining three façades are three-stories in height leaving the exterior walls of the lower floor (basement level) exposed. The building is of standard wood frame construction. The building's exterior finish is horizontal wood shiplap siding. Fenestration consists of 2/2 double-hung wood window and replacement aluminum windows. A large window on the north façade has been replaced with a single fixed glass window. The primary entry is accessed via a full width covered porch with shed roof. The front porch has been altered to add a metal security screen on all open sides. A wood-framed addition is located at the rear south façade. The addition is vertical wood siding with portions unpainted. The composite shingled roof is gabled with slight eave overhang and plain frieze. The resource is generally in poor condition.

\*P3b. Resource Attributes: (List attributes and codes) HP03 Multiple Family Property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #)  
Looking southwest at the primary façade.  
\\images\june 2015\241.JPG

\*P6. Date Constructed/Age and Sources:

ca. 1909

Prehistoric  Historic  Both

\*P7. Owner and Address:

Kenneth Paul Bourke  
1455 F Street  
San Diego, CA 92101

\*P8. Recorded by: (Name, affiliation, and address)

Heritage Architecture & Planning  
633 Fifth Avenue  
San Diego, CA 92101

\*P9. Date Recorded: 6/21/2017

\*P10. Survey Type: (Describe)  
Intensive

\*P11. Report Citation: (Cite survey report and othersources, or enter "none.")

East Village Green Historical Resources Technical Report

\*Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other (List):

DPR 523A (1/95)

\*Required Information

# BUILDING, STRUCTURE, AND OBJECT RECORD

\*Resource Name or # (Assigned by recorder) 1455 F Street

B1. Historic Name: Mattie Bearns House

B2. Common Name: Kenneth Paul Bourke Residence

B3. Original Use: Multiple Family Residence

B4. Present Use: Multiple Family Residence

\*B5. Architectural Style: Folk Victorian Vernacular

\*B6. Construction History: (Construction date, alterations, and date of alterations)

ca. 1909 - Date of Construction

Unknown Date - 3-story rear addition

Unknown Date - replacement door and aluminum windows, addition of metal security grilles at front porch

\*B7. Moved?  No  Yes  Unknown Date:

Original Location:

\*B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\*B10. Significance: Theme: Residential Development

Area: East Village, Downtown San Diego

Period of Significance: ca. 1909

Property Type: Multiple Family Residence

**Applicable Criteria:** (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographical scope. Also address integrity.)

The Mattie Bearns House is locally designated under the City of San Diego Register of Historical Resources as HRB #907. It achieved its significance for its architecture (Criterion C) as a notable example of a Folk Victorian Vernacular style residence. Although in poor condition, the building continues to retain a good level of architectural integrity from its ca.1909 period of significance. Specifically, the character-defining features reflected in the building include a medium pitched, front gable roof with slight eave overhang; wood framed, double hung windows; simplified detailing, plain frieze; wood horizontal shiplap siding, and a full width front porch, rectangular floor plan, and symmetrical façade with wood frame and foundations.

B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References:

See Continuation Sheet

B13. Remarks:

\*B14. Evaluator:

Heritage Architecture & Planning

\*Date of Evaluation: 6/1/2017

(This space reserved for official comments.):



# CONTINUATION SHEET

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

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\*Resource Name or # (Assigned by recorder) 1455 F Street

\*Recorded by: Heritage Architecture & Planning

\*Date: 06.01.2017

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## B10. Significance (cont.)

### *East Village Historical Background <sup>1</sup>*

The history of the Bayside and Centre City East areas are inexorably linked to the development of downtown San Diego and its founder Alonzo Erastus Horton. Horton, who came to San Diego in 1867, purchased 960 acres of land for \$265 for his "New Town" San Diego development. Horton divided the acres into blocks and lots, a number of which were located in the Bayside and Centre City East areas. Thus, "Horton's Addition" was established. Later subdivisions in the area included "Sherman's Addition" and "Remondino's Subdivision of Sherman's Addition."

During the 1860s and 1870s, the Bayside area, then known as "South San Diego," relied heavily upon the wharf established at the foot of Fifth Avenue. Prior to the establishment of Horton's Wharf, a few warehouse structures were located along the bay, but none remain today. These early businesses transported stored grain, honey, and other products. They also received incoming shipments of lumber, iron, ore, and other necessities from other parts of the nation. In 1869, McDonald's store (later known as the San Diego Lumber Company) was erected at Sixth Avenue and L Street. Lumber, floated [through] the bay from Northern California and Oregon was pulled from the bay by Native Americans and stacked at the lumber company building, which was erected on redwood planks in order to protect the wood from muddy soil. In 1872, Bailey's Foundry (later known as San Diego Foundry) was constructed at the corner of 8th Avenue and M Street (now Imperial). This business provided much of the structural ironwork for businesses and commercial buildings in the Gaslamp Quarter.

During the 1880s, New Town San Diego businesses spread north to H Street (renamed Market Street), which was at the time considered the main cross road. Commercial growth was centered on Fifth Avenue and Market Street. Ultimately, San Diego expanded to D Street (renamed Broadway) and beyond as merchants moved northward. With the coming of the railroad, Horton and other prominent business leaders lobbied for a railroad link which would facilitate transportation to this area. In 1885, the California Southern Railroad, a subsidiary of the Atchison, Topeka, and Sante Fe line, established tracks into San Diego from the north. This line greatly increased San Diego's population in the late 1880s. A later link with the Southern Pacific Railroad along the United States/Mexico border proved beneficial as well, particularly to the Bayside and Centre City East areas. San Diegans longed for an eastern railroad terminus.

With the 1885 railroad connection [from the north], an influx of newcomers to the San Diego area sparked a four- year building boom. In the Bayside and Centre City East area, simple Victorian single-family cottages were erected on 16<sup>th</sup> and 17<sup>th</sup> [Streets] to accommodate laborers, porters, clerks, and other blue collar workers. The Rood Rental cottage, Bay View Hotel, Sheldon House and Joseph Ireland Building are examples of Victorian structures built during the boom. Standard Iron Works erected its manufacturing business on the corner of 7<sup>th</sup> Avenue and L Street, and the Silver Gate Warehouse, owned by local entrepreneur John Ginty, was constructed on 8<sup>th</sup> Avenue and M Street (renamed Imperial).

In 1886, the San Diego Gas Company enlarged its gas operations. The company, which had started from modest beginnings on 9th Avenue between M and N Streets (Imperial and Commercial) in 1881, expanded in order to supply the needs of San Diego's growing residential and business community. The San Diego Gas Company built a new electric generating plant at 10<sup>th</sup> Avenue and M (Imperial) adjacent to the old gas plant. In 1887, the San Diego Gas and Electric Light Company was incorporated as the successor to the San Diego Gas Company and began supplying electricity for arc lights on a sundown to midnight basis in downtown San Diego. After the bust of 1889, the gas and electric company found it could easily service the utility needs of San Diego with existing equipment. Therefore, no new major additions were made to the plant until 1905.

After 1900, businesses chose the Centre City East area from which to conduct operations due to the area's proximity to the railroad tracks and the wharf. San Diego's commercial center continued to expand as harbor facilities and the city's population grew. [Many] types of commercial structures were built south of Broadway and along the water's edge. Warehouses, manufacturing centers, bars, restaurants, laundries, and hotels all provided services and goods for city residents and businesses. The entire area south of Broadway from the water eastward was a large commercial center for the city.

Businesses anticipated the creation of a much needed railroad line that would link San Diego to Arizona and then eastward across the southern part of the United States. It was believed that such a line would encourage the exchange of goods between the West and East Coasts of the United States through Yuma. In 1905, the Southern Pacific Railroad desired to break the Sante Fe Railroad's monopoly. Southern Pacific Railroad officials approached sugar magnate and San Diego businessman, John D. Spreckels to act as the "front man" for an operation that would build the railroad from San Diego to Arizona. Although the San Diego and Eastern Arizona Railroad would not be completed until 1919, railroad line and commercial speculation drew local businessmen to the Centre City East area.

<sup>1</sup> Excerpt from Scott Moomjian, "East Village Historical Overview" in the City of San Diego's "Revised Draft East Village Combined Historical Property Survey Report, 2005."

# CONTINUATION SHEET

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

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\*Resource Name or # (Assigned by recorder) 1455 F Street

\*Recorded by: Heritage Architecture & Planning

\*Date: 06.01.2017

Continuation  Update

The Second World War affected the area as it did the entire country. A surge of activity occurred in the Centre City East area. Very few structures were constructed during the war years, and although little new construction took place during the early 1940s, many of the Centre City East buildings were drafted into service. The Schiefer & Sons factory, located at 371 8<sup>th</sup> Avenue, was used by the Standard Parachute Corporation from 1941-1945. Although no longer in existence, the Standard Parachute Corporation also used the building located at 304 11<sup>th</sup> Avenue as a supply stockroom from 1943-1948. In addition, the San Diego Machine Company, an airplane parts manufacturer, operated from 345 15<sup>th</sup> Street from 1934-1958. During the war years, the San Diego Gas and Electric Company had all new utility extensions put on hold, since copper wire and steel pipe were in short supply.

During and after the Second World War, as suburbs developed, many businesses relocated to newer communities where land was cheaper and buyers more plentiful. The amount of people residing in the Centre City area also declined, resulting in less local support of goods produced by the downtown businesses. From the late 1970s to the present, Centre City East has slowly become revitalized with the development of the Gaslamp Quarter, which has brought new businesses and life into the old industrial area. The opening of Petco Park in East Village in 2004 helped spur redevelopment within the community.

### **Residential Patterns in 1906 <sup>2</sup>**

The turn-of-the-century period in East Village is characterized by home ownership expanding to the working classes. Live-in servants were becoming less prevalent (especially for the middle class) and housing styles in general were simplifying under Progressive ideals of good government through universal suffrage and political reform. During this period, it was widely thought that many urban ills brought on by industrialization and unbridled capitalism could be resolved through elevating the lower classes into the middle class through home ownership. As a result, unprecedented attention was given to housing design, production, and financing instruments.

In San Diego, the 1906 Sanborn Map reflects these widernational trends, as well as local economic recovery and continued urban expansion due to railroad-related in-migration. Population growth is evident in residential patterns that clearly reflect denser living conditions more characteristic of cities than of towns or villages. Hotels and boarding establishments have a diminished presence in East Village, while apartments or rooms-to-rent are now dispersed throughout the expanded business district between Fourth and Seventh Avenues. Many of these residential arrangements are located on the second or third floors of business blocks, strengthening the trend noticed on the 1888 Sanborn Map.

While single family residential development had spread eastward to 19th Street, representing incipient development in Sherman Heights, several blocks of sparsely developed land remained between 16th and 18th Streets. Conversely, many single family residences between 8<sup>th</sup> Avenue and 12<sup>th</sup> [Avenue], now Park Boulevard, have been converted to multi-family accommodations, indicating an interest in living quarters within walking distance to the business center of the city. Less change is obvious south of I

Street, where modest cottages continued to fill in previously platted parcels. The node of boarding houses at 7<sup>th</sup> and K, however, was no longer evident, reflecting both the eastward spread of the warehouse district and the rise of modest living arrangements elsewhere in the city.

### **Building History**

According to the original subdivision map and subsequent maps, the subject property is Parcel Number 535-171-09, which includes portions of Lots 4 and 5 of Block 14 of Culverwell's Addition. According to the Chain of Title:

- Gustav Schroepfel and Hakes Investment Co. owned this property in 1906 when the Sanborn Map shows the store building present.
- Hakes Investment Co. sold a 25' wide lot (Lot 4) to Mattie Bearn in April 1904.
- Hakes Investment Co. sold the east 14' of Lot 5 to Mattie Bearn in March 1908.
- Mattie Bearn later became Mattie Stroehl and, in 1919, a Degree Quieting Title confirmed her ownership of west 36 feet of Lot 4 and the east 14 feet of Lot 5.

The Lot Block Book Page indicates George Gerhard and Mattie Bearn were owners of the west 36 feet of Lot 4 and the east 14 feet of Lot 5 in 1909 when the first improvements on the property were assessed during the period of 1907-1909. The structure at 1455 1F Street was constructed during the ownership of portions of Lots 4 and 5 by Mattie Bearn in 1909.

Ms. Bearn continued ownership of the parcel until 1919 when Adolph M. Stroehl became the Administrator. From 1919-1938, F.W. and Zoetta P. Stumpf retained ownership of the residence followed by John Ameruss from 1938-1978. In 1978, Antonio and Christine Grimalda along with Ken and Sue Bourke obtained ownership. From 1979 to present, Ken and Sue Bourke are listed as sole owners.

<sup>2</sup> City of San Diego's "Revised Draft East Village Combined Historical Property Survey Report, 2005."

# CONTINUATION SHEET

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

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\*Resource Name or # (Assigned by recorder) 1455 F Street

\*Recorded by: Heritage Architecture & Planning

\*Date: 06.01.2017

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## RESOURCE SIGNIFICANCE

### National and California Register

#### *National Register Criterion A / California Register Criterion 1*

The property does not qualify under National or California Criterion A: Event. Historical research has failed to identify any important event that has made a significant contribution to the broad patterns of regional history or the cultural heritage of California or the United States as association with the property over the course of its existence.

#### *National Register Criterion B / California Register Criterion 2*

Research has failed to disclose any direct identification with persons significant in local, state, or national history. Since 1909, the residence has passed through several owners and many occupants. None of the persons who owned or occupied the resource had performed any activities, achievements, or contributions which were demonstrably important to the City of San Diego, the State of California, or the nation while residing at the property. Therefore, the property does not qualify under National Register Criterion B or California Register Criterion 2.

#### *National Register Criterion C / California Register 3*

In its current condition, the resource does not reach a level of significance as a good example of Folk Victorian Vernacular architectural style that meets local, state, or national levels of significance for the National Register or the California Register under this criterion. The building is a locally based vernacular example of the style that lacks the identifying features of the type, period, or method of Folk Victorian Vernacular style construction.

#### *National Register Criterion D / California Register Criterion 4*

The resource is not likely to yield archaeological information regarding history or prehistory. It does not appear to qualify under National Register Criterion D or California Register Criterion 4.

### City of San Diego Register

The Mattie Bearns House is locally designated under the City of San Diego Register of Historical Resources as HRB #970. The resource embodies the distinctive characteristics through the retention of character-defining features of the Folk Victorian Vernacular style and retains a good level of architectural integrity from its ca. 1909 period of significance. Specifically, its medium pitched, front gable roof with slight eave overhang; wood framed, double hung windows; simplified detailing, plain frieze; wood horizontal shiplap siding, and a full width front porch, a rectangular floor plan and a symmetrical façade.

### Integrity

In addition to meeting one of the local, state, or national criteria, a property must also retain a significant amount of its historic integrity to be considered eligible for listing. Historic integrity is made up of seven aspects: location, design, setting, materials, workmanship, feeling, and association. The following is an integrity analysis of the Mattie Bearns House.

#### Location is the place where the historic property was constructed or the place where the historic event occurred.

The Mattie Bearns House was constructed in ca. 1909, in the growing East Village area of Downtown San Diego. The building has not been moved since its construction and has retained its integrity of location.

#### Design is the combination of elements that create the form, plan, space, structure, and style of a property.

The building retains the majority of its original design including its form, plan, space, structure, and style. The building continues to retain its character-defining features including symmetrical façade, rectangular floor plan; a wood frame and foundation; a medium pitched, front gable roof with a slight eave overhang; exterior horizontal wood shiplap siding with corner board; plain frieze; and simplified detailing.

#### Setting is the physical environment of a historic property.

Since its construction, the Mattie Bearns House has retained its location. When it was constructed, it was surrounded by other residential buildings. While there has been considerable redevelopment in the area, which has led to multi-story residential and commercial buildings, the residential buildings within the subdivision block in which the Mattie Bearns House is located, have been razed leaving only two other residential buildings. Accordingly, the setting has been changed and setting integrity has been lost.

Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern of configuration to form a historic property.

The residence has had some alteration since its construction, including door and window replacements. The wood floor on the front porch was replaced. On the rear of the property, a two-story addition was added for ancillary functions. The addition is clearly demarcated from the original structure. Although modifications have taken place, this building retains character-defining features of the Folk Victorian Vernacular style. Therefore, the property maintains its materials integrity.

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.

The workmanship evident in this residence is represented in its standard construction details of the Folk Victorian Vernacular style, exemplifying the popular style from that period. Thus, the property retains its workmanship integrity.

Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.

Because the building is reasonably intact in its location, design, workmanship, and materials, it retains the feeling of a period of time, that is, as a Folk Victorian Vernacular style residence.

Association is the direct link between an important historic event or person and a historic property.

The property at 1455 F Street continues to retain its association with the residential development of Downtown's East Village.

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**CONTINUATION SHEET**

Primary # \_\_\_\_\_

HRI # \_\_\_\_\_

Trinomial \_\_\_\_\_

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\*Resource Name or # (Assigned by recorder) 1455 F Street

\*Recorded by: Heritage Architecture & Planning

\*Date: 06.01.2017

Continuation  Update

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**SECTION VII APPENDICES****E. Preparers Qualifications**

Eileen Magno, MA, is the Principal Historian with Heritage Architecture & Planning and served as principal researcher and writer. She is a qualified Historian and Architectural Historian under the *Secretary of the Interior's Qualifications Standards*. Ms. Magno has been involved with research and documentation of historical resources throughout Southern California and parts of Arizona and Nevada. Her experience covers a wide variety of historic preservation reports, including historic structure reports, preservation plans, feasibility studies, historic surveys, architectural conservation assessments, adaptive reuse studies, master plans, and environmental documentation, such as Section 106 and technical historic architectural reports for CEQA/NEPA compliance. In addition, she has successfully prepared local, state, and national nominations. Ms. Magno holds a Master of Arts degree in History with an emphasis in Public History and Teaching. She is a past member of the Mira Mesa Community Planning Group for the City of San Diego.

Architect Carmen Pauli, NCARB, has been a member of the firm since 1997. She has participated in all architectural phases from research, field investigation, and recordation to construction documentation and administration. Ms. Pauli meets the *The Secretary of the Interior's Professional Qualification Standards* for Architecture and Historic Architecture. As Project Architect/Project Manager, Ms. Pauli has been responsible for a variety of construction projects including historical restoration, rehabilitation, preservation, adaptive reuse, and relocation projects. Ms. Pauli also has extensive experience in historical documentation projects such as Historic American Buildings Surveys (HABS), Historic American Engineering Records (HAER), Historic Structure Reports (HSR), Conservation Assessment Programs (CAP), Conditions Assessment Reports, Feasibility Studies, Maintenance Manuals, Preservation Plans, and Historical Designations.

David Marshall, AIA, NCARB, is President and Senior Principal Architect with Heritage Architecture & Planning. His role in the project was historic architect, investigator, and writer. Mr. Marshall holds a Bachelor of Architecture degree from Cal Poly Pomona. As an architect, he has been involved in the restoration and reconstruction of many of Balboa Park's exposition buildings, including the House of Hospitality, Spreckels Organ Pavilion, and Museum of Man. David is a past member of the San Diego Historical Resources Board and served as Chair of the Design Assistance Subcommittee. He was also a board member of the San Diego Architectural Foundation and served as president of the Save Our Heritage Organisation (SOHO). David was recently Board President of the California Preservation Foundation (CPF) based in San Francisco. Mr. Marshall meets the *The Secretary of the Interior's Professional Qualification Standards* for Architecture and Historic Architecture.



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HISTORIC AMERICAN BUILDINGS SURVEY  
MURRAY APARTMENTS

- Name:** Murray Apartments
- Location:** 719 14<sup>th</sup> Street, San Diego, CA 92101
- Present Owner/Occupant:** City of San Diego
- Present Use:** The Murray Apartments is currently used for multi-family housing.
- Significance:** Completed in 1903, the Murray Apartments is locally designated under the City of San Diego Register of Historical Resources as HRB #404. It achieved its significance for its architecture as a good example of a Queen Anne style residence constructed during the early 1900s. Although the building has been moved from its original location and has undergone some changes over time, the building continues to maintain its primary architectural details such as a steeply pitched hipped roof, a dominant front-facing gable, patterned shingles, half timbering, cutaway bay windows and projections, and an asymmetrical façade with a one-story partial (formerly full length) porch. The Murray Apartments does not appear to meet the eligibility requirements for individual listing in the National or State registers at the local, state, or national level of significance.
- Historian:** Eileen Magno, MA, Heritage Architecture & Planning
- Project Information:** Written documentation, photographs, and measured drawings were prepared by Heritage Architecture & Planning.

**PART I. HISTORICAL INFORMATION**

**A. Physical History**

1. **Date of erection:** 1903
2. **Architect/Builder:** Unknown
3. **Original and subsequent owners, occupants, users:**

Residential Building Records indicate that this building was constructed in 1903, but was moved to its present location sometime during the early 1930s, likely in either 1932 or 1933. An aerial photograph of the area, dated December 1937, shows the 719 14<sup>th</sup> Street building at this location during this time. A Sanborn Fire Insurance Map from 1940 shows the presence of the building at this location also. Sanborn Maps from 1888 and 1906, show the presence of a different, rectangular-shaped, two-story dwelling at the 719 14<sup>th</sup> Street location. A 1921 Sanborn map indicates that by this year, the original building was used as “furnished rooms.” It could not be determined whether this original structure was moved,

demolished, or burned down prior to the relocation of the current 719 14<sup>th</sup> Street building to this location.

*San Diego City Directories* first list multiple tenants as residing in the 719 14<sup>th</sup> Street building in 1933. This supports the belief that the building was used as furnished rooms during this period, and indicates that the building was moved to this location in either 1932 or 1933. 1940 and 1956 Sanborn Maps show the current 719 14<sup>th</sup> Street building as “rooms.” Historical research indicates that beginning around 1936, the building was known as the “Murray Apartments,” and around 1955, it became known as the “Wismer Apartments,” after Jack and Eliza Wismer, the property owners who also lived in the apartment building from approximately 1937-1966. A 1959 notation made by a San Diego County Assessor’s Office Appraiser state that the building appeared “to be 1 unit over 1 unit with possible 3 or 4 persons sleeping to rent out.” Since 1995, the building has been known as the “Villa Victoria.” The building currently serves as an apartment building with 13 units.

4. **Original plans and construction:** No original drawings were located. The building is a two-story wood-framed residential building.
5. **Alterations and additions:**
  - 1932-1933 – Building relocated to its present site.
  - 1965 – Re-roofed.
  - 2009 – Rear stair addition.
  - 2015 – Repaint exterior.
  - Replacement windows at the west and east facades. Date unknown.
  - Partial enclosure of front porch to accommodate a small kitchen for interior unit. Date unknown.
  - Second floor porch enlarged and enclosed with a shed roof addition to add kitchens for two adjacent apartments. Date unknown.

## B. Historical Context

### *East Village Historical Background*<sup>1</sup>

The history of the Bayside and Centre City East areas are inexorably linked to the development of downtown San Diego and its founder Alonzo Erastus Horton. Horton, who came to San Diego in 1867, purchased 960 acres of land for \$265 for his “New Town” San Diego development. Horton divided the acres into blocks and lots, a number of which were located in the Bayside and Centre City East areas. Thus, “Horton’s Addition” was established. Later subdivisions in the area included “Sherman’s Addition” and “Remondino’s Subdivision of Sherman’s Addition.”

During the 1860s and 1870s, the Bayside area, then known as “South San Diego,” relied heavily upon the wharf established at the foot of Fifth Avenue. Prior to the establishment of Horton’s Wharf, a few warehouse structures were located along the bay, but none remain today. These early businesses transported stored grain, honey, and other products. They also received incoming shipments of lumber, iron, ore, and other necessities from other parts of the nation. In 1869, McDonald’s store (later known as the San Diego Lumber Company) was erected at Sixth Avenue and L Street. Lumber, floated [through] the bay from Northern California and Oregon was pulled

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<sup>1</sup> Excerpt from Scott Moomjian, “East Village Historical Overview” in the City of San Diego’s “Revised Draft East Village Combined Historical Property Survey Report, 2005.”

from the bay by Native Americans and stacked at the lumber company building, which was erected on redwood planks in order to protect the wood from muddy soil. In 1872, Bailey's Foundry (later known as San Diego Foundry) was constructed at the corner of 8th Avenue and M Street (now Imperial). This business provided much of the structural ironwork for businesses and commercial buildings in the Gaslamp Quarter.

During the 1880s, New Town San Diego businesses spread north to H Street (renamed Market Street), which was at the time considered the main cross road. Commercial growth was centered on Fifth Avenue and Market Street. Ultimately, San Diego expanded to D Street (renamed Broadway) and beyond as merchants moved northward. With the coming of the railroad, Horton and other prominent business leaders lobbied for a railroad link which would facilitate transportation to this area. In 1885, the California Southern Railroad, a subsidiary of the Atchison, Topeka, and Santa Fe line, established tracks into San Diego from the north. This line greatly increased San Diego's population in the late 1880s. A later link with the Southern Pacific Railroad along the United States/Mexico border proved beneficial as well, particularly to the Bayside and Centre City East areas. San Diegans longed for an eastern railroad terminus.

With the 1885 railroad connection [from the north], an influx of newcomers to the San Diego area sparked a four-year building boom. In the Bayside and Centre City East area, simple Victorian single-family cottages were erected on 16<sup>th</sup> and 17<sup>th</sup> [Streets] to accommodate laborers, porters, clerks, and other blue collar workers. The Rood Rental cottage, Bay View Hotel, Sheldon House and Joseph Ireland Building are examples of Victorian structures built during the boom. Standard Iron Works erected its manufacturing business on the corner of 7<sup>th</sup> Avenue and L Street, and the Silver Gate Warehouse, owned by local entrepreneur John Ginty, was constructed on 8<sup>th</sup> Avenue and M Street (renamed Imperial).

In 1886, the San Diego Gas Company enlarged its gas operations. The company, which had started from modest beginnings on 9th Avenue between M and N Streets (Imperial and Commercial) in 1881, expanded in order to supply the needs of San Diego's growing residential and business community. The San Diego Gas Company built a new electric generating plant at 10<sup>th</sup> Avenue and M (Imperial) adjacent to the old gas plant. In 1887, the San Diego Gas and Electric Light Company was incorporated as the successor to the San Diego Gas Company and began supplying electricity for arc lights on a sundown to midnight basis in downtown San Diego. After the bust of 1889, the gas and electric company found it could easily service the utility needs of San Diego with existing equipment. Therefore, no new major additions were made to the plant until 1905.

After 1900, businesses chose the Centre City East area from which to conduct operations due to the area's proximity to the railroad tracks and the wharf. San Diego's commercial center continued to expand as harbor facilities and the city's population grew. [Many] types of commercial structures were built south of Broadway and along the water's edge. Warehouses, manufacturing centers, bars, restaurants, laundries, and hotels all provided services and goods for city residents and businesses. The entire area south of Broadway from the water eastward was a large commercial center for the city.

Businesses anticipated the creation of a much needed railroad line that would link San Diego to Arizona and then eastward across the southern part of the United States. It was believed that such

a line would encourage the exchange of goods between the West and East Coasts of the United States through Yuma. In 1905, the Southern Pacific Railroad desired to break the Sante Fe Railroad's monopoly. Southern Pacific Railroad officials approached sugar magnate and San Diego businessman, John D. Spreckels to act as the "front man" for an operation that would build the railroad from San Diego to Arizona. Although the San Diego and Eastern Arizona Railroad would not be completed until 1919, railroad line and commercial speculation drew local businessmen to the Centre City East area.

The Second World War affected the area as it did the entire country. A surge of activity occurred in the Centre City East area. Very few structures were constructed during the war years, and although little new construction took place during the early 1940s, many of the Centre City East buildings were drafted into service. The Schiefer & Sons factory, located at 371 8<sup>th</sup> Avenue, was used by the Standard Parachute Corporation from 1941-1945. Although no longer in existence, the Standard Parachute Corporation also used the building located at 304 11<sup>th</sup> Avenue as a supply stockroom from 1943-1948. In addition, the San Diego Machine Company, an airplane parts manufacturer, operated from 345 15<sup>th</sup> Street from 1934-1958. During the war years, the San Diego Gas and Electric Company had all new utility extensions put on hold, since copper wire and steel pipe were in short supply.

During and after the Second World War, as suburbs developed, many businesses relocated to newer communities where land was cheaper and buyers more plentiful. The amount of people residing in the Centre City area also declined, resulting in less local support of goods produced by the downtown businesses. From the late 1970s to the present, Centre City East has slowly become revitalized with the development of the Gaslamp Quarter, which has brought new businesses and life into the old industrial area. The opening of Petco Park in East Village in 2004 also helped spur redevelopment within the community.

### ***Residential Patterns in 1906***<sup>2</sup>

The turn-of-the-century period in East Village is characterized by home ownership expanding to the working classes. Live-in servants were becoming less prevalent (especially for the middle class) and housing styles in general were simplifying under Progressive ideals of good government through universal suffrage and political reform. During this period, it was widely thought that many urban ills brought on by industrialization and unbridled capitalism could be resolved through elevating the lower classes into the middle class through home ownership. As a result, unprecedented attention was given to housing design, production, and financing instruments.

In San Diego, the 1906 Sanborn Map reflects these wider national trends, as well as local economic recovery and continued urban expansion due to railroad-related in-migration. Population growth is evident in residential patterns that clearly reflect denser living conditions more characteristic of cities than of towns or villages. Hotels and boarding establishments have a diminished presence in East Village, while apartments or rooms-to-rent are now dispersed throughout the expanded business district between Fourth and Seventh Avenues. Many of these

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<sup>2</sup> City of San Diego's "Revised Draft East Village Combined Historical Property Survey Report, 2005."

residential uses are located on the second or third floors of business blocks, strengthening the trend seen on the 1888 Sanborn Map.

