



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

DATE ISSUED: August 19, 2015 REPORT NO. HO-15-112

ATTENTION: Hearing Officer, Agenda of August 26, 2015

SUBJECT: INDIANA STREET APARTMENTS - PROJECT NO. 396980,
PROCESS 3.

OWNER/
APPLICANT: Indiana Street Apartments #1, LLC (Attachment 11).

SUMMARY

Issue(s): Should the Hearing Officer approve a project to vacate a portion of a drain easement, preserve two existing dwelling units designated historic resource listed as HRB Site #1141, relocate three residences and two detached garages offsite and construct twenty-one apartments with deviations in the Greater North Park Community Plan area?

Staff Recommendation(s):

1. **Adopt** the Mitigated Negative Declaration No. 396980 and **Adopt** the Mitigation Monitoring and Reporting Program; and
2. **Approve** Site Development Permit No. 1433238, Neighborhood Development Permit No. 1433237 and Easement Vacation No. 1433239.

Community Planning Group Recommendation - The North Park Planning Committee voted, on April 21, 2015, 10:0:0 to recommend approval of the project.

Environmental Review - A Mitigated Negative Declaration No. 3969800 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented to reduce, to a level below significance, all potential impacts identified in the environmental review process.

Fiscal Impact Statement - None. All costs associated with processing this application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact - None.

Housing Impact Statement - The Greater North Park Community Plan designates the 0.56-acre project site for Medium High Residential uses at a density range of 30-45 dwelling units per acre. Based on the area of the project site 17 to 25 dwelling units would be allowed. The proposed project would include the development of 21 apartment rental units, the preservation of two existing designated historic dwelling units on site, and the removal of two existing dwelling units and two garages which will be relocated and reconstructed as affordable housing units elsewhere. The applicant would pay an affordable housing fee pursuant to the City's Inclusionary Housing Ordinance.

BACKGROUND

The Greater North Park Community Plan Land Use map identifies the site for Medium High Residential use at a density range of 30-45 dwelling units per acre (Attachment 1). The site is located at 3537 - 3547 Indiana Street in an urbanized neighborhood of Greater North Park (Attachment 2). The surrounding neighborhood is developed with residential uses and Balboa Park is located two block south of the project site (Attachment 3).

DISCUSSION

Project Description

The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations (Attachment 4). The Project would build three new apartments in one building and eighteen new apartments in a second building.

Required Approvals

The Project requires three actions for approval; a Site Development Permit for development within the Mid-Cities Communities Planned District in compliance with San Diego Municipal Code Sections 1512.0203(b)(2) and 1512.0203(b)(4). The site contains sensitive vegetation yet is not impacting that vegetation and no mitigation is required. A Neighborhood Development Permit is required to allow tandem parking and for development of a retaining wall in the alley, and an Easement Vacation is required to vacate a portion of a storm drain easement.

Deviations

The Mid-Cities Communities Planned District, through the Site Development Permit procedures, provides applicants proposing deviations to request greater flexibility from the strict application of the regulations than would be allowed provided specific additional findings can be supported. Further, the Site Development Permit process may allow deviations for projects which include sustainable "green" building technologies. The intent is to encourage imaginative and innovative planning and to assure development would materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed

by the building and its occupants, would be consistent with the purpose of the underlying zone and the deviation(s) are appropriate for the location and would result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The Project requires six deviations from the SDMC requirements of the MCCPD-MR-1000 Zone, specifically described as:

<u>Deviation</u>	<u>MR-1000 Zone</u>	<u>Proposed</u>
• Overall building height	40' & 50'	43' & 54'
• Side setbacks above second story	3' per story to 15' max.	1'-8"
• Rear setbacks above the second story	7' per story to 14' max.	None
• Pedestrian entries	3	1
• Architectural features	5 of 10 required	2 provided
• Retaining wall height in rear setback	6 feet	12 feet

Sustainable Project Features

The Project proposes the following features to achieve specific goals of the City’s General Plan Conservation Element. All the features below are listed on the plans for the project and would become part of the Exhibit “A” should the project be approved. These features are:

- Existing structures to be relocated for site would be re-purposed for low income housing rather than demolished and taken to the landfill,
- Roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the Project’s projected energy consumption in accordance with Council Policy 900-14,
- All units would have natural ventilation to reduce cooling loads,
- Openings would be properly shaded to reduce heat gain during the summer and allow maximum daylight during the winter,
- A thermal chimney is proposed for natural ventilation of the parking garage,
- Without applying for LEED certification, the proposed buildings would be constructed to LEED Silver standards,
- CFC refrigerants would not be used,
- Low or zero VOC products would be selected when possible to improve indoor air quality,
- When possible, materials with high recycled content would be selected,
- On site space would be provided for refuse and recycling storage exceeding SDMC requirements,
- Low water plant species would be used for site landscaping,
- A white, single-ply roof membrane would be used to minimize the urban heat island effect,
- Biologically sensitive areas would largely be avoided,
- Low water use plumbing fixtures would be used throughout,
- Manual diming lighting within units would be provided to reduce power consumption.

Community Plan Analysis

The Greater North Park Community Plan designates the 0.56-acre Project site for Medium High Residential use at a density range of 30-45 dwelling units per acre. Based on the area of the Project site 17 to 25 dwelling units would be allowed. The proposed Project would include the development of 21 dwelling units in addition to the preservation of two historic housing units on site. The Project site is located within Area 16 of the Housing Element of the community plan which is characterized with having a mixture of residential types where multi-family development is the predominant type. As proposed, the Project would implement the land use designation.

The proposed Project would meet several policies of the Urban Design Element of the Greater North Park Community Plan. The objective of the Urban Design Element for preserving and restoring unique or historic structures within the community would be met by the Project through the preservation of the two existing designated historic bungalows on site. According to the Urban Design Element, new buildings should be made sympathetic to the scale, form and texture of surrounding development and where new buildings reach exceptional height and bulk in comparison to existing structures, large surfaces should be articulated and textured to reduce their apparent size and reflect the pattern of existing development. Despite the presence of existing structures ranging from one to four stories in the immediate vicinity, the proposed Project incorporates horizontal vertical offsets, surface articulation, and other architectural features such as balconies, varying window arrangements, textures, and building materials to break up the bulk and scale of the structure. Planted metal mesh screens, landscaping, and decorative screening would also be utilized to enhance the facades of the lower level parking structure. The Project incorporates varying buildings heights to diminish the scale of the overall Project by maintaining a two-story façade facing the single-story bungalows to emphasize a pedestrian scale along Indiana Street. Additionally, the Project steps down from the northeast corner of the Project site from four-stories to two-stories towards the lower elevations of the site follow the sloping topography. Because of the sloping nature of the Project site, parking would be provided below the street level of Indiana Street and would be accessed from the alley to the east (Crestwood Place) within an enclosed structure to meet the guideline of screening on-site parking and making parking less visible from the street and meeting the objective in the Transportation Element for the provision of adequate off-street parking.

In order to address guidelines for enhancing the public streetscape and pedestrian environment, street tree plantings associated with the Project would consist of Queen Palms, Jacarandas, and Sweet Shade Trees along Indiana Street where there are currently no street trees along the western side of the site. Although the Project is not located within community plan designated open space, the proposed Project would limit its intrusion on the topography of the site, and would cluster development at the northern less steep portion of the Project site where development currently exists. The Transportation Element of the community plan identifies a proposed Class III bicycle route within close proximity of the Project site along Park Boulevard. In order to facilitate and encourage bicycling associated with the Project, internal bicycle storage located on the ground floor level for tenants would be included.

The proposed Project would include several Project features that would meet recommendations found in the Conservation Elements of the community plan and the General Plan related to

sustainable development. The Project would meet the recommendation of employing sustainable or green building techniques that would achieve greater energy efficiency and employ self generation of energy using renewable technology by incorporating a rooftop photo-voltaic system that would generate 50 percent of the electrical design load of the development; designing each dwelling unit to allow natural ventilation and cross ventilation with properly shaded openings to reduce heat gain and allow maximum day-lighting; and incorporating a thermal chimney as part of the design of the Project to provide ventilation for the underground parking. In order to implement the recommendation of reducing construction and demolition waste, the Project would preserve two existing designated historic bungalows on site and relocate three existing housing structures and two garages from the Project site to be reconstructed as affordable housing offsite. Additionally, the Project would meet recommendations for sustainable landscape design by incorporating low-water plant species and for reducing the heat island effect by incorporating a white, single-ply membrane to reduce the contribution of heat build-up.

Several deviations are requested as part of the development proposal related to upper-story setbacks, overall building height, retaining wall height, pedestrian entries, architectural features and retaining walls. The North Park Community Plan does not provide specific recommendations regarding these particular development requirements, except for encouraging upper-story setbacks to assist in addressing transitions and scale between new and existing development. The Project would include a 1' - 8" upper-story setback along side yard at the north elevation to allow for development of an elevator shaft and stairwell. The east elevation at the rear yard does not provide a setback, but provides offsets, balconies, window awnings, an open staircase and changes in wall color to break up the perceived mass of the wall and as a way to transition the building height from the development across the alley.

The deviation request for the proposed Project related to building height relates to the screening of mechanical equipment and the provision of photo-voltaic equipment. Along with the deviation request to the upper story setback, the height deviation request allows the project to cluster development to the north while preserving portions of the existing slope and undeveloped areas to the south. Consequently, allowing this deviation would enable the proposed Project to meet policies for screening rooftop equipment and encouraging sustainable development contained in the General Plan. Because of the topography of the site and the Project's proposal to cluster development on the developed/level portions of the property, pedestrian access is limited to one entry along Indiana Street. Although there is only a single pedestrian entry through the northwest portion of the Project, the entrance still provides a direct pedestrian access through a courtyard design to where the residences of the Project would be clustered. The community plan does not dictate the use of specific architectural features. As proposed the Project would incorporate horizontal vertical offsets, surface articulation, and other architectural features such as balconies, varying window arrangements, textures, and building materials to be compatible with the context of the surrounding neighborhood. Despite these deviations, as proposed, the Project would be consistent with the policies of North Park Community Plan, as well as with applicable Conservation Element policies contained in the General Plan, and therefore would not adversely impact the applicable land use plans.

Conclusion

Staff has reviewed the proposed Project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the Project (Attachments 5, 6 and 7) and draft conditions of approval (Attachments 8). Staff recommends the Hearing Officer approve the Project as proposed.

ALTERNATIVES

1. **Approve** Site Development Permit No. 1433238, Neighborhood Development Permit No. 1433237 and Easement Vacation No. 1433239, **with modifications.**
2. **Deny** Site Development Permit No. 1433238, Neighborhood Development Permit No. 1433237 and Easement Vacation No. 1433239, **if the findings required to approve the project cannot be affirmed.**

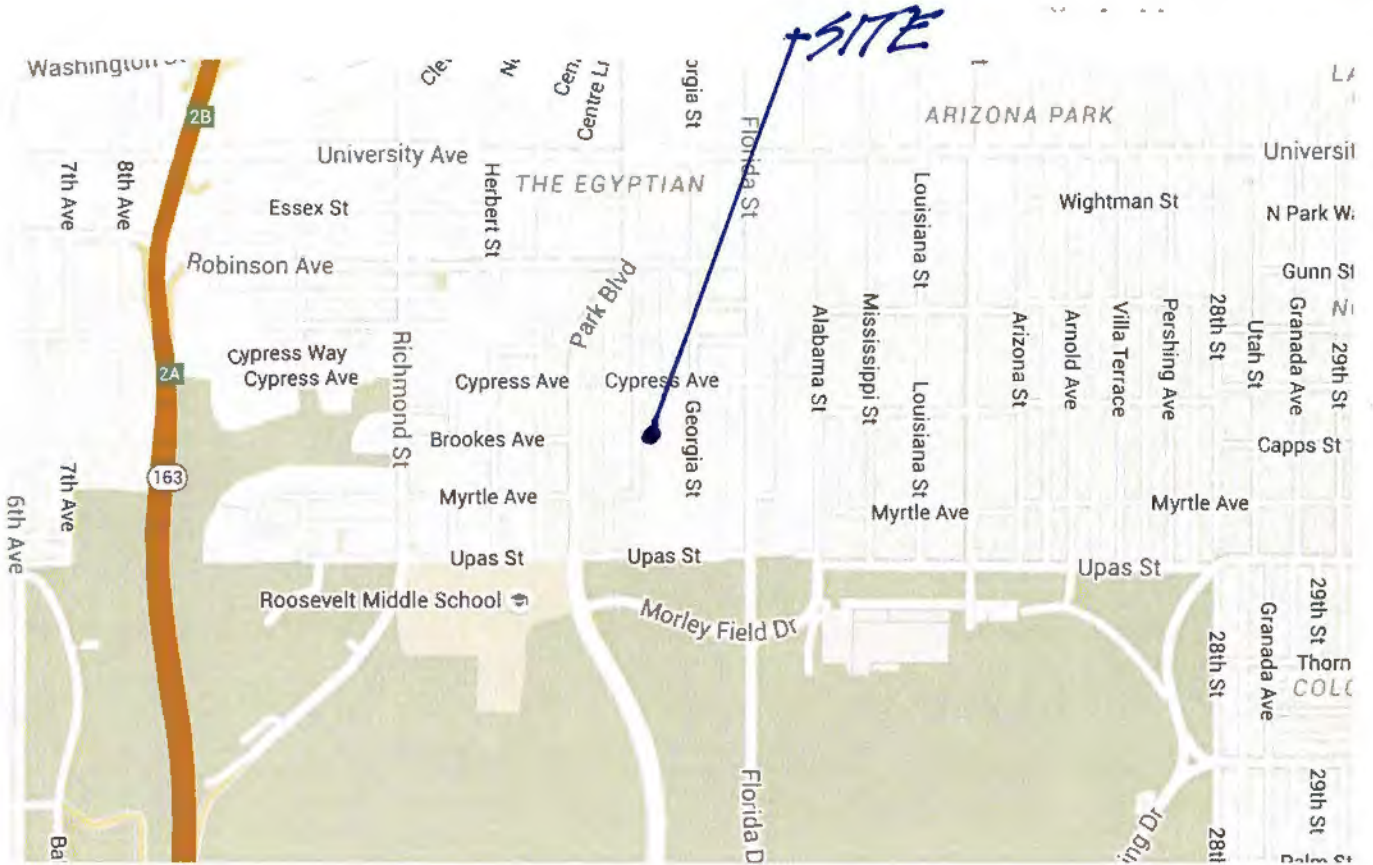
Respectfully submitted,



John S. Fisher
Development Project Manager
Development Services Department

Attachments:

1. Community Plan Land Use Map
2. Project Location Map
3. Aerial Photograph
4. Project Site Plan
5. Draft Environmental Resolution with MMRP
6. Draft Permit Resolution with Findings
7. Draft Easement Vacation Resolution
8. Draft Permit with Conditions
9. Remaining Project Plans
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement





**SITE*





CONSULTANT:

CONSULTANT STAMP:

ISSUE DATES:	DESCRIPTION:	DATE:
DEV. PERMIT SUBM.		11/06/2014
DEV. PERMIT RE-SUBM.		1/28/2015
BLD. PERMIT SUBM.		3/04/2015
DEV. PERMIT RE-SUBM.		4/17/2015
DEV. PERMIT RE-SUBM.		5/20/2015

GENERAL NOTES

- SITE PLAN NOTES
1. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEDIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FIRE NO. 12.1 (S.F.P.C. 901.4.4)
 2. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL, ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
 3. FOR PARKING ANALYSIS SEE SHEET T1.02, FOR PARKING LAYOUT SEE A2.01 AND A2.02 FLOOR PLANS
 4. THERE ARE NO PROPOSED NEW BUS STOPS IN THIS PROJECT. NEAREST EXISTING BUS STOP IS PARK BL & CYPRESS AV
 5. SEE SHEET A2.02 GROUND FLOOR PLAN FOR REFUSE AND RECYCLING AREAS
 6. TEMPORARY CONSTRUCTION TO PROTECT EXISTING HISTORIC BUILDINGS TO BE PROVIDED AS REQUIRED

SITE PLAN GRAPHICS LEGEND

----- HOSE PULL DISTANCE

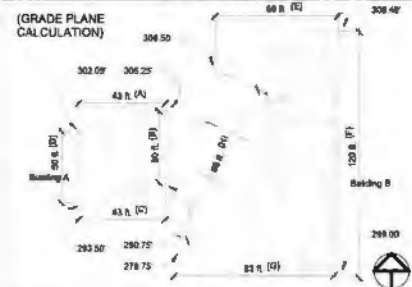
SITE PLAN KEYNOTES LEGEND

1. KNOR BOX PER FDS REQUIREMENTS
2. 8' 0" X 18' 0" ACCESSIBLE VAN SPACE WITH 8' 0" WIDE LOADING ZONE. SEE A2.02
3. SHOWING PER CIVL DRAWINGS, TYP
4. BUILDING ADDRESS NUMBERS PER FDS POLICY P-30.4
5. CLEAR 8' CHARGE AT GROUND LEVEL. STAIR ENTRY FOR FIRE ACCESS TO ROOF
6. TEMPORARY PROTECTIVE STRUCTURE FOR HISTORIC BUILDINGS
7. ADEQUATE NEIGHBORHOOD SERVING STREET LIGHT
8. WORKPOINT DIMENSION FROM NE PROPERTY CORNER TO GRID, INES "1" AND "3"
9. RETAINING WALL PER CIVL DRAWINGS

AVERAGE GRADE PLAN CALCULATION

(SIDE)	AVERAGE SIDE ELEVATION	WEIGHTED LENGTH
(SIDE)	PER METER	PER METER
(A)	$\frac{302.09 + 306.25}{2} = 304.17$	$\frac{42}{535} = 0.08$
(B)	$\frac{305.27 + 296.75}{2} = 296.50$	$\frac{86}{535} = 0.095$
(C)	$\frac{280.75 + 293.50}{2} = 287.13$	$\frac{43}{535} = 0.08$
(D)	$\frac{302.09 + 283.50}{2} = 292.80$	$\frac{50}{535} = 0.095$
(E)	$\frac{308.50 + 305.40}{2} = 306.45$	$\frac{60}{535} = 0.11$
(F)	$\frac{306.40 + 288.00}{2} = 302.70$	$\frac{120}{535} = 0.22$
(G)	$\frac{289.00 + 278.75}{2} = 283.88$	$\frac{83}{535} = 0.16$
(H)	$\frac{278.75 + 305.50}{2} = 292.13$	$\frac{86}{535} = 0.16$
$(304.17 \times 0.08) + (296.50 \times 0.095) + (287.13 \times 0.08) + (292.80 \times 0.095) + (306.45 \times 0.11) + (302.70 \times 0.22) + (283.88 \times 0.16) + (292.13 \times 0.16) =$		287.91'

KEY PLAN



1 SITE PLAN
 1" = 10' 0"



INDIANA STREET
 APARTMENTS
 3525 - 3535 Indiana Street
 San Diego, CA 92103

PROJECT NUMBER: 14023.00
 CLIENT: THE IRVING GROUP
 AGENCY: PTS #
 DRAWN BY:
 CHECKED BY:
 SHEET TITLE: SITE PLAN
 SHEET NUMBER:

A1.01

RESOLUTION NUMBER R-_____

ADOPTED ON _____

WHEREAS, on January 28, 2015, INDIANA STREET APARTMENTS #1, LLC submitted an application to Development Services Department for a Site Development Permit, Neighborhood Development Permit and Easement Vacation for the Indiana Street Apartments (Project); and

WHEREAS, the matter was set of a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on August 26, 2015; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 396980 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will

have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Department staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By:

John S. Fisher
Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM**

Site Development Permit No. 1433238,
 Neighborhood Development Permit No. 1433237 and
 Easement Vacation No. No. 1433239
 PROJECT NO. 396980

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 396980 shall be made conditions of Site Development Permit No. 1433238, Neighborhood Development Permit No. 1433237 and Easement Vacation No. 1433239 as may be further described below.

A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/MITIGATION REQUIREMENTS."
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website: <http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

- Qualified Biologist
- Qualified Archaeologist
- Qualified Native American Monitor
- Qualified Paleontologist

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, applicant t is also required to call **RE and MMC at 858-627-3360**

2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 396980 and/or Environmental Document Number 396980, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be

added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: **Not Applicable**

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

Note: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting

General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Biology	Biologist Limit of Work Verification	Limit of Work Inspection
Paleontology	Paleontology Reports	Paleontology Site Observation
Historical Resources	Archaeology Reports	Archaeology/Historic Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

BIOLOGICAL RESOURCES (RESOURCE PROTECTION DURING CONSTRUCTION)

To be utilized in conjunction with Biological Resources (General Bird) MMRP

I. **Prior to Construction**

- A. **Biologist Verification:** The owner/permittee shall provide a letter to the City's Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist (Qualified Biologist) as defined in the City of San Diego's Biological Guidelines (2012), has been retained to implement the project's biological monitoring program. The letter shall include the names and contact information of all persons involved in the biological monitoring of the project.
- B. **Preconstruction Meeting:** The Qualified Biologist shall attend the preconstruction meeting, discuss the project's biological monitoring program, and arrange to perform any follow up mitigation measures and reporting including site-specific monitoring, restoration or revegetation, and additional fauna/flora surveys/salvage.
- C. **Biological Documents:** The Qualified Biologist shall submit all required documentation to MMC verifying that any special mitigation reports including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per City Biology Guidelines, Multiple Species Conservation Program (MSCP), Environmentally Sensitive Lands Ordinance (ESL), project permit conditions; California Environmental Quality Act (CEQA); endangered species acts (ESAs); and/or other local, state or federal requirements.
- D. **Biological Construction Mitigation/Monitoring Exhibit:** The Qualified Biologist shall present a Biological Construction Mitigation/Monitoring Exhibit (BCME) which includes the biological documents in C above. In addition, include: restoration/revegetation plans, plant salvage/relocation requirements (e.g., coastal cactus wren plant salvage, burrowing owl exclusions, etc.), avian or other wildlife surveys/survey schedules (including general avian nesting and USFWS protocol), timing of surveys, wetland buffers, avian construction avoidance areas/noise buffers/ barriers, other

impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City ADD/MMC. The BCME shall include a site plan, written and graphic depiction of the project's biological mitigation/monitoring program, and a schedule. The BCME shall be approved by MMC and referenced in the construction documents.

- E. **Avian Protection Requirements:** To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the pre-construction survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City's MMC Section or RE, and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction.
- F. **Resource Delineation:** Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora & fauna species, including nesting birds) during construction. Appropriate steps/care should be taken to minimize attraction of nest predators to the site.
- G. **Education:** Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an on-site educational session regarding the need to avoid impacts outside of the approved construction area and to protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, and clarify acceptable access routes/methods and staging areas, etc.).

II. During Construction

- A. **Monitoring:** All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on "Exhibit A" and/or the BCME. The Qualified Biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas, or cause other similar damage, and that the work plan has been amended to accommodate any sensitive species located during the pre-construction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSV). The CSV shall be e-mailed to MMC on the 1st day of monitoring, the 1st week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.
- B. **Subsequent Resource Identification:** The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna onsite (e.g., flag plant specimens for avoidance during access, etc). If active nests or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species specific local, state or federal regulations have been determined and applied by the Qualified Biologist.

III. Post Construction Measures

- A. In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, ESL and MSCP, State CEQA, and other applicable local, state and federal law. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD/MMC within 30 days of construction completion.

BIOLOGICAL RESOURCES (RAPTORS / GENERAL BIRDS)

To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction (precon) survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the precon survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is

avoided. The report or mitigation plan shall be submitted to the City DSD for review and approval and implemented to the satisfaction of the City. The City's MMC Section or RE, and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction. If nesting birds are not detected during the precon survey, no further mitigation is required.

HISTORICAL RESOURCES (ARCHAEOLOGY)

I. Prior to Permit Issuance

- A. Entitlements Plan Check
 - 1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.
- B. Letters of Qualification have been submitted to ADD
 - 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
 - 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
 - 3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

- A. Verification of Records Search
 - 1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.

2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
 3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.
- B. PI Shall Attend Precon Meetings
1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
 2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
 3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock,

etc., which may reduce or increase the potential for resources to be present.

III. During Construction

A. Monitor(s) Shall be Present During Grading/Excavation/Trenching

1. The Archaeological Monitor shall be present full-time during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.**
2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.
3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.

B. Discovery Notification Process

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay

adjacent resources and immediately notify the RE or BI, as appropriate.

2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.

C. Determination of Significance

1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. **Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.**
 - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

- IV. **Discovery of Human Remains** – If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section

15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.

C. If Human Remains **ARE** determined to be Native American

1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:

- a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
- b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN,
- c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement on the site;
 - (3) Record a document with the County.
- d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.

D. If Human Remains are NOT Native American

- 1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
- 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
- 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

V. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract

1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries – In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVR and submit to MMC via fax by 8AM of the next business day.
 - b. Discoveries – All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV – Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.
 - c. Potentially Significant Discoveries – If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
 - B. If night and/or weekend work becomes necessary during the course of construction
 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 2. The RE, or BI, as appropriate, shall notify MMC immediately.
 - C. All other procedures described above shall apply, as appropriate.
- VI. Post Construction**
- A. Preparation and Submittal of Draft Monitoring Report
 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. **It should be noted that if the PI is unable to submit the**

Draft Monitoring Report within the allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.

- a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 4. MMC shall provide written verification to the PI of the approved report.
 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
 3. The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery

for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.

2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
 3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

PALEONTOLOGICAL RESOURCES

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons

involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.

2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored – Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur

- a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
- b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor Shall be Present During Grading/Excavation/Trenching
 1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
 3. The monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
 1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24

hours by fax or email with photos of the resource in context, if possible.

C. Determination of Significance

1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground- disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries – In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSVr and submit to MMC via fax by 8AM on the next business day.
 - b. Discoveries – All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries – If the PI determines that a potentially significant discovery has been made, the

procedures detailed under Section III - During Construction shall be followed.

- d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum – The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
 - 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.

2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

HEARING OFFICER RESOLUTION NO. HO-XXXX
SITE DEVELOPMENT PERMIT NO. 1433238 and
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1433237
INDIANA STREET APARTMENTS PROJECT NO. 396980 - [MMRP]

WHEREAS, INDIANA STREET APARTMENTS #1, LLC, Owner/Permittee, filed an application with the City of San Diego for a permit to vacate a portion of a drainage easement, preserve designated historic resource listed as HRB Site #1141, relocate three residences and two detached garages offsite and construct twenty-one residential apartment units, with deviations (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1433238 and 1433237) and associated improvements, on a 0.56 acre site;

WHEREAS, the project site is located at 3537 - 3547 Indiana Street in the MR-1000 zone in the Mid-City Communities Planned District in the Greater North Park Community Plan area;

WHEREAS, the project site is legally described as all of Lot 15 and the north thirteen feet of Lot 16, Block 251 of University Heights, according to amended Map thereof made by G.A. D'Hemecourt, in Book 8, Page 36 et seq. of Lis Pendens in the Office of the San Diego County Recorder and the south twelve feet of Lot 16, and all of Lots 17 through 21, Block 251 of University Heights, according to amended Map thereof made by G.A. D'Hemecourt, in Book 8, Page 36 et seq. of Lis Pendens in the Office of the San Diego County Recorder;

WHEREAS, on August 26, 2015, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1433238 and Neighborhood Development Permit No. 1433237 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated August 26, 2015.

FINDINGS:

Site Development Permit - Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will build three new apartments in one building and eighteen new apartments in a second building.

The Greater North Park Community Plan designates the 0.56 acre site for Medium High Residential use at a density range of 30-45 dwelling units per acre. Based on the area of the site 17 to 25 dwelling units would be allowed and the proposed density is within this range. The proposed Project will include the development of 21 rental units in addition to the preservation of two designated historic housing units on site. The site is located within Area 16 of the Housing Element of the community plan which is characterized with having a mixture of residential types where multi-family development is the predominant type. As proposed, the Project will implement the land use designation.

The objective of the Urban Design Element for preserving and restoring unique or historic structures within the community will be met by the Project through the preservation of the two existing designated historic bungalows on site. In accordance with the Urban Design Element, the new buildings will be sympathetic to the scale, form and texture of surrounding development and will not be of an exceptional height and bulk in comparison to existing structures. The buildings will be articulated and textured to reduce their apparent size and reflect the pattern of existing development.

The proposed Project will meet several policies of the Urban Design Element of the Greater North Park Community Plan by incorporating horizontal and vertical offsets, surface articulation, and other architectural features such as balconies, varying window arrangements, textures, and building materials to break up the perceived bulk and scale of the structure. Planted metal mesh screens, landscaping, and decorative screening will also be utilized to enhance the facades of the lower level parking structure. The Project incorporates varying buildings heights to help diminish the perceived scale of the overall Project and will maintain a two-story façade facing at street level adjacent to the existing single-story bungalows to emphasize a pedestrian scale along Indiana Street. Additionally, the Project steps down from the northeast corner of the Project site from four-stories to two-stories towards the lower elevations of the site, which follows the sloping topography.

In order to address guidelines for enhancing the public streetscape and pedestrian environment, street tree plantings associated with the Project will consist of Queen Palms, Jacarandas, and Sweet Shade Trees along Indiana Street where there are currently no street trees along the western side of the site. Although the Project is not located within community plan designated open space, the proposed Project utilizes the existing topography of the site by terracing the buildings, minimizing grading and clustering development in order to preserve the steeper portions of the site to the south as open space.

The Transportation Element of the community plan identifies a proposed Class III bicycle route within close proximity of the Project site along Park Boulevard. In order to facilitate and encourage bicycling associated with the Project, internal bicycle storage located on the ground floor level for tenants will be included. Parking will be provided below the street level of Indiana Street and will be accessed from the alley to the east (Crestwood Place) within an enclosed structure to meet the guideline of screening on-site parking and making parking less visible from the street and meeting the objective in the Transportation Element for the provision of adequate off-street parking.

The proposed Project will include several Project features that will meet recommendations found in the Conservation Elements of the community plan and the General Plan related to sustainable development. The Project will meet the recommendation of employing sustainable or green building techniques that will achieve greater energy efficiency and employ self-generation of energy using renewable technology by incorporating a rooftop photo-voltaic system that will generate 50 percent of the electrical design load of the development; designing each dwelling unit to allow natural ventilation and cross ventilation with properly shaded openings to reduce heat gain and allow maximum day-lighting; and incorporating a thermal chimney as part of the design of the Project to provide ventilation for the underground parking. In order to implement the recommendation of reducing construction and demolition waste, the Project will preserve two designated historic bungalows on site and relocate three existing housing structures and two garages from the Project site to be reconstructed as affordable housing offsite. Additionally, the Project will meet recommendations for sustainable landscape design by incorporating low-water plant species and for reducing the heat island effect by incorporating a white, single-ply membrane to reduce the contribution of heat build-up.

Several deviations are requested as part of the development proposal related to upper-story setbacks, overall building height, retaining wall height, pedestrian entries, and architectural features. The North Park Community Plan does not provide specific recommendations regarding these particular development requirements, except for encouraging upper-story setbacks to assist in addressing transitions and scale between new and existing development. The Project will include upper-story setbacks as a way to transition the building height and add interest to the roof line. The deviation request for the proposed Project related to building height relates to the screening of mechanical equipment and the provision of photo-voltaic equipment. Consequently, allowing the deviations will enable the proposed Project to meet policies for screening rooftop equipment and encouraging sustainable development contained in the General Plan. Because of the steep topography on portions of the site and the Project's proposal to cluster development on the more level portions of the property, pedestrian access is limited to one entry along Indiana Street. Although there is only a single pedestrian entry through the northwest portion of the Project, the entrance will provide a direct pedestrian access through a courtyard design to the residences. As proposed the Project will incorporate horizontal and vertical offsets, surface articulation, and other architectural features such as balconies, varying window arrangements, textures, and building materials to be compatible with the context of the surrounding neighborhood. Because of the steep topography on portions of the site and the Project's proposal to cluster development on the more level portions of the property, a deviation for the retaining wall in the rear yard setback is required at twelve feet where six feet is the maximum. The over-height retaining wall is necessary to facilitate the relocation of the storm drain, to provide a turn-around at the end of the alley and is necessary to complete the project. The retaining wall will not be readily visible from neighboring properties or the public right-of-way and will be screened by landscaping. Despite these deviations, as proposed, the Project will be consistent with the policies of North Park Community Plan, as well as with applicable Conservation Element policies contained in the General Plan, and therefore will not adversely impact the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare. The proposed Project has been designed to conform with the City of San Diego's codes, policies, and regulations whose primary focus is the protection of the public's health, safety and welfare. The Project is consistent with the Greater North Park Community Plan, the California Environmental Quality Act and the City's environmental regulations, landscaping and brush management requirements, the Fire Department's fire protection policies, water and sewer study recommendations and the City's affordable housing policies and regulations. In addition, prior to construction on the Project site, construction permit drawings will be reviewed to achieve conformance with all applicable construction codes to assure that structural, mechanical, electrical, plumbing, and access components of the project are designed to protect the public's health, safety and welfare. The Project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the project for this site contains specific conditions addressing the project compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require compliance with several operational constraints and development controls, the review of all construction plans by professional staff to determine construction will comply with all regulations and the inspection of construction to assure construction permits are implemented in accordance with the approved plans and the final construction will comply with all regulations. These requirements will assure the continued health, safety and general welfare of persons residing or working in the area. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code. While the Project complies with the majority of the development regulations of the applicable zone there are requested deviations relative to overall building height, side yard setbacks above the second story, rear yard setbacks above the second story, pedestrian entries, architectural features, and retaining wall height in the rear setback. The deviations are consistent with the purpose and intent of the Mid-Cities Community Planned District and Site Development Permit regulations and will allow a project design that is consistent with the existing developed character of the community than a project which might be required to strictly adhere to zoning regulations of the zone. More specifically the deviations are as follows:

The Project requires the approval of six deviations from the development regulations of the MR-1000 Zone of the Mid-Cities Community Planned District. These deviations are as follows:

<u>Deviation</u>	<u>MR-1000 Zone</u>	<u>Proposed</u>
• Overall building height	40' & 50'	43' & 54'
• Side setbacks above second story	3' per story to 15' max.	1'-8"
• Rear setbacks above the second story	7' per story to 14' max.	None
• Pedestrian entries	3	1
• Architectural features	5 of 10 required	2 provided
• Retaining wall height in rear setback	6 feet	12 feet

The deviation request to building height relates to the screening of mechanical equipment, the provision of roof-top photo-voltaic equipment, and to accommodate for grade changes. Along with the deviation request to the upper story setback, the height deviation request allows the project to cluster development to the north while preserving portions of the existing slope and undeveloped areas to the south. The majority of the building will observe the maximum allowable height.

The 1'-8" upper-story setback along the side yard at the north elevation allows for development of an elevator shaft and stairwell. The deviation occurs for a narrow portion of the building, while the remainder of the building and the two existing structures comply with the requirement. The east elevation at the rear yard does not provide a setback. The east and north elevations meet the intent of the setback requirement by providing offsets, balconies, window awnings, an open staircase and changes in wall color to break up the perceived mass of the wall and as a way to transition the building height from the development across the alley.

Because of the topography of the site and the Project's proposal to cluster development on the developed/level portions of the property, pedestrian access is limited to one entry along Indiana Street. Although there is only a single pedestrian entry through the northwest portion of the Project, the entrance will provide a direct pedestrian access through a courtyard design to the residences.

In regards to the Mid-City PDO architectural requirements, the project doesn't provide 5 of the required contemporary features, but has instead relied on architectural features that promote the intent, such as using vertical offsets instead of multiple pitched roofs, full height windows instead of clerestories, and entry door with integral glazing instead of a transom. The project also incorporates horizontal vertical offsets, surface articulation, and other architectural features such as balconies, varying window

arrangements, textures, and building materials to be compatible with the context of the surrounding neighborhood. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code. For additional information, refer to SDP Finding #2 above.

Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will build three new apartments in one building and eighteen new apartments in a second building. The Project avoids developing in the steepest areas of the site where the predominance of sensitive vegetation is present.

With the incorporation of the mitigation measures, the strategic use of retaining walls, and planting of slopes with native and drought tolerant plant materials, the Project will not result in the disturbance of environmentally sensitive lands and will not adversely affect environmentally sensitive lands. The conclusions of all the technical reports submitted by the applicant's consultants find the site is physically suitable for the type and density of the proposed development. The Owner/Permittee has agreed to all conditions in the Mitigation Monitoring and Reporting Program and the City will monitor compliance with these conditions. Therefore, the site is physically suitable for the type and density of the development.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will build three new apartments in one building and eighteen new apartments in a second building. The Project avoids developing in the steepest areas of the site where the predominance of sensitive vegetation is present.

The conclusions of all the technical reports submitted by the applicant's consultants find the site is physically suitable for the type and density of the proposed development. All impacts created by the Project will be mitigated at the appropriate ratios in accordance with the City's adopted Biology Guidelines. The conceptual grading design will avoid impacts to the steepest areas of the site and develop those areas previously disturbed by construction activities. The grading design will minimize the alteration of natural land forms. The landscape erosion control required for grading the site will protect the slopes from erosion. The geotechnical consultant will have input in the final grading design and construction to assure undue risks from geologic conditions will not exist. The risk from fire hazards will be reduced by the implementation of a brush management program and the requirements of the California Building Code Section 7A. All drainage will be directed to storm drains in a proper manner according to standards for civil engineering. Therefore, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands. The Indiana Street Apartments project (Project) proposes to

create twenty-three residential apartments by preserving the two existing designated historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will build three new apartments in one building and eighteen new apartments in a second building. The Project avoids developing in the steepest areas of the site where the predominance of sensitive vegetation is present.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project avoids developing in the steepest areas of the site where the predominance of sensitive vegetation is present. The site is not located within or adjacent to the MSCP Subarea Plan Multi-Habitat Planning Area. Therefore, the proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply. All stormwater runoff from the site after development and during construction will be contained in stormwater facilities designed to convey stormwater runoff at velocities low enough to avoid scouring impacts downstream. None of this runoff, which may contain some sediments or rock debris, will be at a velocity capable of creating erosion of public beaches or adversely impact local shoreline sand supplies due to the fact that there are no public beaches within seven miles of the site and San Diego bay is approximately four miles away. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Mitigation Monitoring and Reporting Program requires monitoring during construction for Biological Resources, Archaeology and Paleontological Resources. The biological resources mitigation is required to address the potential for birds and raptors. The requirements of the Mitigation Monitoring and Reporting Program are based on technical reports submitted specific to this site by the applicant's consultants which identified the presence or potential presence of raptor birds or native/migratory birds and the presence or potential of Archaeological or Paleontological resources. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by or which has the potential to be created by the proposed development.

Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings.

1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three

buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will include a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption in accordance with Council Policy 900-14. In addition to the on-site electrical generation system, the Project will include several sustainable building and operational features to achieve specific goals of the City's General Plan Conservation Element, as described in detail on the Exhibit "A" drawings.

2. The development will not be inconsistent with the purpose of the underlying zone. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. While the Project complies with the majority of the development regulations of the applicable zone there are requested deviations relative to overall building height, side yard setbacks above the second story, rear yard setbacks above the second story, pedestrian entries, architectural features, and retaining wall height in the rear setback. The deviations are consistent with the purpose and intent of the Site Development Permit regulations and will allow a project design that is consistent with the existing developed character of the community than a project which might be required to strictly adhere to zoning regulations of the zone. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code and will not be inconsistent with the purpose of the underlying MR-1000 zone in the Mid-City Communities Planned District which is to allow and provide for the development of multi-family development in keeping with the purpose and intent of the Mid-City Communities Planned District. For additional information, see SDP Findings #1, #2 and #3 above.

3. Any proposed deviations are appropriate for this location and will result in a more desirable project than will be achieved if designed in strict conformance with the development regulations of the applicable zone. While the Project complies with the majority of the development regulations of the applicable zone there are requested deviations relative to overall building height, side yard setbacks above the second story, rear yard setbacks above the second story, pedestrian entries, architectural features, and retaining wall height in the rear setback. The deviations are consistent with the purpose and intent of the Site Development Permit regulations and will allow a project design that is consistent with the existing developed character of the community than a project which might be required to strictly adhere to zoning regulations of the zone. The proposed deviations are appropriate for this location and will result in a more desirable project than will be achieved if designed in strict conformance with the development regulations of the applicable zone. For additional information, see SDP Finding #3 above.

Neighborhood Development Permit - Section 126.0404

1. The proposed development will not adversely affect the applicable land use plan. The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will build three new apartments in one building and eighteen new apartments in a second building.

The Greater North Park Community Plan designates the 0.55-acre site for Medium High Residential use at a density range of 30-45 dwelling units per acre. Based on the area of the site 17 to 25 dwelling units will be allowed. The proposed Project will include the development of 21 rental units in addition to the preservation of two historic housing units on site. The site is located within Area 16 of the Housing Element of the community plan which is characterized with having a mixture of residential types where

multi-family development is the predominant type. As proposed the, Project will implement the land use designation. Therefore, the proposed development will not adversely affect the applicable land use plan. For additional information, see SDP Finding #1 above.

2. **The proposed development will not be detrimental to the public health, safety, and welfare.** The Indiana Street Apartments project (Project) proposes to create twenty-three residential apartments by preserving the two existing historic bungalows, remove and relocate three buildings and two garages offsite and build twenty-one new apartments with deviations. The Project will build three new apartments in one building and eighteen new apartments in a second building. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare. For additional information, see SDP Finding #2 above.

3. **The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.** While the Project complies with the majority of the development regulations of the applicable zone there are requested deviations relative to overall building height, side yard setbacks above the second story, rear yard setbacks above the second story, pedestrian entries, architectural features, and retaining wall height in the rear setback. The deviations are consistent with the purpose and intent of the Site Development Permit regulations and will allow a project design that is consistent with the existing developed character of the community than a project which might be required to strictly adhere to zoning regulations of the zone. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code. For additional information, see SDP Finding #3 above.

Findings for Mid-City Communities Development Permit Approval - Section 1512.0204

1. **Conformance with Community Plan and Design Manuals.** The proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and the following documents, as applicable to the site: the Mid-City Community Plan, the Greater North Park Community Plan, the State University Community Plan, the Uptown Community Plan, the Mid-City Design Plan (California State Polytechnic University, Pomona; Graduate studies in Landscape Architecture; June, 1983), Design Manual for the Normal Heights Demonstration Area and the City Heights Demonstration Area (HCH Associates and Gary Coad; April, 1984), The Design Study for the Commercial Revitalization of El Cajon Boulevard (Land Studio, Rob Quigley, Kathleen McCormick), The North Park Design Study, Volume 1, Design Concept and Volume 2, Design Manual (The Jerde Partnership, Inc. and Lawrence Reed Moline, Ltd.), Sears Site Development Program (Gerald Gast and Williams-Kuebelbeck and Assoc.; 1987) and will not adversely affect the Greater North Park Community Plan, the Uptown Community Plan or the General Plan of the City of San Diego. The Greater North Park Community Plan designates the 0.56 acre site for Medium High Residential use at a density range of 30-45 dwelling units per acre. Based on the area of the site 17 to 25 dwelling units will be allowed. The proposed Project will include the development of 21 rental units in addition to the preservation of two designated historic housing units on site. The site is located within Area 16 of the Housing Element of the community plan which is characterized with having a mixture of residential types where multi-family development is the predominant type. As proposed, the Project will implement the land use designation.

The proposed Project will meet several policies of the Urban Design Element of the Greater North Park Community Plan. The objective of the Urban Design Element for preserving and restoring unique or

historic structures within the community will be met by the Project through the preservation of the two existing designated historic bungalows on site. The new buildings will be sympathetic to the scale, form and texture of surrounding development and the new buildings will not reach exceptional height and bulk in comparison to existing structures, large surfaces will be articulated and textured to reduce their apparent size and reflect the pattern of existing development. The Project will be consistent with the policies of Greater North Park Community Plan, as well as with applicable Conservation Element policies contained in the General Plan, and therefore will not adversely impact the applicable land use plans. For additional information, see SDP Findings #1 above.

2. Compatibility with surrounding development. The proposed development will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable. The Project is an infill development in an established neighborhood which is planned for and developed with multi-family and single family uses. The single family uses are typically older homes developed prior to the current land use designation of Medium High Residential by the Greater North Park Community Plan. The Project will preserve two designated historic structures on the site. The new buildings will be sympathetic to the scale, form and texture of surrounding development and the new buildings will not reach exceptional height and bulk in comparison to existing structures, large surfaces will be articulated and textured to reduce their apparent size and reflect the pattern of existing development. As such, the Project will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved to the greatest extent possible. For additional information, see SDP Findings #1 above.

3. No Detriment to Health, Safety and Welfare. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity. The proposed Project has been designed to conform with the City of San Diego's codes, policies, and regulations whose primary focus is the protection of the public's health, safety and welfare. The Project is consistent with the Greater North Park Community Plan, the California Environmental Quality Act and the City's environmental regulations, landscaping and brush management requirements, the Fire Department's fire protection policies, water and sewer study recommendations and the City's affordable housing policies and regulations. In addition, prior to construction on the Project site, construction permit drawings will be reviewed to achieve conformance with all applicable construction codes to assure that structural, mechanical, electrical, plumbing, and access components of the project are designed to protect the public's health, safety and welfare. The Project will not be detrimental to public health, safety and welfare in that the permit controlling the development and continued use of the project for this site contains specific conditions addressing the project compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require compliance with several operational constraints and development controls, the review of all construction plans by professional staff to determine construction will comply with all regulations and the inspection of construction to assure construction permits are implemented in accordance with the approved plans and the final construction will comply with all regulations. For additional information, see SDP Findings #2 above.

4. Adequate Public Facilities. For residential and mixed residential/commercial projects within the park-deficient neighborhoods shown on Map Number B-4104 that are not exempted by Section

1512.0203(b)(1)(A) or (B), the proposed development provides a minimum of 750 square feet of on-site usable recreational open space area per dwelling unit. The on-site usable recreational open space area shall not be located within any area of the site used for vehicle parking, or ingress and egress, and shall be configured to have a minimum of 10 feet in each dimension. The area will be landscaped and may also include hardscape and recreational facilities. The proposed Project is located at 3537 - 3547 Indiana Street which is less than 600 feet north of Balboa Park. According to SDMC Section 1512.0203(b)(1)(B) if a site is within 600 feet of a public park the requirement of useable recreational open space area per dwelling unit is met. Therefore, the proposed Project meets the required finding for adequate public facilities.

5. Adequate Lighting. In the absence of a street light within 150 feet of the property, adequate neighborhood-serving security lighting consistent with the Municipal Code is provided on-site. The existing neighborhood does not have any street lights within 150 feet of the property and the Project will provide adequate neighborhood-serving security lighting consistent with the regulations of the San Diego Municipal Code. The plans submitted by the applicant indicate adequate neighborhood-serving security lighting will be installed with the construction of the building closest to Indiana Street.

6. The proposed use will comply with the relevant regulations in the San Diego Municipal Code. While the Project complies with the majority of the development regulations of the applicable zone there are requested deviations relative to overall building height, side yard setbacks above the second story, rear yard setbacks above the second story, pedestrian entries, architectural features, and retaining wall height in the rear setback. The deviations are consistent with the purpose and intent of the Mid-Cities Community Planned District and Site Development Permit regulations and will allow a project design that is consistent with the existing developed character of the community than a project which might be required to strictly adhere to zoning regulations of the zone. Therefore, the proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code. For additional information, refer to SDP Finding #3 above.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. 1433238 and Neighborhood Development Permit No. 1433237 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1433238 and 1433237, a copy of which is attached hereto and made a part hereof.

John S. Fisher
Development Project Manager
Development Services

Adopted on: August 26, 2015

SAP No. 24005309

DRAFT

HEARING OFFICER RESOLUTION NUMBER HO-_____
DATE OF FINAL PASSAGE AUGUST 26, 2015

DRAINAGE EASEMENT VACATION NO. 1433239
A RESOLUTION SUMMARILY VACATING A PORTION OF
A DRAINAGE EASEMENT. PROJECT NO. 396980.

WHEREAS, California Streets and Highways Code section 8311 *et seq.* and San Diego Municipal Code section 125.1001 *et seq.* provide a procedure for the vacation of public service easements; and

WHEREAS, it is proposed that Drainage Easement No. 1433239, a portion of the easement granted per Document recorded July 20, 1927 in Book 1355, Page 163 of deeds lying within lots 21 and 22, be vacated; and

WHEREAS, the easement will be superseded by relocation and there will be no other public facilities located within the easement; and

WHEREAS, the easement will not contain active public utility facilities that would be affected by the vacation; and

WHEREAS, the matter was set for public hearing on August 26, 2015, testimony having been heard, evidence having been submitted, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Hearing Officer of the City of San Diego, that with respect to a drainage easement located at the terminus of Crestwood Place, a named alley, south of Robinson Avenue, the Hearing Officer finds that:

(a) There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated.

The easement was created to facilitate installation of a drain pipe to safely convey storm water runoff. However, as conditioned by this Resolution, prior to the recordation of the vacation, a new drainage easement will be dedicated to the City, and a new storm drain will be constructed. Once the new drainage facility is constructed within the new easement to the satisfaction of the City Engineer, the existing easement will have no prospective public use either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated and may be vacated.

(b) The public will benefit from the action through improved utilization of the land made available by the vacation.

The vacation of an unnecessary storm drain easement after relocation of the existing storm drain in a new easement and location to the satisfaction of the City Engineer will then facilitate the development of twenty-one apartments. The development of twenty-one apartments will provide additional housing opportunities in the community and the City. The public will benefit from the development of these new apartment units made possible by the relocation and construction of a new storm drain to the satisfaction of the City Engineer. The increase of housing units in the community will help people to find necessary housing, will increase the property taxes collected from this property which in turn will support the services the City and County of San Diego provides to the public. Therefore, the public will benefit from the action through improved utilization of the land made available by the vacation.

(c) The vacation is consistent with any applicable land use plan.

The Greater North Park Community Plan Land Use map identifies the site for Medium High Residential use at a density range of 30-45 dwelling units per acre. The site is within the Mid-Cities Communities Planned District and is zoned MCCPD-MR-1000 for multi-family development. The proposed Project will meet several policies of the Urban Design Element of the Greater North Park Community Plan. To cite a few of these policies, the objective of the Urban Design Element for preserving and restoring unique or historic structures within the community will be met by the Project through the preservation of the two existing historic bungalows on site and further, according to the Urban Design Element, new buildings should be made sympathetic to the scale, form and texture of surrounding development. While the vacation of the storm drain easement will not create the project, it will facilitate the project as proposed and the project as proposed cannot move forward without the vacation of the easement. In that the project is consistent with many policies contained in the Greater North Park Community

Plan, the vacation of an easement which will be replaced in a new alignment and location to the satisfaction of the City Engineer is consistent with any applicable land use plan.

(d) The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

The easement was created to facilitate installation of a drain pipe to safely convey storm water runoff. The project will relocate the existing storm drain in a new easement and location to the satisfaction of the City Engineer. Once the drainage facility is constructed within the new easement to the satisfaction of the City Engineer, the existing easement will have no prospective public use either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated and may be vacated. Therefore, the public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

BE IT FURTHER RESOLVED, that the drainage easement located within Crestwood Place, a named alley, south of Robinson Avenue in connection with Neighborhood Development Permit No. 1433237 and Site Development Permit No. 1433238, as more particularly described in the legal description marked as Exhibit "A," and shown on Drawing No. 38461-B, marked as Exhibit "B," which are by this reference incorporated herein and made a part hereof, is ordered vacated.

BE IT FURTHER RESOLVED, that said easement vacation is conditioned upon the relocation of the storm drain and dedication of a new easement, to the satisfaction of the City Engineer. In the event this condition is not completed within three years following the adoption of this resolution, then this resolution shall become void and be of no further force or effect.

BE IT FURTHER RESOLVED, that the Development Services Department shall record a certified copy of this resolution with attached exhibits in the office of the County Recorder.

By

John S. Fisher
Development Project Manager

DRAFT

Exhibit "A"
LEGAL DESCRIPTION
DRAINAGE EASEMENT VACATION

A portion of Lots 20 and 21, Block 251, University Heights, according to amended Map thereof made by G. A. D'Hemecourt, in Book 8 page 36 et. seq. of lis pendens, filed in the office of the County Recorder of San Diego County, said easement being six feet in width three feet on each side of the following described center line:

Beginning at a point on the east line of said Lot 20, distant 20 feet north from the southeast corner of said Lot 20; thence southwesterly on a direct line to a point on the south line of said Lot 21, distant 60 feet west from the southeast corner of said Lot 21.

Containing 0.010 acres more or less.

ATTACHED HERETO IS DRAWING NO. 38461-B LABELED EXHIBIT "B" AND BY THIS REFERENCE MADE A PART HEREOF.

Legal description prepared by:

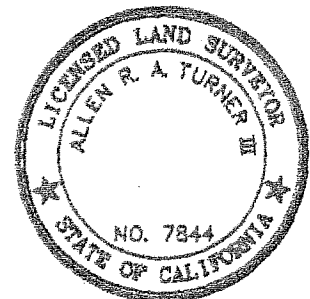
Kappa Surveying, Inc.

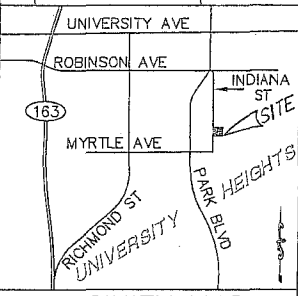
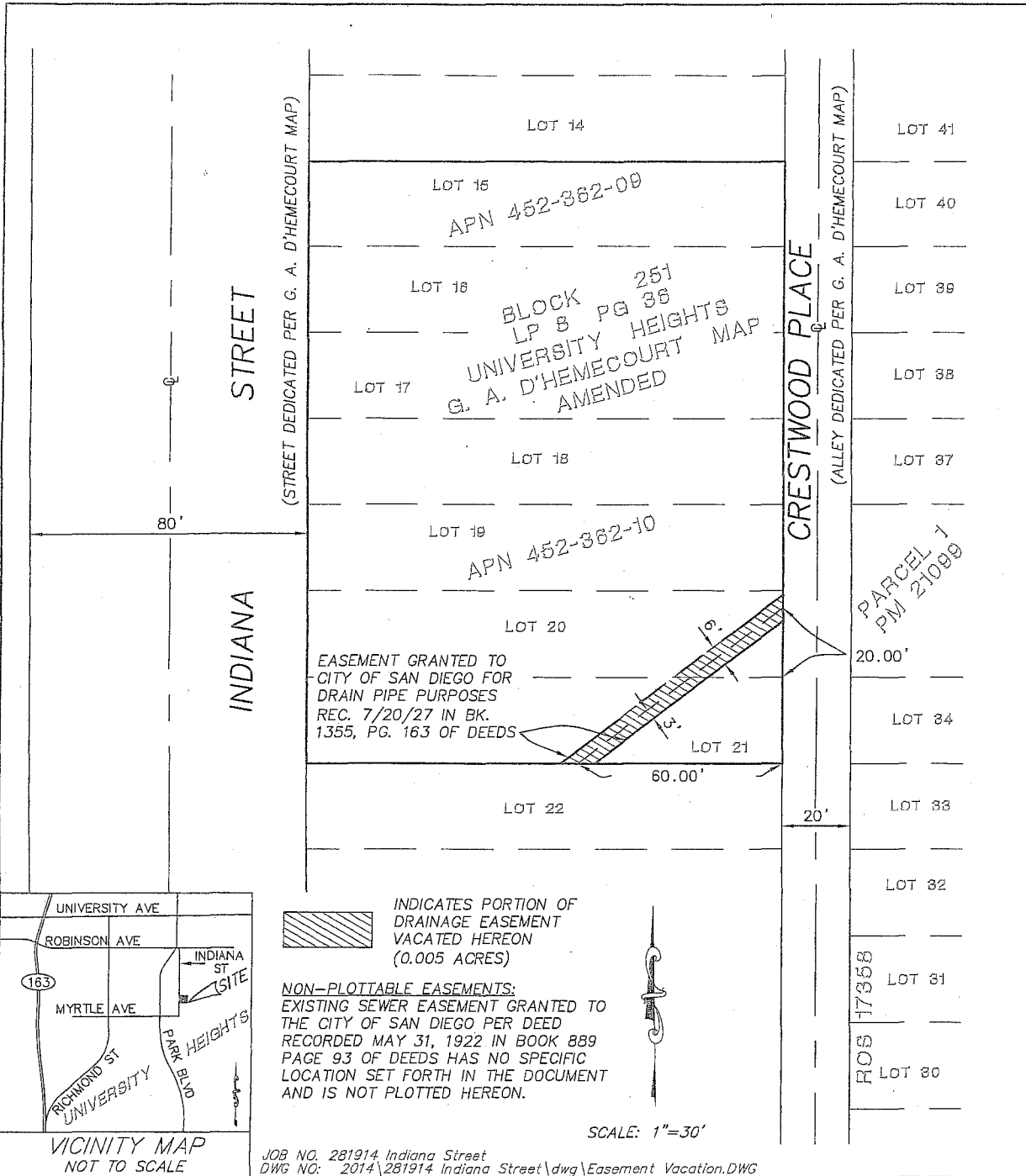
By:  date: May 15, 2015

Allen R. A. Turner III, PLS

Registration expires December 31, 2016

PTS. No. 396980





VICINITY MAP
NOT TO SCALE

JOB NO. 281914 Indiana Street
DWG NO. 2014\281914 Indiana Street\dwg\Easement Vacation.DWG

KAPPA SURVEYING & ENG.
8707 LA MESA BLVD.
LA MESA, CA 91942
(619) 465-8948

Allen R. A. Turner 5-15-15
ALLEN R.A. TURNER DATE
LS 7844



RESOLUTION No. _____

RECORDED _____

DOCUMENT No. _____

RECORDED _____

PARTIAL DRAINAGE EASEMENT VACATION
IN A PORTION OF LOTS 20 AND 21, BLOCK 251, LP 8 PG 36
ET. SEQ., UNIVERSITY HEIGHTS, G. A. D'HEMECOURT MAP

DESCRIPTION	BY	APPROVED DATE	FILMED	CITY OF SAN DIEGO, CALIFORNIA	PTS- 396980
ORIGINAL	KAPPA			SHEET 1 OF 1 SHEET	I.O- 24005309
				<i>Franklin R. Lopez</i> FOR CITY ENGINEER	1850-6283 CCS 83 COORDINATES
				3/11/15 DATE	210-1723 LAMBERT COORDINATES
				STATUS	38461-B

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005309

SITE DEVELOPMENT PERMIT NO. 1433238 and
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1433237
INDIANA STREET APARTMENTS - PROJECT NO. 396980
HEARING OFFICER

This Site Development Permit No. 1433238 and Neighborhood Development Permit No. 1433237 is granted by the Hearing Officer of the City of San Diego to INDIANA STREET APARTMENTS #1, LLC, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0504, 126.0404 and 1512.0203(b). The 0.56 acre site is located at 3537-3547 Indiana Street in the MR-1000 zone in the Mid-City Communities Planned District of the Greater North Park Community Plan area. The project site is legally described as all of Lot 15 and the north thirteen feet of Lot 16, Block 251 of University Heights, according to amended Map thereof made by G.A. D'Hemecourt, in Book 8, Page 36 et seq. of Lis Pendens in the Office of the San Diego County Recorder and the south twelve feet of Lot 16, and all of Lots 17 through 21, Block 251 of University Heights, according to amended Map thereof made by G.A. D'Hemecourt, in Book 8, Page 36 et seq. of Lis Pendens in the Office of the San Diego County Recorder.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to vacate a portion of a drainage easement, preserve two existing dwelling units designated historic resource listed as HRB Site #1141, relocate three residences offsite and two garages and construct twenty-one residential apartment units, with deviations, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 26, 2015, on file in the Development Services Department.