While single family residential development had spread eastward to 19th Street, representing incipient development in Sherman Heights, several blocks of sparsely developed land remained between 16th and 18th Streets. Conversely, many single family residences between 8<sup>th</sup> Avenue and 12<sup>th</sup> Avenue, now Park Boulevard, have been converted to multi-family accommodations, indicating an interest in living quarters within walking distance of the business center of the city. Less change is obvious south of I Street, where modest cottages continued to fill in previously platted parcels. The node of boarding houses at 7<sup>th</sup> and K, however, was no longer evident, reflecting both the eastward spread of the warehouse district and the rise of modest living arrangements elsewhere in the city.

### ***Building History***<sup>3</sup>

Residential Building Records indicate that this building was constructed in 1903, but was moved to its present location sometime during the early 1930s, likely in either 1932 or 1933. An aerial photograph of the area, however, dated December 1937, shows the 719 14<sup>th</sup> Street building at this location during this time. A Sanborn Fire Insurance Map from 1940 shows the presence of the building at this location by this year. Sanborn Maps from 1888 and 1906, show the presence of a different, rectangular-shaped, two-story dwelling at the 719 14<sup>th</sup> Street location. A 1921 Sanborn map indicates that by this year, the original building was used as “furnished rooms.” It could not be determined whether this original structure was moved or demolished prior to the relocation of the current 719 14<sup>th</sup> Street building to this location.

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## **PART II. ARCHITECTURAL INFORMATION**

### **A. General Statement**

- 1. Architectural character:** The two-story wood-framed, Murray Apartments was designed in the Queen Anne style. The exterior of the building is clad with horizontal wood siding. The siding boards are 9” wide with a milled profile to create the illusion of 3” boards.
- 2. Condition of fabric:** The general condition of the Murray Apartments is good and the exterior and interior of the building retain a high degree of historical integrity, including

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<sup>3</sup> Office of Marie Burke Lia, Attorney at Law, “Historical Assessment of the 719 & 721 14<sup>th</sup> Street Buildings, San Diego, California 92101.” Prepared for Mr. Shel Kulick. January 2000.

original walls, windows, doors, porches, cladding, and decorative features. The interior of the building still retains some of the original doors, built-in features, decorative trim, fireplaces, and stairs. The interior of the building is generally in poor condition.

## B. Description of Exterior

1. **Overall Dimensions:** The building has a rectangular footprint. The overall dimension of the building is approximately 26'x71' with 1,923 SF on the first floor and 2,014 SF on the second floor.
2. **Foundations:** The existing foundation system includes cast-in-place concrete stem walls around the perimeter of the building and wood interior supports. The existing foundation was constructed in the 1930s when the building was relocated to its present site. It appears that the building may have been raised several feet when it was relocated. There is currently a crawl space below the building.
3. **Walls:** The Murray Apartments has wood-framed walls. The exterior walls are clad with 9" horizontal wood drop siding. The interior walls are lath and plaster and gypsum board.
4. **Structural systems, framing:** The roof, walls, and floors of the Murray Apartments are wood-framed.
5. **Porches, stoops, balconies, bulkheads:** The front porch was altered to enlarge a portion of the first floor next to the main entrance. The second floor of the porch has been enclosed with a shed roof addition. The original configuration likely included a semi-open sunroom or screened porch on the ground floor. The original cutaway bay windows are still extant on the north end of the porch below the front-facing gable. The front of the gable end is currently covered by the second floor porch addition. At the base of the porch are two arched wood casings which were likely open before the porch was enclosed. The rear landing and stair were added in 2009 to provide code-required egress. They are constructed of pressure-treated lumber with a painted finish.
6. **Chimneys:** The Murray Apartments building has three brick chimneys constructed of unreinforced masonry (URM). There are some displaced bricks. Overall, the chimneys are in fair condition.
7. **Doorways and Doors:** There are four door entries at the Murray Apartments. Two west entries provide access to the apartments on the first and second floor. The remaining two entries are accessed from the east façade's first and second floor levels. The east doors are not original. The front entry doors are offset to the right of the center. These doors are original and are paneled with a single lite on the upper half.
8. **Windows and Shutters:** Many of the original 1/1 double-hung wood windows remain. The windows on the north and south façade are generally historic and are in fair condition with recent paint. The windows on the front (west) façade have been replaced with the exception of the diamond patterned divided-lite window between the two front doors. The windows on the rear façade have also been replaced and some of the window openings have been filled in. Several small casement windows were added on the north façade adjacent to the larger double-hung units, date unknown. All shutters are non-historic.
9. **Roof:** The roof at the Murray Apartments is hipped with front and side cross gables. There is an eyebrow dormer window/attic vent on the front face of the hipped roof that has been filled in. The roofing is composite shingles. Original roofing was likely cedar shingles.

### C. Description of Interior

1. **Floor Plans:** The basic interior configuration of the Murray Apartments appears to be fairly original. The four original fireplaces are no longer functional, but the original mantels, decorative millwork, and ceramic tile remain. The building contains a foyer, shared kitchen, laundry, and bathrooms, with six units on the first floor and seven units on the second floor. Four units (units 1, 3, 8, and 10) have the original fireplaces. Six units (units 1,3,7,8, 10, and 12) have small non-original kitchenettes. There are shared restrooms, shower, and laundry facilities. Some of the units have their own wall-mounted sinks.
2. **Stairways:** The Murray Apartments interior stairs features a curved upper landing with large wood guardrail. The existing guardrail is original and has a shaped wood handrail with large wood newel posts and square 1x1 balusters spaced 3” on center. The original finish was probably stained and varnished. It is currently painted white. The guardrail measures 28” in height, significantly lower than current code-required height of 42”.
3. **Flooring:** The floor finishes include original wood floors with individual units generally having vinyl composition tile (VCT) and carpet.
4. **Wall and Ceiling Finishes:** Walls and ceilings in the Murray Apartments are finished with wood lath and plaster. Where new interior walls have been added, they are wood-framed with painted gypsum wall board.
5. **Openings:**
  - a. **Doorways and doors:** Many of the original interior doors remain. Extant wood five-panel doors have their original trim consisting of simple, square-edged profiles. Most of the doors have been painted.
  - b. **Windows:** The interior windows generally retain their wood surrounds.
6. **Mechanical Equipment:**
  - a. **Lighting:** None of the original light fixtures are extant.
  - b. **Plumbing:** All of the plumbing fixtures are non-historic.

### D. Site

1. **Historical Landscape Design:** The Murray Apartments was originally moved to its current location from an unidentified area. Current landscaping is not historically significant.

## PART III. SOURCES OF INFORMATION

- A. **Architectural Drawings:** HABS drawings were prepared by Heritage Architecture & Planning in July 2017. No additional drawings have been recovered.
- B. **Early Views:** One historic photographic view was available, dated 1950.
- C. **Interviews:** No interviews were conducted for this HABS survey.
- D. **Selected Sources:** Research was conducted at the San Diego History Center, the San Diego Public Library’s California Room, and the City of San Diego.
- E. **Likely Sources Not Yet Investigated:** Unknown.
- F. **Supplemental Material:** None.



HISTORIC AMERICAN BUILDINGS SURVEY  
INDEX OF PHOTOGRAPHS

719 14<sup>th</sup> Street  
San Diego  
San Diego County  
California

INDEX OF DIGITAL PHOTOGRAPHS

Photographs by: Thomas Saunders and David Marshall of Heritage Architecture & Planning, May 2017.

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- 02 SOUTH FAÇADE SHOWING THE FLARED WOOD CLAPBOARD BASE.
- 03 EAST ELEVATION SHOWING THE REAR FAÇADE WITH THE NON-ORIGINAL EXTERIOR STAIRS.
- 04 NORTH ELEVATION SHOWING THE WOOD FLARED CLAPBOARD BASE. AN INTERIOR SWINGING CASEMENT WINDOW IS ALSO VISIBLE.
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- 19 DETAIL VIEW SHOWING AN INTERIOR DOOR AND DECORATIVE WOOD TRIM.
- 20 VIEW SHOWING THE INTERIOR SIDE OF THE ENTRY DOOR AND WOOD WINDOW.
- 21 VIEW SHOWING THE INTERIOR STAIRS WITH THE WOOD SPINDELS AND NEWEL POST VISIBLE.



09\_Front Door



10\_Porch Window



11\_Front Door



12\_Window



13\_Window



14\_Porch Eave



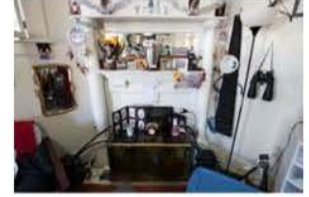
15\_Roof Eave



16\_Ext Rear Stair Detail



17\_Attic



18\_Fire Place



19\_Door Trim



20\_Int Door Entry



21\_Stairs



01\_West Elevation



02\_South Elevation



03\_East Elevation



04\_North Elevation



05\_Roof Detail



06\_Front Elev Detail

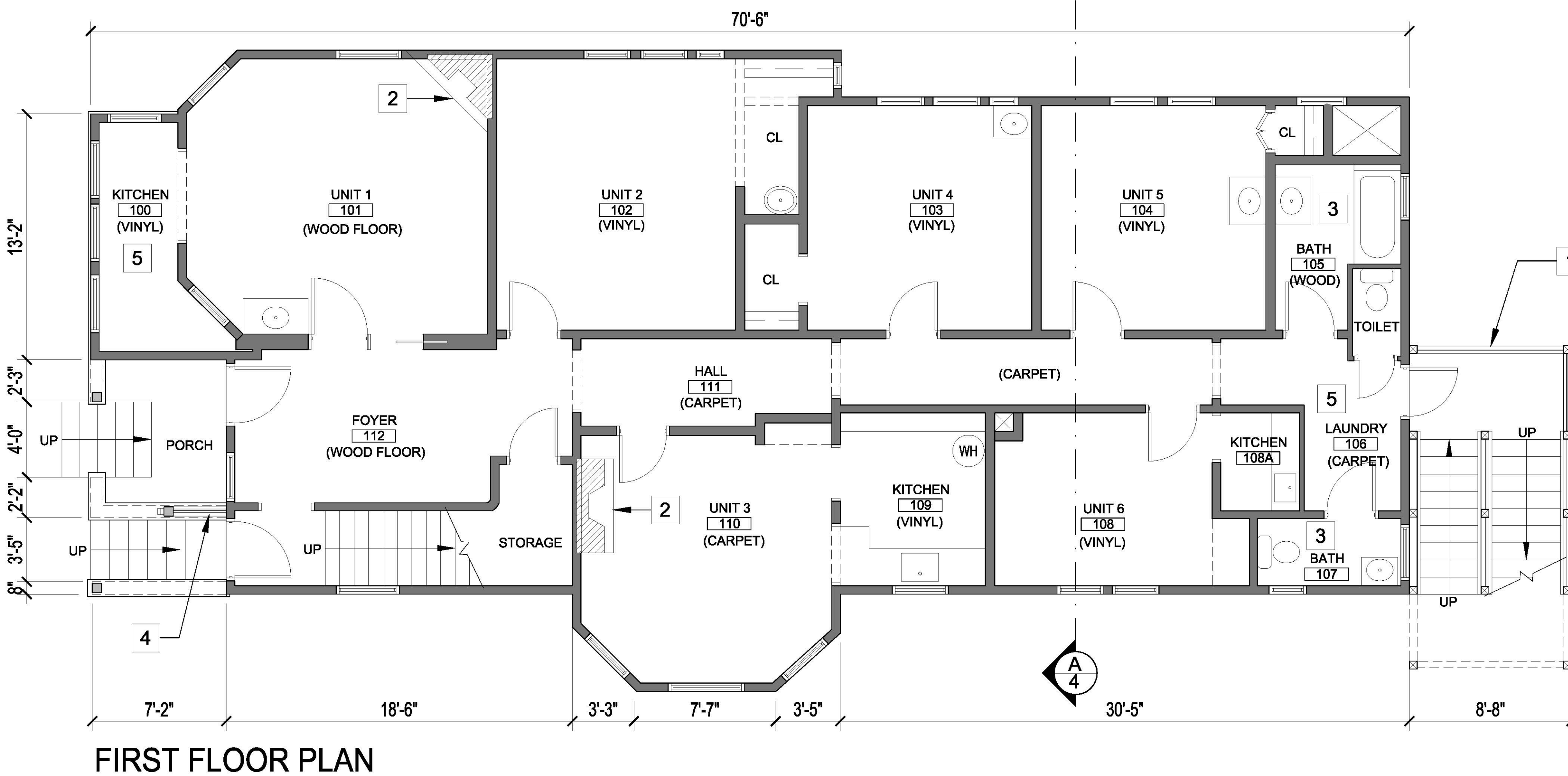
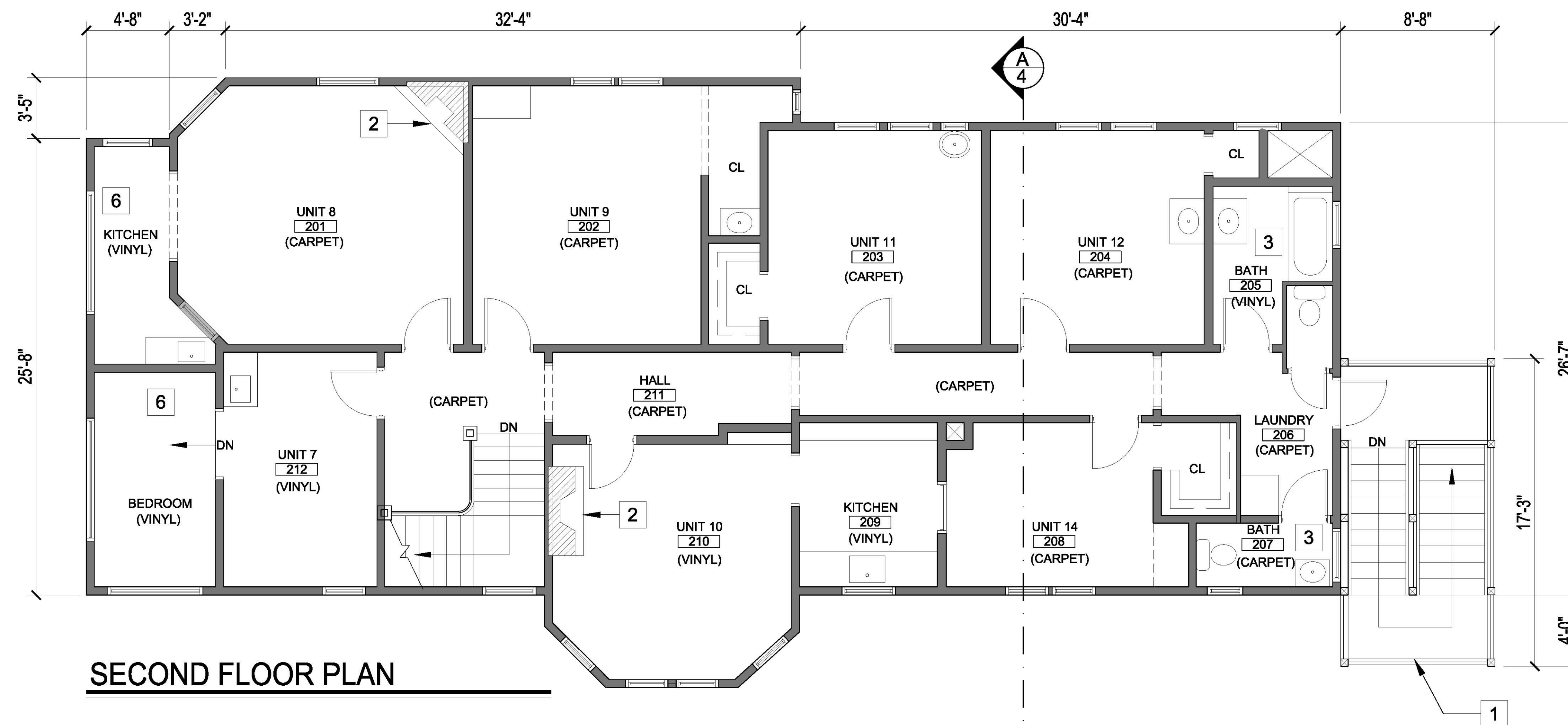


07\_Porch Column Detail



08\_Porch Screen



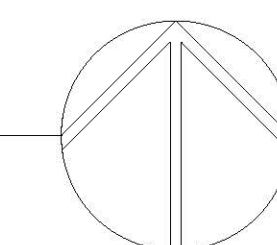


**KEY NOTES:**

- 1 NON-HISTORIC WOOD STAIR
- 2 BRICK HEARTH
- 3 BATHROOM WITH NON-HISTORIC FIXTURES
- 4 DECORATIVE WOOD SCREEN
- 5 IN-FILLED FORMER PORCH
- 6 NON-HISTORIC ADDITION

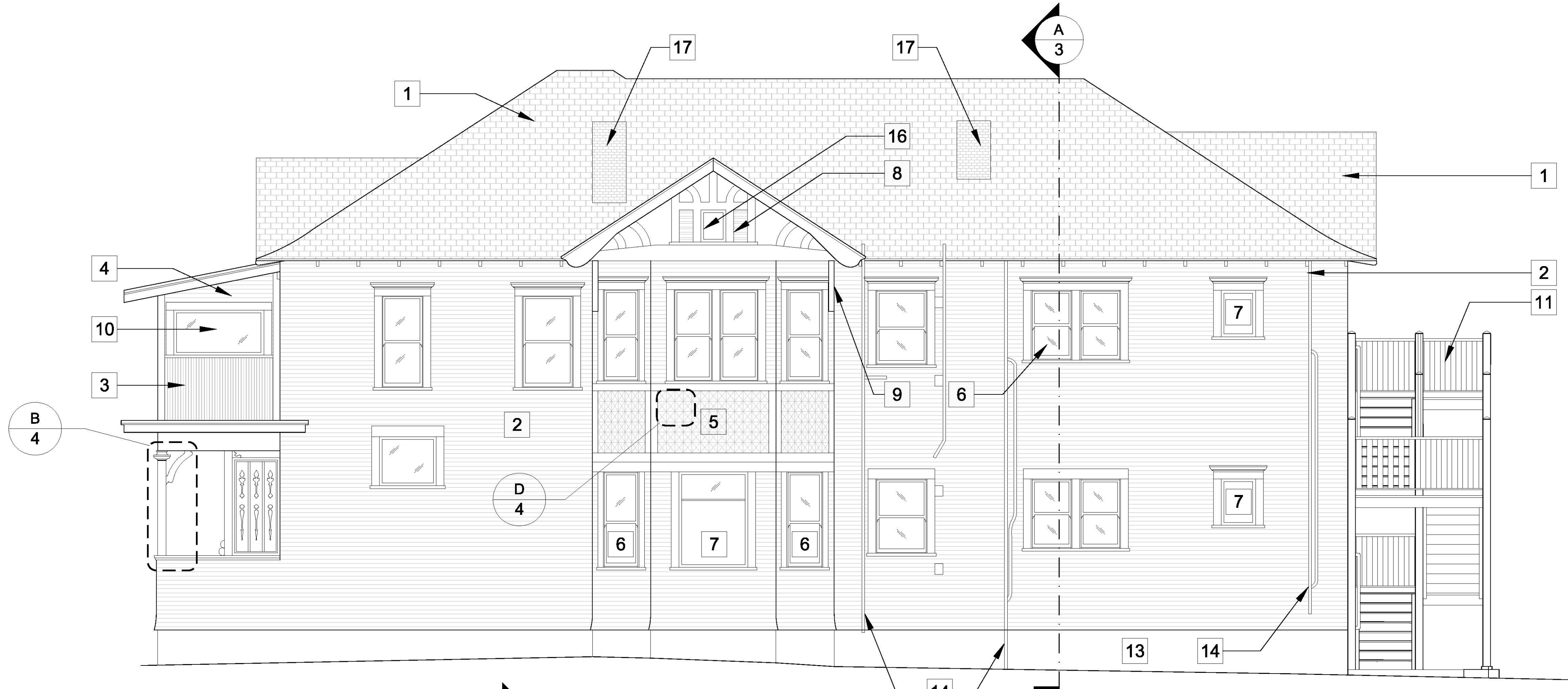
**FLOOR PLANS**

SCALE: 1/4" = 1'-0"

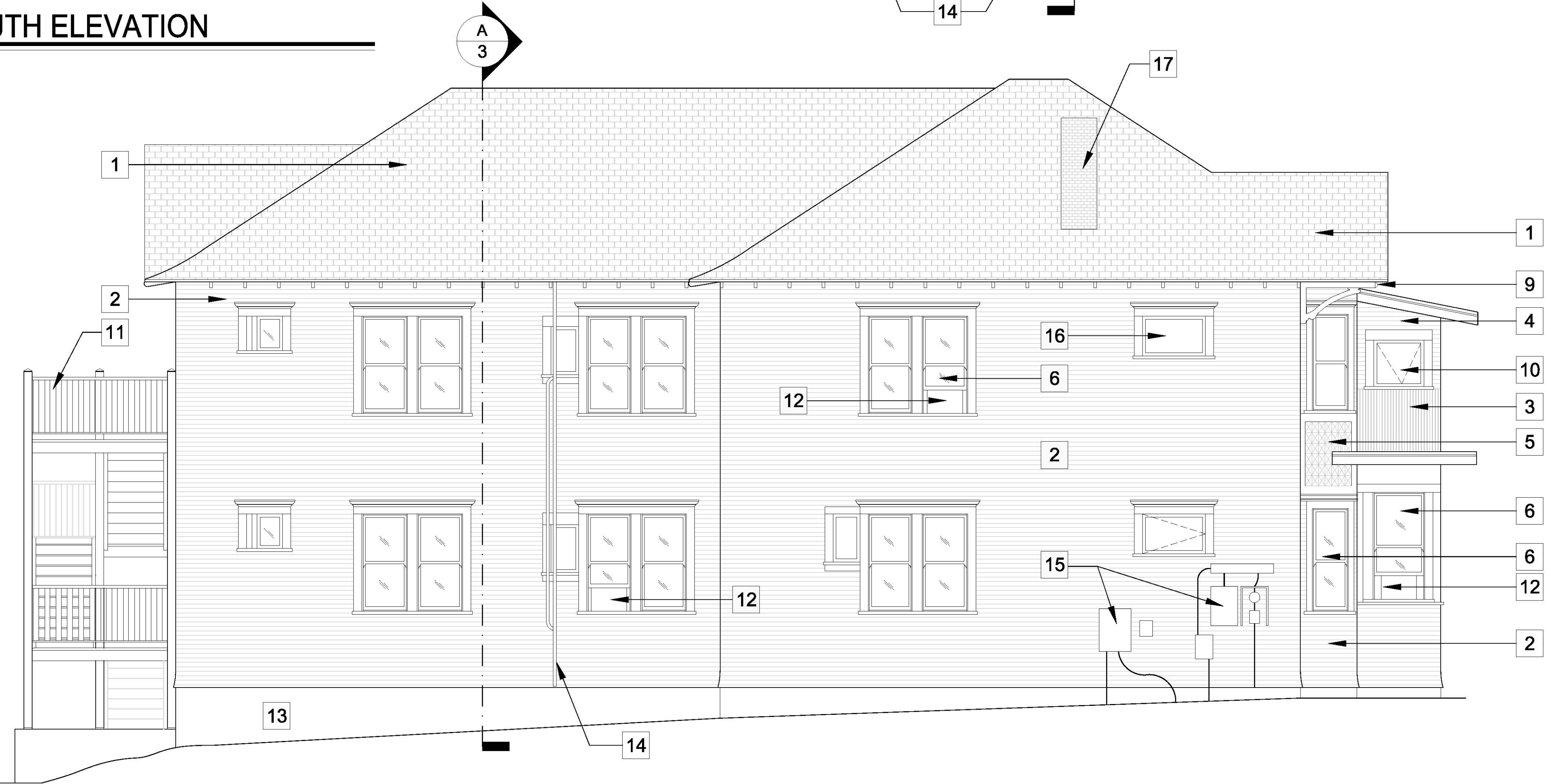


**KEY NOTES:**

- 1 COMPOSITION SHINGLES
- 2 WOOD CLAPBOARD SIDING
- 3 NON-HISTORIC VERTICAL WOOD SIDING
- 4 NON-HISTORIC T&G SIDING
- 5 DECORATIVE WOOD VENEER
- 6 DOUBLE-HUNG WOOD WINDOW
- 7 FIXED WINDOW
- 8 LOUVERED ATTIC VENT
- 9 EAVE BRACKET
- 10 NON-HISTORIC WINDOW
- 11 NON-HISTORIC STAIR
- 12 WINDOW A/C UNIT
- 13 CAST-CONCRETE STEM WALL
- 14 EXTERIOR PLUMBING PIPES
- 15 ELECTRICAL EQUIPMENT
- 16 FORMER WINDOW LOCATION
- 17 BRICK CHIMNEY

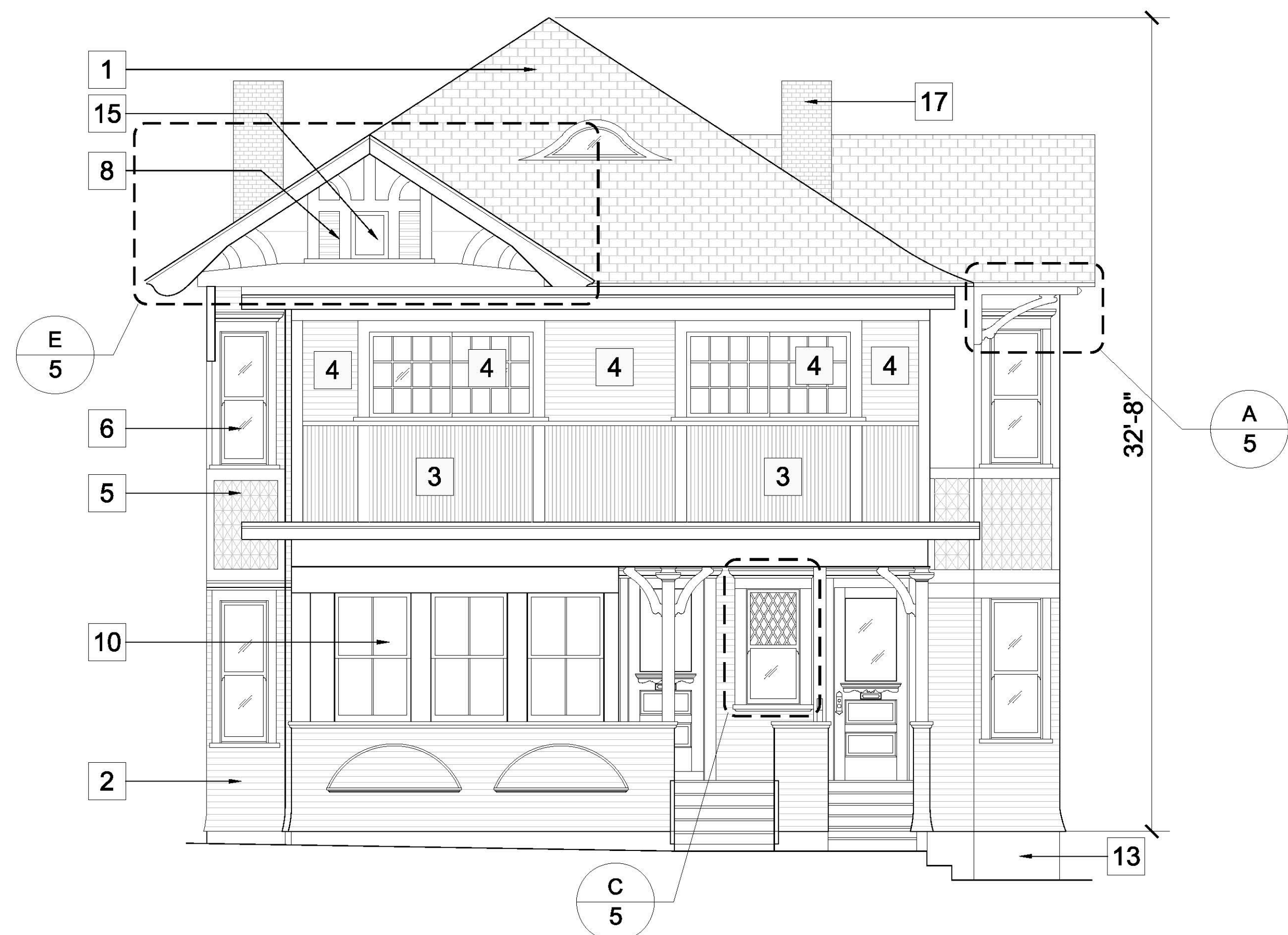


**SOUTH ELEVATION**



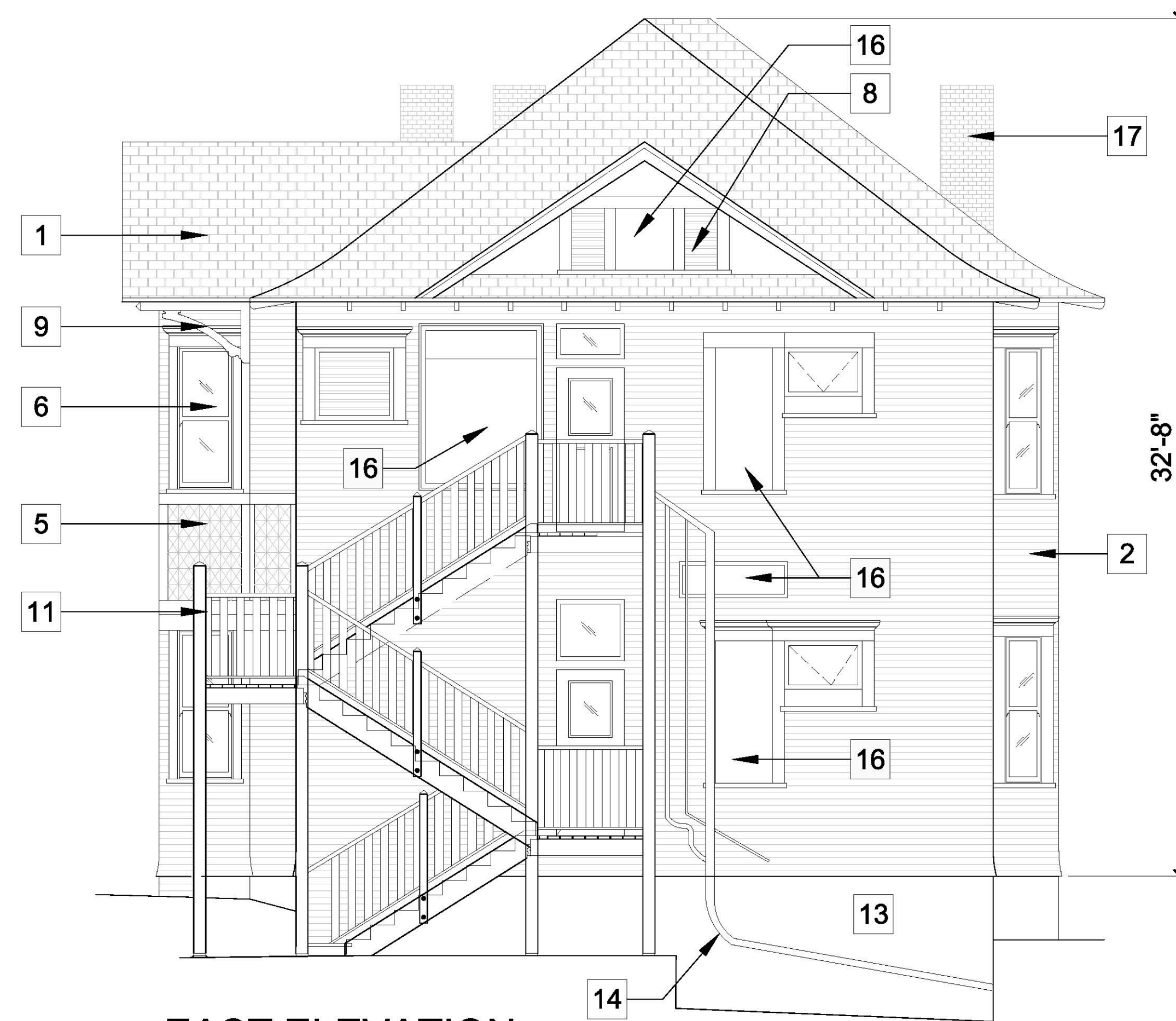
**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