The project shall include:

- a. Vacate a portion of a drainage easement, preserve two existing dwelling units designated historic resource listed as HRB Site #1141, relocate three residences and

two detached garages offsite and construct twenty-one residential apartment units, with six deviations;

- b. The Project requires six deviations from the SDMC requirements of the MCCPD-MR-1000 Zone, specifically described as:

<u>Deviation</u>	<u>MR-1000 Zone</u>	<u>Proposed</u>
• Overall building height	40' & 50'	43' & 54'
• Side setbacks above second story	3' per story to 15' max.	1'-8"
• Rear setbacks above the second story	7' per story to 14' max.	None
• Pedestrian entries	3	1
• Architectural features	5 of 10 required	2 provided
• Retaining wall height in rear setback	6 feet	12 feet

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking; and
- e. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption in accordance with Council Policy 900-14; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 11, 2018.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee sign and return the Permit to the Development Services Department; and

- b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void,

challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 396980, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 396980, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Biology
Historical Resources (Archeology)
Paleontological Resources

AFFORDABLE HOUSING REQUIREMENT:

14. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

AIRPORT REQUIREMENT:

15. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520

ENGINEERING REQUIREMENTS:

16. The project proposes to export 3,100 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
19. Prior to the issuance of any building permits, the Owner/Permittee shall, by assure by permit and bond, to reconstruct the existing alley and proposed Public Turn Around Area as determined by the City Engineer, with current City Standards G-21 Concrete Pavement Alley Section, per approved Exhibit "A," to the satisfaction of the City Engineer.
20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond and As-built completion, the removal of the existing 12" CMP Public Storm Drain system and construction of a current City Standard Public Storm Drain system per approved Exhibit "A," adjacent to the site on Crestwood Place and in the City of San Diego Storm Drain Easement, satisfactory to the City Engineer.
21. Prior to the issuance of any building permits, the Owner/Permittee shall grant to the City a 15 foot wide storm drain easement, per Approved Exhibit "A," satisfactory to the City Engineer.
22. Whenever public easements are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the easement free and clear of all encumbrances and prior easements. The Owner/Permittee must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.
23. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private storm drain connection into the Public storm drain system.
24. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to reconstruct the damaged portions of the curb, gutter and sidewalk with current City Standard curb, gutter and sidewalk, maintaining the existing sidewalk scoring pattern and preserving any contractor's stamp, adjacent to the site on Indiana Street.

25. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
26. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
27. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
28. Prior to the issuance of any construction permit the Owner/Permittee shall incorporate and show the type and location of all post-construction Best Management Practices on the final construction drawings, consistent with the approved Water Quality Technical Report.

LANDSCAPE REQUIREMENTS:

29. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards and Stormwater Design Manual, to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A."
30. Prior to issuance of any engineering permits for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a forty square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
31. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A." Construction plans shall provide a forty square foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)5.
32. In the event a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A." These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'
33. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the

Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

34. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or “topping” of trees is not permitted unless specifically noted in this Permit.

35. If any required landscape, including existing or new plantings, hardscape, landscape features, et cetera, indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within thirty days of damage or Certificate of Occupancy.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

36. The Brush Management Program shall be based on a standard Zone One of 35 feet and Zone Two of 65 feet consistent with the Brush Management Regulations of the Land Development Code section 142.0412. Zone One shall extend out from the structure towards the native/naturalized vegetation for a distance of 35 feet with a corresponding Zone Two varying in width from 13 feet to 42 feet to the side and/or rear property lines. The balance of Zone Two shall be provided on adjacent properties in conjunction with existing development and shall be the responsibility of the adjacent property owner.

37. Prior to issuance of any engineering permits for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit “A.”

38. Prior to issuance of any building permits, a complete set of Brush Management Plans shall be submitted for approval to the Development Services Department. The construction documents shall be in substantial conformance with Exhibit “A” and shall comply with the Landscape Standards and Brush Management Regulations as set forth under Land Development Code Section 142.0412.

39. Within Zone One, combustible accessory structures, including, but not limited to decks, trellises, gazebos, et cetera, shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal’s approval.

40. The following note shall be provided on the Brush Management Construction Documents: “It shall be the responsibility of the Owner/Permittee to schedule a pre-construction meeting on site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program.”

41. Prior to final inspection and issuance of any Certificate of Occupancy, the approved Brush Management Program shall be implemented.

42. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

43. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

44. All signs associated with this development shall be consistent with sign criteria established by the City-wide sign regulations.

45. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

46. The Owner/Permittee shall maintain a minimum of no fewer than 28 parking spaces, including one accessible space, two motorcycle spaces and ten bicycle spaces on the property at all times in the approximate locations shown on Exhibit "A." All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department.

47. Prior to issuance of any building permit, the Owner/Permittee shall dedicate and assure by permit and bond construction of a turnaround area (approximately 26 feet by 13 feet) south of the garage entrance and west of the north/south alley, plus improving the alley for additional 10 feet south of it, and installing City standard barricades and signage at the south end of the alley in the approximate locations shown on Exhibit "A," satisfactory to the City Engineer.

MAPPING REQUIREMENTS:

48. Prior to the expiration of this permit, a Drainage Easement is to be granted and portions of the Drainage Easement granted per Document recorded July 20, 1927 in Book 1355, Page 163 of deeds lying within lots 21 and 22 are to be vacated.

49. Prior to recordation of the Quitclaim Deed for the vacation of the Drainage Easement, a new Drainage Easement is to be granted to the City of San Diego, satisfactory to the City Engineer.

50. Prior to recordation of the Quitclaim Deed for the vacation of the Drainage Easement granted per Document recorded July 20, 1927 in Book 1355, Page 163 of deeds, all facilities in the existing easement must be removed and relocated satisfactory to the City Engineer.

GEOLOGY REQUIREMENTS:

51. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

52. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and completion of the grading permit.

PUBLIC UTILITIES REQUIREMENTS:

53. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

54. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. Back flow prevention devices shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

55. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

56. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 26, 2015 by [Approved Resolution Number].

Neighborhood Development Permit No. 1433237
Site Development Permit No. 1433238
Date of Approval: August 26, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

John S. Fisher
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

INDIANA STREET APARTMENTS #1, LLC
Owner/Permittee

By _____
Tim Wright
General Partner

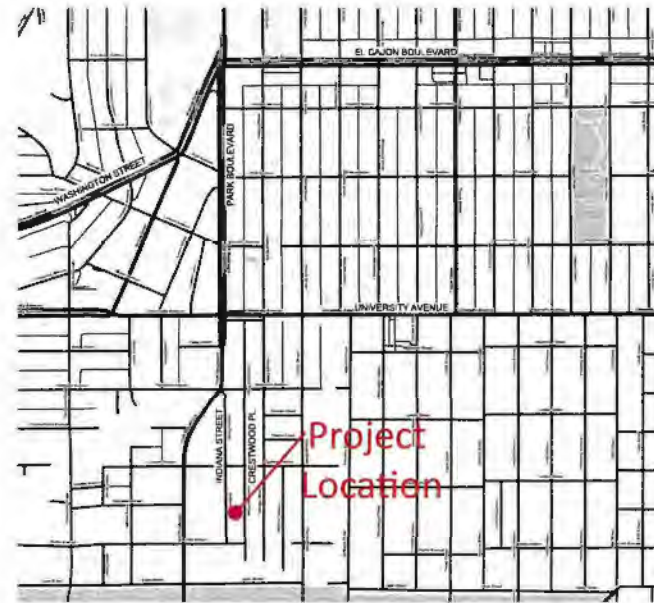
INDIANA STREET APARTMENTS #1, LLC
Owner/Permittee

By _____
Craig Irving
General Partner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



Table with 2 columns: ISSUE DATE, DESCRIPTION. Includes entries for DEV. PERMIT SUBM (11/06/2014), DEV. PERMIT RE-SUBM (1/28/2015), BLD. PERMIT SUBM (3/04/2015), DEV. PERMIT RE-SUBM (4/17/2015), and DEV. PERMIT RE-SUBM (5/20/2015).



INDIANA STREET APARTMENTS

3525-3535 INDIANA STREET SAN DIEGO, CA 92103-5201

DEVELOPMENT PERMIT SUBMITTAL

PTS# 396980



DEVELOPMENT SUMMARY

EXISTING USE: R-3 TYPE V8 CONSTRUCTION
PROPOSED USE: R-2, S-2B: TYPE VA CONSTRUCTION - S-2 PARKING, TYPE 1A CONSTRUCTION
ZONING CLASSIFICATION: MCCPD-MR-1000 MID-CITY COMMUNITY PLANNED DISTRICT
OVERLAY ZONES: GREATER NORTH PARK COMMUNITY PLAN AREA, TRANSIT AREA OVERLAY ZONE, AIRPORT INFLUENCE AREA - 80A REVIEW AREA 2
SITE AREA: 24,328 SF ± 284 SF DEDICATION FOR TURNAROUND + 24,034 SF
COVERAGE DATA: GROUND LEVEL FOOTPRINT: EAST BLDG INC. 5,489 SF (5,980 SF COVER COVERED PARKING), WEST BLDG INC. 1,805 SF, EXISTING BUILDINGS: 1,270 SF
TOTAL: 8,735 ± 300 PORTION OF BUILDING OVER COVERED PARKING EXC. UDED) = 3,435 SF
LOT COVERAGE: 3,435/24,034 = 14% MAX ALLOWED: 46%
FLOOR AREA RATIO (FAR) & GROSS FLOOR AREA (GFA): MAXIMUM FAR: 76 FAR (1512-030), BONUS PER 1512.030(3): EQUIV. ENT TO AREA OF ENCLOSED PARKING (1.0 FAR MAX BONUS) ENCLOSED PARKING AREA = 8,325/24,034 FAR BONUS: .35
ADJUSTED MAX. ALLOWED FAR: 75 + .35 = 75.35
GFA PER SDMC 1512.030(2) ENCLOSED PARKING MAY BE EXCLUDED FROM FAR CALCULATION:

PARKING ANALYSIS (PER 142.0525)

Table with columns: UNIT TYPE, # UNITS, PARKING (REQUIRED, PROVIDED, MOTORCYCLE, BICYCLE). Rows include 1 Bedroom or Studio over 400 SF, 2 Bedroom, and TOTAL.

NEIGHBORHOOD DEVELOPMENT PERMIT IS BEING PROCESSED TO COLLECT TAKEN PARKING AS SEPARATE SPACES FOR THE SAME UNIT EVEN THOUGH THIS SITE DOES NOT LIE IN THE TANDEM PARKING OVERLAY ZONE. REF: SDMC 132.0905(A)(5) AND 128.0402(h)

GOVERNING CODE

- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA ENERGY CODE, TITLE 24
- 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE
- FEDERAL HOUSING ACT
- SAN DIEGO MUNICIPAL CODE
- SAN DIEGO HISTORIC RESOURCES REGULATIONS (SDMC 142.0210)

PROJECT DATA

PROJECT NAME: INDIANA STREET APARTMENTS
PROJECT ADDRESS: 3525-3535 INDIANA STREET, SAN DIEGO, CA 92103-5201
APR: PARCEL 1: 452-362-05-00, PARCEL 2: 452-362-10-00
LEGAL DESCRIPTION: PARCEL 1: ALL OF LOT 15 AND THE NORTH 15 OF LOT 16 IN BLOCK 251 OF UNIVERSITY HEIGHTS IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE AMENDED MAP THEREOF MADE BY G.A. HEMECOURT, IN BOOK 8, PAGE 38 ET SEQ. OF LIS PENDENS IN THE OFFICE OF SAN DIEGO COUNTY RECORDER.
PARCEL 2: THE SOUTH 12 OF LOT 18 AND ALL OF LOTS 17, 18, 19, 20, 21 IN BLOCK 251 OF UNIVERSITY HEIGHTS IN THE CITY OF SAN DIEGO, IN THE COUNTY OF SAN DIEGO, IN THE STATE OF CALIFORNIA, ACCORDING TO THE AMENDED MAP THEREOF MADE BY G.A. HEMECOURT, IN BOOK 8, PAGE 38 ET SEQ. OF LIS PENDENS IN THE OFFICE OF SAN DIEGO COUNTY RECORDER.
DRAINAGE EASEMENT VACATION: A PORTION OF LOTS 20 AND 21, BLOCK 251, UNIVERSITY HEIGHTS, ACCORDING TO AMENDED MAP THEREOF MADE BY G.A. HEMECOURT, IN BOOK 8, PAGE 38 ET SEQ. OF LIS PENDENS, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SAID EASEMENT BEING SIX FEET IN WIDTH AND THREE FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTER LINE BEGINNING AT A POINT ON THE EAST LINE OF SAID LOT 20, DISTANCE 20 FEET NORTH FROM THE SOUTHEAST CORNER OF SAID LOT 20; THENCE SOUTH-WESTERLY ON A DIRECT LINE TO A POINT ON THE SOUTH LINE OF SAID LOT 21, DISTANCE 60 FEET WEST FROM THE SOUTHWEST CORNER OF LOT 21; EXCEPTING THAT PORTION OF THE ABOVE DESCRIBED EASEMENT AND RIGHT OF WAY LYING WITHIN SAID LOT 21, CONTAINING 0.005 ACRES MORE OR LESS.

PROJECT BACKGROUND

PROPERTY HAS NOT BEEN IMPROVED SINCE THE 1980s. IT CURRENTLY HAS 58 DWELLING UNITS THAT HAS BEEN USED FOR RENTAL HOUSING. THIS PROJECT PRESERVES 2 OF 5 EXISTING UNITS, WHICH ARE IN THE PROCESS OF HISTORICAL DESIGNATION.

SUSTAINABLE DESIGN FEATURES

REMOVAL OF EXISTING STRUCTURES: EXISTING STRUCTURES TO BE REMOVED FROM SITE AND RE-PURPOSED FOR LOW-INCOME HOUSING RATHER THAN DEMOLISHED AND TAKEN TO THE LANDFILL. THIS WILL ADD TIME TO THE PROJECT SCHEDULE BUT IS CONSIDERED HIGH IMPORTANCE BY THE PROJECT TEAM. (CE A 8.8)
OTHER SUSTAINABLE DESIGN FEATURES: ROOF TOP PHOTOVOLTAIC SYSTEM TO GENERATE 50% OF ELECTRICAL DESIGN LOAD CONSISTENT WITH THE REQUIREMENTS OF THE SUSTAINABLE BUILDING EXPEDITE PROGRAM AND COUNCIL POLICY 905-14. (CE A.3)
EACH UNIT IS DESIGNED TO ALLOW ADEQUATE NATURAL VENTILATION AND CROSS VENTILATION TO REDUCE COOLING LOADS AND ENCOURAGE NIGHT FRESH COOLING. (CE A.9)
OPENINGS ARE PROPERLY SHADDED TO REDUCE HEAT GAIN DURING THE SUMMER AND ALLOW MAXIMUM DAYLIGHTING DURING THE WINTER. (CE A.9)
THERMAL CHIMNEY PROPOSED FOR NATURAL VENTILATION TO ASSIST VENTING OF UNDERGROUND PARKING.
ALTHOUGH THE PROJECT WILL NOT SEEK LEED CERTIFICATION, IT WILL BE DEVELOPED CONSISTENT WITH LEED SILVER STANDARDS. (CE A.8)
CFC BASED REFRIGERANTS WILL NOT BE USED. (CONFORM WITH MECHANICAL). (CE A.7)
LOW VOC OR ZERO VOC PRODUCTS WILL BE SELECTED WHEN POSSIBLE TO IMPROVE INDOOR AIR QUALITY. (CE A.7)
WHEN POSSIBLE, MATERIALS WITH HIGH RECYCLED CONTENT WILL BE SELECTED. (CE A.9)
ON SITE SPACE WILL BE PROVIDED FOR REUSE AND RECYCLING STORAGE EXCEEDING SDMC REQUIREMENTS. (CE A.10)
LOW-WATER PLANT SPECIES WILL BE USED FOR SITE LANDSCAPING. (CE A.11)
A WHITE, SINGLE PLY ROOF MEMBRANE WILL BE USED TO MINIMIZE THE CONTRIBUTION TO THE URBAN HEAT ISLAND EFFECT. (CE A.12)
BIOLOGICALLY SENSITIVE AREAS IDENTIFIED ON THE PROJECT ARE LIMITED TO AN OAK WOODLAND AREA ALONG THE SOUTH PROPERTY LINE WHERE DEVELOPMENT AND DISTURBANCE WILL BE MINIMAL. THE ONLY PROPOSED DISTURBANCE WITHIN THIS AREA IS TO REPAIR THE EXISTING STORM DRAIN LINE AT THE REQUEST OF THE CITY OF SAN DIEGO.
LOW WATER USE PLUMBING FIXTURES WILL BE USED ON THIS PROJECT.
MANUAL DIMMING OF LIGHTING WITHIN UNITS WILL BE PROVIDED TO REDUCE POWER CONSUMPTION.

PROJECT DIRECTORY

OWNER: THE IRVING GROUP
4800 N. HARBOR DRIVE, SUITE 304
SAN DIEGO, CA 92106
619 222 8084
1118 HARBOR
THEIRVINGGROUP.COM
CONTACT:
ARCHITECT: AVRP STUDIOS
700 14TH STREET, SUITE 210
SAN DIEGO, CA 92101
(619) 704 2700
PAUL DAVIS
PDAVIS@AVRPSTUDIOS.COM
CONTACT:
SURVEYOR: CREMELLE SURVEYING, INC.
144 S. ESCONDIDO BLVD
ESCONDIDO, CA 92525
(760) 498 225
CHRIS D. CREMELLE
CD@SURVEYINGGLOBAL.NET
CONTACT:
GEOTECHNICAL/ SOILS ENGINEER: MURRBACH GEOTECH
3100 N EVERGREEN STREET
SAN DIEGO, CA 92119
(619) 322 0284
MONTE MURRBACH
MONTE@MURRBACH@GMAIL.COM
CONTACT:
ENTITLEMENT/ PERMITTING: STROM ENTITLEMENT/PERMIT
3700 CARL BRAD VILLAGE DR.
SUITE 100A-74
CARLSBAD, CA 92008
(858) 876 7955
TERRY STROM
TERRY@STROMSTROM.COM
CONTACT:
SHORING ENGINEER: GARTH SUPPORT SYSTEMS, INC.
6527 DAWN VILLAGE DR., SUITE 105
CARLSBAD, CA 92008
MICHAEL JORDAN
PJORDAN@GARTHSYSTEMS.COM
CONTACT:
STRUCTURAL ENGINEER: DODD & ASSOCIATES
2095 HANCOCK STREET, STE. B
SAN DIEGO, CA 92110
619 205 0627
JESSE MORSA
JESSE@DODDANDASSOC.COM
CONTACT:
CIVIL ENGINEER: FLOREZ ENGINEERING, INC.
CHARBONO TERRACE
SAN DIEGO, CA 92121
658 229 2483
FRANK FLOREZ
FRANK@FLOREZ-ENGINEERING.COM
CONTACT:
MECHANICAL/ ELECTRICAL/ PLUMBING ENGINEER: T-SQUARED PROF. ENG. INC.
1345 SPECIALTY DRIVE, SITE E
VISTA, CA 92081
(760) 540 0100
EDD@T2SQUARED.COM
CONTACT:
ENVIRONMENTAL: RECON ENVIRONMENTAL, INC.
1927 FIFTH AVENUE
SAN DIEGO, CA 92101
(619) 308-8333 x111
BETH PROCCAL
BPROCCAL@RECONENVIRONMENTAL.COM
CONTACT:
UTILITY CONSULTANT: UTILITY SPECIALISTS
4408 MERRILL ROAD
SAN DIEGO, CA 92117
(619) 561 2820
SCOTT@UTILITIESPECIALISTS.COM
CONTACT:

SHEET INDEX

Table listing sheet titles and numbers: GENERAL (T1.01, T1.02, T1.03), CIVIL (C1, C2), ARCHITECTURAL (A1.01, A1.02, A1.03, A1.04, A1.05, A1.06, A1.07, A1.08, A1.09, A1.10, A1.11, A1.12), LANDSCAPE (L1.00, L1.01, L1.02, L1.03, L1.04, L1.05, L1.06, L1.07, L1.08, L1.09, L1.10).

SCOPE OF WORK

REMOVE 5 EXISTING ONE-STORY WOOD STRUCTURES AND TWO DETACHED GARAGES. SCOPE IS TO REMOVE RATHER THAN DEMOLISH STRUCTURES WILL BE HANDED AWAY IN SECTIONS AND RECONSTRUCTED AS LOW-INCOME HOUSING.
CONSTRUCT 2 TYPE VA WOOD FRAME APARTMENT BUILDINGS. THE SMALLER BUILDING WILL FRONT INDIANA STREET, IS SET OPPOSITE THE TWO EXISTING BUILDINGS (TO BE PRESERVED) AND WILL CONTAIN 3 UNITS. THIS BUILDING WILL COMPLETE THE BUNGALOW COURT WHICH BEGAN WITH THE CONSTRUCTION OF THE TWO PRESERVED BUILDINGS.
THE LARGER BUILDING IS SET TO THE EAST SIDE OF THE PROPERTY ADJACENT THE ALLEY AND CONTAINS 18 UNITS OVER SUBTERRANEAN PARKING.
THE PROJECT WILL USE LOT 15 TO THE TWO PARCELS CAN BE DEVELOPED AS ONE.
THE EXISTING STORM DRAIN EASEMENT FROM THE END OF THE ALLEY (CRESTWOOD P.) TO THE SOUTH PROPERTY LINE WILL BE VACATED AND A NEW 16" WIDE STORM DRAIN EASEMENT WILL BE CREATED FROM THE TURNAROUND, TO BE PROVIDED AT THE END OF THE ALLEY, TO THE SOUTH PROPERTY LINE TO CONNECT TO THE REMAINING PORTION OF THE EXISTING STORM DRAIN EASEMENT ON THE ADJACENT PROPERTY TO THE SOUTH.

REQUIRED APPROVALS/FINDINGS

EASEMENT VACATION:
SITE DEVELOPMENT PERMIT AND CITY COMMUNITY DEVELOPMENT PERMIT.
NEIGHBORHOOD DEVELOPMENT PERMIT:
CONSISTENT WITH THE REQUIREMENTS OF COUNCIL POLICY 905-14, THIS PROJECT WILL PROVIDE 80% OF THE PROJECTED ENERGY USE WITH AN ENERGY PV SYSTEM.

REQUESTED DEVIATIONS

SETBACKS: SIDE AND REAR: SIDE AND REAR SETBACKS ARE PROVIDED PER TABLE 1512.030E. A DEVIATION IS REQUESTED NOT TO PROVIDE THE ADDITIONAL SETBACKS ABOVE THE SECOND STORY PER 1512.030E (1)(4)(B) ON THE NORTH AND EAST ELEVATIONS. A SHADING STUDY HAS BEEN PROVIDED (T1.04) WHICH SHOWS THE IMPACT OF THE BUILDING HEIGHTS ON ADJACENT STRUCTURES. THE DEVIATION IS DIAGRAMMED ON THE ELEVATIONS WHERE IT OCCURS.
OVERALL BUILDING HEIGHT: A DEVIATION IS REQUESTED TO ALLOW MECHANICAL EQUIPMENT AND SCREENING (PARAPET), AND SUSTAINABLE DESIGN FEATURES (PV PANELS) TO EXCEED THE MAXIMUM ALLOWED BUILDING HEIGHT PER TABLE 1512.030F. THE DEVIATION IS INDICATED ON THE ELEVATIONS WHERE IT OCCURS.
**THE DESIGN MINIMIZES THE MASSING ALONG INDIANA STREET ADJACENT TO THE HISTORIC BUNGALOWS. LEAVES THE VIEW INTO THE SLOPED PORTION OF THE SITE OPEN ALONG INDIANA STREET, AND THE MASSING STEPS BACK FROM THE CANYON. THIS CONCENTRATES THE MAJORITY OF THE MASSING ON THE NORTH AND EAST PORTIONS OF THE SITE.
PEDESTRIAN ENTRIES: SDMC 1512.0303(i) REQUIRES AT LEAST ONE PEDESTRIAN ENTRY FROM THE STREET PER 50 LINEAR FEET OF STREET WALL FRONTAGE FACING THE PROPERTY. LINE. A DEVIATION IS REQUESTED DUE TO THE TOPOGRAPHY OF THE SITE TO PROVIDE ONLY ONE PEDESTRIAN ENTRY ALONG THE APPROX. 175' FRONTAGE OF INDIANA STREET. THE ONLY FEASIBLE PEDESTRIAN ENTRY ALONG INDIANA STREET IS AT THE NORTHWEST PORTION OF THE SITE SOUTH OF THE HISTORIC BUNGALOW WHICH IS CONSISTENT WITH THE DESIGN INTENT OF COMPLETING THE BUNGALOW COURT FROM THAT POINT SOUTH, THE TERRAIN SLOPES INTO THE CANYON TOO STEEPLY TO ALLOW ACCESS. REF: A1.01
ARCHITECTURAL FEATURES: SDMC 1512.0304(W)(1) (CONTEMPORARY SE. ECTED) REQUIRES 5 FEATURES FROM THE LIST OF 10. THE PROJECT REQUESTS A DEVIATION TO COMPLY WITH THE INTENT OF THE LIST WITHOUT COMPLYING WITH THE STRICT LETTER OF THE SDMC AS FOLLOWS:
(A) MULTIPLE PITCHED ROOFS: THE PROJECT ROOF HAS MULTIPLE STEPS IN THE ROOF PROFILE CREATING AN INTERESTING AND DYNAMIC FORM EVEN THOUGH ROOFS ARE NOT PITCHED.
(C) A MINIMUM OF ONE CRESTED ROOF WITHIN 50 FEET OF STREET ELEVATION. PROJECT PROVIDES FULL HEIGHT WINDOWS RATHER THAN STANDING PITCHED WINDOWS ACCENTED BY A SEPARATE CEILING.
(E) A MINIMUM OF ONE TRANSOM WINDOW. THE PROJECT PROVIDES 8' TALL ENTRY DOORS WITH INTEGRAL GLAZING. THIS IS CONSISTENT WITH THE INTENT OF PROVIDING A TRANSOM LIKE ABOVE A STANDARD DOOR AND IS MORE CONSISTENT WITH THE DESIGN OF THE PROJECT.
THE PROJECT COMPLIES WITH (F) PROVIDING AN ENTRY PORCH AND (H) PLANTED WALL-MOUNTED LATTICE WHICH IS USED ON BOTH BUILDINGS A AND B.
HEIGHT OF RETAINING WALL IN REAR SETBACK:
THE RETAINING WALLS AT THE ALLEY TURN AROUND ARE HIGHER THAN 6" WITHIN THE 1' REAR SETBACK.**

FAA NO HAZZARD

DO HEREBY CERTIFY THAT THE STRUCTURE(S) OR MODIFICATION TO EXISTING STRUCTURE(S) SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 71.15 (A) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED.



CLIENT

INDIANA STREET APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBER: 14023 00
CLIENT: AVRP STUDIOS
AGENCY: PTS #
DRAWN BY: [Name]
CHECKED BY: [Name]
SHEET TITLE:

TITLE SHEET

SHEET NUMBER

T1.01

Historical Resources Board

Historical Resources Board... The City of San Diego... The Board is composed of seven members...

ADDITIONAL INFORMATION FROM DEVELOPMENT PERMIT SUBMITTAL

SUSTAINABLE DESIGN FEATURES
REMOVAL OF EXISTING STRUCTURES
EXISTING STRUCTURES TO BE REMOVED FROM SITE AND RE-PURPOSED FOR LOW-INCOME HOUSING...

DEFERRED SUBMITTALS UNDER SEPARATE BUILD-OUT PERMIT

DEFERRED SUBMITTAL(S) SHALL BE PROVIDED FOR THE FOLLOWING BUILDING COMPONENTS / ELEMENTS
STEEL STAIRS
FIRE SPRINKLERS
1. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR REVIEW AND APPROVAL...

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT FOR CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO, ORDER NO. 8003081, NPDES...
THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF ALL SILT AND MUD ON ADJACENT STREETS...

ABBREVIATIONS

Table with 4 columns of abbreviations and their corresponding full names. Includes terms like ABV, ACU, ADJ, ALUM, ANOD, ARCH, B, BO, BLK, BLDG, BM, BPC, BRG, BUIR, CAB, C, CEMENT, CER, CIP, CL, CLD, CLF, CLM, CLP, CLS, CLT, CLU, CLV, CLX, CLY, CLZ, CL1, CL2, CL3, CL4, CL5, CL6, CL7, CL8, CL9, CL10, CL11, CL12, CL13, CL14, CL15, CL16, CL17, CL18, CL19, CL20, CL21, CL22, CL23, CL24, CL25, CL26, CL27, CL28, CL29, CL30, CL31, CL32, CL33, CL34, CL35, CL36, CL37, CL38, CL39, CL40, CL41, CL42, CL43, CL44, CL45, CL46, CL47, CL48, CL49, CL50, CL51, CL52, CL53, CL54, CL55, CL56, CL57, CL58, CL59, CL60, CL61, CL62, CL63, CL64, CL65, CL66, CL67, CL68, CL69, CL70, CL71, CL72, CL73, CL74, CL75, CL76, CL77, CL78, CL79, CL80, CL81, CL82, CL83, CL84, CL85, CL86, CL87, CL88, CL89, CL90, CL91, CL92, CL93, CL94, CL95, CL96, CL97, CL98, CL99, CL100.

avp studios logo and contact information. Includes address: 1201 K St., San Diego, CA 92101. Phone: 619.441.2209. Website: www.avpstudios.com.

Table with 2 columns: ISSUE DATES and DESCRIPTION. Lists dates and descriptions for DEV. PERMIT SUBM, DEV. PERMIT RE-SUBM, BLD. PERMIT SUBM, BLD. PERMIT RE-SUBM, and DEV. PERMIT RE-SUBM.

INDIANA STREET APARTMENTS 3525 - 3535 Indiana Street San Diego, CA 92103. Includes logo for THE IRVING GROUP.

RELATED PERMITS

Table with 4 columns: RELATED PERMITS, PTS, STATUS, and DESCRIPTION. Lists various permits like DEVELOPMENT PERMIT, CITY OF SAN DIEGO BUILDING PERMIT, and PUBLIC IMPROVEMENTS (GRADING).

BASIS FOR STRUCTURAL DESIGN

Table with 2 columns: DESIGN LOADS and BASIS FOR STRUCTURAL DESIGN. Lists design loads like DEAD, LIVE, WIND, and seismic criteria.

ALTERNATE DESIGNS

Table with 2 columns: NOVE and CABLE. Lists alternate design options.

ADDITIONAL INFORMATION

CHECK EACH APPLICABLE OPENLY ZONE
A. AIRPORT APPROACH
B. AIRPORT OBSTRUCTIONS
C. AIRPORT AIR VEHICLE AREAS
D. COASTAL
E. COASTAL HEIGHT LIMIT
F. SENSITIVE COASTAL
G. MOBILE HOME PARK
H. PARKING IMPACT
I. RESIDENTIAL TANGENT PARKING
J. TRANSIT AREA
K. URBAN WILDLIFE
L. MISSION TRAIL DESIGN DISTRICT
M. DUNSMUIR MESA HEIGHT LIMIT
N. COMMUNITY PLAN IMPLEMENTATION

NOTICE TO THE APPLICANT / CONTRACTOR

NOTICE TO THE APPLICANT/CONTRACTOR'S AGENT ARCHITECT OR ENGINEER OF RECORD: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.

SPECIAL INSPECTION & OFF-SITE FABRICATION

SPECIAL INSPECTION: YES/NO
SPECIAL INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:
1. SPECIAL INSPECTION SHALL BE PROVIDED FOR THE APPLICATION OF SPRAY-APPLIED FIRE RESISTIVE MATERIALS PER ASTM 666. THE SPECIAL INSPECTOR MUST VERIFY THE CONDITION OF THE SUBSTRATE OF THE STRUCTURAL ELEMENT TO BE PROTECTED, THE THICKNESS OF THE SPRAY APPLIED MATERIAL, AND THE DENSITY OF THE SPRAY APPLIED MATERIAL. A COHESION TEST MUST BE PERFORMED IN ACCORDANCE WITH ASTM E665.

STRUCTURAL NOTES

- 1. ALL REQUIRED APPROVALS MUST BE OBTAINED FROM THE FIRE AND HAZARD PREVENTION SERVICES BEFORE THE BUILDING IS OCCUPIED.
2. PLANS FOR ALL FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES, SPRINKLER SYSTEMS AND FIRE ALARM SYSTEMS, MUST BE SUBMITTED TO, AND APPROVED BY, THE FIRE AND HAZARD PREVENTION SERVICES BEFORE THIS EQUIPMENT IS INSTALLED.
3. EXISTING DOORS TO BE REMOVED FROM THE MASS WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
4. FIRE AND/OR SMOKE DAMPERS, INCLUDING SLEEVES, AND INSTALLATION PROCEDURES SHALL BE APPROVED BY THE INSPECTION SERVICES DIVISION PRIOR TO INSTALLATION.
5. ELEVATOR DOORS MUST BE INSTALLED IN ACCORDANCE WITH THE APPROVAL ON THE APPROVED RESISTANCE APPROVAL LABEL. WHERE ELEVATOR DOORS ARE NOT IDENTIFIED WITH APPROVED LABELS, THEY MUST BE INSTALLED IN THE SAME MANNER AS A THICK FIRE ASSEMBLY.
6. ROOM HEIGHT LIMIT AREA: YES/NO

STRUCTURAL OBSERVATION

SPECIAL OBSERVATION: YES/NO
STRUCTURAL OBSERVATION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:
STEEL CONSTRUCTION
STRUCTURAL MASONRY
STRUCTURAL CONCRETE
REFER TO SHEET #1 FOR STATEMENT OF SPECIAL INSPECTOR WHICH PROVIDES FURTHER DETAIL.

ELECTRICAL NOTES

- 1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2015 CALIFORNIA ELECTRICAL CODE.
2. ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE CITY OF SAN DIEGO LIGHTING POLLUTION ORDINANCE.
3. ALL INTERIOR LIGHTING SYSTEMS SHALL COMPLY WITH CALIFORNIA ENERGY COMMISSION STANDARDS.
4. A FLOORING PERMIT IS REQUIRED TO INSTALL A BARRIERS PREVENTER.
5. A TAKEN INSPECTION IS REQUIRED WHEN A CONTRACTOR OR OWNER INSTALLS A SEWER LATERAL IN A STREET OR ALLEY. TAKEN INSPECTION FEE: \$25 PLUS ENGINEERING FEE'S A CONTRACTORS FEE'S.

MECHANICAL NOTES

- 1. ALL MECHANICAL WORK SHALL COMPLY WITH THE 2015 CALIFORNIA MECHANICAL CODE.
2. ALL PLUMBING WORK SHALL COMPLY WITH THE 2015 CALIFORNIA PLUMBING CODE.
3. HEATING, VENTILATION, AND AIR CONDITIONING SYSTEMS SHALL COMPLY WITH CALIFORNIA ENERGY COMMISSION STANDARDS.
4. A PLUMBING PERMIT IS REQUIRED TO INSTALL A BARRIERS PREVENTER.
5. A TAKEN INSPECTION IS REQUIRED WHEN A CONTRACTOR OR OWNER INSTALLS A SEWER LATERAL IN A STREET OR ALLEY. TAKEN INSPECTION FEE: \$25 PLUS ENGINEERING FEE'S A CONTRACTORS FEE'S.

MINIMUM FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS (hours):

Table with 4 columns: TYPE OF CONSTRUCTION, PRIMARY STRUCTURAL FRAME, BEARING WALLS, and NON-BEARING WALLS. Shows fire-resistance ratings in hours for various construction types.

*BARRIERS PREVENTER ENTIRELY WITHIN THE TYPE VA CONSTRUCTION CONNECTING LESS THAN 4 STOREYS SHALL BE 1 HOUR FIRE RATED AND CONNECTING 4 OR MORE STOREYS SHALL BE 2 HOUR RATED PER CALIFORNIA CODE SECTION 703.4

PROJECT NUMBERS: AVP STUDIOS: 14023.00
CLIENT: AVP STUDIOS
AGENCY: PTS #
DRAWN BY: CHECKED BY:
SHEET TITLE: PROJECT SUMMARY, BUILDING DEPT NOTES

T1.02

ARCHITECT STAMP:



CONSULTANT:

CONSULTANT STAMP:

ISSUE DATE:	DATE:
DESCRIPTION:	
DEV. PERMIT SUBM.	11/06/2014
DEV. PERMIT RE-SUBM.	1/28/2015
BLD. PERMIT SUBM.	3/04/2015
DEV. PERMIT RE-SUBM.	4/17/2015
DEV. PERMIT RE-SUBM.	5/20/2015

NOT FOR CONSTRUCTION

CLIENT:

THE IRVING GROUP

PROJECT NAME:

INDIANA STREET APARTMENTS
 3525 - 3535 Indiana Street
 San Diego, CA 92103

PROJECT NUMBER:	14023.00
AVRP STUDIOS:	
CLIENT:	PTS &
AGENCY:	
DRAWN BY:	
CHECKED BY:	
SHEET TITLE:	

CONTEXT PHOTOS & SITE ANALYSIS

SHEET NUMBER:

T1.03



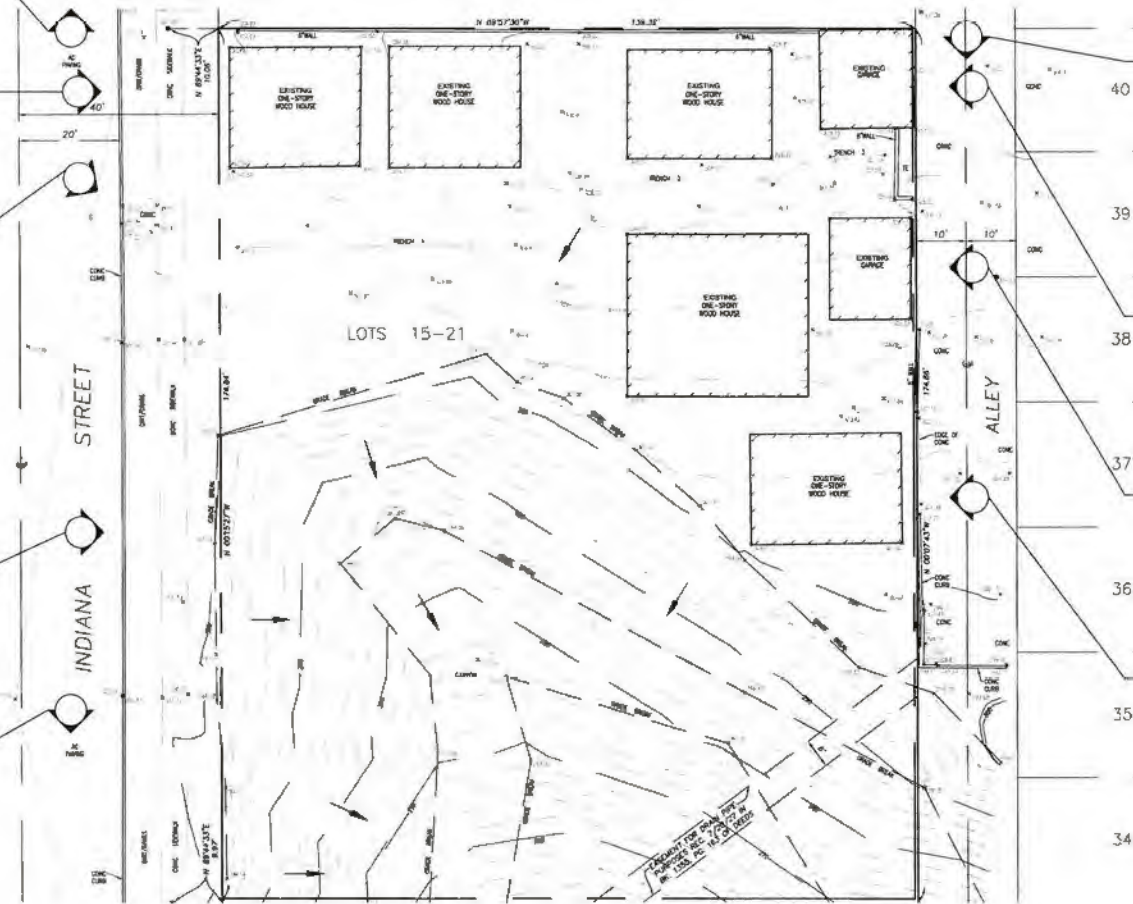
VICINITY MAPS



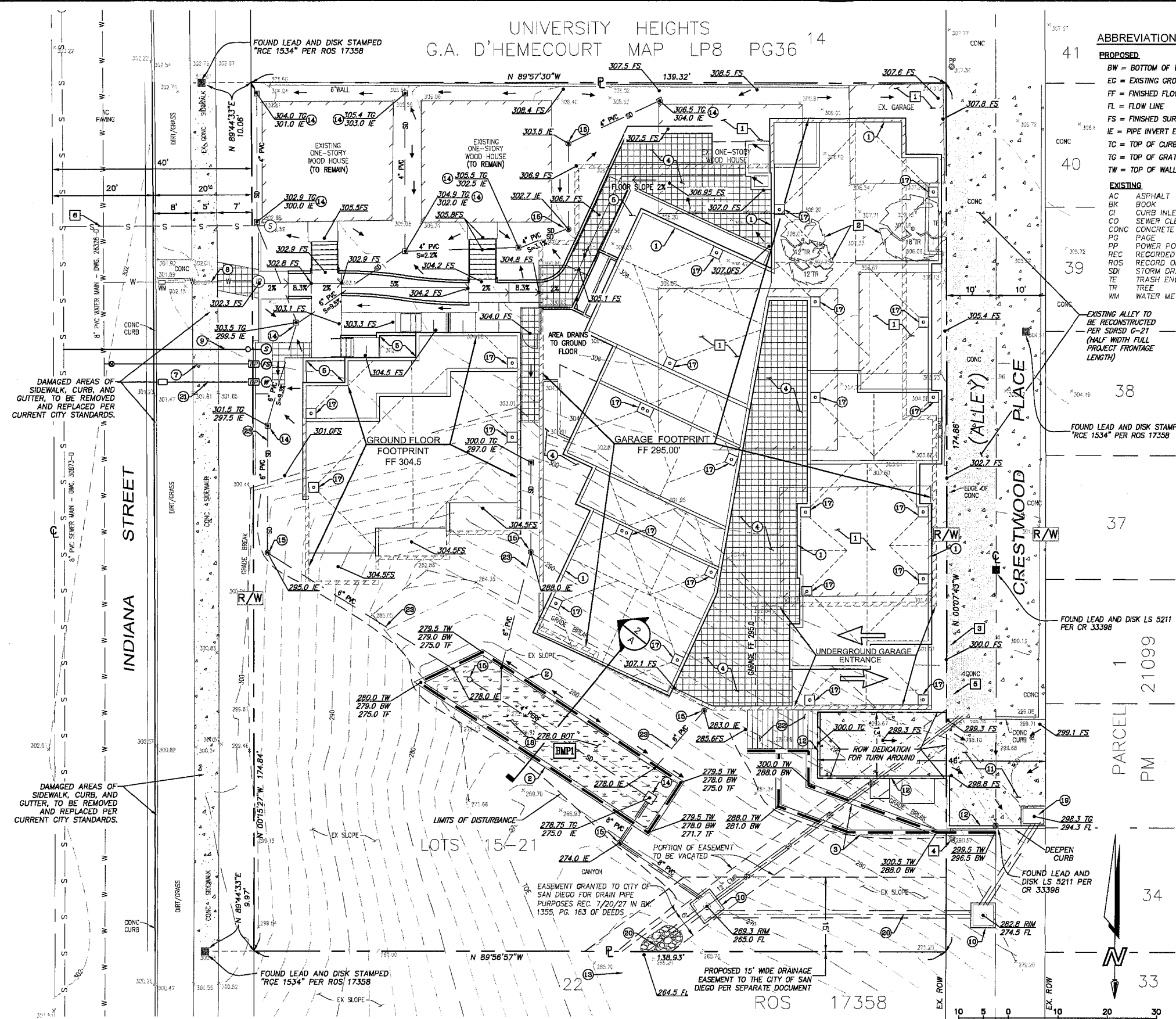
CIRCULATION, SITE CONDITIONS, VEGETATION & RESIDENTIAL CONTEXT



VICINITY MAP



UNIVERSITY HEIGHTS
G.A. D'HEMERCOURT MAP LP8 PG36 14



LEGEND

IMPROVEMENT	STANDARD DWGS.	SYMBOL
PROPERTY BOUNDARY		---
EXISTING CONTOUR		---300---
EXISTING SPOT ELEVATION		OH 308.72
EXISTING OVER HEAD ELEC.		OH
EXISTING STORM DRAIN		SD
EXISTING SEWER		S
EXISTING WATER		W
EXISTING SEWER LATERAL		S
EXISTING WATER METER		W
EXISTING POWER POLE		PP
INDICATES EXISTING FOUND SURVEY MONUMENT AS NOTED		MS
FINISH SPOT ELEVATION		355.5 FS
BIO-RETENTION LID AREAS	PER DETAIL SHEET 2	BMP1
PROPOSED BROOKS BOX		□
PROPOSED SD CLEAN OUT		○
PROPOSED DECK DRAIN		○
PROPOSED BUILDING		▭
PROPOSED UNDERGROUND GARAGE		▭
PROPOSED STORM DRAIN (SIZE VARIES)		SD
PROPOSED PERFORATED STORM DRAIN 4" PVC		SD
PROPOSED RETAINING WALL		▭
PROPOSED RIP RAP MAT		▭
DRAINAGE DIRECTION		▭
DOWNSPOUT DISCHARGE POINT		□
6" FIRE SERVICE	SDW-105, 118	○
1" COPPER IRRIGATION SERVICE	SDW-134, 148, 150, WS-03	○
6" SEWER LATERAL W/ CO	SDS-102, 105, 108, 110(C)	○
1" DOMESTIC WATER SERVICE	SDW-134, 148, 150, WS-03	○
TYPE A-4 CLEAN OUT	SDG-D9,D-10	○

STORM WATER NOTES

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER /PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER /PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

GENERAL NOTES

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER /PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX G OF THE CITY'S STORM WATER STANDARDS.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER /PERMITTEE SHALL ASSURE BY PERMIT AND BOND, THE FULL WIDTH IMPROVEMENT, PER CURRENT CITY STANDARD, THE EXISTING ADJACENT ALLEY, SATISFACTORY TO THE CITY ENGINEER.

DEMOLITION NOTES

SOME EXISTING STRUCTURES AND THE ACCOMPANYING HARDSCAPE WILL BE DEMOLISHED AND REMOVED PRIOR TO GRADING.

GRADING TABULATION

TOTAL AMOUNT OF SITE TO BE GRADED: 0.36 ACRES, % OF TOTAL SITE AREA: 75

SITE EARTHWORK

CUT = 3,800 CU.YDS
 FILL = 700 CU.YDS
 NET = 3,100 CU.YDS EXPORT
 (MAXIMUM HEIGHT CUT= 9 FT, MAXIMUM HEIGHT FILL= 5 FT)
 (MAXIMUM HEIGHT CUT SLOPE = NA, MAXIMUM HEIGHT FILL SLOPE= NA)
 RETAINING WALLS/KEYSTONE WALLS:
 TOTAL LENGTH=220' MAX WALL HEIGHT=12'

BENCH MARK

CITY OF SAN DIEGO BENCH MARK NO. 6156, BRASS PLUG LOCATED ON THE NORTHWEST CURB RETURN AT THE INTERSECTION OF CYPRESS AVE. AND INDIANA ST.

ELEVATION: 307.096 FEET MSL

TOPOGRAPHY SOURCE

THE UNDERLYING TOPOGRAPHIC FEATURES SHOWN HEREON WERE MAPPED BY FIELD MEASUREMENTS BY CIREMELE SURVEYING INC. DATED 05-11-2014.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

GENERAL NOTES

- BOUNDARY SHOWN HEREON IS BASED ON A FIELD SURVEY AND RECORD DATA PER RECORD OF SURVEY MAP NO. 17358.
- ASSESSOR'S PARCEL NUMBERS: 452-362-09 AND 10.

SITE ADDRESS

3537 AND 3547 INDIANA STREET
 SAN DIEGO, CA 92103

Frank Florez
 Frank Florez ~ RCE 55555 EXP 12/31/16

PROPOSED ITEMS LEGEND

1 PROPOSED BUILDING ABOVE	11 PROPOSED CONCRETE TURN AROUND
2 PROPOSED MASONRY RETAINING WALL	12 PROPOSED 6" CURB
3 PROPOSED KEYSTONE RETAINING WALL	13 PROPOSED RIP-RAP MAP PER SDSR D-40
4 PROPOSED COURT YARD	14 PROPOSED STORM DRAIN CONC. BOX
5 PROPOSED PLANTER	15 PROPOSED STORM DRAIN CLEAN OUT
6 PROPOSED ADA RAMP (SEE ARCHITECTURAL PLANS FOR DETAILS)	16 NOT USED
7 PROPOSED 6" FIRE SERVICE	17 PROPOSED DOWNSPOUT DISCHARGE
8 EX. WATER SERVICE TO REMAIN FOR IRRIGATION METER -	18 PROPOSED ABOVE GROUND PLANTER
9 PROPOSED 6" SEWER LATERAL	19 PROPOSED TYPE G INLET (DOUBLE)
10 PROPOSED A-4 CLEAN OUT	20 PROPOSED 18" RCP (PUBLIC)
	21 PROPOSED WATER METER - DOMESTIC
	22 PROPOSED FIRE ACCESS STAIRS
	23 PROPOSED COLLECTOR PIPE FROM ROOFTOP / DECK

DEMOLITION ITEMS LEGEND

1 EXISTING BUILDING TO BE REMOVED
2 EXISTING TREE TO BE REMOVED
3 EXISTING CONCRETE CURB TO BE REMOVED
4 EXISTING POWER POLE TO BE RELOCATED
5 EXISTING CURB INLET TO BE REMOVED
6 EXISTING SEWER LATERAL TO BE ABANDONED