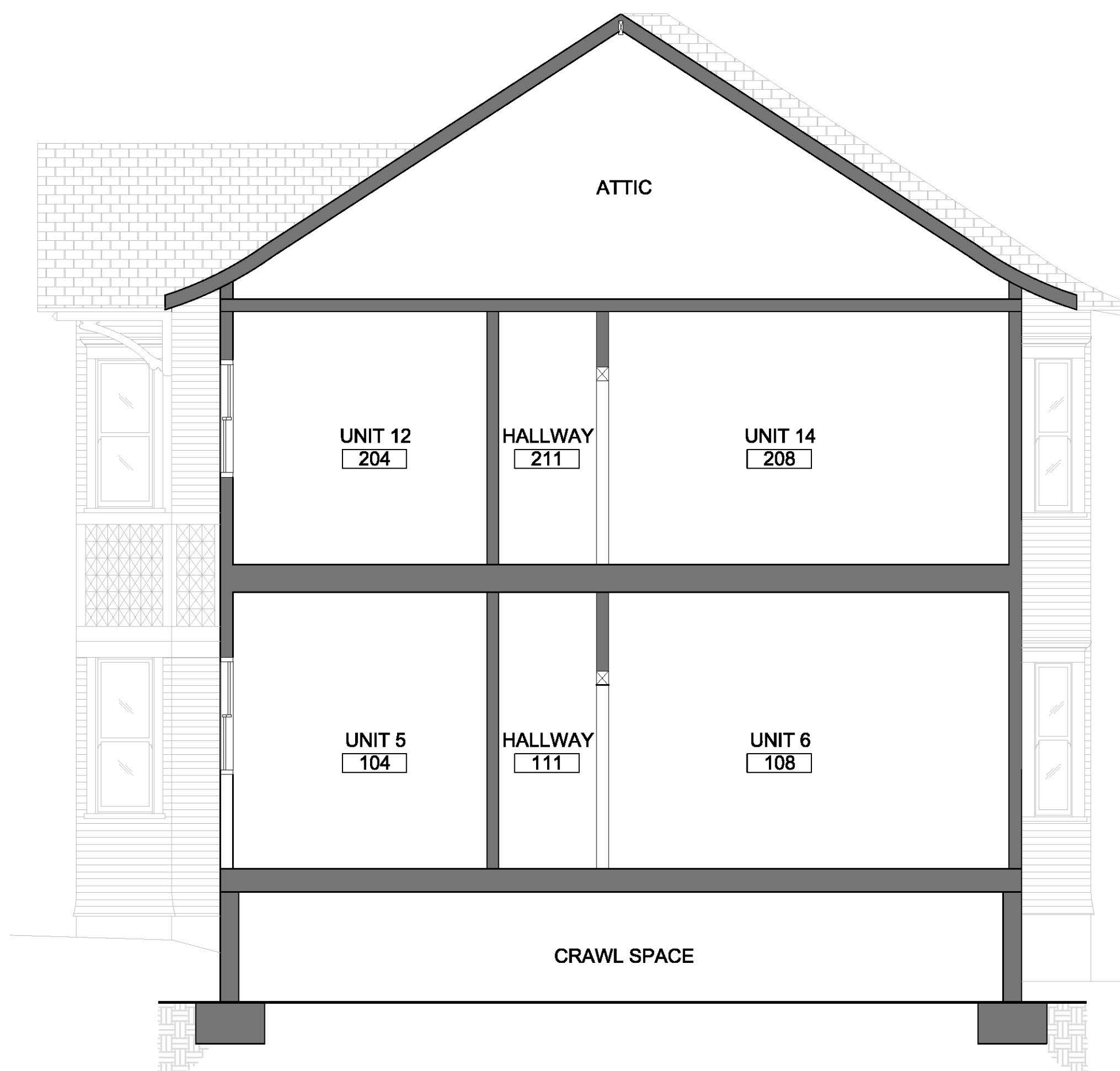
**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

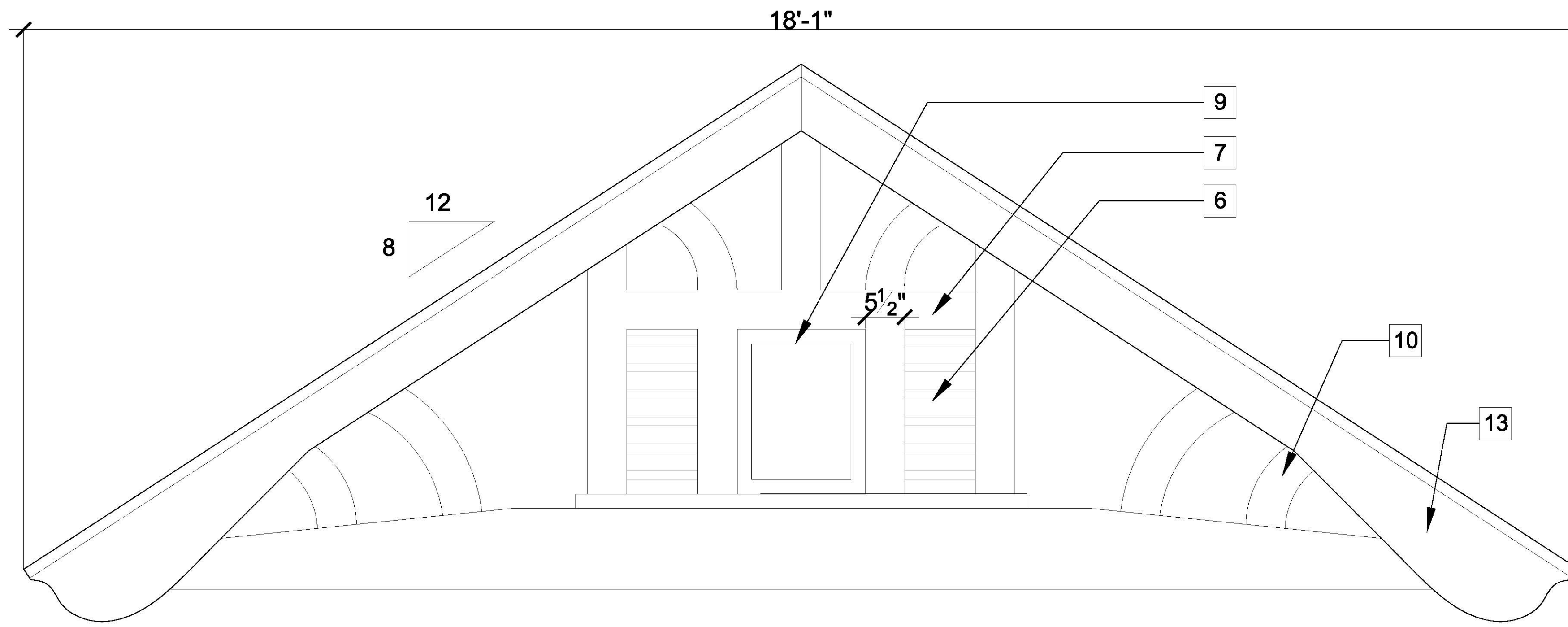


**SECTION - A**

SCALE: 1/4" = 1'-0"

**KEY NOTES:**

- 1 COMPOSITION SHINGLES
- 2 WOOD CLAPBOARD SIDING
- 3 NON-HISTORIC VERTICAL WOOD SIDING
- 4 NON-HISTORIC T & G SIDING
- 5 DECORATIVE WOOD VENEER
- 6 DOUBLE-HUNG WOOD WINDOW
- 7 FIXED WINDOW
- 8 LOUVERED ATTIC VENT
- 9 EAVE BRACKET
- 10 NON-HISTORIC WINDOW
- 11 NON-HISTORIC STAIR
- 12 WINDOW A/C UNIT
- 13 CAST-CONCRETE STEM WALL
- 14 EXTERIOR PLUMBING PIPES
- 15 ELECTRICAL EQUIPMENT
- 16 FORMER WINDOW LOCATION
- 17 BRICK CHIMNEY

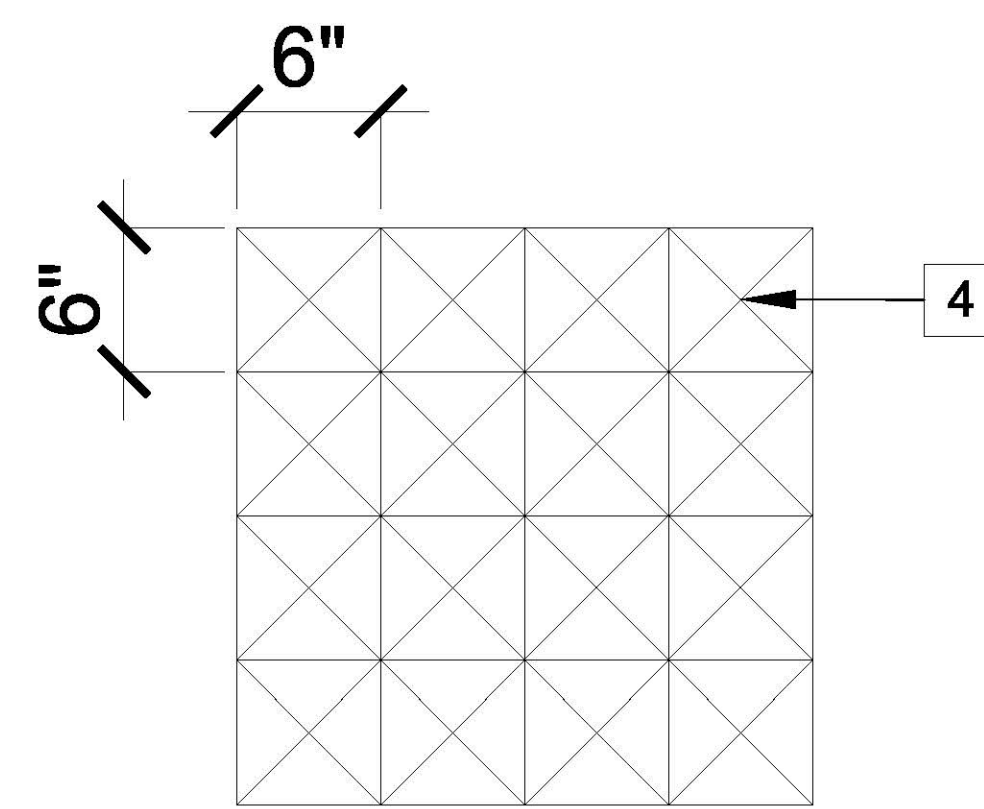


**DETAIL E - WEST ROOF GABLE**

SCALE: 1" = 1'-0"

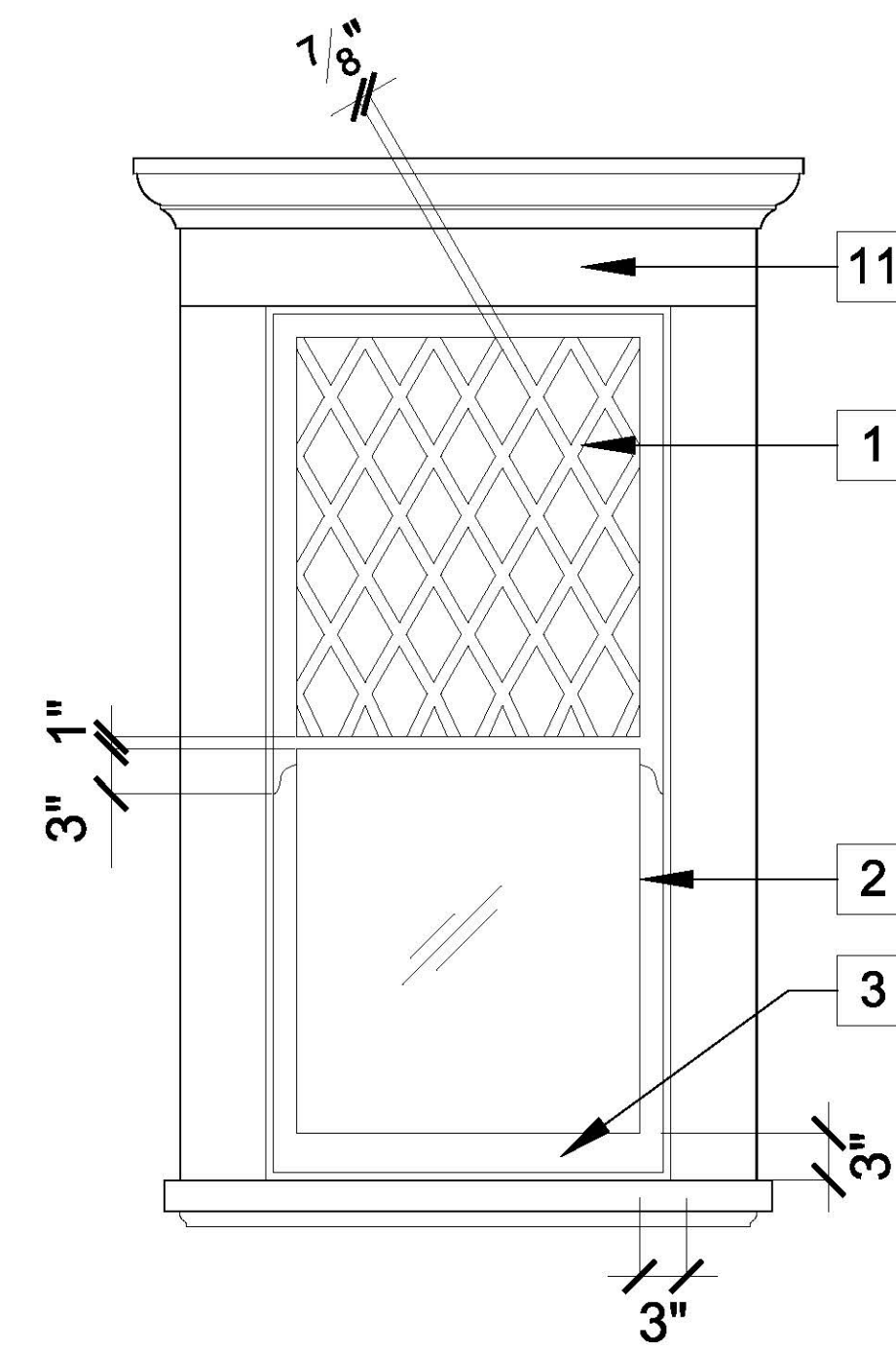
**KEY NOTES:**

- 1 WINDOW MUNTINS
- 2 WINDOW STILE
- 3 WINDOW RAIL
- 4 DECORATIVE PYRAMIDAL WOOD VENEER
- 5 DOUBLE-HUNG WOOD WINDOW
- 6 LOUVERED ATTIC VENT
- 7 WOOD TRIM
- 8 EAVE BRACKET
- 9 FORMER WINDOW LOCATION
- 10 HALF-TIMBERING
- 11 WINDOW TRIM
- 12 SQUARE POST
- 13 WOOD FASCIA



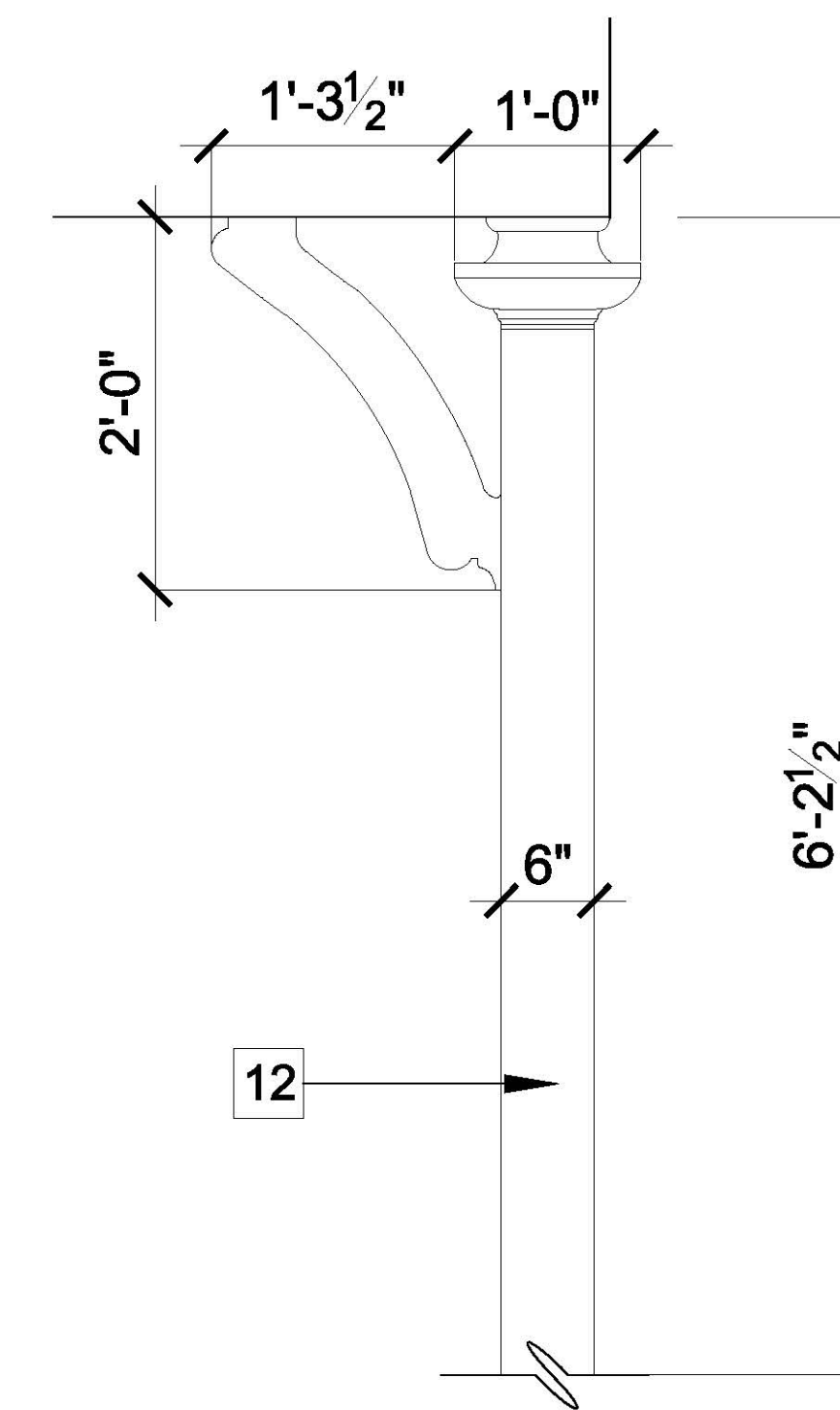
**DETAIL D - DECORATIVE WOOD VENEER**

SCALE: 1-1/2" = 1'-0"



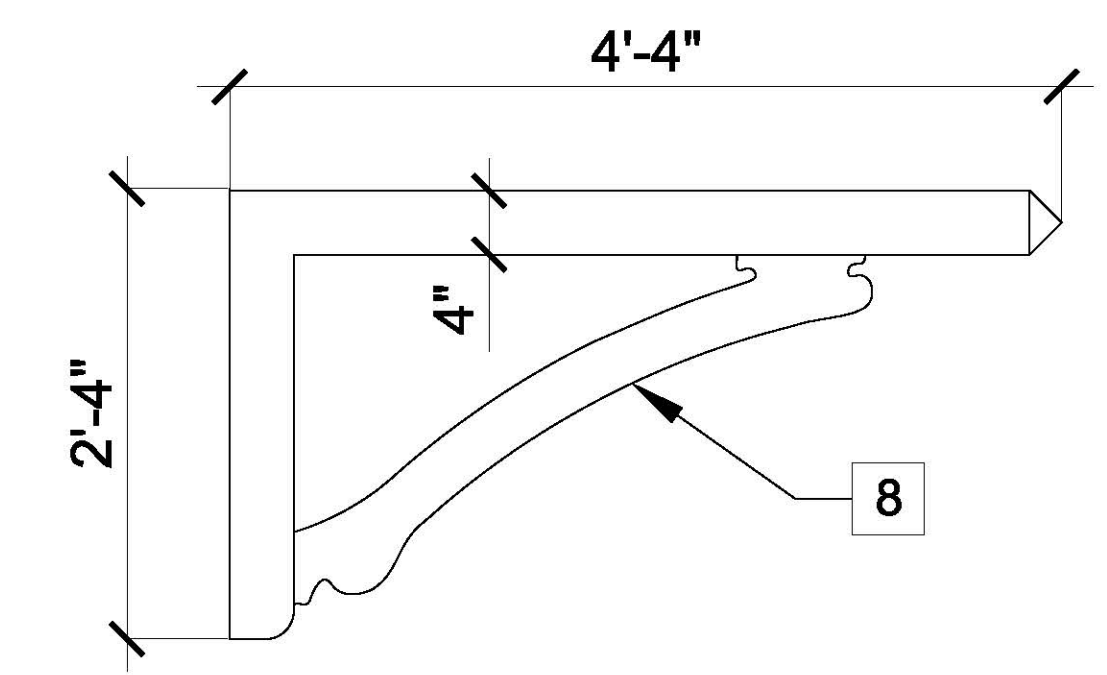
**DETAIL C - TYPICAL WINDOW SASH**

SCALE: 1" = 1'-0"



**DETAIL B - POST & BRACKET**

SCALE: 1" = 1'-0"



**DETAIL A - EAVE BRACKET**

SCALE: 1" = 1'-0"



HISTORIC AMERICAN BUILDINGS SURVEY  
DAGGETT FAMILY RESIDENCE

- Name:** Daggett Family Residence
- Location:** 721 14<sup>th</sup> Street, San Diego, CA 92101
- Present Owner/Occupant:** City of San Diego
- Present Use:** The Daggett Family Residence is currently occupied.
- Significance:** Completed sometime between 1893 and 1896 for William B. Morris at 2361 (currently 1461) G Street, the Daggett Family Residence was relocated to its present site at 721 14<sup>th</sup> Street in 1948 or 1949. The Daggett Family Residence is locally designated under the City of San Diego Register of Historical Resources as HRB #403. It achieved its significance for its architecture as a good example of Queen Anne style residence constructed during the late 1800s. Although the building has been moved from its original location and has undergone some changes over time, the building continues to maintain its primary architectural details such as a steeply pitched gabled roof, a dominant front-facing gable, patterned shingles, decorative spindle work, and a one-story full-length porch which continues along the northerly side wall. The Daggett Family Residence does not appear to meet the eligibility requirements for individual listing in the National or State registers at the local, state, or national level of significance.
- Historian:** Eileen Magno, MA, Heritage Architecture & Planning
- Project Information:** Written documentation, photographs, and measured drawings were prepared by Heritage Architecture & Planning.

**PART I. HISTORICAL INFORMATION**

**A. Physical History**

- 1. Date of erection:** ca. 1893-1896
- 2. Architect/Builder:** Unknown
- 3. Original and subsequent owners, occupants, users:**

Residential Building Records on this house could not be located. Nevertheless, historical research and examination of historic photographs indicate that the building was likely constructed for William B. Norris at 2361 G Street sometime between 1893-1896, although it may have been earlier. The original location of the building, located near the southwest corner of G and 14th Streets, was property owned by Norris and was one of about eleven buildings that were constructed on that block during the 1890s. William

Norris, a native of Maine, was born in January 1839, and moved to San Diego likely in 1872.

An examination of the 1888 Sanborn Fire Insurance Map did not reveal the presence of the 721 14<sup>th</sup> Street building at either its current location or on G Street. However, the 1906 Sanborn Map does show the building at 2361 G Street as a two-story “dwelling” with basement. An inspection of *San Diego City Directories* during the 1890s indicates that William B. Norris, carpenter, is first listed at 2361 G Street in 1897. Norris lived at the 2361 G Street address from at least 1897 until 1913. After 1913, the 2361 G Street address was renumbered to become 1461 G Street. This is supported by a 1921 Sanborn Map which shows the building still at its original location with the new address. In 1914, William and Flora Norris are listed as living at 1461 G Street. William Norris lived at this address until his death in September 1917. Norris’ wife Flora continued to live at the 1461 G Street location until her death in March 1937.

An examination of historic photographs, on file in the San Diego Historical Society Photographic Archives, in conjunction with Sanborn Fire Insurance Maps, indicate that the 1461 G Street building, was moved to its current location at 721 14<sup>th</sup> Street, in either 1948 or 1949 despite the fact that the building appears at its current location in a 1940 Sanborn Map. A review of *San Diego City Directories* indicate that after the death of Flora Norris in 1937, the home at 1461 G Street was thereafter occupied by two tenants, suggesting that the home was divided into two units. Between 1939-1944 occupants of the building included Ralph Peterson (1939-1942), Thomas Castro (1940), Joseph Mendoza (1941), Joseph Kachmarek (1942), W.A. Brunson and G.T. Denny (1943), and R.C. Pittsley and A.N. Wolfe (1944). The building was listed as vacant in 1948. Historic aerial photographs taken in 1937 and 1941 show the 1461 G Street building in its original location. In 1950, *San Diego City Directories* first list the 721 14<sup>th</sup> Street address, with the occupant listed as C.M. Montgomery.

Based upon the historical record, therefore, the building appears to have been moved to its 721 14<sup>th</sup> Street location in 1948 or 1949 by Jack and Eliza Wisner, who, at the time lived in the 719 14<sup>th</sup> Street apartment building they owned. This point is strongly supported by June 11, 1947 agreement between Jack and Eliza Wisner and the City of San Diego regarding the “moving, construction and alterations” for the “building as living quarters.” This agreement clearly indicates that the Wisner intended to “move in, construct and alter a building to living quarter” on Lot H, which at the time did not have street frontage.

From 1952-1955, the 721 14<sup>th</sup> Street building served tenants Armando Mendoza and Rober Munos (1952), Robert L. and Charles B. Lane (1953-1954), and Ramon A. Sanchez and John W. Quigley (1955). Inspection of a 1956 Sanborn Map shows the 719 and 721 14<sup>th</sup> Street buildings in their current locations, with the 721 14<sup>th</sup> Street building serving as “two flats.” Nevertheless, the 1956 San Diego City Directory lists the building as “apartments” with four units each. The building appears to have accommodated four units until around 1971 when only one tenant was listed. This seems to have been the case until 1998 when the City Directory once again listed four tenants. The building currently serves as an apartment building with eight units.

4. **Original plans and construction:** No original drawings were located. The building is a two-story wood-framed multi-family residential building.
5. **Alterations and additions:**
  - 1948-1949 – Building relocated to its present site.
    - Building lifted approximately 8-feet to accommodate added storage rooms and garages below.
    - Original rear porch replaced with a larger one.
    - Replaced original porch railings and porch floor. Added porch stairs.
  - 1970 – Re-roofed.
  - Windows replaced with aluminum. Date unknown.
  - Enclosure of rear porch and added wood-framed stairs. Date unknown.

## B. Historical Context

### *East Village Historical Background*<sup>1</sup>

The history of the Bayside and Centre City East areas are inexorably linked to the development of downtown San Diego and its founder Alonzo Erastus Horton. Horton, who came to San Diego in 1867, purchased 960 acres of land for \$265 for his “New Town” San Diego development. Horton divided the acres into blocks and lots, a number of which were located in the Bayside and Centre City East areas. Thus, “Horton’s Addition” was established. Later subdivisions in the area included “Sherman’s Addition” and “Remondino’s Subdivision of Sherman’s Addition.”

During the 1860s and 1870s, the Bayside area, then known as “South San Diego,” relied heavily upon the wharf established at the foot of Fifth Avenue. Prior to the establishment of Horton’s Wharf, a few warehouse structures were located along the bay, but none remain today. These early businesses transported stored grain, honey, and other products. They also received incoming shipments of lumber, iron, ore, and other necessities from other parts of the nation. In 1869, McDonald’s store (later known as the San Diego Lumber Company) was erected at Sixth Avenue and L Street. Lumber, floated [through] the bay from Northern California and Oregon was pulled from the bay by Native Americans and stacked at the lumber company building, which was erected on redwood planks in order to protect the wood from muddy soil. In 1872, Bailey’s Foundry (later known as San Diego Foundry) was constructed at the corner of 8th Avenue and M Street (now Imperial). This business provided much of the structural ironwork for businesses and commercial buildings in the Gaslamp Quarter.

During the 1880s, New Town San Diego businesses spread north to H Street (renamed Market Street), which was at the time considered the main cross road. Commercial growth was centered on Fifth Avenue and Market Street. Ultimately, San Diego expanded to D Street (renamed Broadway) and beyond as merchants moved northward. With the coming of the railroad, Horton and other prominent business leaders lobbied for a railroad link which would facilitate transportation to this area. In 1885, the California Southern Railroad, a subsidiary of the Atchison, Topeka, and Sante Fe line, established tracks into San Diego from the north. This line greatly increased San Diego’s population in the late 1880s. A later link with the Southern Pacific Railroad

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<sup>1</sup> Excerpt from Scott Moomjian, “East Village Historical Overview” in the City of San Diego’s “Revised Draft East Village Combined Historical Property Survey Report, 2005.”

along the United States/Mexico border proved beneficial as well, particularly to the Bayside and Centre City East areas. San Diegans longed for an eastern railroad terminus.

With the 1885 railroad connection [from the north], an influx of newcomers to the San Diego area sparked a four- year building boom. In the Bayside and Centre City East area, simple Victorian single-family cottages were erected on 16<sup>th</sup> and 17<sup>th</sup> [Streets] to accommodate laborers, porters, clerks, and other blue collar workers. The Rood Rental cottage, Bay View Hotel, Sheldon House and Joseph Ireland Building are examples of Victorian structures built during the boom. Standard Iron Works erected its manufacturing business on the corner of 7<sup>th</sup> Avenue and L Street, and the Silver Gate Warehouse, owned by local entrepreneur John Ginty, was constructed on 8<sup>th</sup> Avenue and M Street (renamed Imperial).

In 1886, the San Diego Gas Company enlarged its gas operations. The company, which had started from modest beginnings on 9th Avenue between M and N Streets (Imperial and Commercial) in 1881, expanded in order to supply the needs of San Diego's growing residential and business community. The San Diego Gas Company built a new electric generating plant at 10<sup>th</sup> Avenue and M (Imperial) adjacent to the old gas plant. In 1887, the San Diego Gas and Electric Light Company was incorporated as the successor to the San Diego Gas Company and began supplying electricity for arc lights on a sundown to midnight basis in downtown San Diego. After the bust of 1889, the gas and electric company found it could easily service the utility needs of San Diego with existing equipment. Therefore, no new major additions were made to the plant until 1905.

After 1900, businesses chose the Centre City East area from which to conduct operations due to the area's proximity to the railroad tracks and the wharf. San Diego's commercial center continued to expand as harbor facilities and the city's population grew. [Many] types of commercial structures were built south of Broadway and along the water's edge. Warehouses, manufacturing centers, bars, restaurants, laundries, and hotels all provided services and goods for city residents and businesses. The entire area south of Broadway from the water eastward was a large commercial center for the city.

Businesses anticipated the creation of a much needed railroad line that would link San Diego to Arizona and then eastward across the southern part of the United States. It was believed that such a line would encourage the exchange of goods between the West and East Coasts of the United States through Yuma. In 1905, the Southern Pacific Railroad desired to break the Sante Fe Railroad's monopoly. Southern Pacific Railroad officials approached sugar magnate and San Diego businessman, John D, Spreckels to act as the "front man" for an operation that would build the railroad from San Diego to Arizona. Although the San Diego and Eastern Arizona Railroad would not be completed until 1919, railroad line and commercial speculation drew local businessmen to the Centre City East area.

The Second World War affected the area as it did the entire country. A surge of activity occurred in the Centre City East area. Very few structures were constructed during the war years, and although little new construction took place during the early 1940s, many of the Centre City East buildings were drafted into service. The Schiefer & Sons factory, located at 371 8<sup>th</sup> Avenue, was used by the Standard Parachute Corporation from 1941-1945. Although no longer in existence, the Standard Parachute Corporation also used the building located at 304 11<sup>th</sup> Avenue as a supply

stockroom from 1943-1948. In addition, the San Diego Machine Company, an airplane parts manufacturer, operated from 345 15<sup>th</sup> Street from 1934-1958. During the war years, the San Diego Gas and Electric Company had all new utility extensions put on hold, since copper wire and steel pipe were in short supply.

During and after the Second World War, as suburbs developed, many businesses relocated to newer communities where land was cheaper and buyers more plentiful. The amount of people residing in the Centre City area also declined, resulting in less local support of goods produced by the downtown businesses. From the late 1970s to the present, Centre City East has slowly become revitalized with the development of the Gaslamp Quarter, which has brought new businesses and life into the old industrial area. The opening of Petco Park in East Village in 2004 also helped spur redevelopment within the community.

### ***Residential Patterns in 1906***<sup>2</sup>

The turn-of-the-century period in East Village is characterized by home ownership expanding to the working classes. Live-in servants were becoming less prevalent (especially for the middle class) and housing styles in general were simplifying under Progressive ideals of good government through universal suffrage and political reform. During this period, it was widely thought that many urban ills brought on by industrialization and unbridled capitalism could be resolved through elevating the lower classes into the middle class through home ownership. As a result, unprecedented attention was given to housing design, production, and financing instruments.

In San Diego, the 1906 Sanborn Map reflects these wider national trends, as well as local economic recovery and continued urban expansion due to railroad-related in-migration. Population growth is evident in residential patterns that clearly reflect denser living conditions more characteristic of cities than of towns or villages. Hotels and boarding establishments have a diminished presence in East Village, while apartments or rooms-to-rent are now dispersed throughout the expanded business district between Fourth and Seventh Avenues. Many of these residential uses are located on the second or third floors of business blocks, strengthening the trend noticed on the 1888 Sanborn Map.

While single family residential development had spread eastward to 19th Street, representing incipient development in Sherman Heights, several blocks of sparsely developed land remained between 16th and 18th Streets. Conversely, many single family residences between 8<sup>th</sup> Avenue and 12<sup>th</sup> Avenue, now Park Boulevard, have been converted to multi-family accommodations, indicating an interest in living quarters within walking distance of the business center of the city. Less change is obvious south of I Street, where modest cottages continued to fill in previously platted parcels. The node of boarding houses at 7<sup>th</sup> and K, however, was no longer evident, reflecting both the eastward spread of the warehouse district and the rise of modest living arrangements elsewhere in the city.

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<sup>2</sup> City of San Diego's "Revised Draft East Village Combined Historical Property Survey Report, 2005."

***Building History***<sup>3</sup>

Residential Building Records on this building could not be located. Nevertheless, historical research and examination of historic photographs indicate that the building was likely constructed for William B. Norris at 2361 G Street sometime between 1893-1896, although it may have been earlier. The original location of the building, located near the southwest corner of G and 14th Streets, was property owned by Norris and was one of about eleven buildings that were constructed on that block during the 1890s. William Norris, a native of Maine, was born in January 1839, and moved to San Diego likely in 1872.

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<sup>3</sup> Office of Marie Burke Lia, Attorney at Law, “Historical Assessment of the 719 & 721 14<sup>th</sup> Street Buildings, San Diego, California 92101.” Prepared for Mr. Shel Kulick. January 2000.

current locations, with the 721 14<sup>th</sup> Street building serving as “two flats.” Nevertheless, the 1956 San Diego City Directory list the building as “apartments” with four units each. The building appears to have accommodated four units until around 1971 when only one tenant was listed. This seems to have been the case until 1998 when the City Directory once again listed four tenants. The building currently serves as an apartment building with eight units.

## **PART II. ARCHITECTURAL INFORMATION**

### **A. General Statement**

1. **Architectural character:** The two-story Daggett Family Residence was designed in the Queen Anne Victorian style. The exterior of the building is clad with 9” horizontal wood drop siding.
2. **Condition of fabric:** The general condition of the Daggatt Family Residence is good and the exterior of the building retains a good degree of historical integrity, including original walls, siding, front porch, cladding, and decorative features. The interior of the building still retains the original stairs with wood balustrade and newel post on the first floor; four original cast plaster ceiling medallions; interior wood trim including baseboards, window trim, and door trim; and original plaster walls and ceilings. The interior of the building is in fair condition.

### **B. Description of Exterior**

1. **Overall Dimensions:** The building has a rectangular footprint. The overall dimension of the building is approximately 25’x58’. The first floor is 1,270 SF and the second floor is 808 SF.
2. **Foundations:** The Daggett Family Residence foundation is not original since the building was moved to its present site in the 1940s. The existing foundation is cast-in-place concrete with wood floor joists. It appears that the building was raised when it was relocated. There is currently a large crawl space below the building that is accessible through a small door on the south side of the building beneath the porch as well as two added garages.
3. **Walls:** The Daggett Family Residence has wood-framed walls. The exterior walls are clad with 9” horizontal wood siding. The interior walls are lath and plaster and gypsum board.
4. **Structural systems, framing:** The roof, walls, and floors of the Daggett Family Residence are wood-framed.
5. **Porches, stoops, balconies, bulkheads:** The front porch retains many of the original decorative elements which are character-defining features of the house. The original wood-shingled mansard roof, spandrel detailing, decorative brackets, and turned wood posts remain. The existing porch railing, porch floor, and porch stairs are not historic. The existing rear porch was apparently added to the building when it was moved to its present site in 1948 or 1949. The detailing of the roof on the existing porch matches the detailing of the existing house very closely, making it difficult to distinguish it as a later addition. In recent years, however, the rear porch has been altered to enclose the previously open sides, creating a small apartment (unit D). The added walls include smaller windows and trim which detract from the historical character of the building. New wood-framed stairs have also been added to provide rear egress from the raised first floor level.

6. **Chimneys:** The original brick chimney at the Daggett Family Residence has been abandoned and cut short to eliminate the projection above the roofline.
7. **Doorways and Doors:** The exterior doors of the Daggett Family Residence have all been replaced.
8. **Windows:** The original wood windows at the Daggett Family Residence have been replaced with aluminum units with the exception of one existing wood double-hung window on the second floor of the south façade.
9. **Roof:** The roof is gabled with a prominent and ornately decorated front facing gable. The roofing is composite shingles which appear to be more than ten years old and in fair condition. A flat roof is located over the front porch. The porch roof has a wood-shingled mansard with decorative shaped shingles that match the shingles on the gable ends of the main roof. It is likely that the roof above the porch once had a widow's walk railing or decorative cresting. The upper roof ridge may have had wood or cast-iron cresting as well.

### C. Description of Interior

1. **Floor Plans:** The building was originally constructed as a single-family residence. The interior has been adapted initially for two units and now contains ten small dwelling units.
2. **Stairways:** The Daggett Family Residence interior stairs are carpeted with wood handrails, newel post, and balusters. The second floor guardrail has been replaced with a non-historic wood lattice rail.
3. **Flooring:** The floors are generally vinyl and carpet.
4. **Wall and Ceiling Finishes:** Walls and ceiling in the Daggett Family Residence are finished with wood lath and plaster.
5. **Openings:**
  - a. **Doorways and doors:** Some of the original interior doors, including transom windows and trim, remain. Most of the doors have been painted.
6. **Mechanical Equipment:**
  - a. **Lighting:** None of the original light fixtures are extant.
  - b. **Plumbing:** All of the plumbing fixtures are non-historic.

### D. Site

1. **Historical Landscape Design:** The Daggett Family Residence was originally constructed in a residential setting facing G Street. The historic landscape design is no longer extant.

## PART III. SOURCES OF INFORMATION

- A. **Architectural Drawings:** HABS drawings were prepared by Heritage Architecture & Planning in July 2017. No additional drawings have been recovered.
- B. **Early Views:** One historic photographic view was available, dated 1950.
- C. **Interviews:** No interviews were conducted for this HABS survey.
- D. **Selected Sources:** Research was conducted at the San Diego History Center and the San Diego Public Library's California Room.
- E. **Likely Sources Not Yet Investigated:** Unknown.
- F. **Supplemental Material:** None.



HISTORIC AMERICAN BUILDINGS SURVEY  
INDEX OF PHOTOGRAPHS

721 14<sup>th</sup> Street  
San Diego  
San Diego County  
California

INDEX OF DIGITAL PHOTOGRAPHS

Photographs by: Thomas Saunders and David Marshall of Heritage Architecture & Planning, May 2017.

EXTERIOR VIEWS

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- 02 THE SOUTH FAÇADE SHOWING THE WOOD SIDING. THE CRAWLSPACE VENTS AND CAST-IN-PLACE CONCRETE STEM WALL ARE ALSO VISIBLE.
- 03 VIEW LOOKING NORTHWEST AT THE REAR ELEVATION.
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- 05 LOOKING EAST AT THE PRIMARY FAÇADE SHOWING THE PORCH AND FRONT DOOR.
- 06 DETAIL VIEW OF THE DECORATIVE PORCH MANSARD-STYLE ROOF WITH HALF-COVE WOOD SHINGLES.
- 07 DETAIL VIEW SHOWING THE ORNATE ROOF EAVE AND CURVED FASCIA. ALSO SHOWN ARE THE HALF-COVE WOOD SHINGLES, AND WOOD SPINDELS AT THE WINDOW HEADERS.
- 08 DETAIL VIEW LOOKING NORTHWEST AT A COLUMN CAPITOL, WITH DECORATIVE WOOD BRACKETS.
- 09 VIEW LOOKING SOUTH AT THE UNDERSIDE OF THE PORCH ROOF.
- 10 DETAIL VIEW LOOKING AT THE BASE OF A PORCH COLUMN.
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- 12 DETAIL VIEW LOOKING EAST AT A PORCH EAVE BRACKET.
- 13 DETAIL VIEW OF A TYPICAL PAIR OF DOUBLE-HUNG WOOD WINDOWS. THE WINDOWS HAVE SINGLE-HUNG, FIXED ALUMINUM REPLACEMENT

- WINDOWS AND A/C UNIT INSTALLED. NOTE THE DECORATIVE WOOD HEADER AND SILL.
- 14 DETAIL VIEW OF A DECORATIVE WOOD WINDOW HEADER ON THE WEST FAÇADE.
  - 15 DETAIL VIEW LOOKING NORTH AT THE ROOF EAVE. A DECORATIVE WOOD EAVE BRACKET AND BAND OF HALF-COVE WOOD SHINGLES ARE ALSO VISIBLE.
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01\_West Elevation



02\_South Elevation



03\_West Elevation



04\_North Elevation



05\_Porch



06\_Porch Eave Detail



07\_Roof Eave Detail



08\_Porch Detail



09\_Porch Detail



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11\_Column Top Detail



12\_Wood Eave Bracket Detail



13\_Window



14\_Window Head



15\_Roof Eave



16\_Wall Detail



17\_Entry Hallway



18\_Entry Hall Stairs



19\_Window Trim



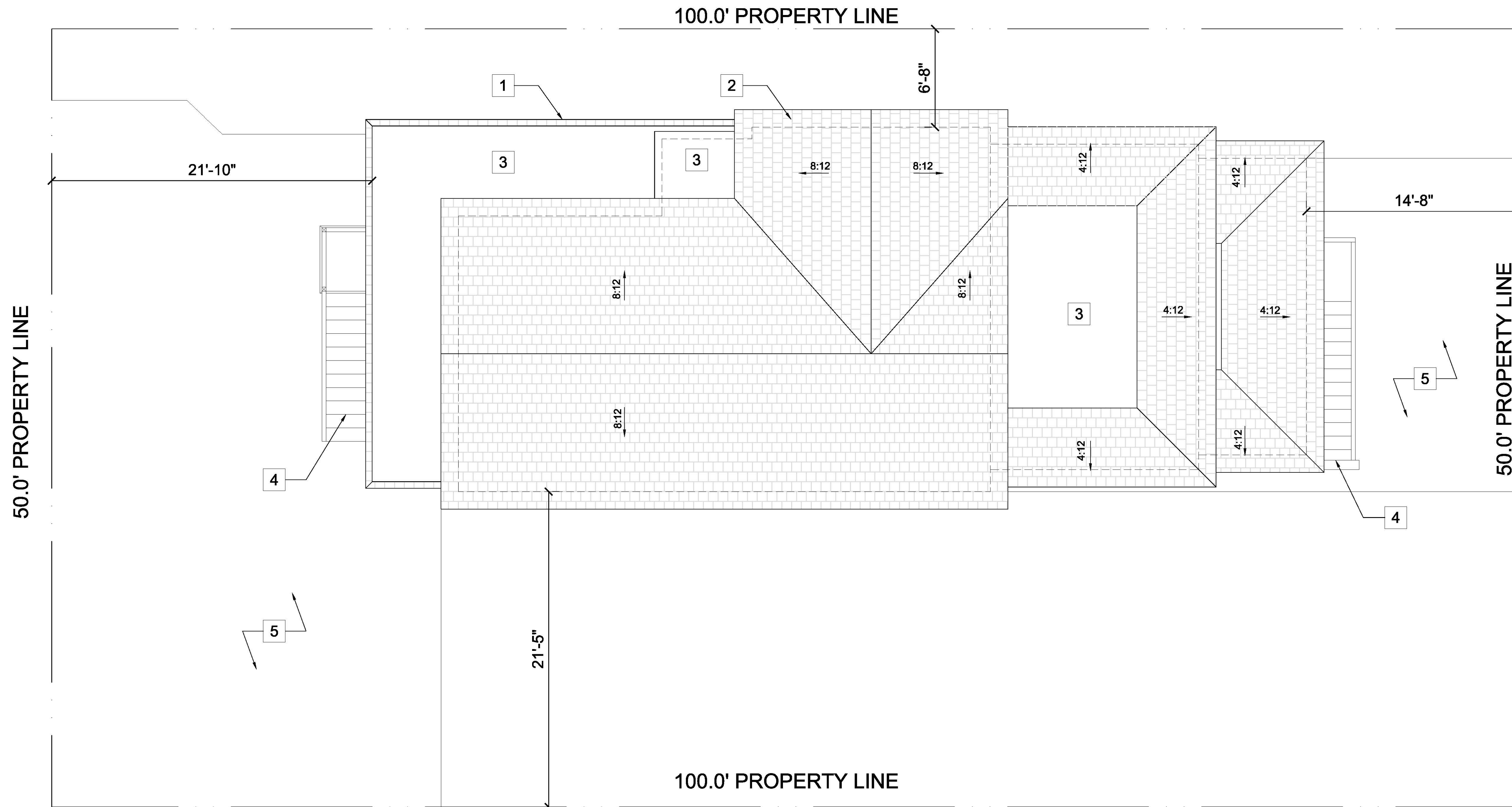
20\_Interior Door Trim

# DAGGET FAMILY RESIDENCE

## 721 14TH STREET

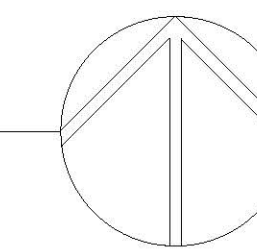
### KEY NOTES:

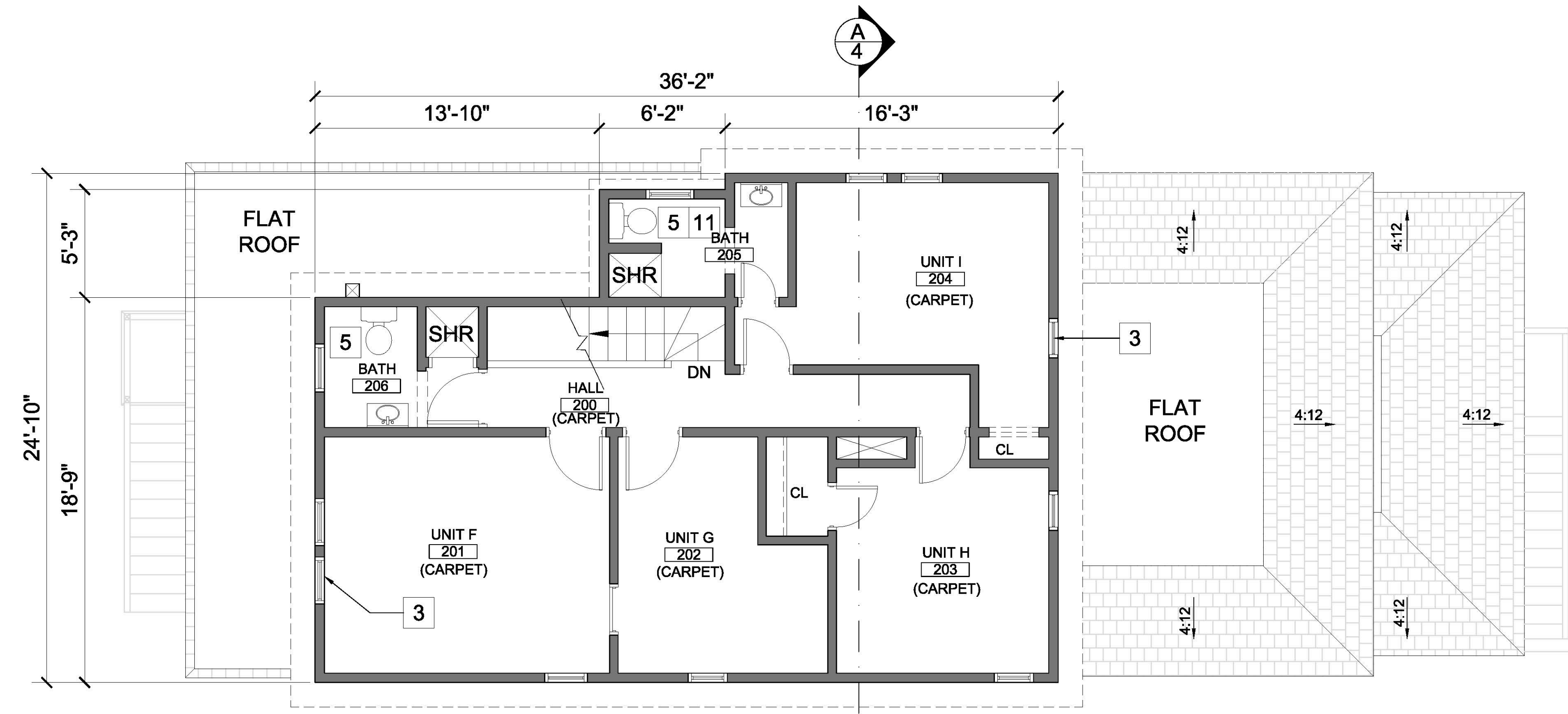
- 1 HALF-COVE WOOD SHINGLES
- 2 NON-HISTORIC COMPOSITION SHINGLES
- 3 FLAT ROOF w/ BUILT-UP ROOFING
- 4 NON-HISTORIC STAIR
- 5 CONCRETE PAVING



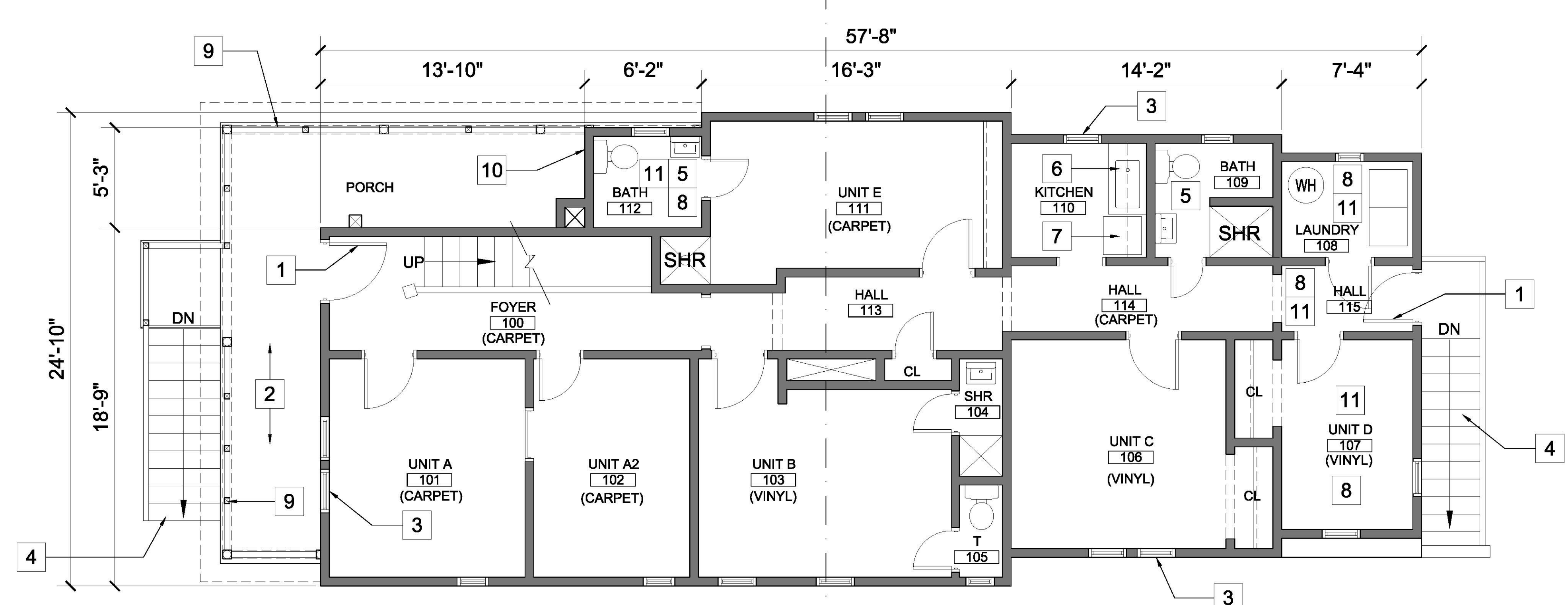
### SITE PLAN & ROOF PLAN

SCALE: 1/4" = 1'-0"





**SECOND FLOOR PLAN**



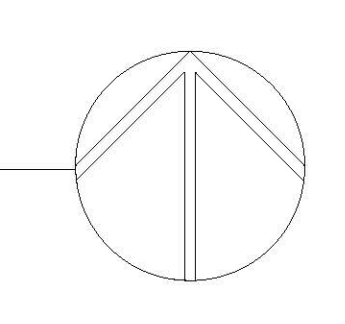
**FIRST FLOOR PLAN**

**KEY NOTES:**

- 1 NON-HISTORIC EXTERIOR DOOR
- 2 ORIGINAL HISTORIC PORCH
- 3 ORIGINAL WINDOW OPENING WITH NON-HISTORIC ALUMINUM REPLACEMENT WINDOW (TYPICAL U.N.O.)
- 4 NON-HISTORIC EXTERIOR WOOD STAIR
- 5 NON-HISTORIC PLUMBING FIXTURES
- 6 NON-HISTORIC CABINETRY
- 7 NON-HISTORIC RANGE AND RANGE HOOD
- 8 NON-HISTORIC IN-FILLED WOOD PORCH
- 9 NON-HISTORIC RAIL
- 10 NON-HISTORIC POST
- 11 ADDED ROOM