BMPs

BMP1 550 SF

I.O. = 24005309
 P.T.S.No. = 396980
 L.C. = 210-1723
 CCS83 = 1850-6283

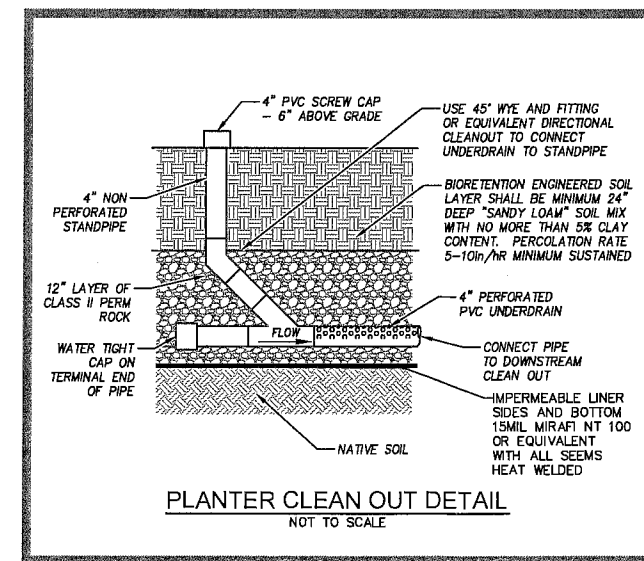
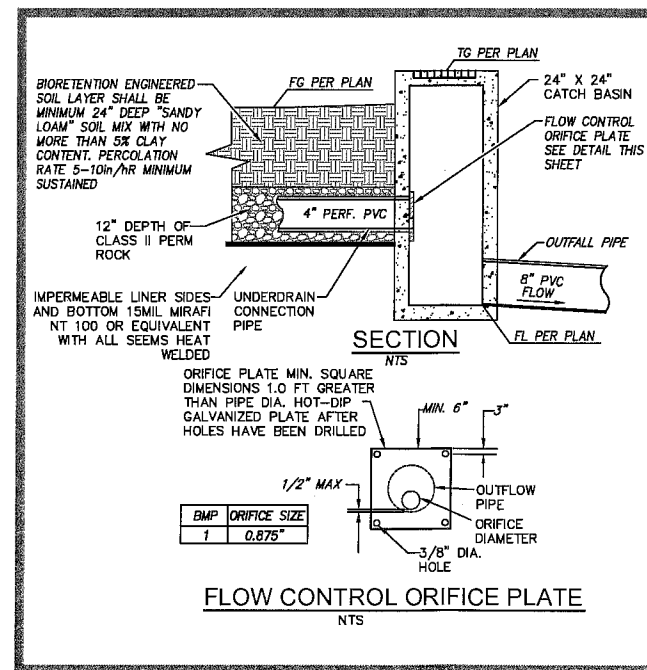
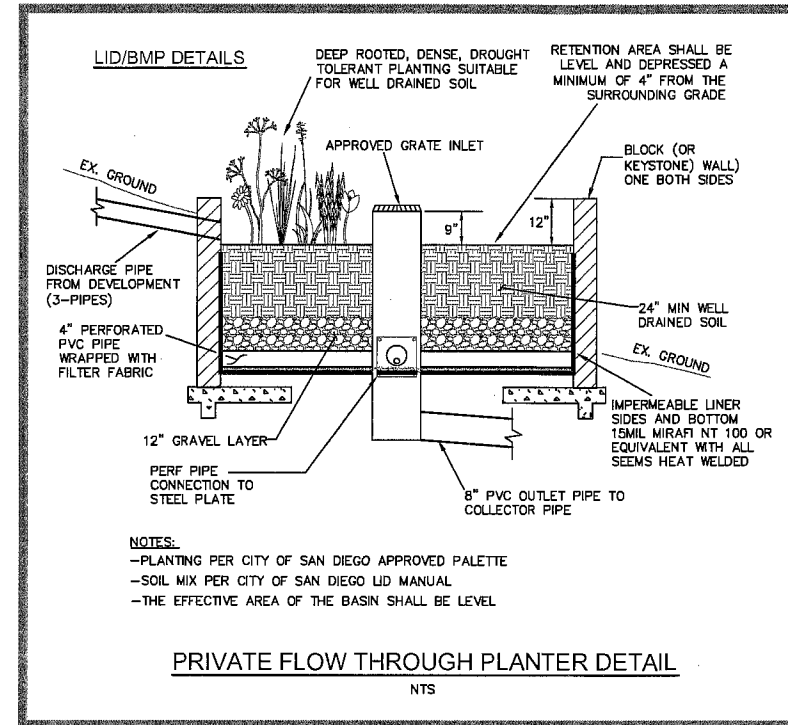
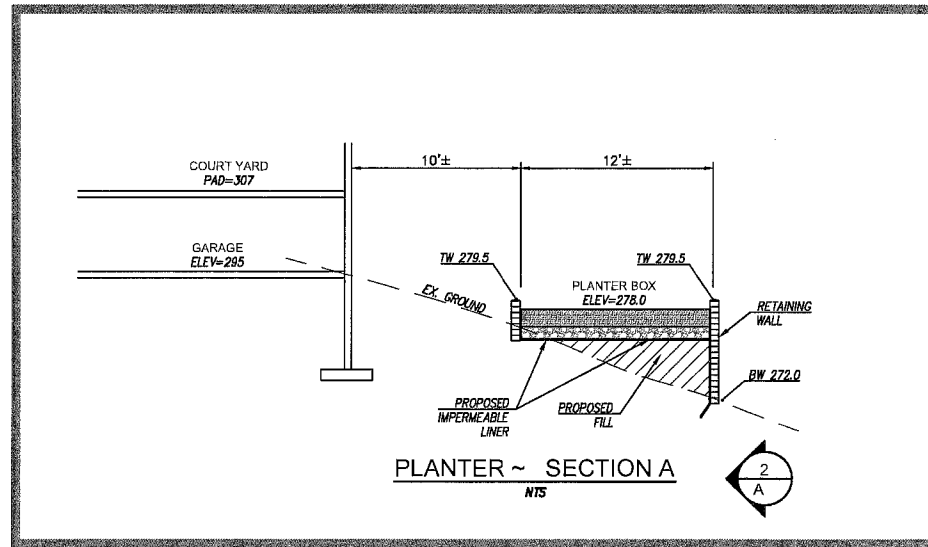
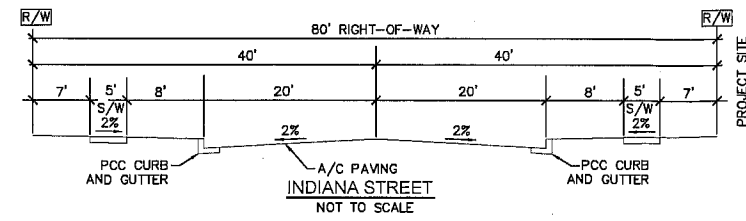
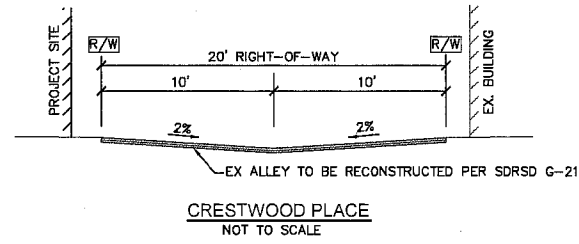
NO.	REVISIONS DESCRIPTION	DATE	APP'D

PRELIMINARY GRADING PLAN

INDIANA STREET APARTMENTS
 INDIANA STREET
 SAN DIEGO, CA 92111

SHEET 1 OF 2 SHEETS

Florez Engineering, Inc.
 Civil Engineering & Planning 10732
 Charbono Terrace - San Diego CA, 92131
 (858) 229-2493



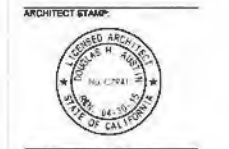
REVISIONS	NO.	DESCRIPTION	DATE	APP'D

Florez Engineering, Inc.
 Civil Engineering & Planning 10732
 Charbono Terrace - San Diego CA, 92131
 (958) 229-2493

DATE: 5-19-15
 SCALE: NTS
 DRAWN:
 CHECKED:

SHEET TITLE: PRELIMINARY GRADING PLAN
 PROJECT: INDIANA STREET APARTMENTS
 INDIANA STREET
 SAN DIEGO, CA 91111

SHEET 2
 OF 2 SHEETS



CONSULTANT:
CONSULTANT STAMP:
ISSUE DATE: 11/05/2014
DESCRIPTION: DEV. PERMIT RE-SUBM.
DATE: 1/28/2015
DEV. PERMIT RE-SUBM. 1/28/2015
BLD. PERMIT RE-SUBM. 3/04/2015
DEV. PERMIT RE-SUBM. 4/17/2015
DEV. PERMIT RE-SUBM. 5/20/2015

GENERAL NOTES

- SITE PLAN NOTES:**
1. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FIRE POLICY 994 & IFC 801.4.4.
 2. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
 3. FOR PARKING ANALYSIS SEE SHEET T1.02. FOR PARKING LAYOUT SEE A2.01 AND A2.02 FLOOR PLANS.
 4. THERE ARE NO PROPOSED NEW BUS STOPS IN THIS PROJECT. NEAREST EXISTING BUS STOP IS PARK BL & CYPRESS AV.
 5. SEE SHEET A2.02 GROUND FLOOR PLAN FOR REFUSE AND RECYCLING AREAS.
 6. TEMPORARY CONSTRUCTION TO PROTECT EXISTING HISTORIC BUILDINGS TO BE PROVIDED AS REQUIRED.

SITE PLAN GRAPHICS LEGEND

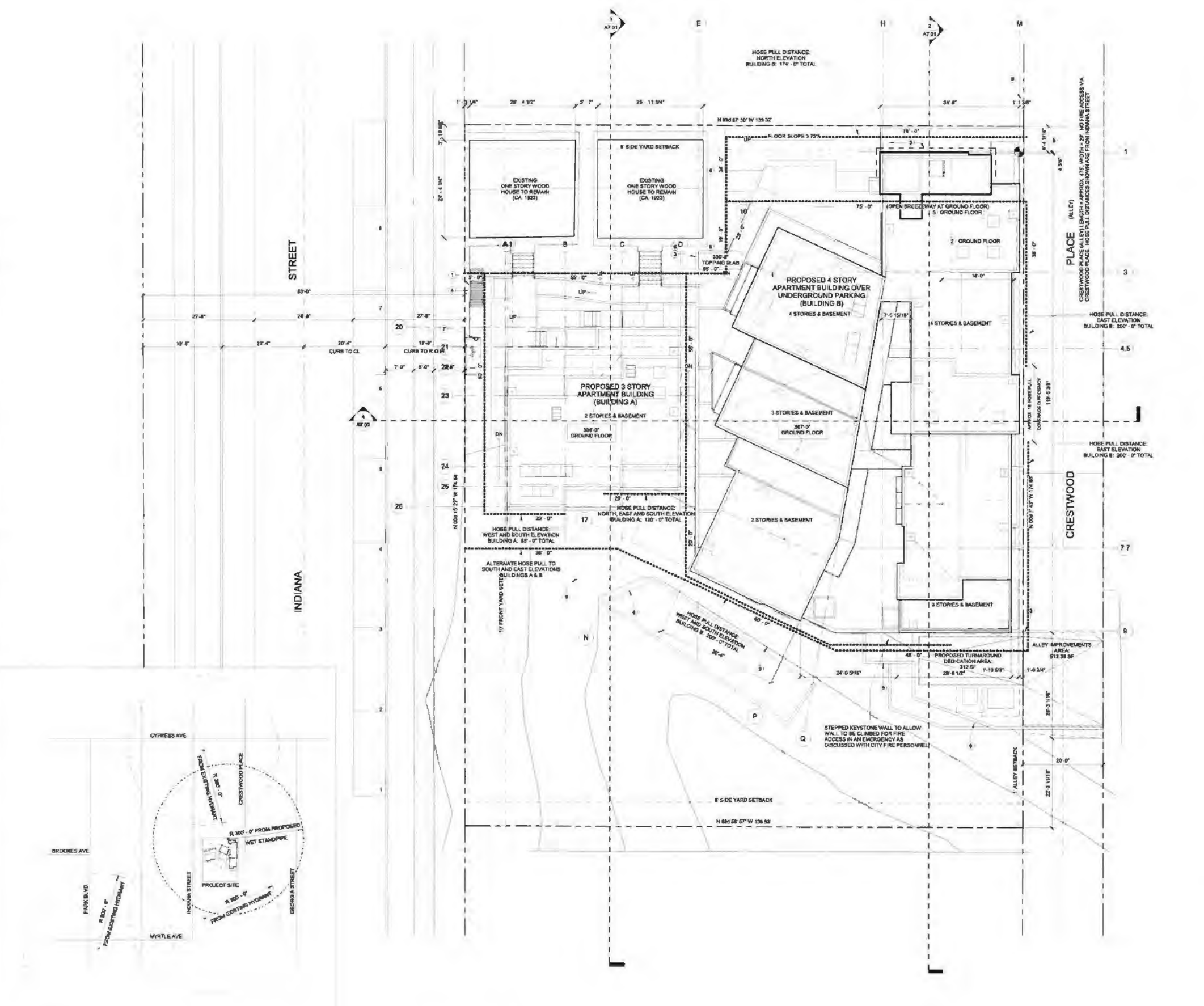
----- HOSE PULL DISTANCE

SITE PLAN KEYNOTES LEGEND

1. KNOX BOX PER FPD REQUIREMENTS
2. 8'-0" X 18'-0" ACCESSIBLE VAN SPACE WITH 6'-0" WIDE LOADING ZONE. SEE A2.02
3. SHOWING PER CIVIL DRAWINGS, TYP.
4. BUILDING ADDRESS NUMBERS PER FIRE POLICY P-20-4
5. CLEAR 8' GAGE AT GROUND LEVEL. STAIR ENTRY FOR FIRE ACCESS TO ROOF
6. TEMPORARY PROTECTIVE STRUCTURE FOR HISTORIC BUNGALOWS
7. ADEQUATE NEIGHBORHOOD SERVING STREET LIGHT
8. WORKPOINT DIMENSION FROM NE PROPERTY CORNER TO GRID LINES "1" AND "M"
9. RETAINING WALL PER CIVIL DRAWINGS

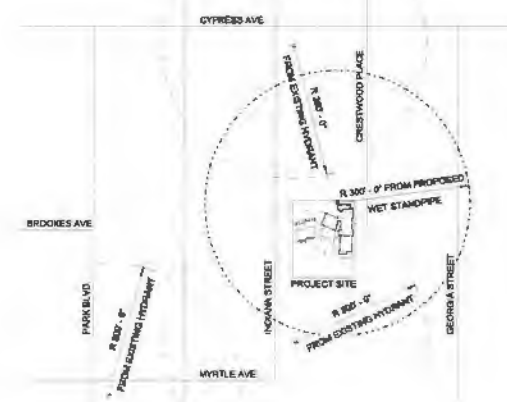
KEY PLAN

PROJECT NUMBER: 14023.00
CLIENT: AVRP STUDIOS
AGENCY: PTS #
DRAWN BY:
CHECKED BY:
SHEET TITLE:
FIRE ACCESS PLAN
SHEET NUMBER:



2 HYDRANT LOCATION
1" = 100'-0"

1 FIRE ACCESS PLAN
1" = 10'-0"



INDIANA STREET APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

CLIENT: THE IRVING GROUP
PROJECT NAME:
PROJECT NUMBER: 14023.00
CLIENT: AVRP STUDIOS
AGENCY: PTS #
DRAWN BY:
CHECKED BY:
SHEET TITLE:
FIRE ACCESS PLAN
SHEET NUMBER:

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San Diego, California 92101
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CONTRACT #
CONSULTANT STAMP

GENERAL NOTES

- 1. ALL WOOD FRAMED WALLS ARE DIMENSIONED FROM FACE OF STUD U.N.O. MASONRY WALLS ARE DIMENSIONED FROM FACE OF CMU U.N.O. GIP CONCRETE WALL SECURES ARE DIMENSIONED FROM FACE OF WALL U.N.O.
- 2. INSTALL 5/8" TYPE X GYPSUM BOARD ON ALL INTERIOR WALLS & CEILING U.N.O. REF. WALL TYPES AND U.I. ASSEMBLIES.
- 3. RATED WALL ASSEMBLIES BEHIND TUB & SHOWER ENCLOSURES TO BE MAINTAINED AS DETAIL. ADDITIONAL LAYER OF GYPSUM BOARD AS REQUIRED. REF. WALL TYPES.
- 4. INSTALL CAULKING/SEALANT AT ALL JOINTS & PENETRATIONS. REF. DETAILS.
- 5. REF. 11.7a SERIES DRAWINGS FOR ADDITIONAL INFORMATION REGARDING RATED ASSEMBLY PENETRATION DETAILS.
- 6. INSTALL BRICKING IN WALLS FOR SECURE ATTACHMENT OF CABINETS, HANDRAILS, SHELVING, & FUTURE GRAB BARS AS REQUIRED. REF. T3.XX AND HEIGHT AS INDICATED. REFER TO PARTITION TYPES.
- 7. FURRED DOWN CEILINGS ARE BELOW RATED FLOOR CEILING ASSEMBLY HEIGHT AS INDICATED. REFER TO PARTITION TYPES.
- 8. INSTALL WASHING MACHINE RECESSED CONNECTION BOX AS A F. BOXES INSTALLED IN FIRE RATED ASSEMBLIES TO BE METAL. VERIFY MOUNTING HEIGHT w/ MANUFACTURER.
- 9. INSTALL DRYER EXHAUST BOOSTER FANS AS REQUIRED. CONFIRM REQUIREMENTS OF HORIZONTAL RUNS w/ DRYER MANUFACTURERS.
- 10. INSTALL COMBINED SMOKE & CARBON MONOXIDE DETECTORS PER LOCAL CODES AND ORDINANCES. REF. ELECTRICAL & FIRE PROTECTION.
- 11. REFER TO ACCESSIBILITY DETAIL SHEETS AND 2012 CBC CHAPTER 11A FOR ADDITIONAL INFORMATION REGARDING ACCESSIBILITY REQUIREMENTS.
- 12. MOISTURE RESISTANT TYPE X GYPSUM BOARD TO BE INSTALLED AT ALL BATHROOMS AND AT KITCHENS BEHIND SINK AND DISHWASHER. REF. WALL TYPES.
- 13. GYPSUM BOARD FINISH TO BE 1. LEVEL 4 SMOOTH U.N.O.
- 14. KEYNOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
- 15. PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN HIDDEN IN ELEVATION TO ALLOW BUILDING TO BE SEEN BETTER.

SYMBOL LEGEND

WALL ASSEMBLIES:	CONCRETE WALL	MASONRY WALL	STEEL STUD WALL	WOOD FRAMED WALL		
1547A-03	WALL TAG (REF A11 01 FOR ADDITIONAL INFORMATION)	STC RATINGS	SPECIALTY USE (IF ANY)	THICKNESS IN INCHES AND BOTH (4-1/2)	WALL CATEGORY	FIRE RATING IN HOURS
A1	DRID TAG	CEILING HEIGHT TAG	ROOM TAG	KEYNOTE TAG (INTERIOR)	BATHROOM COMPLETES WITH CBC SEC 11344.2 OPTION 2 REF. TAG.31	ACCESSIBILITY CLEARANCE 30"x36" TYP 48"x36" AT W.C.
1/101	DETAIL REFERENCE	INTERIOR ELEVATION	SECTION REFERENCE	SPOT ELEVATION HEIGHT ABOVE GROUND FLOOR LEVEL, ABSOLUTE ELEVATION		

KEYNOTES

- 25 BOLLARD, REF. STRUCTURAL FOR CONNECTION DETAIL
- 31 CAST-IN-PLACE CONCRETE STAIRS
- 32 CAST-IN-PLACE CONCRETE SMOOTH BACK FINISH
- 33 CAST-IN-PLACE CONCRETE MEDIUM BROOM FINISH, NATURAL
- 34 CAST-IN-PLACE CONCRETE SEAL ED
- 35 WYBREL STOP FIRE CAST CONCRETE
- 41 CONCRETE MASONRY UNIT, CLEAR CONCRETE SEALER
- 42 NYLON STONE SETTING WALL, PER CIVL DRAWINGS
- 51 PAINTED GALVANIZED STEEL CANOPY, PT-2
- 52 PAINTED STEEL QUADRANT, PT-2
- 53 PAINTED STEEL SANDRILL, PT-2
- 54 STEEL STAIRS, PT-1
- 55 PAINTED GALVANIZED STEEL TRELIS, PT-1
- 56 PAINTED GALVANIZED DECORATIVE METAL SCREEN, PT-2
- 57 PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN, 6' 0" HIGH
- 58 ZS GAL. SHEET METAL CORING, PAINT TO MATCH WALL FINISH
- 59 ANODIZED ALUMINUM DECORATIVE METAL FLASHING
- 519 PLANTED METAL MESH SCREEN
- 61 BATT INSULATION
- 81 EXTERIOR GLAZED DOORS, WM-1, VG-1
- 82 PAINTED EXTERIOR METAL CLAD WOOD DOOR, PAINT PER BUILDING ELEV.
- 83 M.U.T. PANEL SLIDING GLASS DOORS, WM-1, VG-1
- 84 NOT USED
- 85 NOT USED
- 86 CUSTOM STEEL TILT UP GARAGE ENTRY DOOR, PT-2
- 87 VERA WINDOW SYSTEM WM-1, VG-2
- 88 METAL DOOR, PAINTED, REF. BUILDING ELEVATIONS
- 89 ALUMINUM DOOR, 50% MN FREE AIR
- 90 ACCESS DOOR, PAINTED TO MATCH WALL
- 81 PORTLAND CEMENT PLASTER, SMOOTH FINISH, REF. ELEV FOR FINISH COLOR
- 82 NOT USED
- 84 NOT USED
- 90.1 MAIL BOXES
- 90.1 VENT CAP, BEMO SF22C OR SF2AS NEEDED
- 96.1 EXTERIOR LIGHT FIXTURE, REF. ELECTRICAL
- 96.2 INTERIOR LIGHT FIXTURE, REF. ELECTRICAL
- 97 TRENCH DRAIN PER PLUMBING DRAWINGS

KEY PLAN



ISSUE DATES	DESCRIPTION	DATE
DEV. PERMIT RE-SUBM.		11/06/2014
DEV. PERMIT RE-SUBM.		1/28/2015
BLD. PERMIT RE-SUBM.		3/04/2015
DEV. PERMIT RE-SUBM.		4/17/2015
DEV. PERMIT RE-SUBM.		5/20/2015

NOT FOR CONSTRUCTION

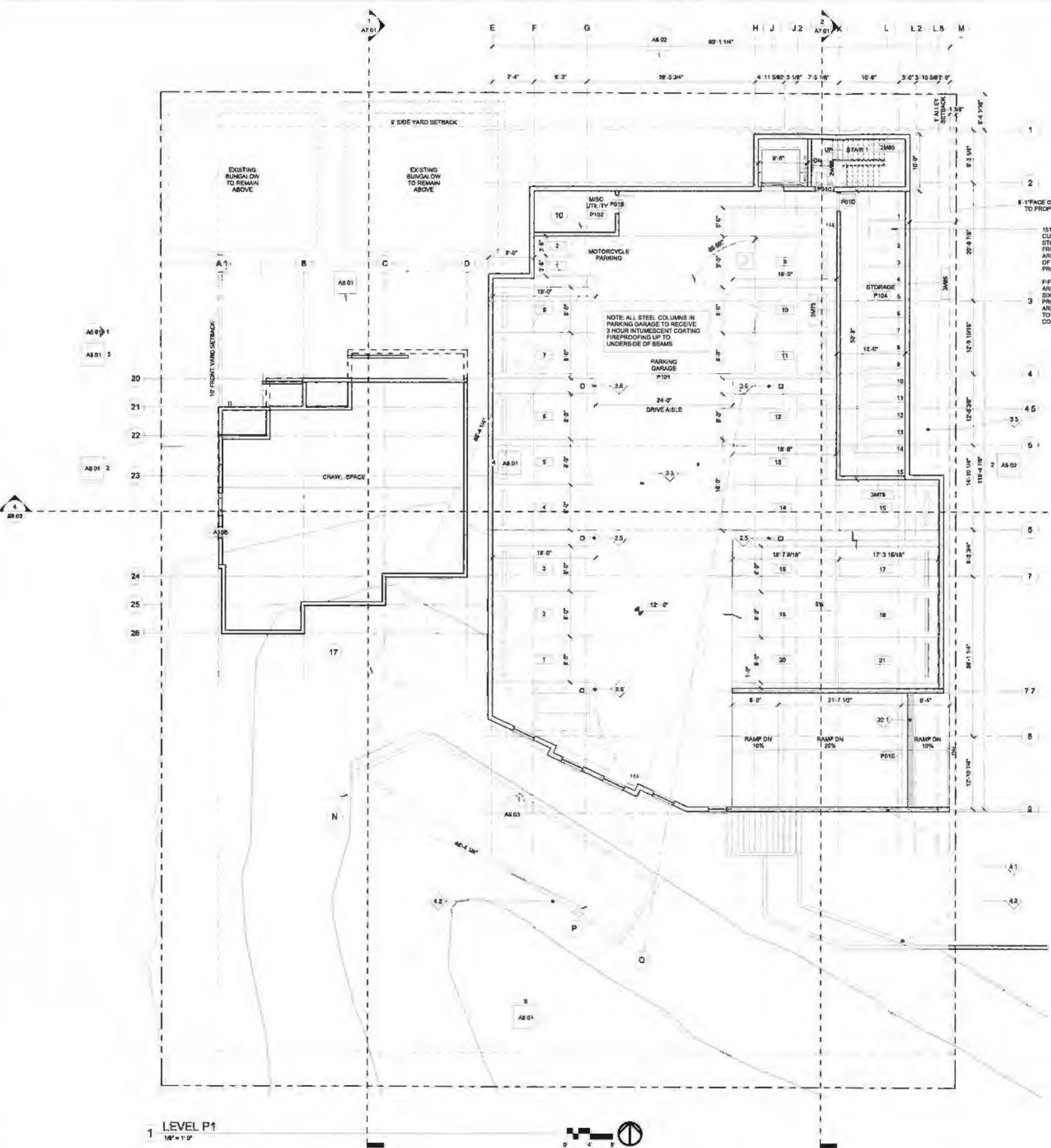
THE IRVING GROUP

PROJECT NAME

INDIANA STREET APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBER: 14023.00
CLIENT: -
AGENCY: PTS # -
DRAWN BY: -
CHECKED BY: -
SHEET TITLE: P1 PARKING FLOOR PLAN
SHEET NUMBER: -

A2.01



1 LEVEL P1
1/8" = 1'-0"

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CONTRACTOR:
CONSULTANT STAFF:

ISSUE DATE:
DESCRIPTION: DATE:
DEV. PERMIT SUBM. 11/06/2014
DEV. PERMIT RE-SUBM. 1/28/2015
BLD. PERMIT SUBM. 3/04/2015
DEV. PERMIT RE-SUBM. 4/17/2015
DEV. PERMIT RE-SUBM. 5/20/2015

NOT FOR CONSTRUCTION

CLIENT:
THE IRVING GROUP

PROJECT NAME:

INDIANA STREET APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBER: 14023.00
CLIENT: PTS #
AGENCY: PTS #
DRAWN BY:
CHECKED BY:
SHEET TITLE:
GROUND FLOOR PLAN
SHEET NUMBER:

A2.02

GENERAL NOTES

1. ALL WOOD FRAMED WALLS ARE DIMENSIONED FROM FACE OF STUD U.M.D. MASONRY WALLS ARE DIMENSIONED FROM FACE OF CMU U.M.D. CONCRETE WALL SOURCES ARE DIMENSIONED FROM FACE OF WALL COURSE U.M.D.
2. INSTALL 5/8" TYPE 'X' GYPSUM BOARD ON ALL INTERIOR WALLS & CEILINGS
3. RATED WALL ASSEMBLIES BEHIND TUB & SHOWER ENCLOSURES TO BE MAINTAINED AS DETAILED. ADDITIONAL LAYER OF GYPSUM BOARD AS REQUIRED, REF. WALL TYPES
4. INSTALL CALKING/SEALANT AT ALL JOINTS & PENETRATIONS, REF. DETAILS
5. REF. 1174 SERIES DRAWINGS FOR ADDITIONAL INFORMATION REGARDING RATED ASSEMBLY PENETRATION DETAILS
6. INSTALL BLOCKING IN WALLS FOR SECURE ATTACHMENT OF CABINETS, HANDRAILS, SHELVEING & FUTURE GRAB BARS AS REQUIRED, REF. T3.14. AND
7. TURNED DOWN CEILING ARE BELOW RATED FLOOR CEILING ASSEMBLY HEIGHT AS INDICATED. REFER TO PARTITION TYPES
8. INSTALL WASHING MACHINE RECESSED CONNECTION BOX 48" A.F.F. BOXES INSTALLED IN FIRE RATED ASSEMBLIES TO BE METAL. VERIFY MOUNTING HEIGHT w/ MANUFACTURER.
9. INSTALL DRYER EXHAUST BOOSTER FANS AS REQUIRED. CONFIRM REQUIREMENTS OF HORIZONTAL RUNS w/ DRYER MANUFACTURERS
10. INSTALL COMBINED SMOKE & CARBON MONOXIDE DETECTORS PER LOCAL CODES AND ORDINANCES, REF. ELECTRICAL & FIRE PROTECTION
11. REFER TO ACCESSIBILITY DETAIL SHEETS AND 2013 CBC CHAPTER 11A FOR ADDITIONAL INFORMATION REGARDING ACCESSIBILITY REQUIREMENTS
12. MOISTURE RESISTANT TYPE 'X' GYPSUM BOARD TO BE INSTALLED AT ALL BATHROOMS AND AT KITCHENS BEHIND SINK AND DISHWASHER, REF. WALL TYPES
13. GYPSUM BOARD FINISH TO BE "LEVEL, 4 SMOOTH" U.O.H.
14. KEYNOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET
15. PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN HIDDEN IN ELEVATION TO ALLOW BUILDING TO BE SEEN BETTER