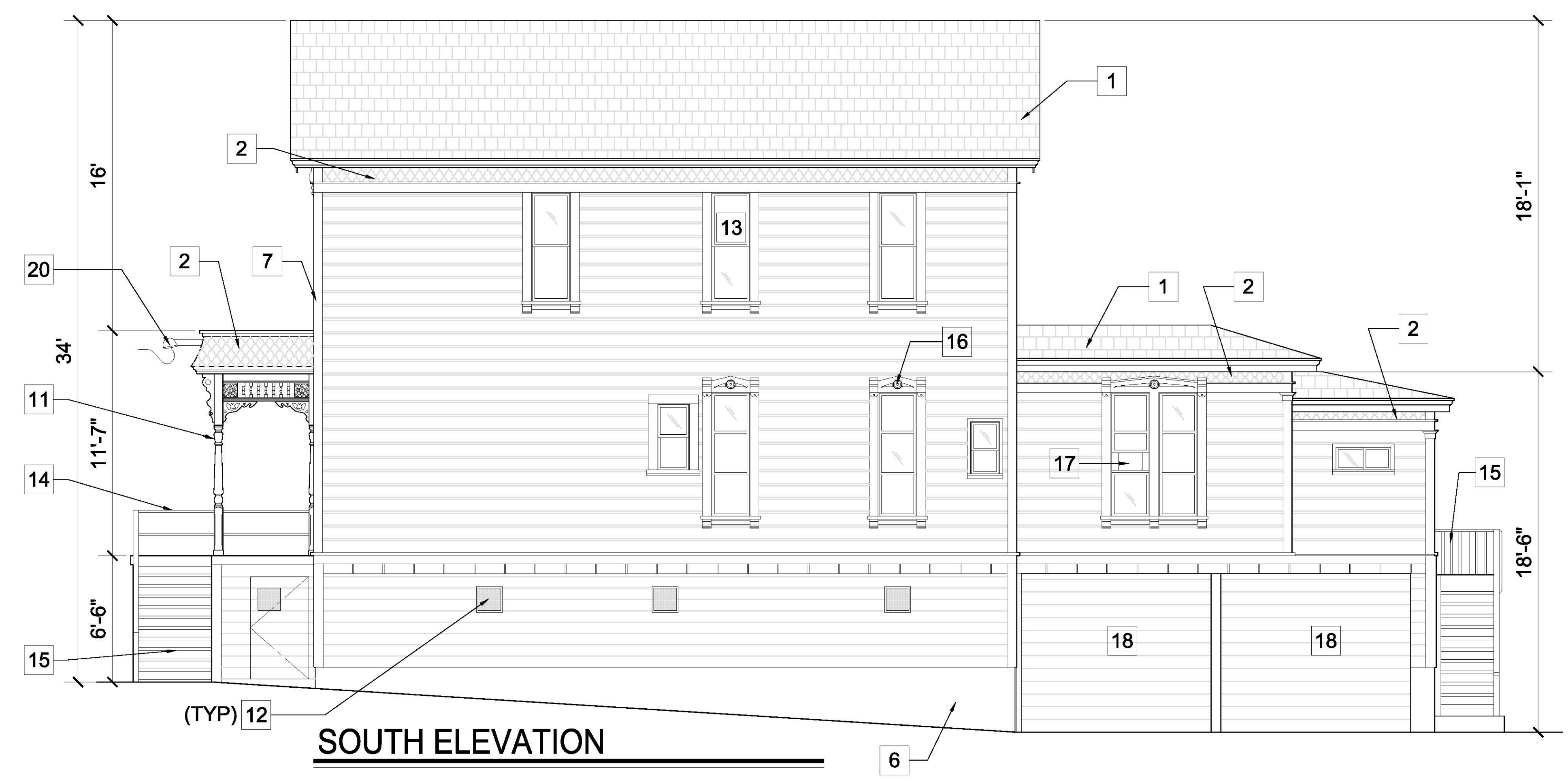
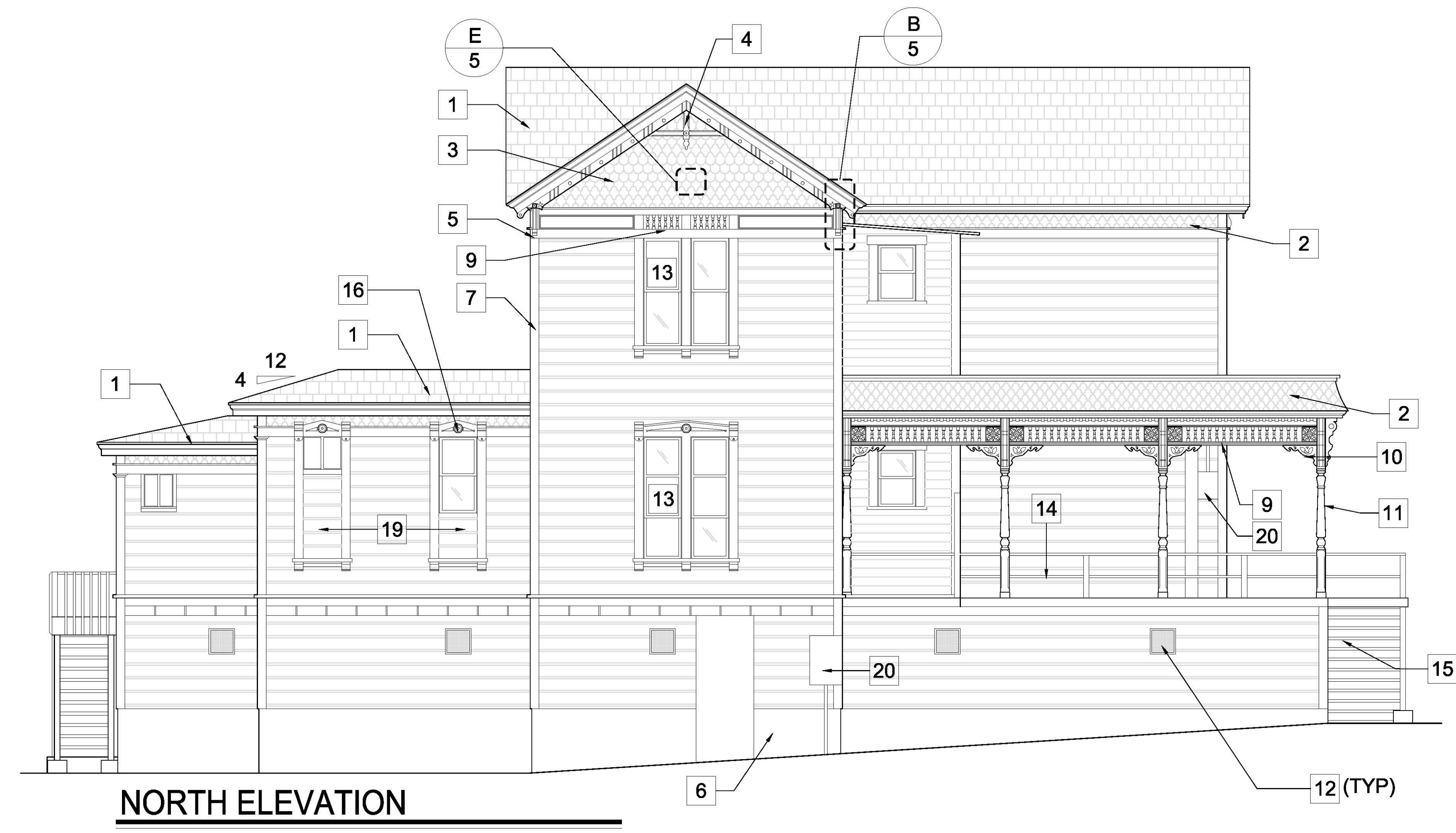
**FIRST & SECOND FLOOR PLANS**

SCALE: 1/4" = 1'-0"



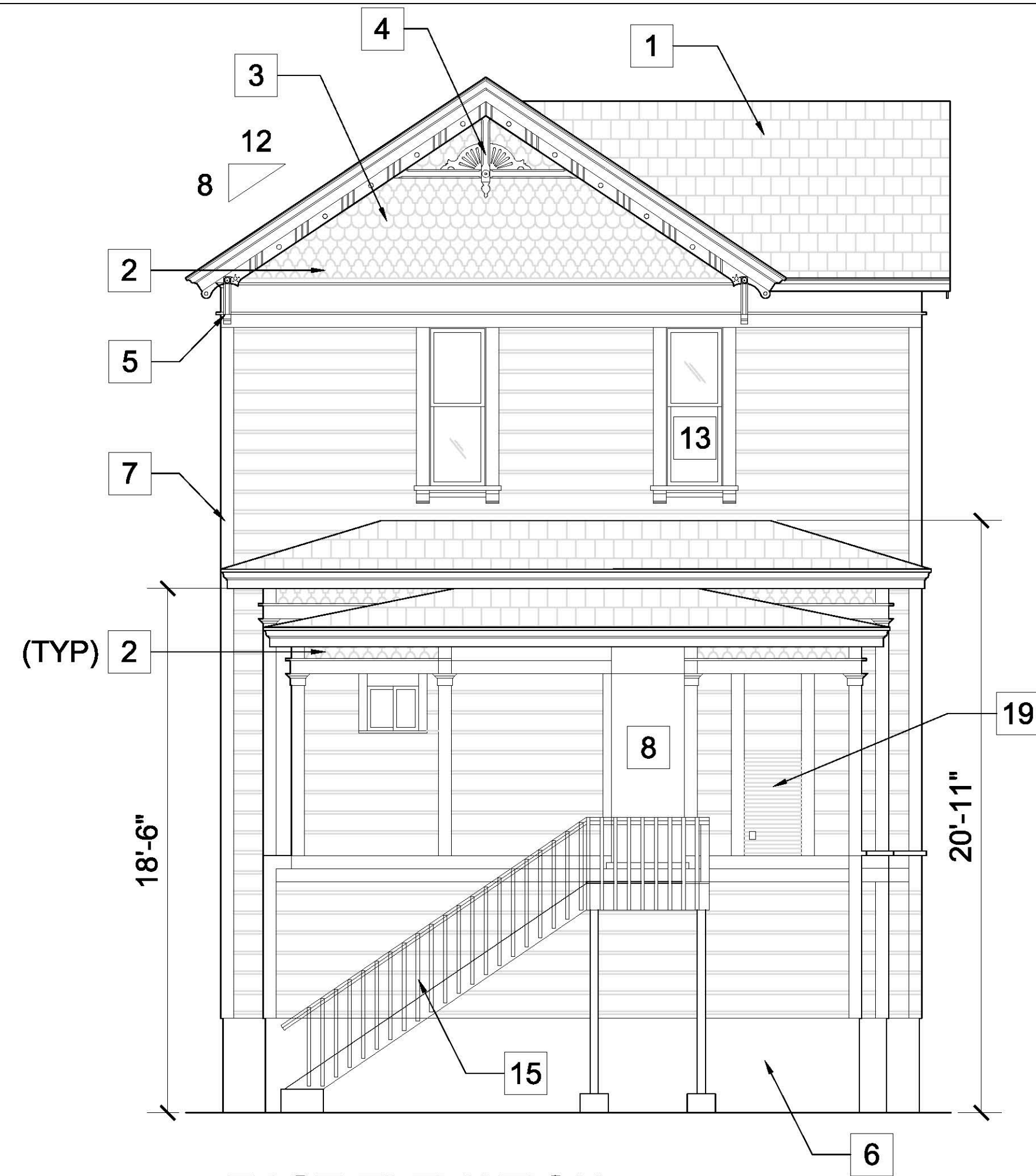
### KEY NOTES:

- 1 NON-HISTORIC COMPOSITION SHINGLES
- 2 WOOD HALF-COVE SHINGLES
- 3 WOOD ROUND SHINGLES
- 4 DECORATIVE WOOD ROOF RIDGE BRACKET
- 5 DECORATIVE WOOD EAVE BRACKET
- 6 POURED-IN-PLACE CONCRETE STEM-WALL
- 7 DECORATIVE 1x6 CORNER TRIM
- 8 NON-HISTORIC WOOD DOOR
- 9 DECORATIVE WOOD SPINDELS
- 10 DECORATIVE WOOD BRACKET
- 11 DECORATIVE WOOD COLUMN
- 12 CRAWLSPACE VENT
- 13 NON-HISTORIC ALUMINUM WINDOW, TYP.
- 14 NON-HISTORIC WOOD RAIL
- 15 NON-HISTORIC STAIR
- 16 DECORATIVE WINDOW HEAD
- 17 WINDOW A/C UNIT
- 18 NON-HISTORIC GARAGE DOOR
- 19 FORMER HISTORIC WINDOW
- 20 ELECTRICAL EQUIPMENT



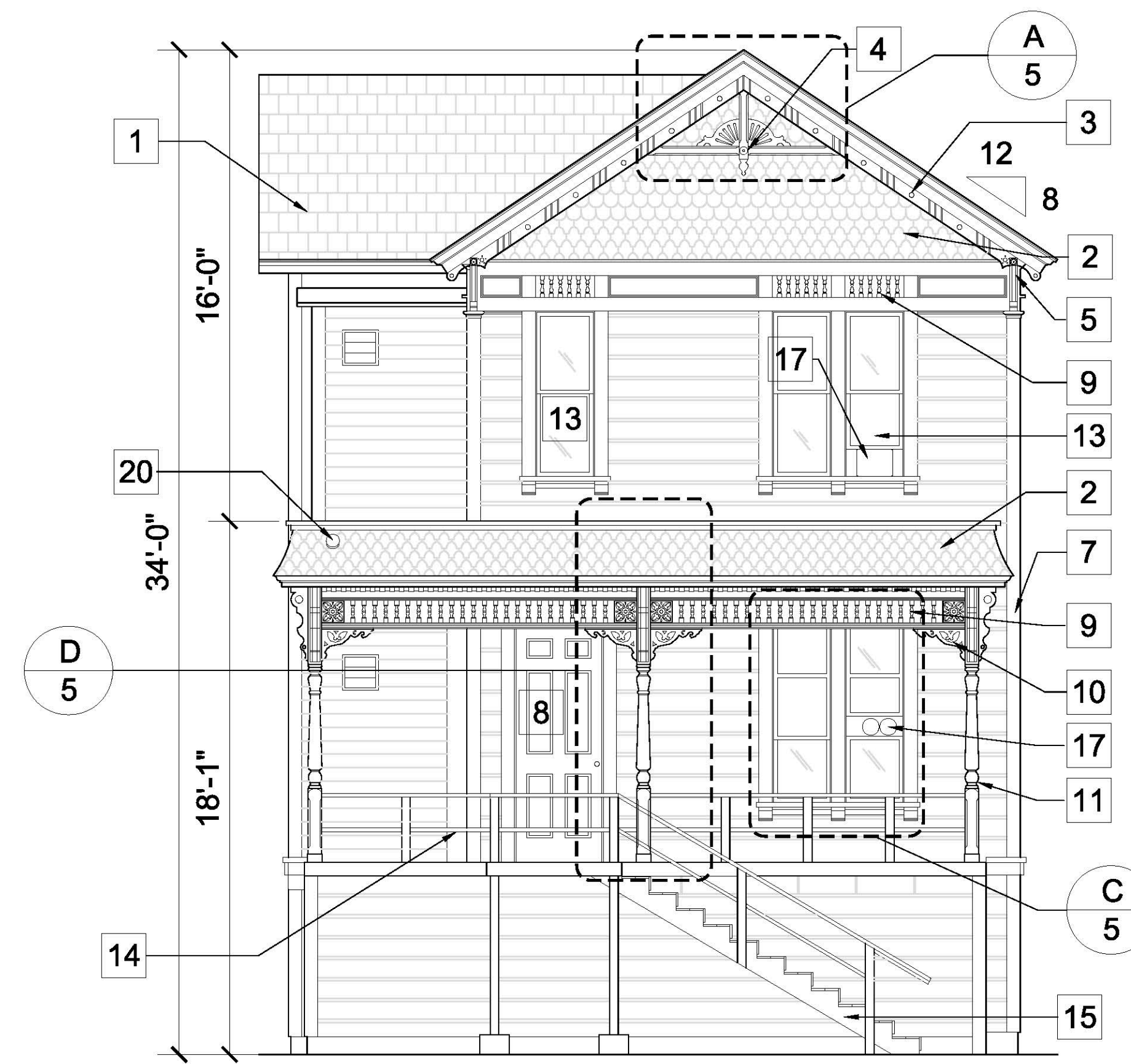
## EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"



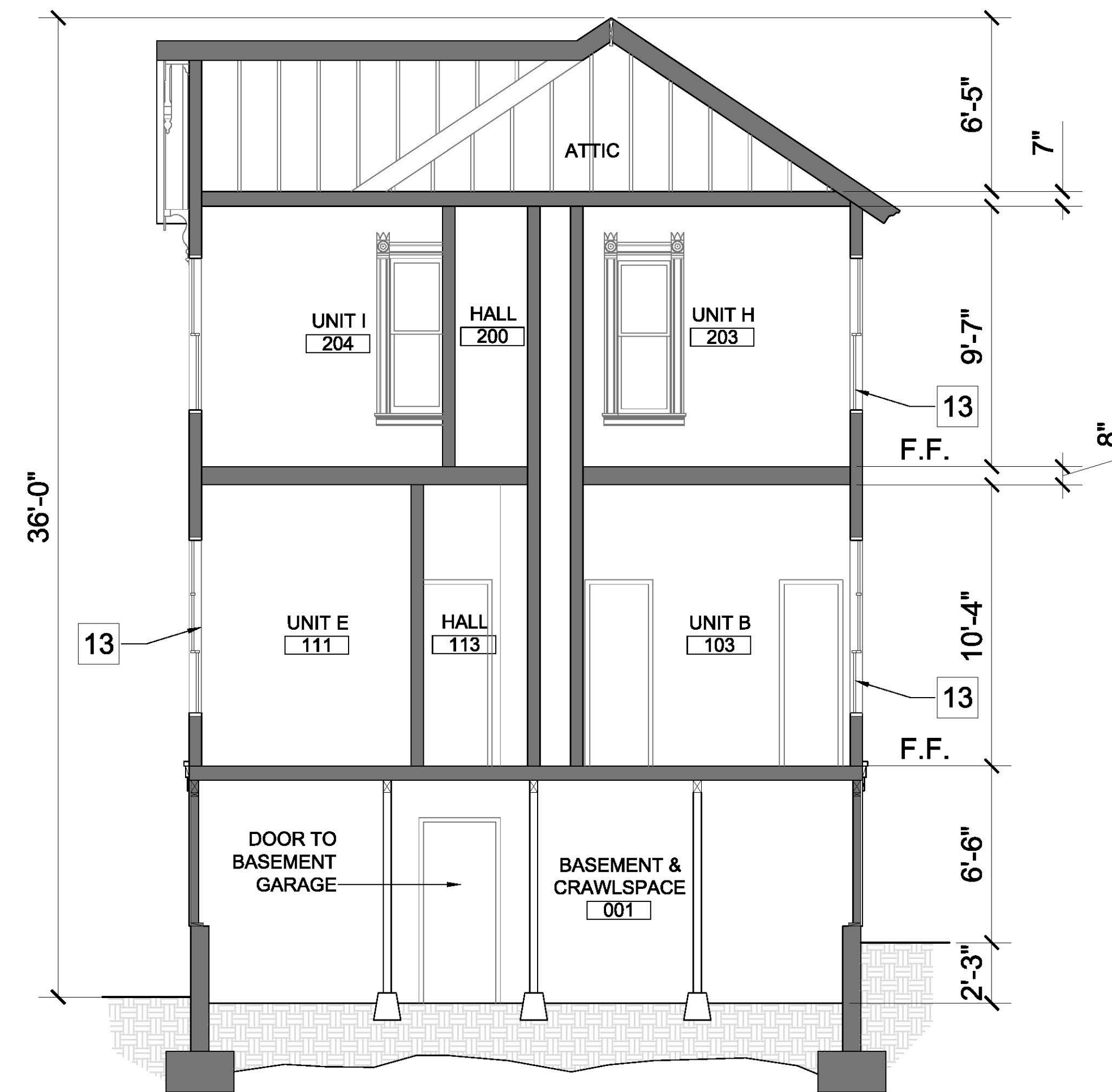
**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

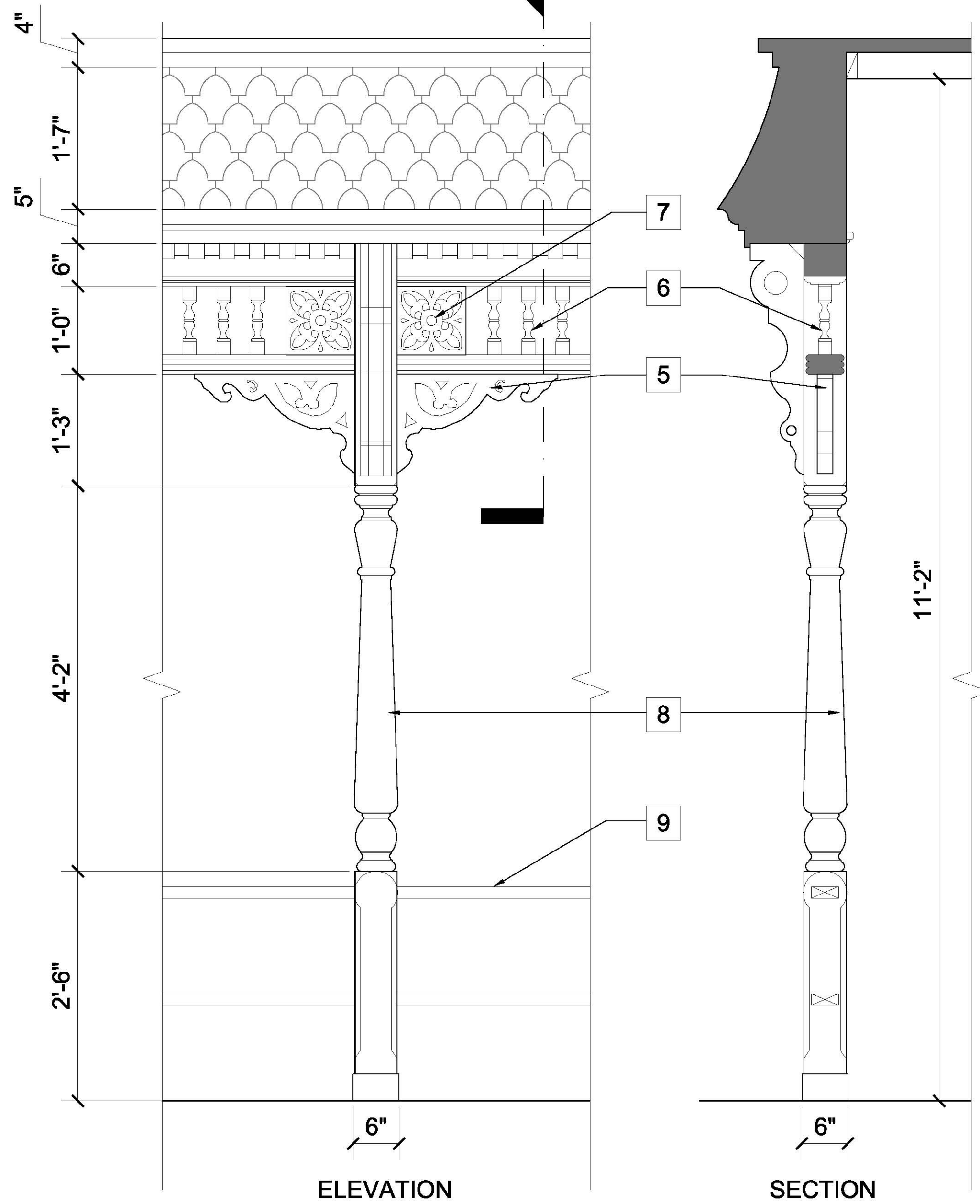
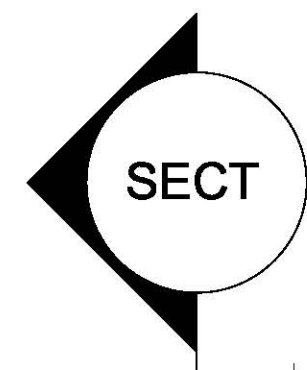


**SECTION A**

SCALE: 1/4" = 1'-0"

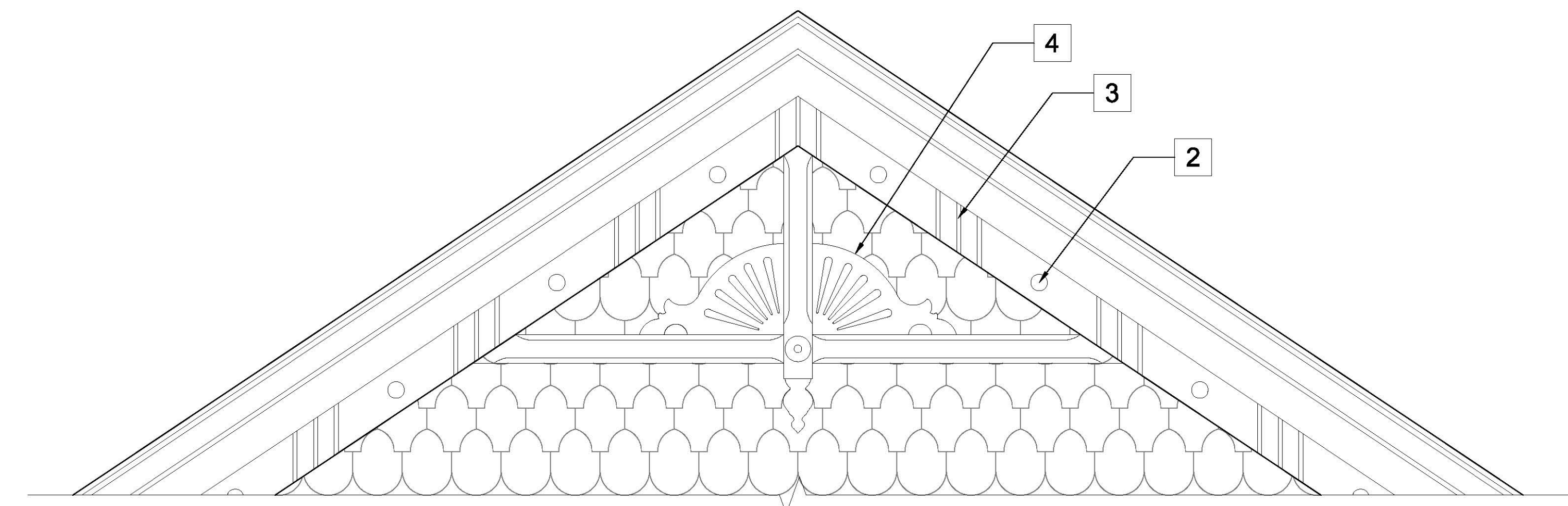
**KEY NOTES:**

- 1 NON-HISTORIC COMPOSITION SHINGLES
- 2 WOOD HALF-COVE SHINGLES
- 3 WOOD ROUND SHINGLES
- 4 DECORATIVE WOOD ROOF RIDGE BRACKET
- 5 DECORATIVE WOOD EAVE BRACKET
- 6 POURED-IN-PLACE CONCRETE STEM-WALL
- 7 DECORATIVE 1x6 CORNER TRIM
- 8 NON-HISTORIC WOOD DOOR
- 9 DECORATIVE WOOD SPINDELS
- 10 DECORATIVE WOOD BRACKET
- 11 DECORATIVE WOOD COLUMN
- 12 CRAWLSPACE VENT
- 13 NON-HISTORIC ALUMINUM WINDOW
- 14 NON-HISTORIC WOOD RAIL
- 15 NON-HISTORIC STAIR
- 16 DECORATIVE WINDOW HEAD
- 17 WINDOW A/C UNIT
- 18 NON-HISTORIC GARAGE DOOR
- 19 FORMER HISTORIC WINDOW
- 20 ELECTRICAL EQUIPMENT



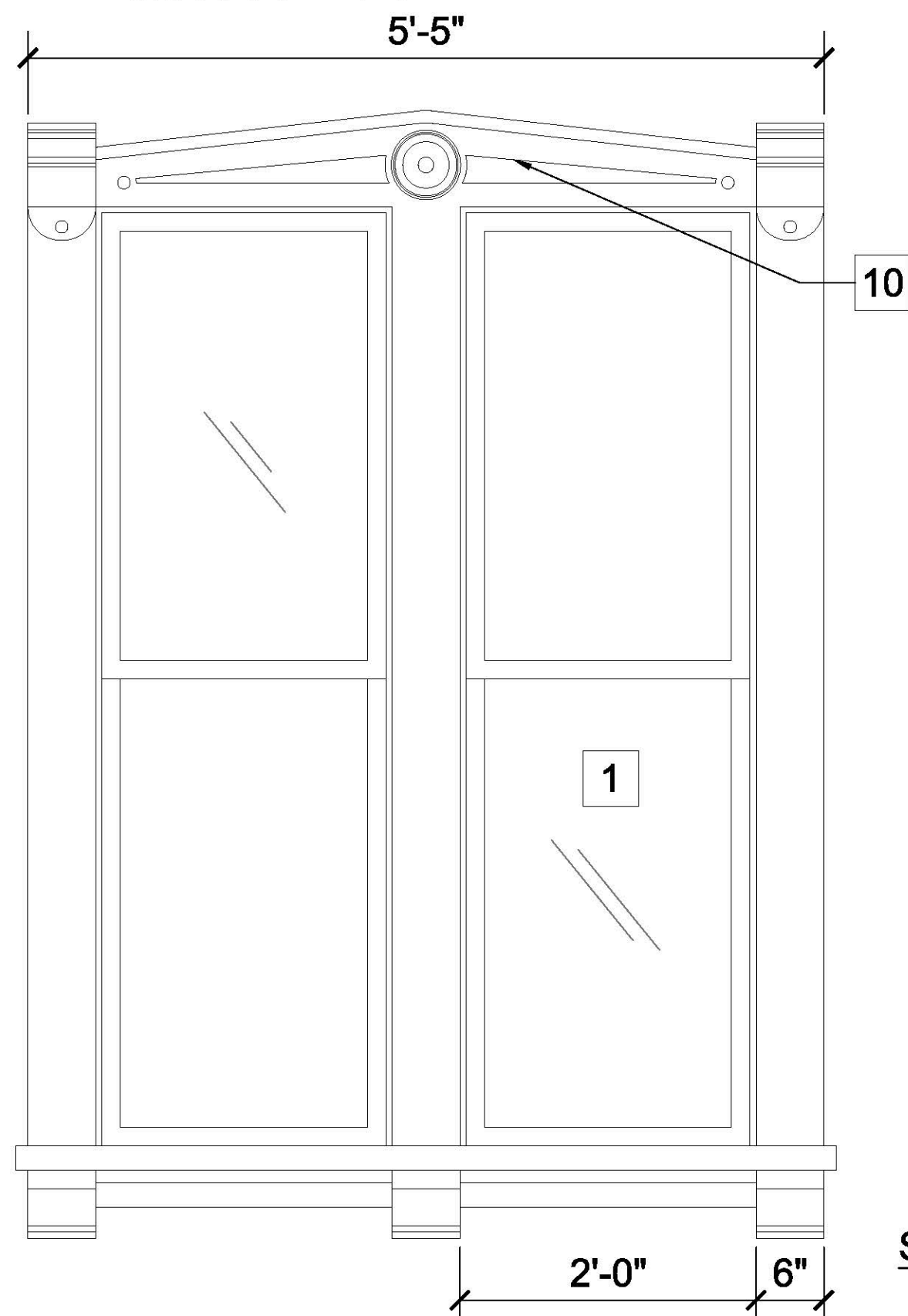
**DETAIL D - PORCH COLUMN**

SCALE: 1" = 1'-0"