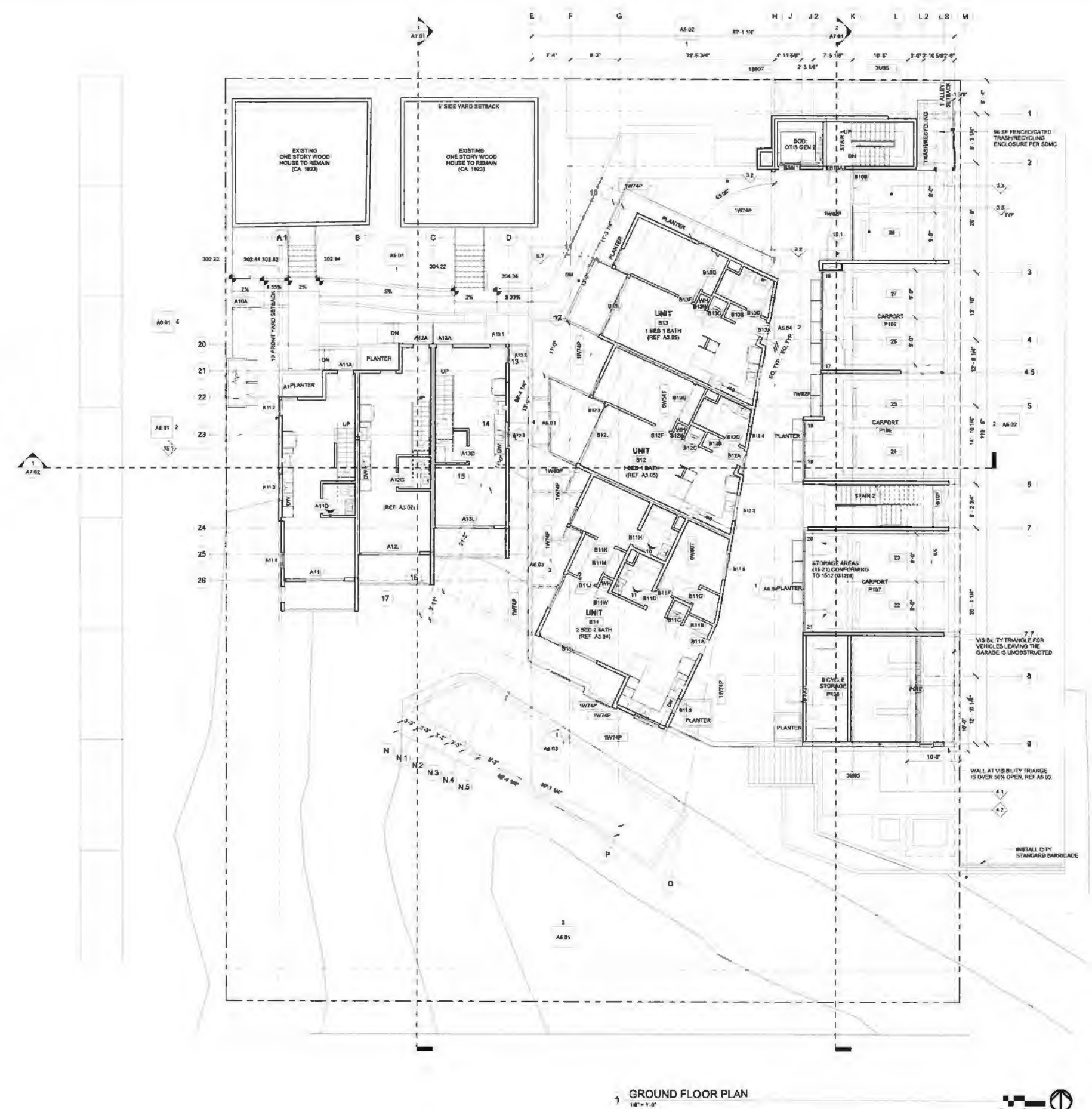
SYMBOL LEGEND

WALL ASSEMBLIES	
	CONCRETE WALL
	MASONRY WALL
	STEEL STUD WALL
	WOOD FRAMED WALL
WALL TAG (REF. A11.01 FOR ADDITIONAL INFORMATION)	
	STIC RATING
	SPECIALTY USE (IF ANY)
	THICKNESS IN INCHES AND 60TH'S (4-7/8")
	WALL CATEGORY
	FIRE RATING IN HOURS
	GRID TAG
	ROOM TAG
	DETAIL REFERENCE
	INTERIOR ELEVATION
	SECTION REFERENCE
	SPOT ELEVATION
	CEILING HEIGHT TAG
	ROOM TAG
	KEYNOTE TAG (INTERIOR)
	BATHROOM COMPLEX WITH CBC SEC. 113A.2, OPTION 2, REF. TAG 21
	ACCESSIBILITY C. GARAGE 30"x48" TYP. 48"x36" AT W.C.
	SPOT ELEVATION HEIGHT ABOVE GROUND FLOOR LEVEL. ABSOLUTE ELEVATION

KEYNOTES

- 25 BOLLARD, REF. STRUCTURAL FOR CONNECTION DETAIL
- 31 CAST IN PLACE CONCRETE STAIRS
- 32 CAST IN PLACE CONCRETE SMOOTH BACK FINISH
- 33 CAST IN PLACE CONCRETE MEDIUM BROOM FINISH NATURAL
- 34 CAST IN PLACE CONCRETE SEALED
- 42 WYBREL S/OP. PRE-CAST CONCRETE
- 41 CONCRETE MASONRY UNIT, CLEAR CONCRETE SEALER
- 52 SECTION DETAILING WALL PER CIVIL DRAWINGS
- 51 PAINTED GALVANIZED STEEL CANOPY, PT-2
- 52 PAINTED STEEL GUARDRAIL, PT-2
- 53 PAINTED STEEL HANDRAIL, PT-2
- 54 STEEL STAIRS, PT-1
- 55 PAINTED GALVANIZED STEEL TRUSS, PT-1
- 56 PAINTED GALVANIZED DECORATIVE METAL SCREEN, PT-2
- 57 PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN, 6'-0" HIGH
- 58 22 GA. SHEET METAL CEILING, PAINT TO MATCH WALL FINISH
- 59 ANODIZED ALUMINUM DECORATIVE METAL FLASHING
- 56 PAINTED METAL MESH SCREEN
- 71 BALUSTRADE
- 61 EXTERIOR GLAZED DOOR, WM-1, VG-1
- 62 PAINTED EXTERIOR METAL GLAZED WOOD DOOR, PAINT PER BUILDING ELEV
- 63 METAL PANEL SLIDING GLAZED DOORS, WM-1, VG-1
- 64 NOT USED
- 65 NOT USED
- 66 CUSTOM STEEL TILT UP GARAGE ENTRY DOOR, PT-2
- 67 VINT. WINDOW SYSTEM WM-1, VG-2
- 611 METAL DOOR, PAINTED, REF. BUILDING ELEVATIONS
- 612 ALUMINUM COVER, 30% MIN. FREE AIR
- 613 DOCK ACCESS DOOR, PAINTED TO MATCH WALL
- 61 PORTLAND CEMENT PLASTER, SMOOTH FINISH, REF. ELEV. FOR FINISH COLOR
- 62 NOT USED
- 64 NOT USED
- 101 MAIL BOXES
- 161 VENT. CAP, BUSH, SFZC OR SFZ AS NEEDED
- 161 EXTERIOR LIGHT FIXTURE, REF. ELECTRICAL
- 162 EXTERIOR LIGHT FIXTURE, REF. ELECTRICAL
- 221 TRUCK RAMP PER PLUMBING DRAWINGS

KEY PLAN



1 GROUND FLOOR PLAN
1/8" = 1'-0"



AVRP STUDIOS, INC. 10000 San Diego Avenue, Suite 200, San Diego, CA 92121. TEL: 619.594.8888. FAX: 619.594.8889. WWW.AVRPSTUDIOS.COM



GENERAL NOTES

- ALL WOOD FRAMED WALLS ARE DIMENSIONED FROM FACE OF STUD U/I O. MASONRY WALLS ARE DIMENSIONED FROM FACE OF CMU U/I O. TOP CONCRETE WALL SCISSORS ARE DIMENSIONED FROM FACE OF WALL U/I O.
- INSTALL 5/8" TYPE X GYPSUM BOARD ON ALL INTERIOR WALLS & CEILING U/I O. REF. WALL TYPES AND U/I ASSEMBLIES.
- RATED WALL ASSEMBLIES BEHIND TUB & SHOWER ENCLOSURES TO BE MAINTAINED AS DETAILED. ADDITIONAL LAYER OF GYPSUM BOARD AS REQUIRED. REF. WALL TYPES.
- INSTALL CAULKING/SEALANT AT ALL JOINTS & PENETRATIONS. REF. DETAILS.
- REF. 11.7x SERIES DRAWINGS FOR ADDITIONAL INFORMATION REGARDING RATED ASSEMBLY PENETRATION DETAILS.
- INSTALL BLOCKING IN WALLS FOR SECURE ATTACHMENT OF CABINETS, HANDRAILS, SHELVING, & FUTURE GRAB BARS AS REQUIRED. REF. T3.XX AND T3.XX.
- FURRED DOWN CEILING ARE BELOW RATED FLOOR CEILING ASSEMBLY HEIGHT AS INDICATED. REFER TO PARTITION TYPES.
- INSTALL WASHING MACHINE RECESSED CONNECTION BOX 4" x 4" x 4" BOXES INSTALLED IN FIRE RATED ASSEMBLIES TO BE METAL. VERIFY MOUNTING HEIGHT w/ MANUFACTURER.
- INSTALL DRYER EXHAUST BOOSTER FANS AS REQUIRED. CONFIRM REQUIREMENTS OF HORIZONTAL RUNS w/ DRYER MANUFACTURERS.
- INSTALL COMBINED SMOKE & CARBON MONOXIDE DETECTORS PER LOCAL CODES AND ORDINANCES. REF. ELECTRICAL & FIRE PROTECTION.
- REFER TO ACCESSIBILITY DETAIL SHEETS AND 2013 CBC CHAPTER 11A FOR ADDITIONAL INFORMATION REGARDING ACCESSIBILITY REQUIREMENTS.
- MOISTURE RESISTANT TYPE X GYPSUM BOARD TO BE INSTALLED AT ALL BATHROOMS AND AT KITCHENS BEHIND SINK AND DISHWASHER. REF. WALL TYPES.
- GYPSUM BOARD FINISH TO BE "LEVEL 4 SMOOTH" U/I O.
- KEYNOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
- PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN HIDDEN IN ELEVATION TO ALLOW BUILDING TO BE SEEN BETTER.

SYMBOL LEGEND

WALL ASSEMBLIES:

	CONCRETE WALL		STEEL STUD WALL
	MASONRY WALL		WOOD FRAMED WALL

1047A-08 WALL TAG (REF. A11.01 FOR ADDITIONAL INFORMATION)

515-10-1/2" CEILING HEIGHT TAG

51 GRID TAG ROOM TAG

1 A101 DETAIL REFERENCE

1 A101 INTERIOR ELEVATION

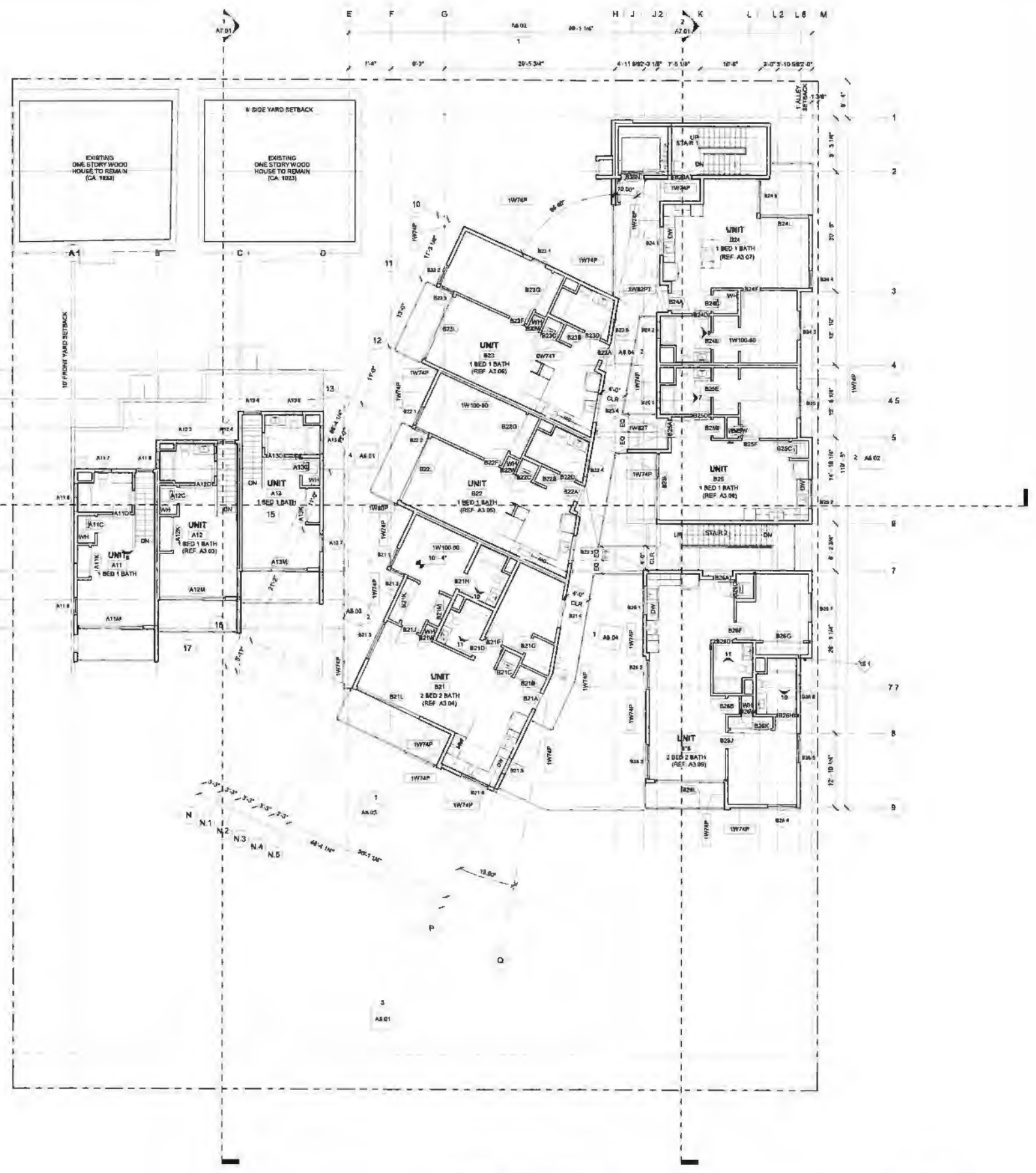
1 A101 SECTION REFERENCE

1 A101 SPOT ELEVATION HEIGHT ABOVE GROUND FLOOR LEVEL ABSOLUTE ELEVATION

KEYNOTES

- BOLLARD, REF. STRUCTURAL FOR CONNECTION DETAIL.
- CAST-IN PLACE CONCRETE STAIRS.
- CAST-IN PLACE CONCRETE SMOOTH SACK FINISH.
- CAST-IN PLACE CONCRETE MEDIUM BROOM FINISH NATURAL.
- CAST-IN PLACE CONCRETE SEALED.
- WHEEL EDDY PRE-CAST CONCRETE.
- CONCRETE MASONRY UNIT, CLEAR CONCRETE SEALER.
- SYSTEMS RETAINING WALL PER CIVIL DRAWINGS.
- PAINTED GALVANIZED STEEL CANDLEY, PT-2.
- PAINTED STEEL GUARDRAIL, PT-2.
- PAINTED STEEL HANDRAIL, PT-2.
- STEEL STAIRS, PT-1.
- PAINTED GALVANIZED STEEL TRELLIS, PT-1.
- PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN, PT-2.
- PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN, 6'-0" HIGH 22 GA SHEET METAL COPING, PAINT TO MATCH WALL FINISH.
- ANODIZED ALUMINUM DECORATIVE METAL SLASHING.
- PAINTED METAL MESH SCREEN.
- BATT INSULATION.
- EXTERIOR GLAZED DOOR, WM 1, VG-1.
- PAINTED EXTERIOR METAL GLAZED WOOD DOOR, PAINT PER BUILDING ELEV.
- WALL PANEL SLIDING GLASS DOORS, WM 1, VG-1.
- NOT USED.
- NOT USED.
- CUSTOM STEEL TILT UP GARAGE ENTRY DOOR, PT-2.
- VENT. WINDOW SYSTEM WM 1, VG-2.
- METAL DOOR PAINTED, REF. BUILDING ELEVATIONS.
- ALUMINUM LOADS, 90% MIN. FREE AIR.
- ZIPPY ACCESS DOOR, PAINTED TO MATCH WALL.
- FORTH AND CEMENT PLASTER, SMOOTH FINISH, REF. ELEV. FOR FINISH COLOR.
- NOT USED.
- NOT USED.
- MAL BOXES.
- VEHICLE CAR, SEHO SFZC OR SFZ AS NEEDED.
- EXTERIOR LIGHT FIXTURE, REF. ELECTRICAL.
- INTERIOR LIGHT FIXTURE, REF. ELECTRICAL.
- TRENCH DRAIN PER PLUMBING DRAWINGS.

KEY PLAN



SECOND FLOOR PLAN
1/8" = 1'-0"

NOT FOR CONSTRUCTION

CLIENT:



PROJECT NAME:

INDIANA STREET APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBER: 14023.00
AVRP STUDIOS: 14023.00
CLIENT: -
AGENCY: PTS # -
DRAWN BY: -
CHECKED BY: -
SHEET TITLE: LEVEL 2 FLOOR PLAN
SHEET NUMBER: -



ISSUE DATES: DATE
 DEV. PERMIT SUBM. 11/06/2014
 DEV. PERMIT RE-SUBM. 1/28/2015
 BLD. PERMIT SUBM. 3/04/2015
 DEV. PERMIT RE-SUBM. 4/17/2015
 DEV. PERMIT RE-SUBM. 5/20/2015

GENERAL NOTES

1. ALL WOOD FRAMED WALLS ARE DIMENSIONED FROM FACE OF STUD U.N.O. MASONRY WALLS ARE DIMENSIONED FROM FACE OF CMU U.N.O. CONCRETE WALLS ARE DIMENSIONED FROM FACE OF WALL CURB U.N.O.
2. INSTALL 5/8" TYPE X GYPSUM BOARD ON ALL INTERIOR WALLS & CEILINGS U.N.O., REF. WALL TYPES AND UL ASSEMBLIES.
3. RATED WALL ASSEMBLIES BEHIND TUB & SHOWER ENCLOSURES TO BE MAINTAINED AS DETAILED. ADDITIONAL LAYER OF GYPSUM BOARD AS REQUIRED, REF. WALL TYPES.
4. INSTALL CAL KING SEALANT AT ALL JOINTS & PENETRATIONS, REF. DETAILS.
5. REF. 11.7x SERIES DRAWINGS FOR ADDITIONAL INFORMATION REGARDING RATED ASSEMBLY PENETRATION DETAILS.
6. INSTALL BLOCKING IN WALLS FOR SECURE ATTACHMENT OF CABINETS, HANDRAILS, SHELVING, & FUTURE GRAB BARS AS REQUIRED, REF. 73.1x, AND 7. FURRED DOWN CEILING ARE BELOW RATED FLOOR CEILING ASSEMBLY HEIGHT AS INDICATED. REFER TO PARTITION TYPES.
8. INSTALL WASHING MACHINE RECESSED CONNECTION BOX 48" A.F.F. BOXES INSTALLED IN FIRE RATED ASSEMBLIES TO BE METAL. VERIFY MOUNTING HEIGHT w/ MANUFACTURER.
9. INSTALL DRIVER EXHAUST BOOSTER FANS AS REQUIRED. CONFIRM REQUIREMENTS OF HORIZONTAL RUNS w/ DRYER MANUFACTURERS.
10. INSTALL COMBINED SMOKE & CARBON MONOXIDE DETECTORS PER LOCAL CODES AND ORDINANCES, REF. ELECTRICAL & FIRE PROTECTION.
11. REFER TO ACCESSIBILITY DETAIL SHEETS AND 2013 CBC CHAPTER 11A FOR ADDITIONAL INFORMATION REGARDING ACCESSIBILITY REQUIREMENTS.
12. MOISTURE RESISTANT TYPE X GYPSUM BOARD TO BE INSTALLED AT ALL BATHROOMS AND AT KITCHENS BEHIND SINK AND DISHWASHER, REF. WALL TYPES.
13. GYPSUM BOARD FINISH TO BE "LEVEL 4 SMOOTH" U.N.O.
14. KEYNOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
15. PAINTED GALVANIZED DECORATIVE PRIVACY METAL. SCREEN HIDDEN IN ELEVATION TO ALLOW BUILDING TO BE SEEN BETTER.

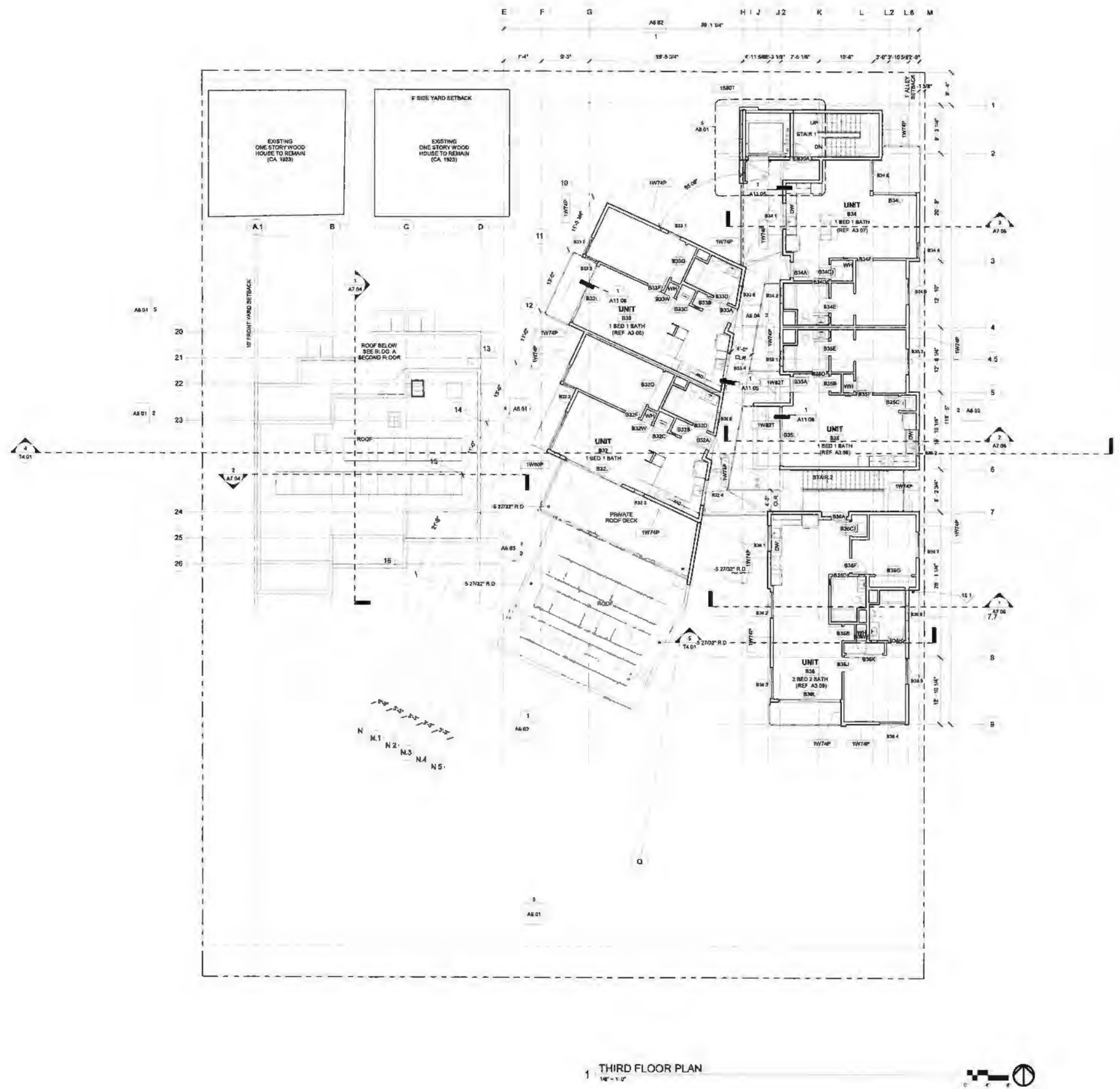
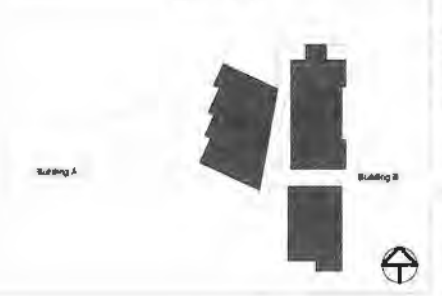
SYMBOL LEGEND

	CONCRETE WALL		STEEL STUD WALL
	MASONRY WALL		WOOD FRAMED WALL
	WALL TAG (REF. A11.01 FOR ADDITIONAL INFORMATION)		CEILING HEIGHT TAG
	GRID TAG		ROOM TAG
	DETAIL REFERENCE		KEYNOTE TAG (INTERNAL)
	INTERIOR ELEVATION		BATHROOM COMPLIES WITH CBC SEC. 1134A.2 OPTION 2 REF. TAB 31
	SECTION REFERENCE		ACCESSIBILITY CLEARANCE: 36"X48" TYP. 48"X36" AT W.C.
	SPOT ELEVATION		HEIGHT ABOVE GROUND FLOOR LEVEL: ABSOLUTE ELEVATION

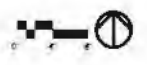
KEYNOTES

- 25 BOLLARD, REF. STRUCTURAL FOR CONNECTION DETAIL.
- 31 CAST-IN-PLACE CONCRETE STAIRS.
- 32 CAST-IN-PLACE CONCRETE, SMOOTH SALK FINISH.
- 33 CAST-IN-PLACE CONCRETE, MEDIUM BROOM FINISH, NATURAL.
- 34 CAST-IN-PLACE CONCRETE, BEAD ED.
- 35 WHEEL STOP, PRE-CAST CONCRETE.
- 41 CONCRETE MASONRY UNIT, CLEAR CONCRETE SEALER.
- 42 RELEASING BATTING BELL, PER CIVIL DRAWINGS.
- 51 PAINTED GALVANIZED STEEL CANGEE, PT-2.
- 52 PAINTED STEEL GUARDRAIL, PT-2.
- 53 PAINTED STEEL, NATURAL, PT-2.
- 54 STEEL STAIRS, PT-1.
- 55 PAINTED GALVANIZED STEEL TUBULUS, PT-1.
- 56 PAINTED GALVANIZED DECORATIVE METAL SCREEN, PT-2.
- 57 PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN, 48" X 48" HIGH Z2 GA SHEET METAL CORING, PAINT TO MATCH WALL FINISH.
- 58 ANODIZED ALUMINUM DECORATIVE METAL FLASHING.
- 59 PAINTED METAL MESH SCREEN.
- 71 BATT INSULATION.
- 81 EXTERIOR GLAZED DOOR, WM-1, VG-1.
- 82 PAINTED EXTERIOR METAL GLAZED WOOD DOOR, PAINT PER BUILDING ELEV.
- 83 MULTIPANE SLIDING GLASS DOORS, WM-1, VG-1.
- 84 NOT USED.
- 85 NOT USED.
- 86 CUSTOM STEEL TILT UP GARAGE ENTRY DOOR, PT-2.
- 89 YIELD HINGED SYSTEM, WM-1, VG-1.
- 91 METAL DOOR, PAINTED, REF. BUILDING ELEVATIONS.
- 92 ALUMINUM COVER, 50% MIN. FREE AIR.
- 93 Z4004 ACCESS DOOR, PAINTED TO MATCH WALL.
- 81 PORTLAND CEMENT PLASTER, SMOOTH FINISH, REF. ELEV. FOR FINISH COLOR.
- 82 NOT USED.
- 84 NOT USED.
- 101 MALBORGES.
- 15.1 VENT CAS. BEHIND SPFC OR BFC AS NEEDED.
- 16.1 EXTERIOR LIGHT FIXTURE, REF. ELECTRICAL.
- 16.2 INTERIOR LIGHT FIXTURE, REF. ELECTRICAL.
- 22.1 TRENCH DRAIN PER PLUMBING DRAWINGS.

KEY PLAN



1 THIRD FLOOR PLAN
1/4" = 1'-0"



NOT FOR CONSTRUCTION

THE IRVING GROUP

PROJECT NAME:

INDIANA STREET APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBER: 14023.00
 CLIENT: AVRP STUDIOS
 AGENCY: PTS #
 DRAWN BY:
 CHECKED BY:
 SHEET TITLE:
 LEVEL 3 FLOOR PLAN
 SHEET NUMBER:

A2.04



GENERAL NOTES

- ALL WOOD FRAMED WALLS ARE DIMENSIONED FROM FACE OF STUD U.O. MASONRY WALLS ARE DIMENSIONED FROM FACE OF CMU U.O. CONCRETE WALLS ARE DIMENSIONED FROM FACE OF WALL CURB U.O.
- INSTALL 5/8" TYPE X GYPSUM BOARD ON ALL INTERIOR WALLS & CEILING U.O. REF. WALL TYPES AND LA ASSEMBLIES.
- RATED WALL ASSEMBLIES BEHIND TUB & SHOWER ENCLOSURES TO BE MAINTAINED AS DETAILED. ADDITIONAL LAYER OF GYPSUM BOARD AS REQUIRED. REF. WALL TYPES.
- INSTALL CAULKING/SEALANT AT ALL JOINTS & PENETRATIONS. REF. DETAILS.
- REF. 11.74 SERIES DRAWINGS FOR ADDITIONAL INFORMATION REGARDING RATED ASSEMBLY PENETRATION DETAILS.
- INSTALL BLOCKING IN WALLS FOR SECURE ATTACHMENT OF CABINETS, HANDRAILS, SHELVS, & FUTURE GRAB BARS AS REQUIRED. REF. 73.19. AND
- FURRED DOWN CEILING ARE BELOW RATED FLOOR CEILING ASSEMBLY HEIGHT AS INDICATED. REFER TO PARTITION TYPES.
- INSTALL WASHING MACHINE RECESSED CONNECTION BOX 48" A.F.F. BOXES INSTALLED IN FIRE RATED ASSEMBLIES TO BE METAL. VERIFY MOUNTING HEIGHT w/ MANUFACTURER.
- INSTALL DRYER EXHAUST BOOSTER FANS AS REQUIRED. CONFIRM REQUIREMENTS OF HORIZONTAL RUNS w/ DRYER MANUFACTURERS.
- INSTALL COMBINED SMOKE & CARBON MONOXIDE DETECTORS PER LOCAL CODES AND ORDINANCES. REF. ELECTRICAL & FIRE PROTECTION.
- REFER TO ACCESSIBILITY DETAILS SHEETS AND 2015 CBC CHAPTER 11A FOR ADDITIONAL INFORMATION REGARDING ACCESSIBILITY REQUIREMENTS.
- MOISTURE RESISTANT TYPE X GYPSUM BOARD TO BE INSTALLED AT ALL BATHROOMS AND AT KITCHENS BEHIND SINK AND DISHWASHER. REF. WALL TYPES.
- GYPSUM BOARD FINISH TO BE "LEVEL 4 SMOOTH" U.O. N.
- KEYNOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
- PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN HIDDEN IN ELEVATION TO ALLOW BUILDING TO BE SEEN BETTER.

SYMBOL LEGEND

	CONCRETE WALL		STEEL STUD WALL
	MASONRY WALL		WOOD FRAMED WALL
	GRID TAG		ROOM TAG
	DETAIL REFERENCE		KEYNOTE TAG (INTERIOR)
	INTERIOR ELEVATION		BATHROOM COMPLEX WITH CBC SEC 113A.2 OPTION 2 REF. TAB 51
	SECTION REFERENCE		ACCESSIBILITY CLEARANCE 30"x48" TYP. 48"x36" AT W.C.
	SPOT ELEVATION HEIGHT ABOVE GROUND FLOOR LEVEL. ABSOLUTE ELEVATION		

KEYNOTES

- INCL. REF. STRUCTURAL FOR CONNECTION DETAIL.
- CAST-IN PLACE CONCRETE STAIRS.
- CAST-IN PLACE CONCRETE SMOOTH SACK FINISH.
- CAST-IN PLACE CONCRETE MEDIUM BROOM FINISH, NATURAL.
- CAST-IN PLACE CONCRETE BEADED.
- WELDED STEEL PIPE CAST CONCRETE.
- CONCRETE MASONRY UNIT, CLEAR CONCRETE SEALER.
- KEystone STAIRING WALL, PER CIV. DRAINAGE.
- PAINTED GALVANIZED STEEL CANOPY, PT. 2.
- PAINTED STEEL GUARDRAIL, PT. 2.
- PAINTED STEEL HANDRAIL, PT. 2.
- STEEL STAIRS, PT. 1.
- PAINTED GALVANIZED STEEL TRUSS, PT. 1.
- PAINTED GALVANIZED DECORATIVE METAL SCREEN, PT. 2.
- PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN, 6' 0" HIGH.
- 22 GA. SHEET METAL CORING, PAINT TO MATCH WALL FINISH.
- ANODIZED ALUMINUM DECORATIVE METAL FLASHING.
- PAINTED METAL MESH SCREEN.
- BAT. INSULATION.
- EXTERIOR GLAZED DOORS, WM 1, VG-1.
- PAINTED EXTERIOR METAL GLAZED WOOD DOOR, PAINT PER BUILDING ELEV.
- MULTI-PANE, 8' 0" X 8' 0" GLAZED DOORS, WM 1, VG-1.
- NOT USED.
- NOT USED.
- CUSTOM STEEL TILT UP GARAGE ENTRY DOOR, PT. 2.
- UNIT WINDOW SYSTEM WM 1, VG-2.
- METAL DOOR, PAINTED, REF. BUILDING ELEVATIONS.
- ALUMINUM COVER, 5/8" MIN. FREE AIR.
- 2" X 4" ACCESS DOORS, PAINTED TO MATCH WALL.
- PORTLAND CEMENT PLASTER, SMOOTH FINISH, REF. ELEV. FOR FINISH COLOR.
- NOT USED.
- NOT USED.
- MAIL BOXES.
- VENT CAP, BEHO BRZC OR SFZ AS NEEDED.
- EXTERIOR LIGHT FIXTURE, REF. ELECTRICAL.
- INTERIOR LIGHT FIXTURE, REF. ELECTRICAL.
- TRENCH DRAIN PER PLUMBING DRAWINGS.

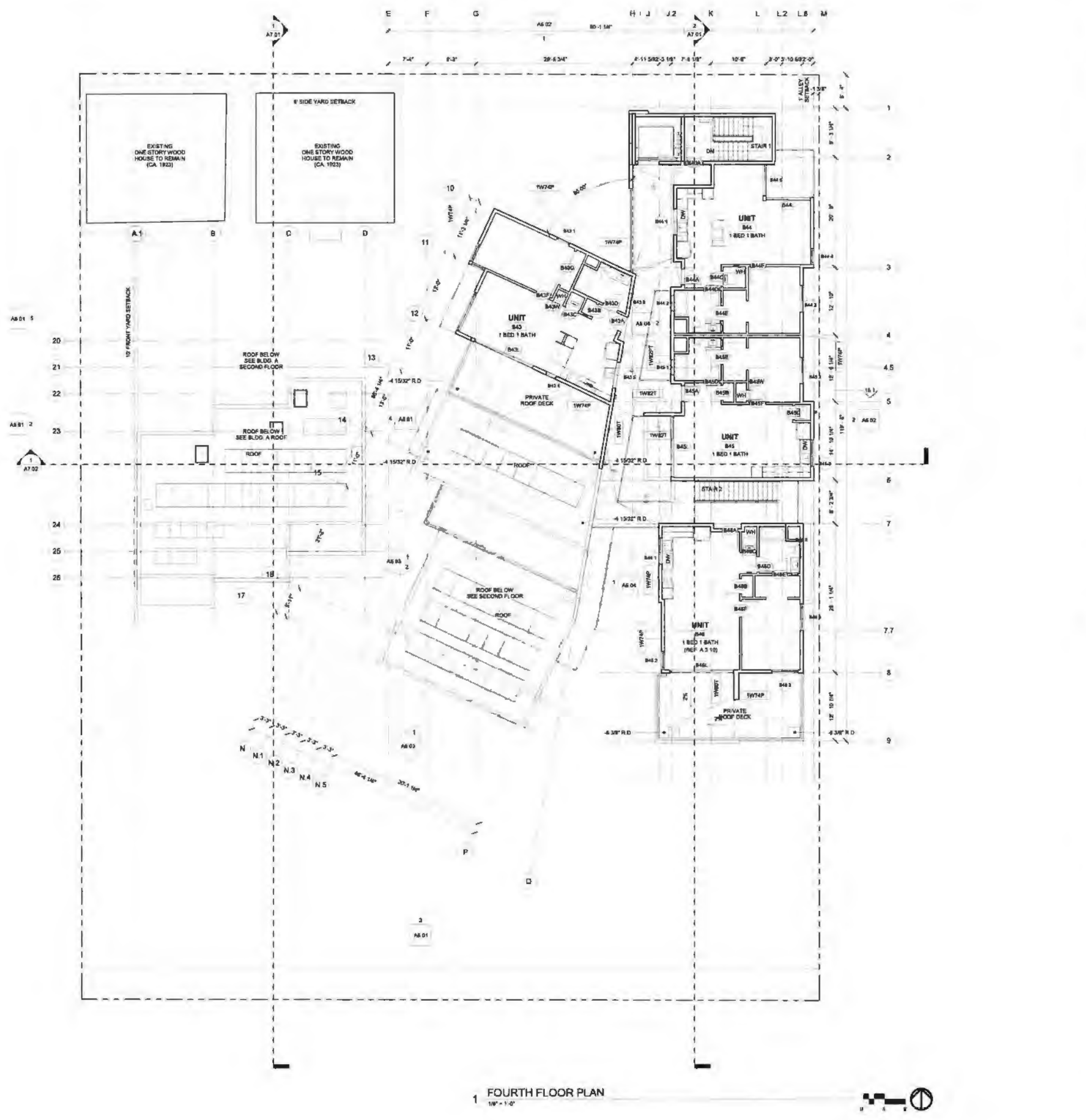
ISSUE DATE:	DATE:
DEV. PERMIT SUBM.	11/06/2014
DEV. PERMIT RE-SUBM.	1/28/2015
BLD. PERMIT SUBM.	3/04/2015
DEV. PERMIT RE-SUBM.	4/17/2015
DEV. PERMIT RE-SUBM.	5/20/2015

CLIENT:
THE IRVING GROUP

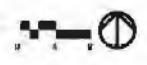
PROJECT NAME:
INDIANA STREET APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBER: 14023.00
CLIENT: IRVING GROUP
AGENCY: PFS #
DRAWN BY:
CHECKED BY:
SHEET TITLE:
LEVEL 4 FLOOR PLAN
SHEET NUMBER:
A2.05

PROJECT NUMBER: 14023.00
CLIENT: IRVING GROUP
AGENCY: PFS #
DRAWN BY:
CHECKED BY:
SHEET TITLE:
LEVEL 4 FLOOR PLAN
SHEET NUMBER:
A2.05



1 FOURTH FLOOR PLAN
1/8" = 1'-0"



KEY PLAN



PROJECT NUMBER: 14023.00
CLIENT: IRVING GROUP
AGENCY: PFS #
DRAWN BY:
CHECKED BY:
SHEET TITLE:
LEVEL 4 FLOOR PLAN
SHEET NUMBER:
A2.05

AVP STUDIOS ARCHITECTURAL & INTERIOR DESIGN, 783 12TH STREET, SUITE 208, SAN DIEGO, CA 92101. P 619 794 2700, F 619 794 2849, WWW.AVPSTUDIOS.COM. PROJECT: 3525-3535 INDIANA STREET, SAN DIEGO, CA. ARCHITECT: AVP STUDIOS ARCHITECTURAL & INTERIOR DESIGN. INTERIOR DESIGN: AVP STUDIOS ARCHITECTURAL & INTERIOR DESIGN. PLANNING: AVP STUDIOS ARCHITECTURAL & INTERIOR DESIGN. DATE: 11/06/2014. SHEET: A2.05.

CLASS A TPO ROOF

UL ONLINE CERTIFICATION DIRECTORY

TGFUR10167 Roofing Systems

Roofing Systems

UL ONLINE CERTIFICATION DIRECTORY

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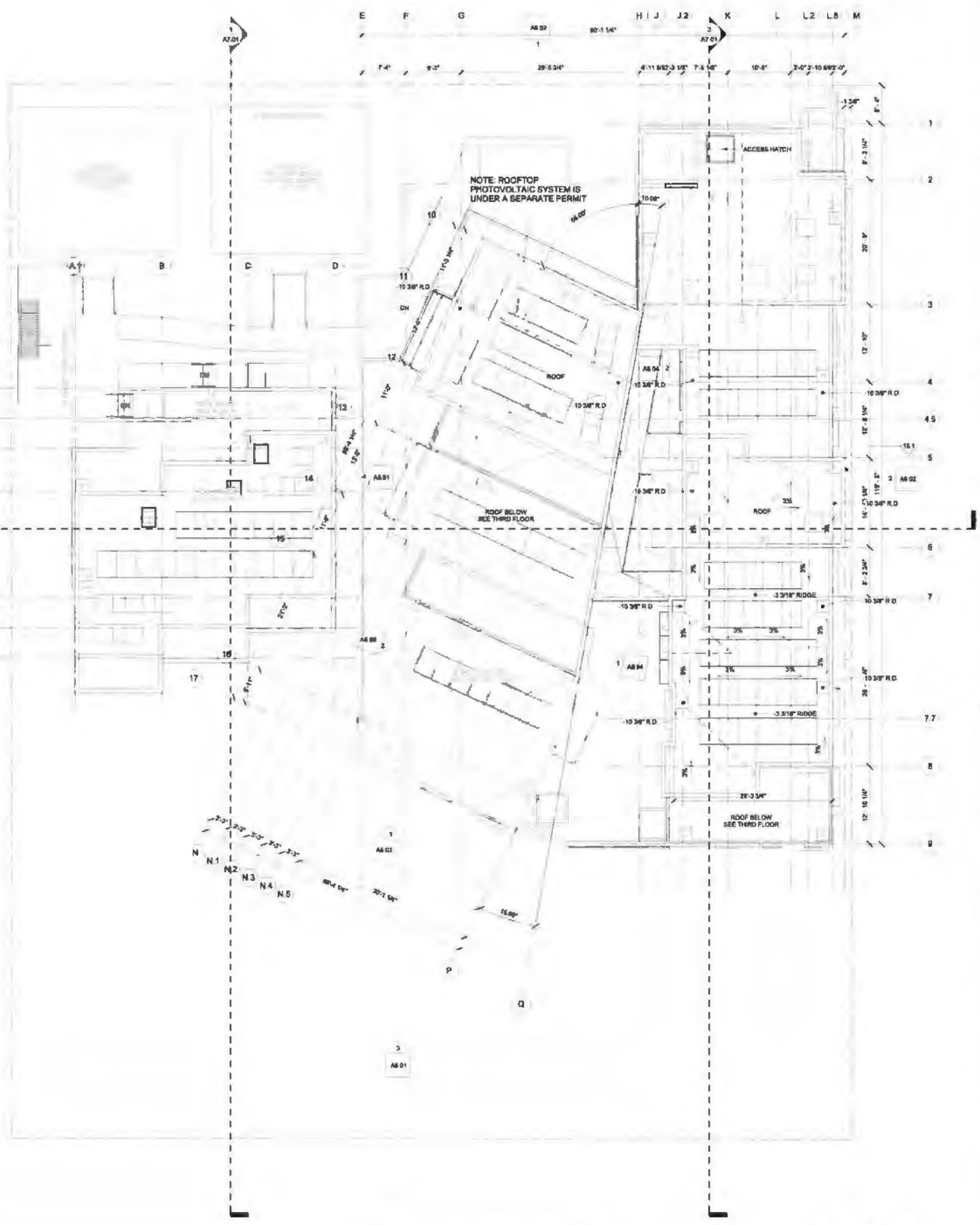
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1 OCCUPIED ROOF DECK AND ROOF PLAN

- GENERAL NOTES: 1. ALL WOOD FRAMED WALLS ARE DIMENSIONED FROM FACE OF STUD U.N.O. MASONRY WALLS ARE DIMENSIONED FROM FACE OF CMU U.N.O. ...

SYMBOL LEGEND: WALL ASSEMBLY: CONCRETE WALL, MASONRY WALL, STEEL STUD WALL, WOOD FRAMED WALL. KEYNOTES: 28 BOLLARD, REF. STRUCTURAL FOR CONNECTION DETAIL. ...

KEY PLAN: Building A, Building B. Includes a north arrow and scale bar.

CLIENT: THE IRVING GROUP. PROJECT NAME: INDIANA STREET APARTMENTS. PROJECT NUMBER: 14023.00. CLIENT: AVRP STUDIOS. AGENCY: PTS. DRAWN BY: CHECKED BY: SHEET TITLE: ROOF PLAN. SHEET NUMBER: A2.06.

ATTACHMENT 9. avrp studios ARCHITECTURE + INTERIOR DESIGN + PLANNING. 703 4th Street, San Diego, California 92101. PROJECT NAME: INDIANA STREET APARTMENTS. 3525 - 3535 Indiana Street, San Diego, CA 92103. PROJECT NUMBER: 14023.00. CLIENT: AVRP STUDIOS. AGENCY: PTS. DRAWN BY: CHECKED BY: SHEET TITLE: ROOF PLAN. SHEET NUMBER: A2.06. 13 of 33.



DESCRIPTION:	DATE:
DEV. PERMIT SUBM.	11/06/2014
DEV. PERMIT RE-SUBM.	1/28/2015
BLD. PERMIT SUBM.	3/04/2015
DEV. PERMIT RE-SUBM.	4/17/2015
DEV. PERMIT RE-SUBM.	5/20/2015

NOT FOR CONSTRUCTION



INDIANA STREET APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

GENERAL NOTES

- GRID LINES ARE MEASURED TO THE OUTSIDE OF STRUCTURE AT EXTERIOR WALLS
- KEYNOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET
- DIMENSIONS SHOWN ARE TYPICAL OF THIS SHEET ONLY, UNLESS NOTED OTHERWISE
- REFER TO CIVIL DRAWINGS FOR DRAINAGE INFORMATION
- REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
- REFER TO LANDSCAPE/IRRIGATION FOR ADDITIONAL INFORMATION
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- REFER TO WALL AND FLOOR TYPES (A11 01) FOR INSULATION R VALUES
- ALL ROOFING TO BE CLASS 'A' FIRE RATED
- THE PROJECT SHALL COMPLY WITH THE COUNTY OF SAN DIEGO LIGHTING ORDINANCE
- ALL EXTERIOR WALLS TO BE MIN ONE-HOUR FIRE RATED
- NOTE: HEIGHT OF THE BUILDING IS THE VERTICAL DISTANCE FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. (CBC 502.1)
- ACTUAL BUILDING HEIGHT MUST BE EQUAL TO OR LESS THAN ACTUAL BUILDING HEIGHT'S

ELEVATION KEYNOTES:

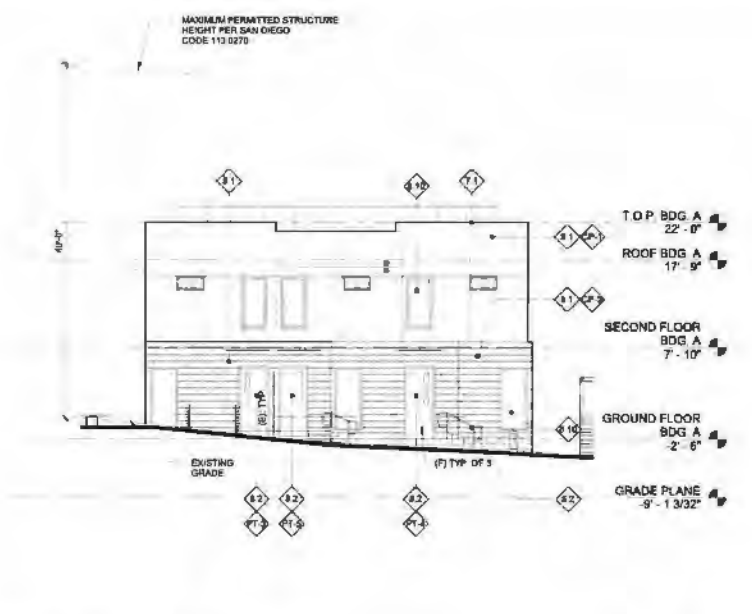
- BOLLARD, REF. STRUCTURAL FOR CONNECTION DETAIL
- CAST-IN-PLACE CONCRETE, STAIRS
- CAST-IN-PLACE CONCRETE, SMOOTH SACK FINISH
- CAST-IN-PLACE CONCRETE, MEDIUM BROOM FINISH, NATURAL
- CAST-IN-PLACE CONCRETE, SEALER
- WHEEL STOP, PRE-CAST CONCRETE
- CONCRETE MASONRY LIMIT, CL SAN CONCRETE SEALER
- KEYSTONE RETAINING WALL, PER CIVIL DRAWINGS
- PAINTED GALVANIZED STEEL CANOPY, PT 2
- PAINTED STEEL GUARDRAIL, PT 2
- PAINTED STEEL HANDRAIL, PT 2
- STEEL STAIRS, PT 1
- PAINTED GALVANIZED STEEL TRELIS, PT 1
- PAINTED GALVANIZED DECORATIVE METAL SCREEN, PT 2
- PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN, 6" O" HIGH
- 22 GA. SHEET METAL COPING PAINT TO MATCH WALL FINISH
- ANODIZED ALUMINUM DECORATIVE METAL FLASHINGS
- PLANTING, SEE LANDSCAPE
- BATT INSULATION
- EXTERIOR GLASS DOOR, WM-1, VG-1
- PAINTED EXTERIOR METAL CLAD WOOD DOOR, PAINT PER BUILDING ELEV
- MULTI-PANE, SLIDING GLASS DOORS, WM-1, VG-1
- NOT USED
- NOT USED
- CUSTOM STEEL TILT UP GARAGE ENTRY DOOR, PT 2
- VINYL WINDOW SYSTEM, WM-1, VG-2
- METAL DOOR, PAINTED, REF. BUILDING ELEVATIONS
- ALUMINUM DIVIDER, 50% MIN. FREE AIR
- ACCESS DOOR, PAINTED TO MATCH WALL
- PORTLAND CEMENT PLASTER, SMOOTH FINISH, REF. ELEV. FOR FINISH COLOR
- NOT USED
- NOT USED
- MANHOLES
- VENT CAP, 5/8" DIA OR 5/2" AS NEEDED
- EXTERIOR LIGHT FIXTURE, REF. ELECTRICAL
- INTERIOR LIGHT FIXTURE, REF. ELECTRICAL
- TRENCH DRAIN PER PLUMBING DRAWINGS

ARCHITECTURAL FEATURES:

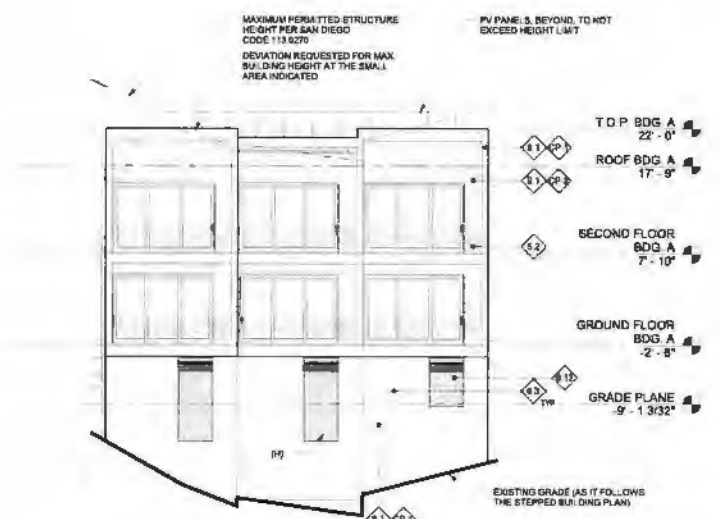
- SDMC 1512 0304(b)(1)
- (A) MULTIPLE PITCHED ROOFS (DEVIATION REQUESTED, REF. T1 01)
- (C) A MINIMUM OF ONE CL. EXTERIOR WINDOW PER 50' OF STREET ELEVATION (DEVIATION REQUESTED, REF. T1 01)
- (E) A MINIMUM OF ONE TRANSOM WINDOW (DEVIATION REQUESTED, REF. T1 01)
- (F) AN ENTRY PORCH
- (H) PLANTED WALL MOUNTED LATTICE

BUILDING ELEVATION FINISH LEGEND:

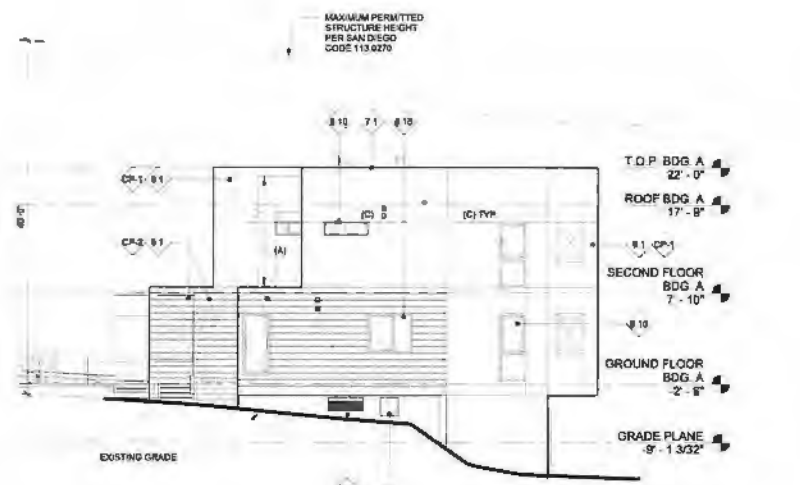
- WM1 WINDOW MULLION 1
FINISH TO MATCH NATURAL ALUMINUM
- VG-1 VISION GLASS 1
CLEAR INSULATED GLASS
- CP-1 CEMENT PLASTER 1, GENERAL COLOR
WHITE, SMOOTH FINISH
- CP-2 CEMENT PLASTER 2, ACCENT COLOR
TAN, SMOOTH FINISH
- PT-1 PAINT 1, TRELISES
WHITE TO MATCH CP-1
- PT-2 PAINT 2, BAILING, WINDOW & DOOR SHADING DEVICES
SILVER COLOR TO MATCH WINDOW MULLIONS
- PT-3 PAINT 3, ENTRY DOORS
OCHRE (B.O.D. SHERWIN-WILLIAMS
SW 8068 TRAVEL)
- PT-4 PAINT 4, ENTRY DOORS
ORANGE (B.O.D. SHERWIN-WILLIAMS
SW 6883 TRAUICULOUS DRANGE)
- PT-5 PAINT 5, ENTRY DOORS
RED (B.O.D. SHERWIN-WILLIAMS
SW 8068 TRAVEL RSD)



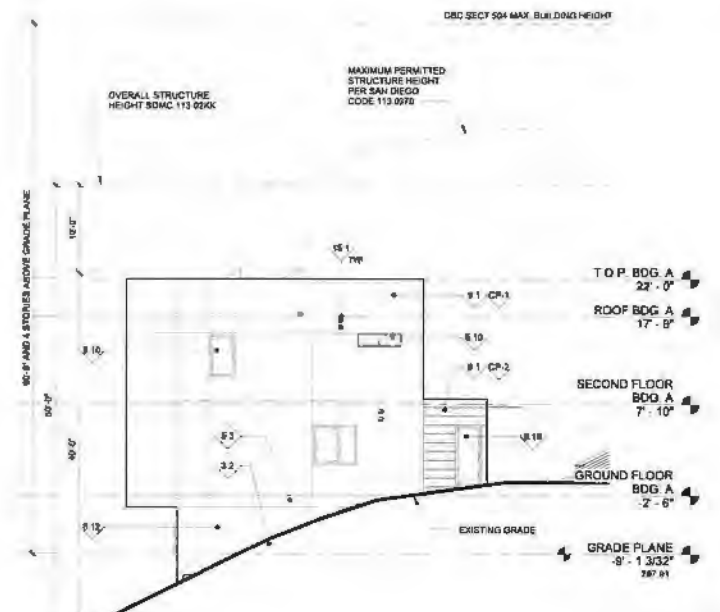
1 BUILDING A NORTH ELEVATION
1/8" = 1'-0"



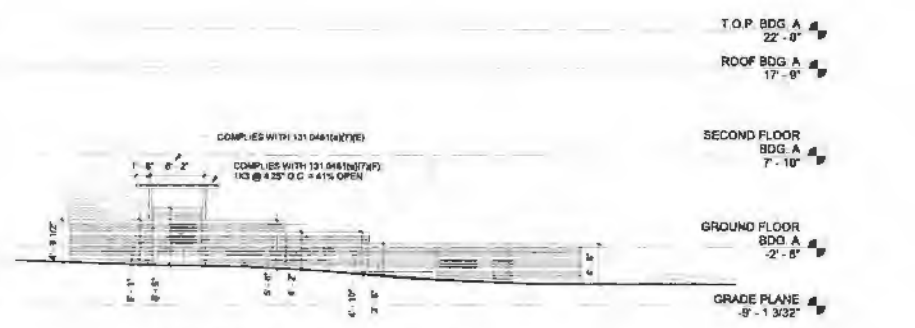
3 BUILDING A SOUTH ELEVATION
1/8" = 1'-0"



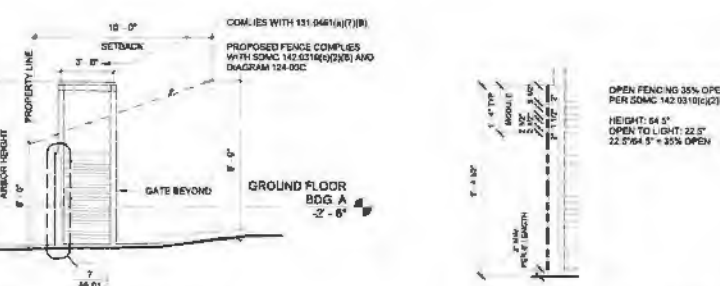
2 BUILDING A WEST ELEVATION
1/8" = 1'-0"