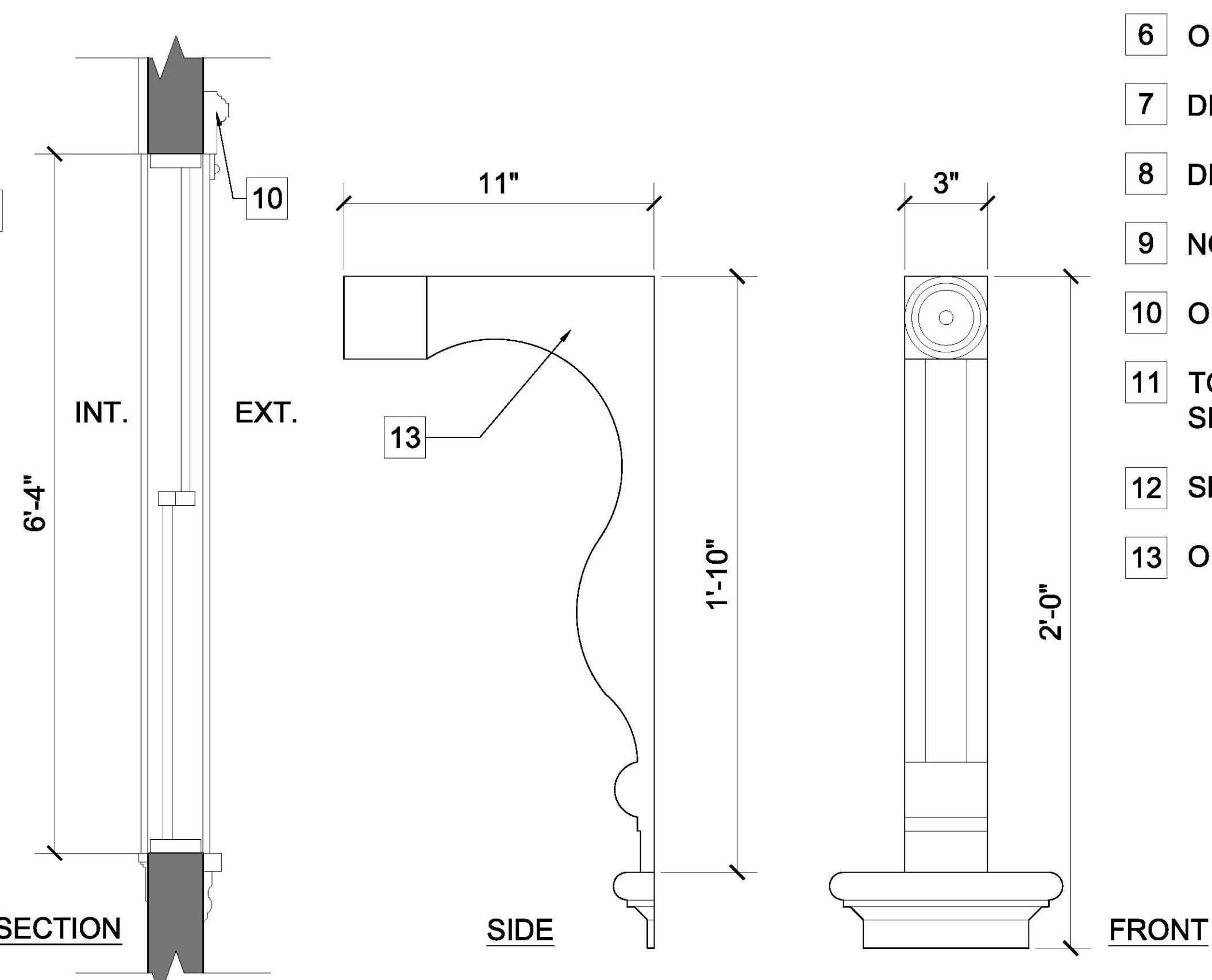
**DETAIL A - ROOF EAVE DETAIL**

SCALE: 1" = 1'-0"



**DETAIL C - TYPICAL WINDOW**

SCALE: 1" = 1'-0"

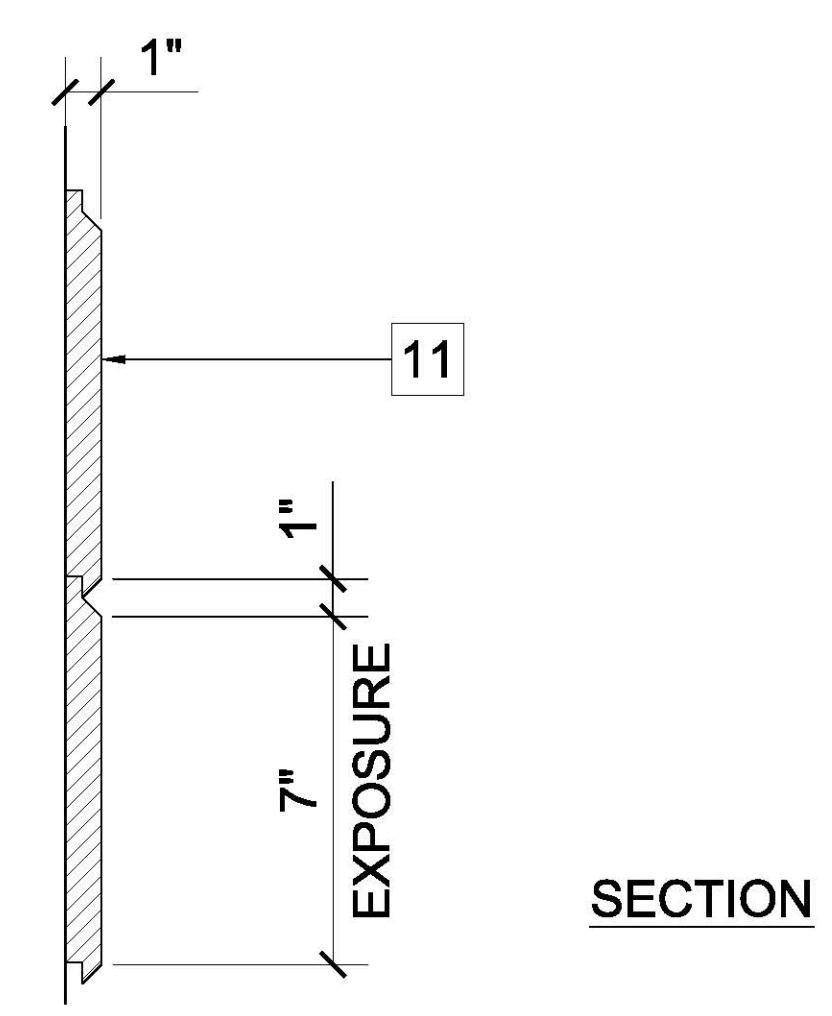


**DETAIL B - WOOD EAVE BRACKET**

SCALE: 3" = 1'-0"

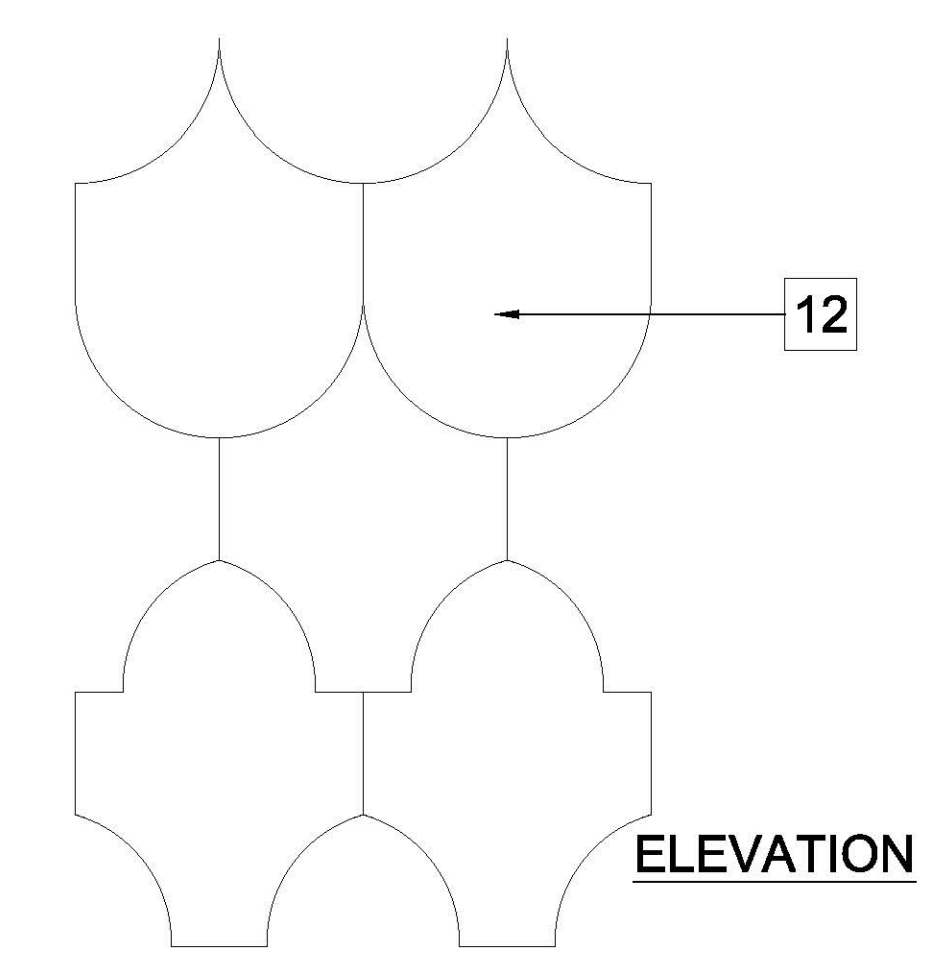
**KEY NOTES:**

- 1 HISTORIC WOOD WINDOW OPENING WITH NON-HISTORIC ALUMINUM REPLACEMENT WINDOW
- 2 HOLE IN FASCIA
- 3 VERTICAL WOOD BANDING
- 4 ORNAMENTAL FAN MOTIF
- 5 ORNATE WOOD BRACKET
- 6 ORNATE WOOD SPINDELS
- 7 DECORATIVE WOOD BLOCK
- 8 DECORATIVE WOOD COLUMN
- 9 NON-HISTORIC WOOD RAILING
- 10 ORNATE WOOD TRIM
- 11 TONGUE AND GROOVE WOOD SIDING
- 12 SHAPED SHINGLE SIDING
- 13 ORNATE WOOD EAVE BRACKET



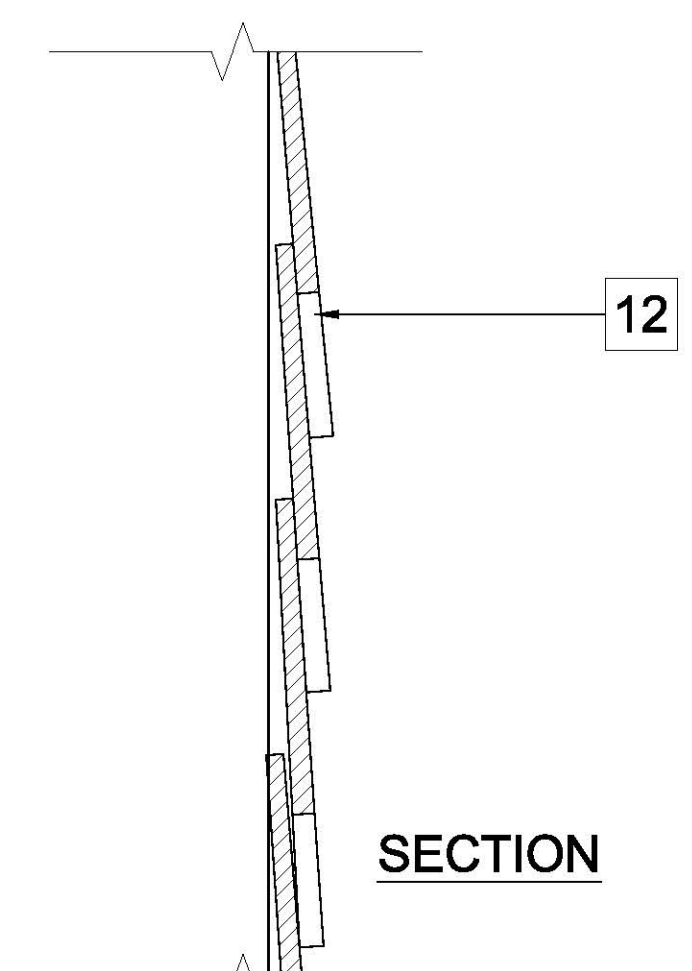
**DETAIL F - HORIZONTAL T&G WOOD SIDING**

SCALE: 3" = 1'-0"



**DETAIL E - ROUND & HALF-COVE SHINGLES @ ORNATE RIDGE**

SCALE: 3" = 1'-0"







## Murray Apartments Relocation & Rehabilitation TREATMENT PLAN

September 20, 2017

### PROJECT DESCRIPTION:

The Murray Apartments is locally designated under the City of San Diego Register of Historical Resources as HRB #404. It is a good example of a Queen Anne style residence constructed in 1903. It is located at 719 14<sup>th</sup> Street, San Diego, California, 92101. The building has been moved from its original location and has undergone some changes, but the building maintains its primary architectural details. The Murray Apartments is currently used for multi-family housing. The owner, the City of San Diego, is proposing to relocate the house as part of the East Village Green project, to the south side of F Street between 14<sup>th</sup> and 15<sup>th</sup> Streets. 721 14<sup>th</sup> Street will be moved at the same time and will be relocated to a parcel adjacent to the Murray Apartments. Once relocated, the Murray Apartments will undergo exterior rehabilitation per *The Secretary of the Interior's Standards for the Treatment of Historic Properties* and will be leased or sold. This Treatment Plan describes the proposed relocation and exterior rehabilitation work.



Figure 1: Street facade of the Murray Apartments.



## **INTRODUCTION:**

The implementation of this Treatment Plan for the relocation and exterior rehabilitation of the Murray Apartments will be facilitated by a qualified historic structure mover. Construction Observation services will be provided by the Project Architect/Historic Architect/Monitor, Heritage Architecture & Planning. The project will be completed in accordance with the mitigation, monitoring, and reporting program for this project. This Treatment Plan is accompanied by HABS drawings which depict the current floor plans and exterior elevations of the house. Construction documents for the exterior rehabilitation of the building are not yet complete, but since no alterations are planned other than restoration of missing features and removal of non-historic modifications, the HABS drawings and the treatments noted in this document should suffice, pending approval of drawings during the plan check process.

## **RELOCATION/REHABILITATION PROCEDURES:**

The Murray Apartments will be moved to a vacant lot on the same block, adjacent to and east of the historic Mattie Bears House. As part of the move, the Murray Apartments will be rotated 90° east (clockwise) to face F Street. The mover will outline the details of the schedule and sequence of the move as well as the means by which the house will be braced for the relocation. The Historic Architect/Monitor and City staff shall approve the plan prior to the relocation date.

**Monitoring:** Construction monitoring shall be provided during the relocation process. Following each site visit, the Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with The Standards.

After the completion of grading work and a new foundation on the new site, the Murray Apartments will be moved. It is anticipated that the move of the Murray Apartments will consist of the steps listed below:

1. The building will be moved in one piece, so no cutting or dismantling above the foundation walls will occur.
2. Exterior door and window openings will not need to be braced. Only the area around the four fireplaces are expected to require supplemental bracing.
3. Some items will need to be removed prior to the relocation. These include the non-historic cast-concrete foundation walls, three brick chimneys, parts of the fireplaces, and the non-historic rear stairs.
4. The original chimney bricks, which are only exposed above the roofline, will be transported to the new site. Reconstruction will incorporate salvaged or new matching bricks.
5. The front steps may be modified at the new site based on historical evidence.
6. No new openings in the walls or roof are anticipated.
7. Steel beams will be used under the building to raise and support the structure during relocation. The final number and configuration of beams will depend on the existing floor joists and if they are full length or spliced.
8. The moving company expects to use rolling dollies. Once the building has been raised and can be weighed, the exact number of dollies will be determined. A truck will then transport the Murray Apartments.



9. The proposed route of the move is north on 14<sup>th</sup> Street then west on F Street to the destination site.

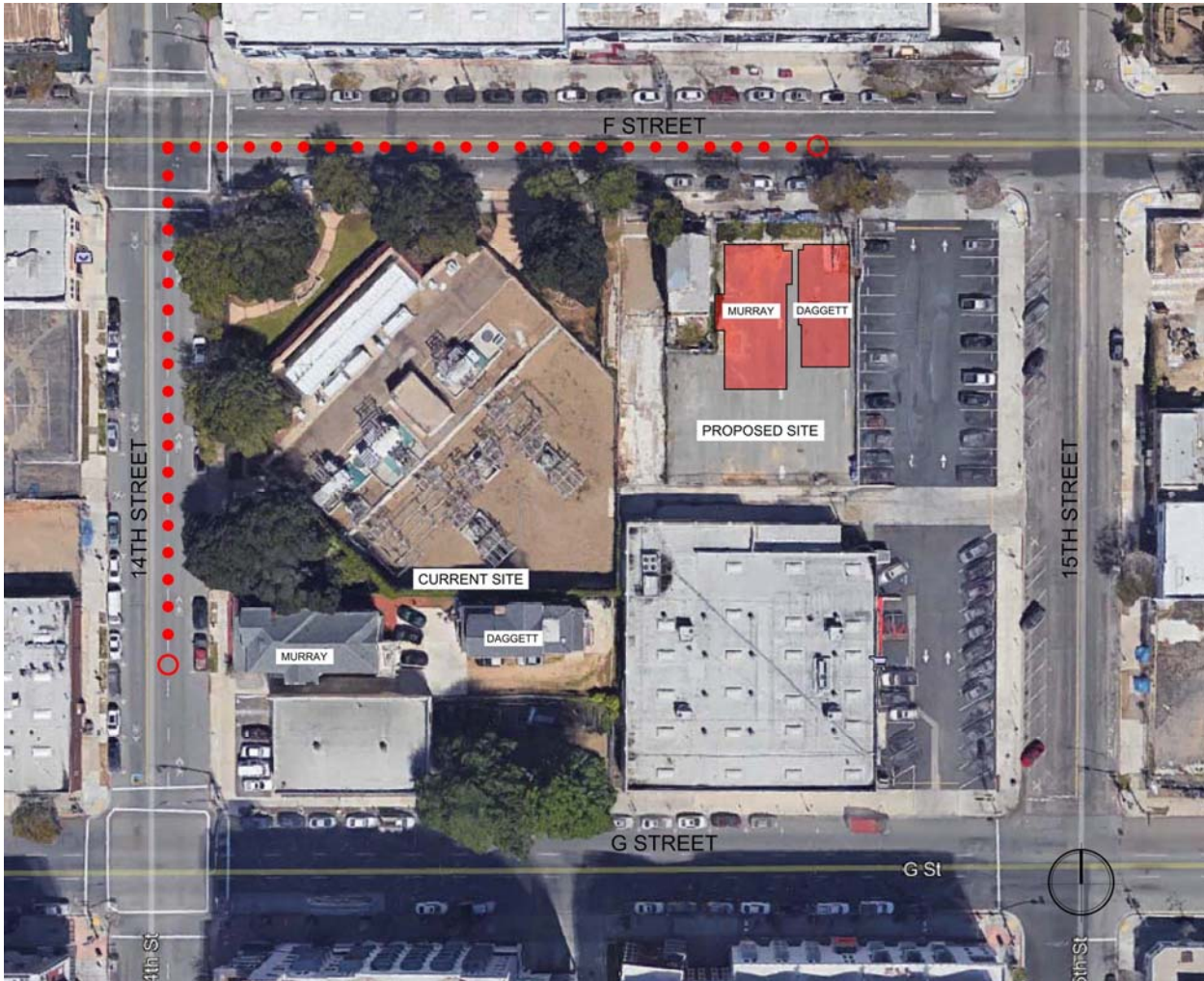


Figure 2: Aerial photo showing the current and proposed sites. Source: Google Maps

The future use of the rehabilitated building has not yet been identified, but the building may change its occupancy classification from residential depending on the desires of a future owner or tenant. Some exterior changes will likely occur in order to provide disabled access to the building, such as adding a wheelchair ramp. As a designated resource, modifications to the Murray Apartments must be in compliance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties (The Standards)*, specifically the *Standards for Rehabilitation*. Additional review and approval by the City of San Diego's Development Services Department and the Historical Resources Board will be required for any future exterior alterations.

The scope of the interior rehabilitation is not known at this time. The interior is not included in the local designation. The City of San Diego and Civic San Diego will not be responsible for future interior improvements. If feasible, depending on the eventual interior layout, representative examples of



character-defining interior features will be preserved and re-used in the rehabilitated building, such as paneled doors, decorative woodwork, fireplaces, and built-in cabinetry.

## **PREPARATION, RELOCATION, & REHABILITATION REQUIREMENTS:**

### **1. Preparation of the Structure Prior to Relocation:**

Coordination Meeting & Monitoring: Prior to the start of any work the Project Architect/Historic Architect/Monitor shall meet on site with the moving contractor to review the scope of demolition, removal, salvage, temporary shoring, and relocation. Through the course of all work, the moving contractor shall notify the Historic Architect/Monitor of discovery of any architectural elements on site. The Historic Architect/Monitor shall evaluate the significance of such material prior to determining the appropriate treatment in compliance with *The Secretary of the Interior's Standards for Rehabilitation*.

All salvaged items will be stored on labeled and wrapped pallets and secured in a weather-tight, lockable, steel container that will be located at the new site adjacent to the building. Construction monitoring shall be provided prior to preparation of the building for relocation. The Construction Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with *The Standards*.

Temporary Shoring: The moving contractor shall provide and maintain necessary shoring to protect and stabilize the building during the relocation. Means and methods for temporary shoring will be determined by the moving contractor and the implementation of these procedures shall occur only after review by the Historic Architect/Monitor. The mover shall outline any proposed attachment points for anchors or beams. Historic siding or trim affected by the attachment of temporary shoring shall be removed prior to installation of shoring, catalogued, labeled and securely stored.

Windows: All window shall be protected by plywood prior to relocation. The windows shall be covered with  $\frac{3}{4}$ " exterior grade plywood installed without causing damage to the existing historic window sashes, frames, or trim.

Doors: All doors shall be protected by plywood prior to relocation. The doors shall be covered with  $\frac{3}{4}$ " exterior grade plywood installed without causing damage to the existing historic doors, frames, or trim.

Chimneys: Prior to relocation, the three historic brick chimneys shall be disassembled. Prior to disassembly, the chimneys shall be measured and photo documented. All documentation will be submitted to the City for review and approval prior to removal of the chimneys. The brick shall be catalogued, salvaged, and stored for reinstallation at the new site. The color, tooling, and composition of the historic mortar will be determined from salvaged samples and the new mortar will match.

Front Porch: The front porch, including the porch steps, floor, T&G ceiling, trim, posts, and decorative brackets shall be protected in place and securely shored in order to facilitate the



relocation. After the move, the non-historic porch enclosure will be removed to recreate the original open porch.

## 2. Protection Measures at the New Site:

Security: At the new site, plywood will be maintained over all ground floor window and door openings. Monitoring and visual inspection of the exterior of the building will be provided by City or Civic San Diego personnel until the building is sold or reoccupied. All salvaged items will be stored on labeled and wrapped pallets and secured in a weather-tight, lockable, steel container that will be located at the site adjacent to the building.

Mothballing: Until the Murray Apartments' exterior has been successfully rehabilitated, it shall be securely mothballed. Mothballing essentially means closing up the building temporarily to protect it from weather and vandalism. Mothballing would include adequately eliminating and controlling pests, protecting the interior from moisture, providing adequate security, ensuring adequate interior ventilation, and following a maintenance and monitoring plan to ensure that the house is adequately secured and routinely inspected. Mothballing will follow the recommendations in National Park Service Preservation Brief 31: Mothballing Historic Buildings, which is attached to the end of this document.

Monitoring: Construction monitoring shall be provided to ensure that the building is securely stored and adequately mothballed at the new site. The Monitor shall complete a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with *The Standards*.

## 3. Building Rehabilitation:

Following the relocation of the Murray Apartments, the exterior of the structure will be rehabilitated and repaired in accordance with *The Secretary of the Interior's Standards for Rehabilitation*.

Construction Monitoring: Periodic construction monitoring shall be provided during the rehabilitation process. Following periodic site visits, the Construction Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with *The Standards*. Refer to the Monitoring Plan.

Rehabilitation Design: The future rehabilitation of the building shall be completed in accordance with *The Standards*. The design team includes a Historic Architect that meets the Secretary of the Interior's Professional Qualification Standards. The rehabilitation design will require review and approval by the City of San Diego's Development Services Department and the Historical Resources Board staff and/or Design Assistance Subcommittee.

## REHABILITATION RECOMMENDATIONS:

The following is a list of the general Rehabilitation Recommendations for the Murray Apartments in compliance with *The Secretary of the Interior's Standards*.



Roof:

- The current composite shingle roofing and metal flashing are in fair to poor condition and will be replaced. New composite shingles will simulate the look of natural cedar shingles that were likely the 1903 roof cladding.

Exterior Walls:

- Patch holes, retain and repair deteriorated wood siding, and prime and repaint the building using the historic color scheme or a scheme appropriate to the building's period and style.
- Remove all surface-mounted pipes and electrical conduit from the exterior walls. (Future plumbing and electrical will be installed on the interior.)
- Remove non-historic security lights and exposed wires.

Front Porch:

- The non-historic porch enclosure, including of four large windows, shall be removed to recreate the original open porch and bay window. The remaining west exterior wall, windows, and front doors will be retained and restored. Missing windows will be reconstructed.
- Re-open the two previously enclosed arched openings in the porch wall. Replicate missing spindles are required.
- Remove and replace damaged wall cladding and non-historic flooring.
- The wood entry steps will likely require modification to fit the new site. Any new stairs shall match the original design and materials.
- A new wheelchair accessible ramp or lift will be added to the side of the building to provide ADA access to the first floor. The design will be submitted for HRB review and approval in during the construction document phase.

Second Floor Addition:

- The non-historic addition at the west end of the second floor, above the front porch, should be removed to recreate the original facade and bay window. The remaining west exterior wall and windows will be retained and restored. Missing windows will be reconstructed.

Foundation Walls:

- The building relocation will require the removal of the existing, non-historic cast-concrete foundation and stem walls as well as construction of a new foundation system. The current cast-concrete foundation walls will be replaced with new faux-stone CMU to simulate the likely historic appearance. The new foundation blocks are proposed to be manufactured by Classic Rock Face Block in Fort Wayne, Indiana.

Chimneys:

- The original three chimneys will be documented, dismantled, and transported to the new site. Reconstruction will incorporate salvaged or new matching bricks.
- The reconstructed chimneys will be seismically retrofitted.



### Windows:

- Replace broken glass with restoration glass.
- Restore existing historic windows to working condition and add weather-stripping.
- Remove the three non-original windows (based on their odd locations and simplified detailing) on the north wall adjacent to the double-hung units and patch the siding with matching clapboards.
- Two small eastern-most windows on the north wall are in closets and have a shaft wall that bisects them. We recommend replacing the current modified sashes with full width fixed glass sashes.
- Several windows on the rear (east) façade and the two attic windows have been covered with plywood and will be restored.

### Exterior Doors:

- Restore the existing front doors and hardware.
- Replace the non-historic rear doors with appropriate wood panel door reproductions. Install ADA compliant door hardware with a bronze finish.

### Interior:

While the interior is not a part of the current scope of work, the following recommendations are provided to guide the new owners or tenants once they are able to proceed with restoration/rehabilitation.

- Historic doors should be retained and restored.
- Remove carpet and vinyl flooring and restore and refinish original wood flooring.
- Maintain existing lath and plaster wall and ceiling finishes where feasible. Where new walls are required, match the existing plaster where feasible.
- Restore and reuse remaining historic lighting and switches where feasible.
- Restore and reuse historic features such as stairs, guardrails, fireplace, beams, built-ins, trim, and finishes.
- On wood features, remove non-historic overpaint and restore original stain and varnish finish.

### Mechanical, Plumbing, and Electrical Systems:

- Not in the current scope. Remaining fixtures will be retained pending future upgrades.

### Additions:

- In accordance with *The Standards*, new additions shall not destroy historic materials, features, and spatial relationships that characterize the property. They should be differentiated from the historic construction and compatible in materials, features, size, scale, proportion, and massing. They should also be constructed in such a manner that, if removed in the future, the essential form and integrity of the building would be unimpaired. No additions are currently proposed for the Murray Apartments.



### **SUMMARY OF EXISTING HISTORIC FEATURES:**

This multi-family building in East Village, constructed during the early development of the area, retains a high degree of historical integrity. Remaining historical features that should be preserved and restored per *The Standards* include:

#### Exterior:

- Cross-gable roof (originally clad in wood shingles).
- Wood wall clapboard siding.
- Wood windows (typically double hung).
- Angled bay windows.
- Wood doors, paneled and some with glazing.
- Front porch posts and brackets.
- Brick chimneys.
- Exterior trim and decorative elements (curved fascia, half-timbering, eave brackets, etc.).

#### Interior:

The interior of the Murray Apartments also retains some historical integrity. Existing historic interior features include:

- Wood floors and baseboards.
- Wood trim and molding.
- Five-panel wood doors.
- L-shaped staircase with wood pickets and newel posts.
- Four brick fireplaces with tile, hearth, and mantle.

#### Non-Historic Features:

The Murray Apartments retains a high degree of historical integrity. Only a few minor alterations have been completed since the building's construction in 1903. Non-historic exterior features are limited to the porch enclosure, second floor enclosure, and rear egress stairway. The existing composite shingle roofing is also not original. All of other existing features and finishes on the exterior of the building, other than three small windows, are original and contribute to the historical character of the building.

The only apparent interior alterations (other than missing trim, new flooring, and overpaint) are remodels to the kitchens and bathrooms.

### **SUMMARY OF APPLICABLE STANDARDS AND GUIDELINES:**

Any work undertaken on the historic Murray Apartments, including the proposed relocation and subsequent rehabilitation, shall be completed in compliance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties (The Standards)*. There are separate standards for acquisition, protection, stabilization, preservation, rehabilitation, restoration, and reconstruction. Rehabilitation has been identified as the appropriate treatment for the Murray Apartments due to a potential change in use. Rehabilitation is defined as "the process of returning a property to a state of utility, through





repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.” The ten standards for rehabilitation are:

#### Rehabilitation Standards

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The City of San Diego will use *The Standards* as a guideline for confirming the appropriateness of proposed rehabilitation work for the building. Rehabilitation work and proposed alterations and modifications to the building will also need to comply with the current (2013) California Building Code and the Americans with Disabilities Act (ADA). Additionally, since the Murray Apartments is a designated historical resource, the provisions of the California Historical Building Code are also applicable to all future relocation and rehabilitation work.



## Daggett Family Residence Relocation & Rehabilitation TREATMENT PLAN

September 20, 2017

### PROJECT DESCRIPTION:

The Daggett Family Residence is locally designated under the City of San Diego Register of Historical Resources as HRB #403. It is a good example of Queen Anne Victorian architectural style with some characteristics of the Stick style. The residence was constructed sometime between 1893 and 1896. It is located at 721 14<sup>th</sup> Street, San Diego, California, 92101. The building has been moved from its original location and has undergone some changes, but the building maintains its primary architectural details. The Daggett Family Residence is currently used for multi-family housing. The owner, the City of San Diego, is proposing to relocate the house as part of the East Village Green project, to the south side of F Street between 14<sup>th</sup> and 15<sup>th</sup> Streets. 719 14<sup>th</sup> Street will be moved at the same time and will be relocated to a parcel adjacent to the Daggett Family Residence. Once relocated, the Daggett Family Residence will undergo exterior rehabilitation per *The Secretary of the Interior's Standards for the Treatment of Historic Properties* and will be leased or sold. This Treatment Plan describes the proposed relocation and exterior rehabilitation work.



Figure 1: West facade of the Daggett Family Residence.



### **INTRODUCTION:**

The implementation of this Treatment Plan for the relocation and exterior rehabilitation of the Daggett Family Residence will be facilitated by a qualified historic structure mover. Construction Observation services will be provided by the Project Architect/Historic Architect/Monitor, Heritage Architecture & Planning. The project will be completed in accordance with the mitigation, monitoring, and reporting program for this project. This Treatment Plan is accompanied by HABS drawings which depict the current floor plans and exterior elevations of the house. Construction documents for the exterior rehabilitation of the building are not yet complete, but since no alterations are planned other than restoration of missing features and removal of non-historic modifications, the HABS drawings and the treatments noted in this document should suffice, pending approval of drawings during the plan check process.

### **RELOCATION/REHABILITATION PROCEDURES:**

The Daggett Family Residence will be moved to a vacant lot on the same block, adjacent to and east of the historic Mattie Bearns House. As part of the move, the Daggett Family Residence will be rotated 90° east (clockwise) to face F Street. The mover will outline the details of the schedule and sequence of the move as well as the means by which the house will be braced for the relocation. The Historic Architect/Monitor and City staff shall approve the plan prior to the relocation date.

**Monitoring:** Construction monitoring shall be provided during the relocation process. Following each site visit, the Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with The Standards.

After the completion of grading work and a new foundation on the new site, the Daggett Family Residence will be moved. It is anticipated that the move of the Daggett Family Residence will consist of the steps listed below:

1. The building will be moved in one piece, so no cutting or dismantling above the foundation walls will occur.
2. Exterior door and window openings will not need to be braced. No chimneys or fireplaces are intact to require supplemental bracing.
3. Some items will need to be removed prior to the relocation. These include the non-historic cast-concrete foundation walls, a chimney remnant in the crawlspace, and the non-historic front steps and rear stairs.
4. The original chimney bricks in the basement will be removed.
5. New front steps will be constructed at the new site based on historical evidence and precedence.
6. No new openings in the walls or roof are anticipated, other than restoring previously removed windows.
7. Steel beams will be used under the building to raise and support the structure during relocation. The final number and configuration of beams will depend on the existing floor joists and if they are full length or spliced.



8. The moving company expects to use rolling dollies. Once the building has been raised and can be weighed, the exact number of dollies will be determined. A truck will then transport the Daggett Family Residence.
9. The proposed route of the move is north on 14<sup>th</sup> Street then west on F Street to the destination site.

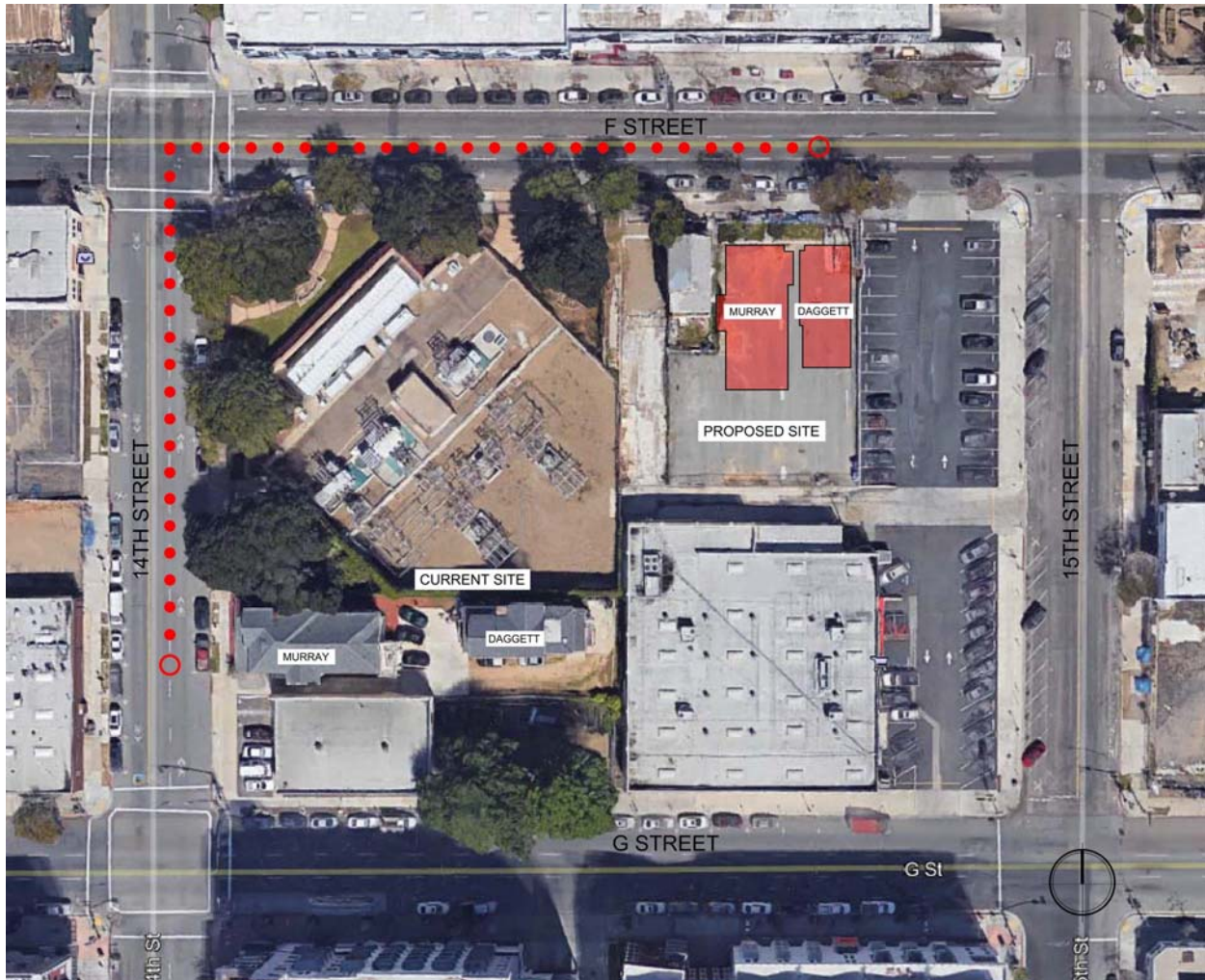


Figure 2: Aerial photo showing the current and proposed sites. Source: Google Maps

The future use of the rehabilitated building has not yet been identified, but the building may change its occupancy classification from residential depending on the desires of a future owner or tenant. Some exterior changes will likely occur in order to provide disabled access to the building, such as adding a wheelchair ramp. As a designated resource, modifications to the Daggett Family Residence must be in compliance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties (The Standards)*, specifically the *Standards for Rehabilitation*. Additional review and approval by the City of San Diego's Development Services Department and the Historical Resources Board will be required for any future exterior alterations.



The scope of the interior rehabilitation is not known at this time. The interior is not included in the local designation. The City of San Diego and Civic San Diego will not be responsible for future interior improvements. If feasible, depending on the eventual interior layout, representative examples of character-defining interior features will be preserved and re-used in the rehabilitated building, such as paneled doors, decorative woodwork, fireplaces, and built-in cabinetry.

## **PREPARATION, RELOCATION, & REHABILITATION REQUIREMENTS:**

### **1. Preparation of the Structure Prior to Relocation:**

Coordination Meeting & Monitoring: Prior to the start of any work the Project Architect/Historic Architect/Monitor shall meet on site with the moving contractor to review the scope of demolition, removal, salvage, temporary shoring, and relocation. Through the course of all work, the moving contractor shall notify the Historic Architect/Monitor of discovery of any architectural elements on site. The Historic Architect/Monitor shall evaluate the significance of such material prior to determining the appropriate treatment in compliance with *The Secretary of the Interior's Standards for Rehabilitation*.

All salvaged items will be stored on labeled and wrapped pallets and secured in a weather-tight, lockable, steel container that will be located at the new site adjacent to the building. Construction monitoring shall be provided prior to preparation of the building for relocation. The Construction Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with *The Standards*.

Temporary Shoring: The moving contractor shall provide and maintain necessary shoring to protect and stabilize the building during the relocation. Means and methods for temporary shoring will be determined by the moving contractor and the implementation of these procedures shall occur only after review by the Historic Architect/Monitor. The mover shall outline any proposed attachment points for anchors or beams. Historic siding or trim affected by the attachment of temporary shoring shall be removed prior to installation of shoring, catalogued, labeled and securely stored.

Windows: All window shall be protected by plywood prior to relocation. The windows shall be covered with 3/4" exterior grade plywood installed without causing damage to the existing historic window sashes, frames, or trim.

Doors: All doors shall be protected by plywood prior to relocation. The doors shall be covered with 3/4" exterior grade plywood installed without causing damage to the existing historic doors, frames, or trim.

Chimney: The remnant of a chimney base was found in the basement/crawlspace below Room 103. Since there is no documentation of the chimney or fireplace(s) the chimney base will be removed prior to building relocation and will not be salvaged, stored, or reconstructed.

Front Porch: The front porch, including the T&G ceiling, trim, posts, and decorative brackets shall be protected in place and securely shored in order to facilitate the relocation. The non-



historic porch steps will be removed. After the relocation, the non-historic porch bathroom will be removed to recreate the original porch footprint and the non-historic railings will be replaced with a simplified, period-appropriate design.

**2. Protection Measures at the New Site:**

Security: At the new site, plywood will be maintained over all ground floor window and door openings. Monitoring and visual inspection of the exterior of the building will be provided by City or Civic San Diego personnel until the building is sold or reoccupied. All salvaged items will be stored on labeled and wrapped pallets and secured in a weather-tight, lockable, steel container that will be located at the site adjacent to the building.

Mothballing: Until the Daggett Family Residence's exterior has been successfully rehabilitated, it shall be securely mothballed. Mothballing essentially means closing up the building temporarily to protect it from weather and vandalism. Mothballing would include adequately eliminating and controlling pests, protecting the interior from moisture, providing adequate security, ensuring adequate interior ventilation, and following a maintenance and monitoring plan to ensure that the house is adequately secured and routinely inspected. Mothballing will follow the recommendations in National Park Service Preservation Brief 31: Mothballing Historic Buildings, which is attached to the end of this document.

Monitoring: Construction monitoring shall be provided to ensure that the building is securely stored and adequately mothballed at the new site. The Monitor shall complete a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with *The Standards*.

**3. Building Rehabilitation:**

Following the relocation of the Daggett Family Residence, the exterior of the structure will be rehabilitated and repaired in accordance with *The Secretary of the Interior's Standards for Rehabilitation*.

Construction Monitoring: Periodic construction monitoring shall be provided during the rehabilitation process. Following periodic site visits, the Construction Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with *The Standards*. Refer to the Monitoring Plan.

Rehabilitation Design: The future rehabilitation of the building shall be completed in accordance with *The Standards*. The design team includes a Historic Architect that meets the Secretary of the Interior's Professional Qualification Standards. The rehabilitation design will require review and approval by the City of San Diego's Development Services Department and the Historical Resources Board staff and/or Design Assistance Subcommittee.



## **REHABILITATION RECOMMENDATIONS:**

The following is a list of the general Rehabilitation Recommendations for the Daggett Family Residence in compliance with The Secretary of the Interior's Standards.

### Roof:

- The current composite shingle, wood shingle, and built-up roofing and metal flashing are in fair to poor condition and will be replaced. New composite shingles will simulate the look of natural cedar shingles that were likely the 1903 roof cladding. The wood shingles at the porch roof will be restored or, if conditions warrant it, replaced to match the existing.

### Exterior Walls:

- Patch holes, retain and repair deteriorated wood siding, and prime and repaint the building using the historic color scheme or a scheme appropriate to the building's period and style.
- Remove all surface-mounted pipes and electrical conduit from the exterior walls. (Future plumbing and electrical will be installed on the interior.)
- Remove non-historic security lights and exposed wires.

### Front Porch:

- The non-historic porch enclosure, consisting of a bathroom, should be removed to recreate the original full-length porch. The remaining exterior walls will be retained and restored.
- Remove and replace damaged wall cladding and non-historic flooring.
- The current wood entry steps, which run parallel with the front façade, are not historic and shall be removed. New wood stairs and stair rails shall be compatible with the building's design and materials and shall be perpendicular to the front façade.
- The existing non-historic wood railing shall be removed and replaced with a simplified, period-appropriate design. The proposed design will be submitted for HRB review and approval in during the construction document phase.
- The existing plywood enclosed chase shall be removed. Existing mechanical/plumbing systems shall be relocated to the interior.
- A new wheelchair accessible ramp or lift will be added to the side of the building to provide ADA access to the first floor. The design will be submitted for HRB review and approval in during the construction document phase.

### Rear Laundry and Unit D Addition:

- The non-historic addition at the rear of the building shall be removed and restored to the original rear porch configuration. The design will be submitted for HRB review and approval in during the construction document phase.
- At the opening between Hall 114 and Hall 115, install an ADA compliant door and door hardware with a bronze finish.
- New period-appropriate porch railing shall be added. The design will be submitted for HRB review and approval in during the construction document phase.



#### Foundation Walls:

- The building relocation will require the removal of the existing, non-historic cast-concrete foundation and stem walls as well as construction of a new foundation system. The current cast-concrete foundation walls will be replaced with new faux-stone CMU to simulate the likely historic appearance. The new foundation blocks are proposed to be manufactured by Classic Rock Face Block in Fort Wayne, Indiana.

#### Garage:

- The lower level non-historic basement/garages shall be removed.

#### Windows:

- Replace existing non-historic aluminum windows with replica double-hung wood units.
- Install two full-size replica double-hung wood units on the north wall where smaller windows were installed in historic openings.
- Install replica double-hung wood units on the west wall where the two bathroom additions were added (at Room 111 and Room 205).
- Remove existing thru-window AC at the west, north, and south façade windows.
- Remove the two small non-original windows on the south wall adjacent to the double-hung units and patch the siding with matching clapboards.

#### Exterior Doors:

- Replace the existing non-historic front door with a new period-appropriate wood panel door. Also install ADA compliant door hardware with a bronze finish.
- Replace the existing non-historic rear door with appropriate wood panel door.

#### Interior:

While the interior is not a part of the current scope of work, the following recommendations are provided to guide the new owners or tenants once they are able to proceed with restoration/rehabilitation.

- Historic wood doors should be retained and restored.
- Remove carpet and vinyl flooring and restore and refinish original wood flooring.
- Maintain existing lath and plaster wall and ceiling finishes where feasible. Where new walls are required, match the existing plaster where feasible.
- Restore and reuse historic features such as stairs, guardrails, trim, and finishes.
- On wood features, remove non-historic overpaint and restore original stain and varnish finish.

#### Mechanical, Plumbing, and Electrical Systems:

- Not in the current scope. Existing fixtures will be retained pending future upgrades.

#### Additions:

- In accordance with *The Standards*, new additions shall not destroy historic materials, features, and spatial relationships that characterize the property. They should be differentiated from the historic construction and compatible in materials, features, size, scale, proportion, and





massing. They should also be constructed in such a manner that, if removed in the future, the essential form and integrity of the building would be unimpaired. No additions are currently proposed for the Daggett Family Residence.

### **SUMMARY OF EXISTING HISTORIC FEATURES:**

This multi-family building in East Village, constructed during the early development of the area, retains a high degree of historical integrity. Remaining historical features that should be preserved and restored per *The Standards* include:

#### Exterior:

- Cross-gable roof (originally clad in wood shingles), with low-slope mansard-style roof at the rear.
- Wood wall clapboard siding.
- Front porch posts and brackets.
- Exterior trim and decorative elements (curved fascia, shaped shingles, spindles, brackets, etc.).

#### Interior:

The interior of the Daggett Family Residence also retains some historical integrity. Existing historic interior features include:

- Wood floors and baseboards.
- Wood trim and molding.
- Staircase with wood pickets and newel posts.

#### Non-Historic Features:

The Daggett Family Residence retains a high degree of historical integrity. Only a few minor alterations have been completed since the building's construction in 1893 to 1896. Non-historic exterior features are bathroom additions to the front porch, aluminum windows, porch railing, rear porch enclosure, and the front and rear stairways. The existing composite shingle roofing is also not original. All of other existing features and finishes on the exterior of the building, other than the exterior doors, are original and contribute to the historical character of the building.

The only apparent interior alterations (other than missing trim, new flooring, and overpaint) are remodels to the kitchens and bathrooms and removal of at least one fireplace.

### **SUMMARY OF APPLICABLE STANDARDS AND GUIDELINES:**

Any work undertaken on the historic Daggett Family Residence, including the proposed relocation and subsequent rehabilitation, shall be completed in compliance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties (The Standards)*. There are separate standards for acquisition, protection, stabilization, preservation, rehabilitation, restoration, and reconstruction. Rehabilitation has been identified as the appropriate treatment for the Daggett Family Residence due to a potential change in use. Rehabilitation is defined as "the process of returning a property to a state



of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values.” The ten standards for rehabilitation are:

#### Rehabilitation Standards

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The City of San Diego will use *The Standards* as a guideline for confirming the appropriateness of proposed rehabilitation work for the building. Rehabilitation work and proposed alterations and modifications to the building will also need to comply with the current (2013) California Building Code and the Americans with Disabilities Act (ADA). Additionally, since the Daggett Family Residence is a designated historical resource, the provisions of the California Historical Building Code are also applicable to all future relocation and rehabilitation work.



## Murray Apartments Relocation & Rehabilitation MONITORING PLAN

**DATE:** October 16, 2017

**PROJECT:** Murray Apartments Relocation & Rehabilitation  
Current Address: 719 14<sup>th</sup> Street, San Diego, CA 92101  
Current APN# 535-143-13  
Future Address: 1465 F Street, San Diego, CA 92101  
Future APN# 535-171-13  
HRB Site #404  
Year Built: 1903  
Period of Significance: 1903

**SUBJECT:** Monitoring Plan for Historic Resource



Figure 1: Street facade of the Murray Apartments.



**PROJECT TEAM:**

D/CM (Developer/Const. Manager)	Civic San Diego
LD (Lead Designer)	OJB Landscape Architecture
PA (Project Architect)	Heritage Architecture & Planning
HA (Historic Architect & Monitor)	Heritage Architecture & Planning
RC (Relocation Contractor)	John T. Hansen Enterprises
GC (General Contractor)	*To Be Determined
BI (Building Inspector)	City of San Diego Development Services: Environmental & Historical Staff

\* The applicant proposes to bid the project and select the contractor following construction document approval at which time the General Contractor information will be provided to the City.

**LOCATIONS:**

- Current Site (Site A) -- 719 14<sup>th</sup> Street, San Diego, CA 92101
- Future Site (Site B) – 1465 F Street, San Diego, CA 92101

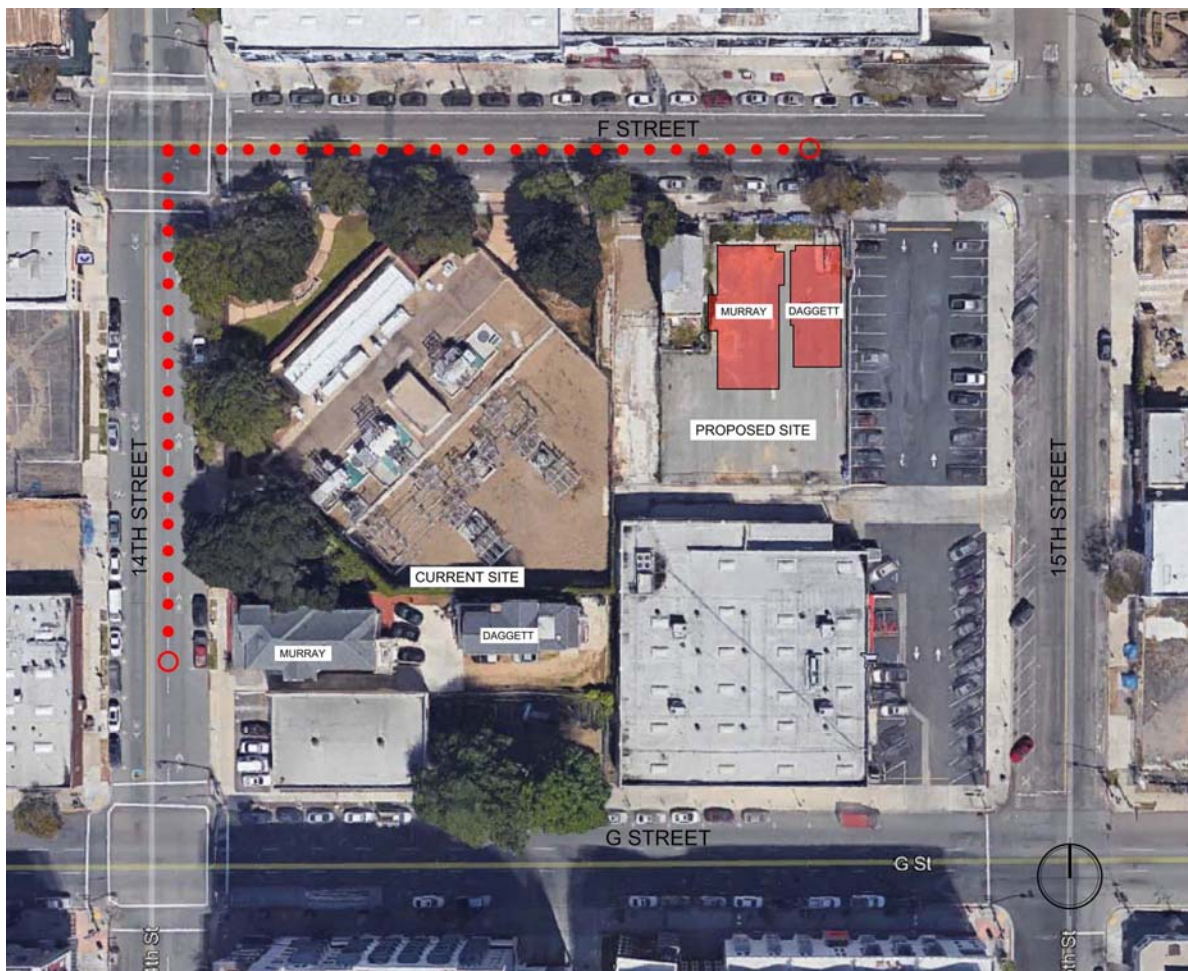


Figure 2: Aerial photo showing the current and proposed sites.

Source: Google Maps



### **PROPERTY DESCRIPTION:**

The historic Murray Apartments building is a two-story Victorian-style structure located in San Diego's East Village neighborhood. The wood-framed structure was built in 1903 by an unknown architect and builder. The building was formally designated as City of San Diego Register of Historical Resources HRB #404. The building has been moved from its original location and has undergone some changes, but the building maintains its primary architectural details. The Murray Apartments building retains integrity from its 1903 period of significance, the date of its original construction. It is considered a historical resource under CEQA.

After the Murray Apartments building is restored at the F Street site, the building will be secured via mothballing, consistent with the recommendations in National Park Service Preservation Brief 31: Mothballing Historic Buildings. After completion of the mothballing, Civic San Diego will establish a lease with a tenant who will complete interior rehabilitation and occupy the building as soon as practicable. The use of the building after relocation and rehabilitation is not yet known. Notwithstanding, Civic San Diego is aware of and will comply with the City's Historic Resource Regulations and Minimum Maintenance Guidelines while the building is unoccupied.

This Monitoring Plan will follow the Treatment Plan and supporting architectural documents prepared to move the historic structure from its current location at Site A to new Site B, as well as its exterior rehabilitation and mothballing.

### **MONITORING**

Participants in each task are abbreviated in parenthesis.

1. Preconstruction Meeting (D/CM, LD, PA, HA, RC, GC, BI)
  - a. Overview of Treatment Plan and Monitoring Plan as related to the historic resource on Site A.
  - b. Overview of architectural, landscape, and engineering documents as related to Site B. Also visit Site B.
  - c. Review work required to prepare the site for arrival of the building.
2. Preparation of structure for moving (D/CM, HA)
  - a. Historic Architect/Monitor to be present to observe removal of the chimneys and front steps. Other items, including disconnection/capping of utility connection, removal of exterior plumbing and electrical lines, removal non-historic porch infill and exterior stairs, which are required for the relocation, shall be completed prior to the move.
3. Pre-Move (D/CM, HA, RC)
  - a. Observe temporary shoring and protection.
  - b. Review storage of salvaged building materials.
  - c. Approve structure as ready for relocation.
4. New Footings, Foundation, Utilities, and Site Preparation at Site B (CM, LD, HA, RC, GC)



- a. Review preparation work at Site B prior to relocation of building.
5. Move to Site B (D/CM, HA, RC, BI)
  - a. Review building relocation. Review overall Treatment Plan for rehabilitation of building as well as architectural, landscape, and engineering documents.
6. Continued Monitoring During Rehabilitation (D/CM, LD, PA, HA, GC)
  - a. Monitoring to occur as required by construction activity.
  - b. Complete Consultant Site Visit Record forms, as needed.
  - c. Observe rehabilitation of the building in accordance with the Treatment Plan and approved architectural, landscape, and engineering documents.
7. Final Monitoring (D/CM, LD, PA, HA)
  - a. Final punch list of items to complete according to the Treatment Plan and architectural, landscape, and engineering documents.
8. Draft Monitoring Report (HA, BI)
  - a. Draft report of monitoring process to be submitted to the BI for review.
9. Final Monitoring Report (D/CM, HA, BI)
  - a. Final Monitoring Report, review relevant documents with the BI to confirm compliance with the Site Development Permit.

### **CONSULTANT SITE VISIT RECORD**

A Consultant Site Visit Record (CSV) form shall be used by the Historic Architect & Monitor (HA) to document progress of the rehabilitation. A sample CSV form is attached for reference.

\* End of Monitoring Plan \*



## Consultant Site Visit Record

**PROJECT:** *(Name and address)*

**REPORT NUMBER:**

**CONTRACT:**

DATE	TIME	WEATHER	TEMP. RANGE
EST. % COMPLETION		CONFORMANCE WITH SCHEDULE (+,-)	
WORK IN PROGRESS			

OBSERVATIONS

ITEMS TO VERIFY

INFORMATION OR ACTION REQUIRED

ATTACHMENTS

**REPORT BY:**

**REPORT DATE:**

**TITLE: Historic Monitor**



## Daggett Family Residence Relocation & Rehabilitation MONITORING PLAN

**DATE:** October 16, 2017

**PROJECT:** Daggett Family Residence Relocation & Rehabilitation  
Current Address: 721 14<sup>th</sup> Street, San Diego, CA 92101  
Current APN# 535-143-13  
Future Address: 1473 F Street, San Diego, CA 92101  
Future APN# 535-171-11  
HRB Site #403  
Year Built: 1893-96  
Period of Significance: 1893-96

**SUBJECT:** Monitoring Plan for Historic Resource



**Figure 1:** West facade of the Daggett Family Residence.





**PROJECT TEAM:**

D/CM (Developer/Const. Manager)	Civic San Diego
LD (Lead Designer)	OJB Landscape Architecture
PA (Project Architect)	Heritage Architecture & Planning
HA (Historic Architect & Monitor)	Heritage Architecture & Planning
RC (Relocation Contractor)	John T. Hansen Enterprises
GC (General Contractor)	*To Be Determined
BI (Building Inspector)	City of San Diego Development Services: Environmental & Historical Staff

\*The applicant proposes to bid the project and select the contractor following construction document approval at which time the General Contractor information will be provided to the City.

**LOCATIONS:**

- Current Site (Site A) -- 721 14<sup>th</sup> Street, San Diego, CA 92101
- Future Site (Site B) – 1473 F Street, San Diego, CA 92101

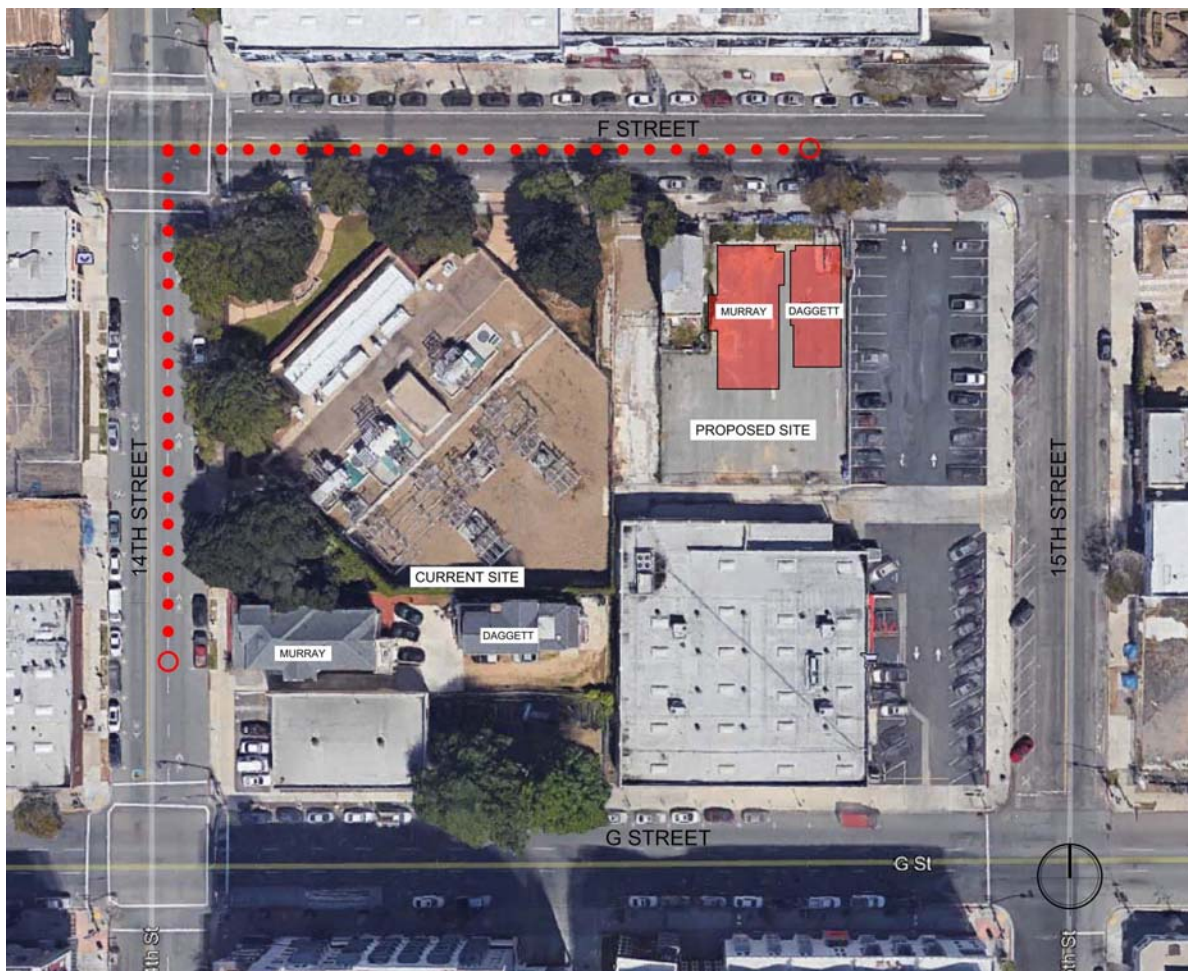


Figure 2: Aerial photo showing the current and proposed sites.

Source: Google Maps



**PROPERTY DESCRIPTION:**

The historic Daggett Family Residence building is a two-story Queen Anne Victorian-style structure located in San Diego's East Village neighborhood. The wood-framed structure was built in 1893-96 by an unknown architect and builder. The building was formally designated as City of San Diego Register of Historical Resources HRB #403. The building has been moved from its original location and has undergone some changes, but the building maintains its primary architectural details. The Daggett Family Residence retains integrity from its 1903 period of significance, the date of its original construction. It is considered a historical resource under CEQA.

After the Daggett Family Residence is restored at the F Street site, the building will be secured via mothballing, consistent with the recommendations in National Park Service Preservation Brief 31: Mothballing Historic Buildings. After completion of the mothballing, Civic San Diego will establish a lease with a tenant who will complete interior rehabilitation and occupy the building as soon as practicable. The use of the building after relocation and rehabilitation is not yet known. Notwithstanding, Civic San Diego is aware of and will comply with the City's Historic Resource Regulations and Minimum Maintenance Guidelines while the building is unoccupied.

This Monitoring Plan will follow the Treatment Plan and supporting architectural documents prepared to move the historic structure from its current location at Site A to new Site B, as well as its exterior rehabilitation and mothballing.

**MONITORING**

Participants in each task are abbreviated in parenthesis.

1. Preconstruction Meeting (D/CM, LD, PA, HA, RC, GC, BI)
  - a. Overview of Treatment Plan and Monitoring Plan as related to the historic resource on Site A.
  - b. Overview of architectural, landscape, and engineering documents as related to Site B. Also visit Site B.
  - c. Review work required to prepare the site for arrival of the building.
2. Preparation of structure for moving (D/CM, HA)
  - a. Historic Architect/Monitor to be present to observe disconnection/capping of utilities, removal of exterior plumbing and electrical lines, removal non-historic porch infill and exterior stairs, which are required for the relocation, which shall be completed prior to the move.
3. Pre-Move (D/CM, HA, RC)
  - a. Observe temporary shoring and protection.
  - b. Review storage of salvaged building materials.
  - c. Approve structure as ready for relocation.
4. New Footings, Foundation, Utilities, and Site Preparation at Site B (CM, LD, HA, RC, GC)
  - a. Review preparation work at Site B prior to relocation of building.



5. Move to Site B (D/CM, HA, RC, BI)
  - a. Review building relocation. Review overall Treatment Plan for rehabilitation of building as well as architectural, landscape, and engineering documents.
6. Continued Monitoring During Rehabilitation (D/CM, LD, PA, HA, GC)
  - a. Monitoring to occur as required by construction activity.
  - b. Complete Consultant Site Visit Record forms, as needed.
  - c. Observe rehabilitation of the building in accordance with the Treatment Plan and approved architectural, landscape, and engineering documents.
7. Final Monitoring (D/CM, LD, PA, HA)
  - a. Final punch list of items to complete according to the Treatment Plan and architectural, landscape, and engineering documents.
8. Draft Monitoring Report (HA, BI)
  - a. Draft report of monitoring process to be submitted to the BI for review.
9. Final Monitoring Report (D/CM, HA, BI)
  - a. Final Monitoring Report, review relevant documents with the BI to confirm compliance with the Site Development Permit.

### **CONSULTANT SITE VISIT RECORD**

A Consultant Site Visit Record (CSV) form shall be used by the Historic Architect & Monitor (HA) to document progress of the rehabilitation. A sample CSV form is attached for reference.

\* End of Monitoring Plan \*



## Consultant Site Visit Record

**PROJECT:** *(Name and address)*

**REPORT NUMBER:**

**CONTRACT:**

DATE	TIME	WEATHER	TEMP. RANGE
EST. % COMPLETION		CONFORMANCE WITH SCHEDULE (+,-)	
WORK IN PROGRESS			

OBSERVATIONS

ITEMS TO VERIFY

INFORMATION OR ACTION REQUIRED

ATTACHMENTS

**REPORT BY:**

**REPORT DATE:**

**TITLE:** Historic Monitor



## MEMORANDUM

DATE: October 26, 2018

TO: Brad Richter, Vice-President Planning *BR*

FROM: William Chopyk, AICP, Planner *WCh*

SUBJECT: Site Development Permit (SDP) No. 2017-18 to relocate and renovate two historic homes located at 719-721 14th Street, Downtown San Diego, California Environmental Quality Act (CEQA) 15162 Evaluation

Civic San Diego staff completed a California Environmental Quality Act (CEQA) Section 15162 consistency evaluation for Site Development Permit (SDP) No. 2017-18 to allow the relocation and rehabilitation of two historic homes located at 719-721 14th Street. The new location of the two historic homes would be on the same block, directly east of 1455 F Street, within the planned East Village Green (EVG) park site in the East Village of the Downtown Community Plan (DCP) area ("Downtown").

### **Previously Certified CEQA Document**

Development within the DCP area is covered under the following documents, all referred to as the "Downtown FEIR": Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and 10th Amendment to the Centre City Redevelopment Plan, certified by the former Redevelopment Agency ("Former Agency") and the City Council on March 14, 2006 (Resolutions R-04001 and R-301265, respectively); subsequent addenda to the FEIR certified by the Former Agency on August 3, 2007 (Former Agency Resolution R-04193), April 21, 2010 (Former Agency Resolution R-04510), and August 3, 2010 (Former Agency Resolution R-04544), and certified by the City Council on February 12, 2014 (City Council Resolution R-308724) and July 14, 2014 (City Council Resolution R-309115); and, the Final Supplemental Environmental Impact Report for the Downtown San Diego Mobility Plan certified by the City Council on June 21, 2016 (Resolution R-310561).

Development within the DCP area is also covered under the following documents, all referred to as the "CAP FEIR": FEIR for the City of San Diego Climate Action Plan (CAP), certified by the City Council on December 15, 2015 (City Council Resolution R-310176), and the Addendum to the CAP, certified by the City Council on July 12, 2016 (City Council Resolution R-310595). The Downtown FEIR and CAP FEIR are both "Program EIRs" prepared in compliance with CEQA

Guidelines Section 15168. The information contained in the Downtown FEIR and the CAP FEIR reflects the independent judgement of the City of San Diego as the Lead Agency. The Downtown FEIR and CAP FEIR are located on the Civic San Diego website (<http://civicsd.com/departments/planning/environmental-documents>) and on the City website ([https://www.sandiego.gov/planning/programs/ceqa#Final CEQA Documents](https://www.sandiego.gov/planning/programs/ceqa#Final%20CEQA%20Documents)).

### **Scope of the Proposed Action**

As required by Centre City Planned Development Ordinance (CCPDO) Section 156.0304(h), the proposed relocation and rehabilitation of the historical resources shall comply with all applicable Mitigation Monitoring and Reporting Program (MMRP) measures from the Downtown FEIR.

In accordance with the Downtown FEIR MMRP, City of San Diego HRB Sites No. 403 and 404, the Murray Apartments and the Daggett Family Residence located at 719-721 14th Street, will be relocated, then rehabilitated according to the United States Secretary of the Interior Standards for Treatment of Historic Properties (“Standards”), City of San Diego Historical Resources Guidelines (“Guidelines”), and incorporated into the Project as shown in the Treatment Plans dated September 20, 2017 and Monitoring Plans dated October 20, 2017. All alterations to, and rehabilitation of, the designated historic resources, shall be performed in accordance with the Standards, the Guidelines, as well as the National Park Service Standards for Relocation, and the Treatment Plan required under the Downtown FEIR MMRP Historical Resources Measures HIST-A.1 and HIST-B.1. In addition, the following SDP conditions apply:

1. Historic American Buildings Survey (HABS) Level III documentation shall be completed for the structure prior to issuance of any Building Permit.
2. A qualified historical architectural monitor (approved by City of San Diego Plan-Historic Staff) will supervise the relocation, rehabilitation and reuse of the building.
3. A permanent plaque shall be provided on the exterior wall of the historic building describing the buildings original address/location. The design shall be approved by City of San Diego Plan-Historic staff prior to issuance of any Building Permit and installation.
4. If the City of San Diego building officials determine any of the materials (exterior walls, window frames, roof and architectural details) are deteriorated and cannot be rehabilitated, and/or are not permitted to be reinstalled, they may be recreated out of new materials with the prior approval of the materials and execution methods from the City of San Diego Plan-Historic staff.

The EVG park project, including the relocation and rehabilitation of the two historic homes, is a designated public park in the DCP that was evaluated in the Downtown FEIR. The HABS Reports,

Treatment Plans and Monitoring Plans for the two historic homes were prepared in compliance with Downtown FEIR historical resources mitigation measures (HIST-A.1. and HIST-B.1.).

### **Section 15162 Criteria**

When an EIR has been certified or a negative declaration adopted for a project, no subsequent EIR shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in the light of the whole record, one or more of the following:

1. Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the Negative Declaration was adopted, shows any of the following:
  - A. The project will have one or more significant effects not discussed in the previous EIR or negative declaration;
  - B. Significant effects previously examined will be substantially more severe than shown in the previous EIR;
  - C. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or
  - D. Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

### **Conclusion**

None of the three Section 15162 criteria listed above has occurred. Therefore, there is no need to prepare subsequent or supplemental environmental documents for the approval of SDP No. 2017-18. It is not anticipated that approval of SDP No. 2017-18 would result in any significant direct, indirect or cumulative impacts over and above those disclosed in the Downtown FEIR.

**RECORDING REQUESTED BY:**

Civic San Diego  
Planning Department  
401 B Street, Suite 400  
San Diego, CA 92101

**AND WHEN RECORDED MAIL TO:**

Civic San Diego  
Planning Department  
401 B Street, Suite 400  
San Diego, CA 92101

*THIS SPACE FOR RECORDER'S USE ONLY*

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*NOTE: COUNTY RECORDER, PLEASE RECORD AS  
RESTRICTION ON USE OR DEVELOPMENT OF REAL  
PROPERTY AFFECTING THE TITLE TO OR  
POSSESSION THEREOF*

**CENTRE CITY SITE DEVELOPMENT PERMIT  
NO. 2017-18**

**EAST VILLAGE GREEN  
RELOCATION & RENOVATION OF TWO HISTORIC HOMES  
MURRAY APARTMENTS & DAGGETT FAMILY RESIDENCE  
719 & 724 14<sup>TH</sup> STREET  
SAN DIEGO, CA 92101**



**CENTRE CITY PLANNED DISTRICT  
CENTRE CITY SITE DEVELOPMENT PERMIT  
NO. 2017-18**

**719 & 721 14<sup>TH</sup> STREET  
SAN DIEGO, CA 92101**

This Centre City Site Development Permit (SDP) No. 2017-18 is granted by the City of San Diego City Council to the City of San Diego, Owner/Permittee, to allow the relocation of 1) Historical Resources Board (HRB) Site No. 403, Daggett Family Residence at 721 14<sup>th</sup> Street and 2) the relocation of HRB Site No. 404, Murray Apartments at 719 14<sup>th</sup> Street to a location on the south side of F Street, located in the East Village neighborhood of the Downtown Community Plan (DCP) area and within the Centre City Planned District (CCPD).

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner/Permittee to construct and operate a development and uses as described and identified by size, dimension, quantity, type and location as follows and on the approved Treatment Plans dated September 20, 2017 and Monitoring Plans dated October 16, 2017 on file at Civic San Diego (“CivicSD”).

1. General

The Owner/Permittee shall construct, or cause to be constructed on the site, the relocation and rehabilitation of two designated historic buildings located at 719-721 14<sup>th</sup> Street, San Diego, CA 92101. The relocation and rehabilitation of the two historic buildings shall follow the Treatment Plans and Monitoring Plans prepared by Heritage Architecture & Planning. The historic buildings will be moved to their new locations on elevated building pads fronting F Street, east of, and adjacent to, the existing house at 1455 F Street (Mattie Bears House).

2. Site Development Permit

The City of San Diego City Council hereby grants a SDP allowing the relocation of designated historical resources as follows:

- a. City of San Diego HRB Site No. 403, the Daggett Family Residence, located at 721 14<sup>th</sup> Street shall be relocated and rehabilitated in accordance with the Daggett Family Residence Treatment Plan, prepared by Heritage Architecture & Planning Inc. dated September 20, 2017, and the Daggett Family Residence Monitoring Plan, prepared by Heritage Architecture & Planning Inc. dated October 16, 2017; and
- b. City of San Diego HRB Site No. 404, the Murray Apartments, located at 719 14<sup>th</sup> Street shall be relocated and rehabilitated in accordance with the Daggett Family Residence Treatment Plan, prepared by Heritage Architecture & Planning Inc. dated September 20, 2017, and the Daggett Family Residence Monitoring Plan, prepared by Heritage Architecture & Planning Inc. dated October 16, 2017.

All alterations to, and rehabilitation of, the designated historic resources, shall be performed in accordance with the Standards, the Guidelines, as well as the National Park Service Standards for Relocation, and the Treatment Plan required under the 2006 Downtown Final Environmental Impact Report (FEIR) Mitigation, Monitoring, and Reporting Program (MMRP) Measures HIST A.1-2 and HIST B.1. In addition, the following conditions apply:

1. A qualified historical architectural monitor (approved by City of San Diego Plan-Historic Staff) will supervise the relocation, rehabilitation and reuse of the building.
2. A permanent plaque shall be provided on the exterior wall of the historic building describing the buildings original address/location. The design shall be approved by City of San Diego Plan-Historic staff prior to issuance of any Building Permit and installation.
3. If the City of San Diego building officials determine any of the materials (exterior walls, window frames, roof and architectural details) are deteriorated and cannot be rehabilitated, and/or are not permitted to be reinstalled, they may be recreated out of new materials with the prior approval of the materials and execution methods from the City of San Diego Plan-Historic staff.

3. Urban Design Standards

The proposed development, including its architectural design concepts and off-site improvements, shall be consistent with the Centre City Planned District Ordinance (CCPDO) and Centre City Streetscape Manual (CCSM). These standards, together with the following specific conditions, will be used as a basis for evaluating the development through all stages of the development process.

- a. Utilitarian Areas – Areas housing trash, storage, or other utility services shall be located in the garage or otherwise completely concealed from view of the ROW and adjoining developments, except for utilities required to be exposed by the City or utility company. The development shall provide trash and recyclable material storage areas per San Diego Municipal Code (SDMC) sections 142.0810 and 142.0820. Such areas shall be provided within an enclosed building/garage area and shall be kept clean and orderly at all times. The development shall implement a recycling program to provide for the separation of recyclable materials from the non-recyclable trash materials.
- b. Signage – All signs shall comply with the City of San Diego Sign Regulations and the CCPDO.
- c. Street Address – Building address numbers shall be provided that are visible and legible from the ROW.

4. On-Site Improvements

All off-site and on-site improvements shall be designed as part of an integral site development. An on-site improvement plan shall be submitted with the 100% Construction Drawings. Any on-site landscaping shall establish a high quality of design and be sensitive to landscape materials and design planned for the adjoining ROW.

**PUBLIC IMPROVEMENTS, LANDSCAPING AND UTILITY REQUIREMENTS**

5. Off-Site Improvements

The following public improvements shall be installed in accordance with the Centre City Streetscape Manual (CCSM). The CCSM is currently being updated and the Owner/Permittee shall install the appropriate improvements according to the latest requirements at the time of Building Permit issuance:

	<b>F Street Frontage</b>
<b>Street Trees</b>	Chinese Flame Tree
<b>Sidewalk Paving</b>	Gateway Paving
<b>Street Lights</b>	Gateway

- a. Street Trees – Street tree selections shall be made according to the CCSM. All trees shall be planted at a minimum 36-inch box size with tree grates provided as specified in the CCSM, and shall meet the requirements of Title 24. Tree spacing shall be accommodated after street lights have been sited, and generally spaced 20 to 25 feet on center. All landscaping shall be irrigated with private water service from the subject development.

The Owner/Permittee will be responsible for evaluating, with consultation with CivicSD, whether any existing trees within the ROW shall be maintained and preserved. No trees shall be removed prior to obtaining a Tree Removal Permit from the City’s Development Services Department (DSD) per City Council Policy 200-05.99999

- b. Street Lights – All existing lights shall be evaluated to determine if they meet current CivicSD and City requirements, and shall be modified or replaced if necessary. All street lights shall be painted “CCDC Blue” PLS6 1008F blue by Sherwin Williams or equivalent.
- c. Sidewalk Paving – Owner/Permittee shall obtain approval for any specialized paving materials shall be approved through the execution of an Encroachment Removal and Maintenance Agreement (EMRA) with the City.
- d. Landscaping – All required landscaping shall be maintained in a disease, weed and litter free condition at all times. If any required landscaping (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, it shall be repaired and/or replaced

in kind and equivalent in size per the approved documents and to the satisfaction of the CivicSD within 30 days of damage or Certificate of Occupancy.

- e. On-Street Parking – The Owner/Permittee shall maximize the on-street parking wherever feasible.
- f. Public Utilities – The Owner/Permittee shall be responsible for the connection of on-site sewer, water and storm drain systems from the development to the City utilities located in the ROW. Sewer, water, and roof drain laterals shall be connected to the appropriate utility mains within the street and beneath the sidewalk. The Owner/Permittee may use existing laterals if acceptable to the City, and if not, Owner/Permittee shall cut and plug existing laterals at such places and in the manner required by the City, and install new laterals. Private sewer laterals require an EMA.

If it is determined that existing water and sewer services are not of adequate size to serve the proposed development, the Owner/Permittee will be required to abandon any unused water and sewer services and install new services and meters. Service abandonments require an engineering Permit and must be shown on a public improvement plan. All proposed public water and sewer facilities, including services and meters, must be designed and constructed in accordance with established criteria in the most current edition of City's Water and Sewer Facility Design Guidelines and City regulations standards and practices pertaining thereto.

Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the Building Permit plan check. If and when the Owner/Permittee submits for a tentative map or tentative map waiver, the Water Department will require CC&Rs to address the operation and maintenance of the private on-site water system serving the development. No structures or landscaping of any kind shall be installed within ten feet of water facilities.

All roof drainage and sump drainage, if any, shall be connected to the storm drain system in the public street, or if no system exists, to the street gutters through sidewalk underdrains. Such underdrains shall be approved through an Encroachment Removal Agreement with the City. The Owner/Permittee shall comply with the City's Storm Water Management and Discharge Control Ordinance and the storm water pollution prevention requirements of Chapter 14, Article 2, Division 1 and Chapter 14, Article 2, Division 2 of the SDMC.

Prior to Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

- g. Franchise Public Utilities – The Owner/Permittee shall be responsible for the installation or relocation of franchise utility connections including, but not limited to, gas, electric, telephone and cable, to the development and all extensions of those utilities in public streets. Existing franchise utilities located above grade serving the property and in the sidewalk ROW shall be removed and incorporated into the adjoining development where

feasible. All franchise utilities shall be installed as identified in the Basic Concept Drawings. Any above grade devices shall be screened from view from the ROW.

- h. Fire Hydrants – If required, the Owner/Permittee shall install fire hydrants at locations satisfactory to the City’s Fire Department and DSD.
- i. Water Meters and Backflow Preventers – The Owner/Permittee shall locate all water meters and backflow preventers in locations satisfactory to the Public Utilities Department and CivicSD. Backflow preventers shall be located outside of the ROW adjacent to the development’s water meters, either within the building, a recessed alcove area, or within a plaza or landscaping area. The devices shall be screened from view from the ROW. All items of improvement shall be performed in accordance with the technical specifications, standards, and practices of the City's Engineering, Public Utilities, and Building Inspection Departments and shall be subject to their review and approval. Improvements shall meet the requirements of Title 24.

6. Storm Water Compliance

- a. Prior to issuance of any construction permit, the Owner and/or Permittee shall enter into a Maintenance Agreement for the on-going permanent Best Management Practices (BMP) maintenance, satisfactory to the City Engineer.
- b. Prior to the issuance of any Construction Permit, the Owner and/or Permittee shall incorporate any construction BMP necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
- c. Prior to issuance of any construction permits, the Owner and/or Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards, Chapter 4 of the Storm Water Standards.
- d. Prior to the issuance of any construction permit, the Storm Water Quality Management Plan will be subject to final review and approval by the City Engineer.

7. Removal and/or Remedy of Soil and/or Water Contamination

- a. The Owner/Permittee shall (at its own cost and expense) remove and/or otherwise remedy as provided by law and implementing rules and regulations, and as required by appropriate governmental authorities, any contaminated or hazardous soil and/or water conditions on the Site. Such work may include without limitation the following:
  - i. Remove (and dispose of) and/or treat any contaminated soil and/or water on the site (and encountered during installation of improvements in the adjacent ROW which the Owner/Permittee is to install) as necessary to comply with applicable governmental standards and requirements.

- ii. Design construct all improvements on the site in a manner which will assure protection of occupants and all improvements from any contamination, whether in vapor or other form, and/or from the direct and indirect effects thereof.
- iii. Prepare a site safety plan and submit it to the appropriate governmental agency, CivicSD, and other authorities for approval in connection with obtaining a building Permit for the construction of improvements on the site. Such site safety plan shall assure workers and other visitors to the site of protection from any health and safety hazards during development and construction of the improvements. Such site safety plan shall include monitoring and appropriate protective action against vapors and/or the effect thereof.
- iv. Obtain from the County of San Diego and/or California Regional Water Quality Control Board and/or any other authorities required by law any permits or other approvals required in connection with the removal and/or remedy of soil and/or water contamination, in connection with the development and construction on the site.
- v. If required due to the presence of contamination, an impermeable membrane or other acceptable construction alternative shall be installed beneath the foundation of the building. Drawings and specifications for such vapor barrier system shall be submitted for review and approval by the appropriate governmental authorities.

## **STANDARD REQUIREMENTS**

### **8. Environmental Impact Mitigation Monitoring and Reporting Program**

As required by CCPDO Section 156.0304(h), the development shall comply with all applicable Mitigation Monitoring and Reporting Program (MMRP) measures from the 2006 Downtown FEIR for the DCP.

### **9. Construction Fence**

Owner/Permittee shall install a construction fence pursuant to specifications of, and a Permit from, the City Engineer. The fence shall be solid plywood with wood framing, painted a consistent color with the development's design, and shall contain a pedestrian passageway, signs, and lighting as required by the City Engineer. The fencing shall be maintained in good condition and free of graffiti at all times.

Additional development signs may be provided around the perimeter of the site. All signs shall be limited to a maximum of 160 SF per street frontage. Graphics may also be painted on any barricades surrounding the site. All signs and graphics shall be submitted to the CivicSD for approval prior to installation.

10. The development must include, at a minimum, plumbing fixtures and fittings that do not exceed the maximum flow rate specified in Table A5.303.2.3.1 (voluntary measures) of the

California Green Building Standards Code. Compliance with this measure must be demonstrated prior to the issuance of the building permit.

11. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this Permit is not utilized in accordance with Section 126.0108 of the SDMC within the 36-month period, this Permit shall be void unless an Extension of Time (EOT) has been granted pursuant to Section 126.0111 of the SDMC.
12. Issuance of this Permit does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies.
13. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
14. This development shall comply with the standards, policies, and requirements in effect at the time of approval of this development, including any successor(s) or new policies, financing mechanisms, phasing schedules, plans and ordinances adopted by the City.
15. No Permit for construction, operation, or occupancy of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until this Permit is recorded in the Office of the San Diego County Recorder.
16. The Owner/Permittee shall defend, indemnify, and hold harmless the CivicSD and the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this Permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The CivicSD will promptly notify the Owner/Permittee of any claim, action, or proceeding and, if CivicSD should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. CivicSD may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between CivicSD and the Owner/Permittee regarding litigation issues, the CivicSD shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