4 BUILDING A EAST ELEVATION
1/8" = 1'-0"



5 ENTRY ARBOR & FENCE ELEVATION
1/8" = 1'-0"



6 FENCE AND ARBOR SECTION
1/8" = 1'-0"



7 OPEN FENCE CALCULATION
1/8" = 1'-0"

AVRP STUDIOS, INC. 10000 LA JOLLA VILLAGE CENTER DRIVE, SUITE 100, LA JOLLA, CALIFORNIA 92037 TEL: 619 794 2709 FAX: 619 794 2888 WWW.AVRPSTUDIOS.COM

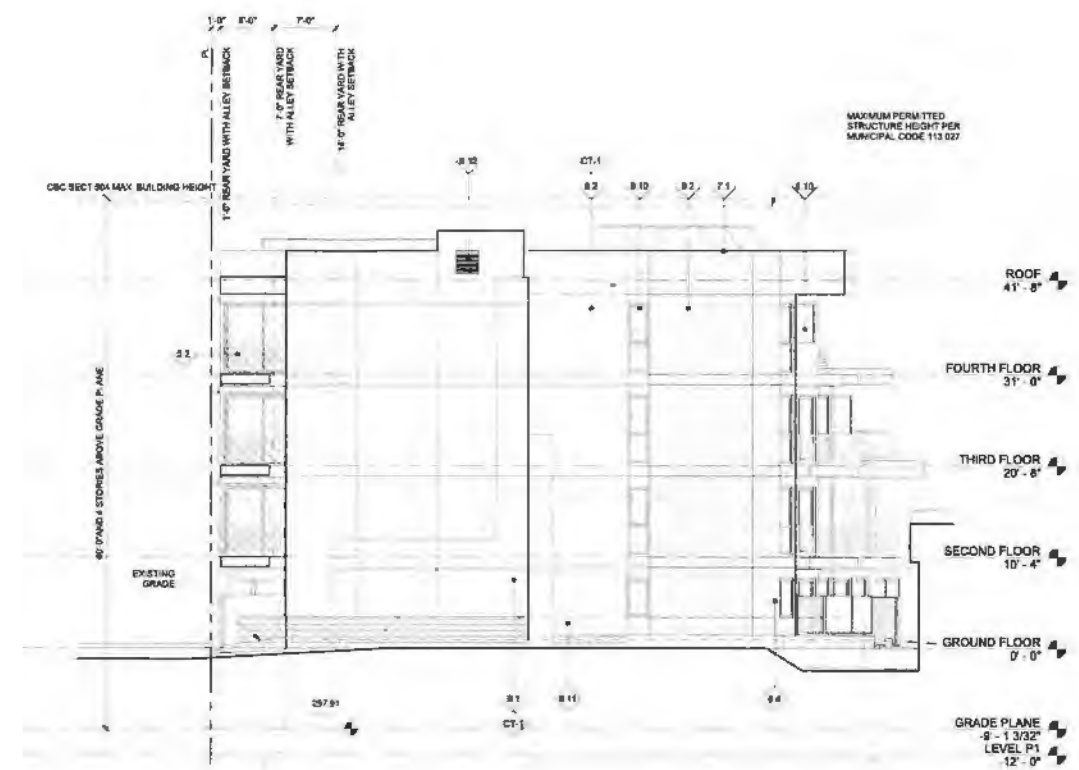


CONTRACT NUMBER: _____
CONSULTANT STAMP: _____

ISSUE DATE	DESCRIPTION	DATE
DEV. PERMIT SUBM.		11/06/2014
DEV. PERMIT RE-SUBM.		1/28/2015
BLD. PERMIT SUBM.		3/04/2015
DEV. PERMIT RE-SUBM.		4/17/2015
DEV. PERMIT RE-SUBM.		5/20/2015

GENERAL NOTES

1. VOLUMES ARE MEASURED TO THE OUTSIDE OF STRUCTURE AT EXTERIOR WALLS
2. KEYNOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET
3. DIMENSIONS SHOWN ARE TYPICAL OF THIS SHEET ONLY, UNLESS NOTED OTHERWISE
4. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION
5. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
6. REFER TO LANDSCAPE/IRRIGATION FOR ADDITIONAL INFORMATION
7. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
8. REFER TO WALL AND FLOOR TYPES (A11 01) FOR INSULATION R VALUES
9. ALL ROOFING TO BE CLASS 'A' FIRE RATED
10. THE PROJECT SHALL COMPLY WITH THE COUNTY OF SAN DIEGO LIGHTING DISTANCE
11. ALL EXTERIOR WALLS TO BE MIN. ONE HOUR FIRE RATED
12. NOTE: HEIGHT OF THE BUILDING IS THE VERTICAL DISTANCE FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. (CBC 502.1)
13. ACTUAL BUILDING HEIGHT MUST BE EQUAL TO OR LESS THAN ACTUAL BUILDING HEIGHT



1 BUILDING B NORTH ELEVATION
1/8" = 1'-0"

ELEVATION KEYNOTES:

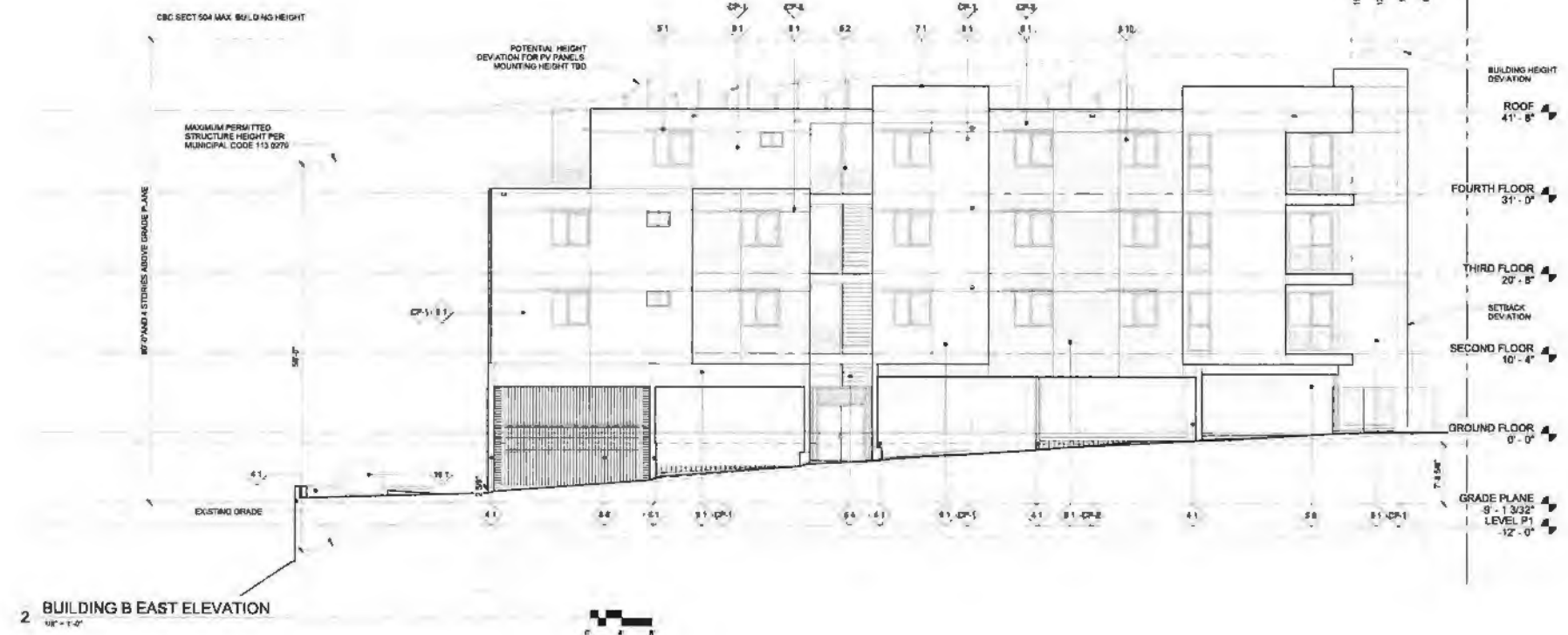
26. ROLLER, REF. STRUCTURAL FOR CONNECTION DETAIL.
31. CAST-IN-PLACE CONCRETE STAIRS
32. CAST-IN-PLACE CONCRETE SMOOTH BACK FINISH
33. CAST-IN-PLACE CONCRETE MEDIUM BROOM FINISH
34. CAST-IN-PLACE CONCRETE SEALER
35. WHEEL STOP, PRE-CAST CONCRETE
41. CONCRETE MASONRY UNCO. CLEAR CONCRETE SEALER
42. KEYSTONE RETAINING WALL, PER CIVIL DRAWINGS
51. PAINTED GALVANIZED STEEL, GANTRY, PT-2
52. PAINTED STEEL GUARDRAIL, PT-2
53. PAINTED STEEL HANDRAIL, PT-2
54. STEEL STAIRS, PT-1
55. PAINTED GALVANIZED STEEL, TRELIS, PT-1
56. PAINTED GALVANIZED DECORATIVE METAL SCREEN, PT-2
57. PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN, 6'-0" HIGH
58. 22 GA. SHEET METAL COPING, PAINT TO MATCH WALL FINISH
59. ANODIZED ALUMINUM DECORATIVE METAL FLASHING
510. PLANTED METAL MESH SCREEN
71. BATT INSULATION
81. EXTERIOR GLAZED DOOR, WM-1, VG-1
82. PAINTED EXTERIOR METAL CLAD WOOD DOOR, PAINT PER BUILDING ELEV.
83. METAL FRAME, SLIDING GLASS DOOR, WM-1, VG-1
84. NOT USED
85. NOT USED
86. CUSTOM STEEL TILT UP GARAGE ENTRY DOOR, PT-2
810. VMV WINDOW SYSTEM WM-1, VG-2
811. METAL DOOR, PAINTED, REF. BUILDING ELEVATIONS
812. ALUMINUM COVER, 50% MIN. FREE AIR
813. 24"X24" ACCESS DOOR, PAINTED TO MATCH WALL
814. PORTLAND CEMENT PLASTER, SMOOTH FINISH, REF. ELEV. FOR FINISH COLOR
815. NOT USED
816. NOT USED
101. MUD BOSS
151. VENT CAP, 6"X6" BRZ OR SFZ AS NEEDED
181. EXTERIOR LIGHT FIXTURE, REF. ELECTRICAL
182. INTERIOR LIGHT FIXTURE, REF. ELECTRICAL
221. TRENCH DRAIN PER PLUMBING DRAWINGS

ARCHITECTURAL FEATURES:

- (A) MULTIPLE PITCHED ROOFS (DEVIATION REQUESTED, REF. T1 01)
- (C) A MINIMUM OF ONE CLERESTORY WINDOW PER 50' OF STREET ELEVATION (DEVIATION REQUESTED, REF. T1 01)
- (E) A MINIMUM OF ONE TRANSOM WINDOW (DEVIATION REQUESTED, REF. T1 01)
- (F) AN ENTRY PORCH
- (H) PLANTED WALL MOUNTED LATTICE

BUILDING ELEVATION FINISH LEGEND:

- WM-1 WINDOW MULLION 1
FINISH TO MATCH NATURAL ALUMINUM
- VG-1 VISION GLASS 1
CLEAR INSULATED GLASS
- CP-1 CEMENT PLASTER 1, GENERAL GO. OR
WHITE, SMOOTH FINISH
- CP-2 CEMENT PLASTER 2, ACCENT CO. OR
TAN, SMOOTH FINISH
- PT-1 PAINT 1, TRELIS
WHITE TO MATCH CP-1
- PT-2 PAINT 2, RAILING WINDOW & DOOR SHADING DEVICES
SILVER COLOR TO MATCH WINDOW MULLIONS
- PT-3 PAINT 3, ENTRY DOORS
ORANGE (B.O.D. SHERWIN WILLIAMS SW 6685 "FRANKET")
- PT-4 PAINT 4, ENTRY DOORS
ORANGE (B.O.D. SHERWIN WILLIAMS SW 6683 "RAUCOUS ORANGE")
- PT-5 PAINT 5, ENTRY DOORS
RED (B.O.D. SHERWIN WILLIAMS SW 6609 "RAVE RED")



2 BUILDING B EAST ELEVATION
1/8" = 1'-0"

NOT FOR CONSTRUCTION

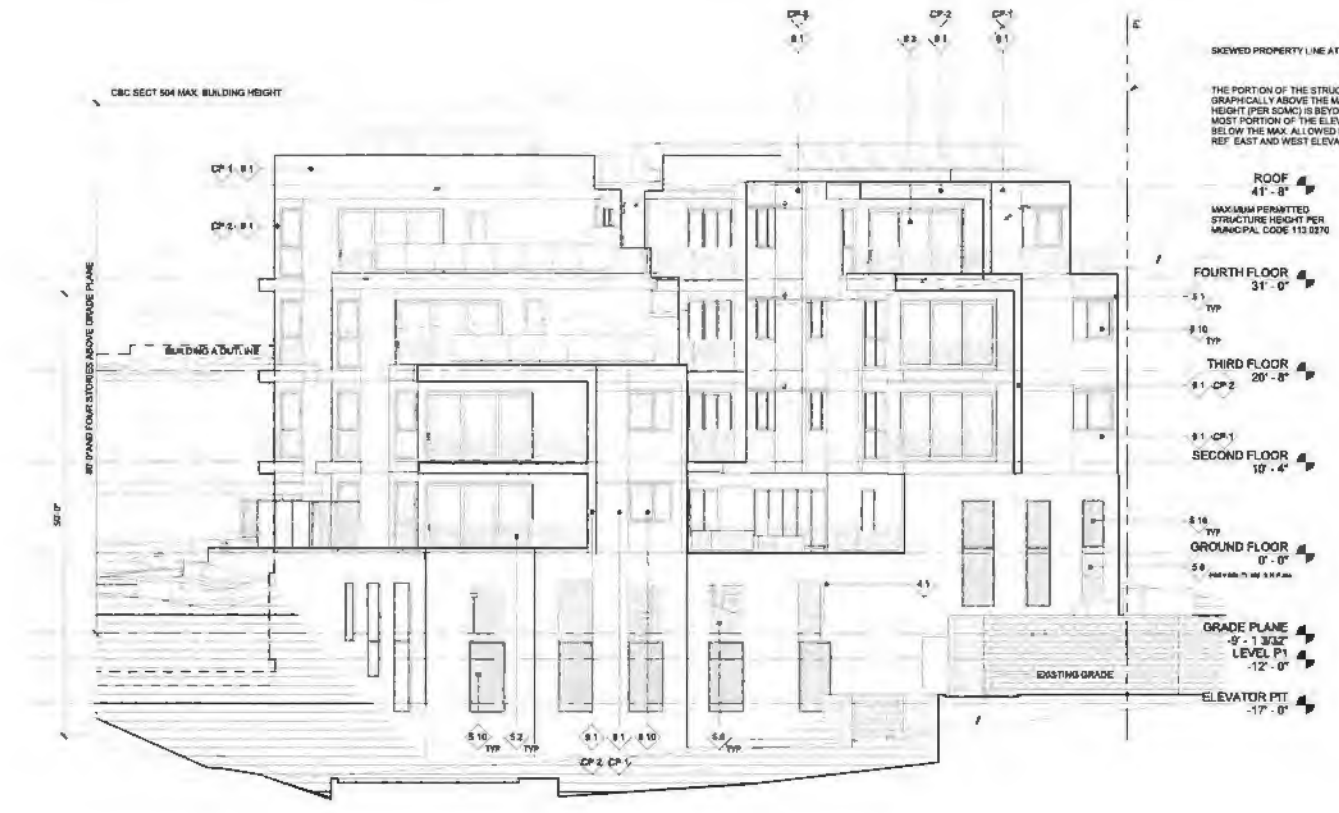


PROJECT NAME: _____

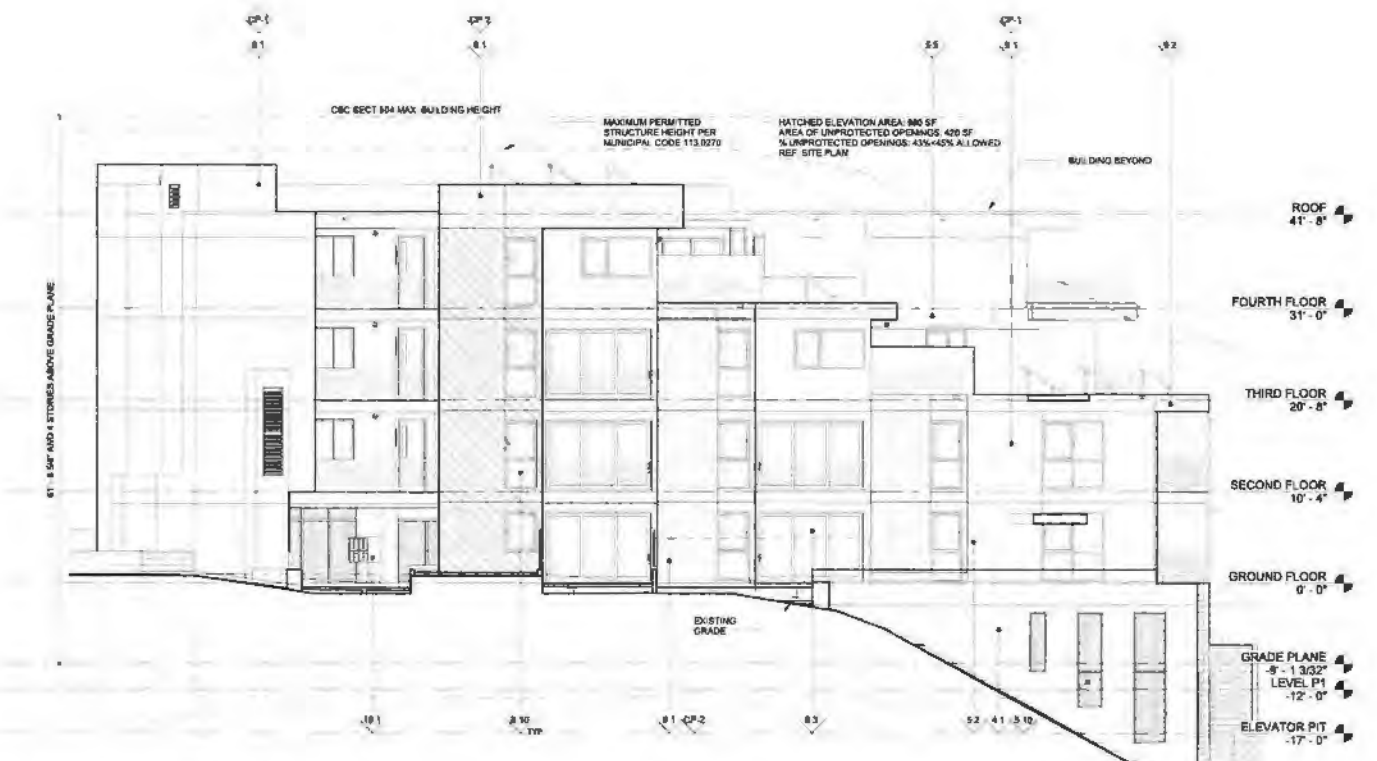
INDIANA STREET APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBER: 14023.00
CLIENT: PTS B.
AGENCY: PTS B.
DRAWN BY: _____
CHECKED BY: _____
SHEET TITLE: BLDG B NORTH AND EAST ELEVATIONS
SHEET NUMBER: _____

A6.02



1 BUILDING B SOUTH ELEVATION
1/8" = 1'-0"



2 BUILDING B WEST ELEVATION
1/8" = 1'-0"

GENERAL NOTES

1. DIMENSIONS ARE MEASURED TO THE OUTSIDE OF STRUCTURE AT EXTERIOR WALLS
2. KEYNOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET
3. DIMENSIONS SHOWN ARE TYPICAL OF THIS SHEET ONLY, UNLESS NOTED OTHERWISE
4. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION
5. REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
6. REFER TO LANDSCAPE/IRRIGATION FOR ADDITIONAL INFORMATION
7. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
8. REFER TO WALL AND FLOOR TYPES (A11.01) FOR INSULATION R-VALUES
9. ALL ROOFING TO BE CLASS A FIRE RATED
10. THE PROJECT SHALL COMPLY WITH THE COUNTY OF SAN DIEGO LIGHTING ORDINANCE
11. ALL EXTERIOR WALLS TO BE MIN. ONE-HOUR FIRE RATED
12. NOTE: HEIGHT OF THE BUILDING IS THE VERTICAL DISTANCE FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE. (CBC 502.1)
13. ACTUAL BUILDING HEIGHT MUST BE EQUAL TO OR LESS THAN ACTUAL BUILDING HEIGHT IS



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www.avrpstudios.com

ARCHITECT STAMP



CONSULTANT

CONSULTANT STAMP

ISSUE DATES	DESCRIPTION	DATE
DEV. PERMIT SUBM	DEV. PERMIT RE-SUBM	11/08/2014
BLD. PERMIT SUBM	BLD. PERMIT RE-SUBM	3/04/2015
DEV. PERMIT RE-SUBM	DEV. PERMIT RE-SUBM	4/17/2015
DEV. PERMIT RE-SUBM	DEV. PERMIT RE-SUBM	5/20/2015

ELEVATION KEYNOTES:

- 2.8. HOLLAND, REF. STRUCTURAL FOR CONNECTION DETAIL
- 3.1. CAST-IN PLACE CONCRETE STAIRS
- 3.2. CAST-IN PLACE CONCRETE SMOOTH BACK FINISH
- 3.3. CAST-IN PLACE CONCRETE MEDIUM BROOM FINISH, NATURAL
- 3.4. CAST-IN PLACE CONCRETE, SEALED
- 3.5. WHEEL STOP, PRE-CAST CONCRETE
- 4.1. CONCRETE MASONRY UNIT, CL. BAR CONCRETE SEALER
- 4.2. KEYSTONE RETAINING WALL, PER CIVIL DRAWINGS
- 5.1. PAINTED GALVANIZED STEEL, CANDY, PT-2
- 5.2. PAINTED STEEL, GARDOLAN, PT-2
- 5.3. PAINTED STEEL, HANDBAL, PT-2
- 5.4. STEEL STAIRS, PT-1
- 5.5. PAINTED GALVANIZED STEEL TRELIS, PT-1
- 5.6. PAINTED GALVANIZED DECORATIVE METAL SCREEN, PT-2
- 5.7. PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN, 6'-0" HIGH
- 5.8. 22 GA. SHEET METAL COPING, PAINT TO MATCH WALL FINISH
- 5.9. ANODIZED ALUMINUM DECORATIVE METAL FLASHING
- 5.10. PLANTED METAL MESH SCREEN
- 7.1. BATT INSULATION
- 8.1. EXTERIOR GLAZED DOOR, WM-1, VG-1
- 8.2. PAINTED EXTERIOR METAL CLAD WOOD DOOR, PAINT PER BUILDING ELEV.
- 8.3. MULTIPANELED SLIDING GLASS DOORS, WM-1, VG-1
- 8.4. NOT USED
- 8.5. NOT USED
- 8.6. CUSTOM STEEL TILT UP GARAGE ENTRY DOOR, PT-2
- 8.10. VINYL WINDOW SYSTEM, WM-1, VG-2
- 8.11. METAL DOOR, PAINTED, REF. BUILDING ELEVATIONS
- 8.12. ALUMINUM COVER, 50% MIN. FREE AIR
- 8.13. 2400Z ACCESS DOOR, PAINTED TO MATCH WALL
- 8.14. PORTLAND CEMENT PLASTER, SMOOTH FINISH, REF. ELEV. FOR FINISH COLOR
- 8.2. NOT USED
- 8.4. NOT USED
- 15.1. MULLIONS
- 15.1. VENT CAP, 5E10 SP22 OR SP2 AS NEEDED
- 15.1. EXTERIOR LIGHT FIXTURE, REF. ELECTRICAL
- 15.2. INTERIOR LIGHT FIXTURE, REF. ELECTRICAL
- 22.1. TRENCH DRAIN PER PLUMBING DRAWINGS

ARCHITECTURAL FEATURES:

- SDMC 1512.0304(b)(1)
 (A) MULTIPLE PITCHED ROOFS (DEVIATION REQUESTED, REF. T1.01)
 (C) A MINIMUM OF ONE CLERESTORY WINDOW PER 80' OF STREET ELEVATION (DEVIATION ON REQUESTED, REF. T1.01)
 (E) A MINIMUM OF ONE TRANSOM WINDOW (DEVIATION REQUESTED, REF. T1.01)
 (F) AN ENTRY PORCH
 (H) PLANTED WALL MOUNTED LATTICE

BUILDING ELEVATION FINISH LEGEND:

- WM-1 WINDOW MULLION 1 FINISH TO MATCH NATURAL ALUMINUM
- VG-1 VISION GLASS 1 GLASS INSULATED GLASS
- CP-1 CEMENT PLASTER 1, GENERAL CO. OR WHITE, SMOOTH FINISH
- CP-2 CEMENT PLASTER 2, ACCENT CO. OR TAN, SMOOTH FINISH
- PT-1 PAINT 1, TRELISES WHITE TO MATCH CP-1
- PT-2 PAINT 2, RAILING WINDOW & DOOR SHADING DEVICES SILVER COLOR TO MATCH WINDOW MULLIONS
- PT-3 PAINT 3, ENTRY DOORS OCURE (B.O.D. SHERWIN WILLIAMS SW 6665 'TANNET')
- PT-4 PAINT 4, ENTRY DOORS ORANGE (B.O.D. SHERWIN WILLIAMS SW 6663 'RAUCOUS ORANGE')
- PT-5 PAINT 5, ENTRY DOORS RED (B.O.D. SHERWIN WILLIAMS SW 6608 'HAVE RED')



INDIANA STREET APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBER: 14023.00
 AVRP STUDIOS:
 CLIENT:
 AGENCY: PITS #
 DRAWN BY:
 CHECKED BY:
 SHEET TITLE:
 BLDG. B SOUTH AND WEST ELEVATIONS

SHEET NUMBER

A6.03



CONSULTANT:

CONSULTANT STAMP:

ISSUE DATE:	DESCRIPTION:	DATE:
DEV. PERMIT SUBM		11/08/2014
DEV. PERMIT RE-SUBM		1/28/2015
BLD. PERMIT SUBM		3/04/2015
DEV. PERMIT RE-SUBM		4/17/2015
BLD. PERMIT RE-SUBM		5/20/2015

NOT FOR CONSTRUCTION



PROJECT NAME:

**INDIANA STREET
APARTMENTS**
3525 - 3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBER:	SDMC 1512 0304(D)(1)
CLIENT:	14023.00
AGENCY:	PTS #
DRAWN BY:	
CHECKED BY:	
SHEET TITLE:	BLDG. B COURTYARD ELEVATIONS
SHEET NUMBER:	

A6.04

GENERAL NOTES

- GRID LINES ARE MEASURED TO THE OUTSIDE OF STRUCTURE AT EXTERIOR WALLS
- KEYNOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
- DIMENSIONS SHOWN ARE TYPICAL. OF THIS SHEET ONLY, UNLESS NOTED OTHERWISE
- REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION
- REFER TO STRUCTURAL FOR ADDITIONAL INFORMATION
- REFER TO LANDSCAPE/IRRIGATION FOR ADDITIONAL INFORMATION
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
- REFER TO WALL AND FLOOR TYPES (A11.01) FOR INSULATION R VALUES
- ALL ROOFING TO BE CLASS 'A' FIRE RATED
- THE PROJECT SHALL COMPLY WITH THE COUNTY OF SAN DIEGO LIGHTING ORDINANCE
- ALL EXTERIOR WALLS TO BE MIN. ONE-HOUR FIRE RATED
- NOTE: HEIGHT OF THE BUILDING IS THE VERTICAL DISTANCE FROM GRADE PLANE TO THE AVERAGE HEIGHT OF THE HIGHEST ROOF SURFACE (CIG. 502.1)
- ACTUAL BUILDING HEIGHT MUST BE EQUAL TO OR LESS THAN ACTUAL BUILDING HEIGHT IS

ELEVATION KEYNOTES:

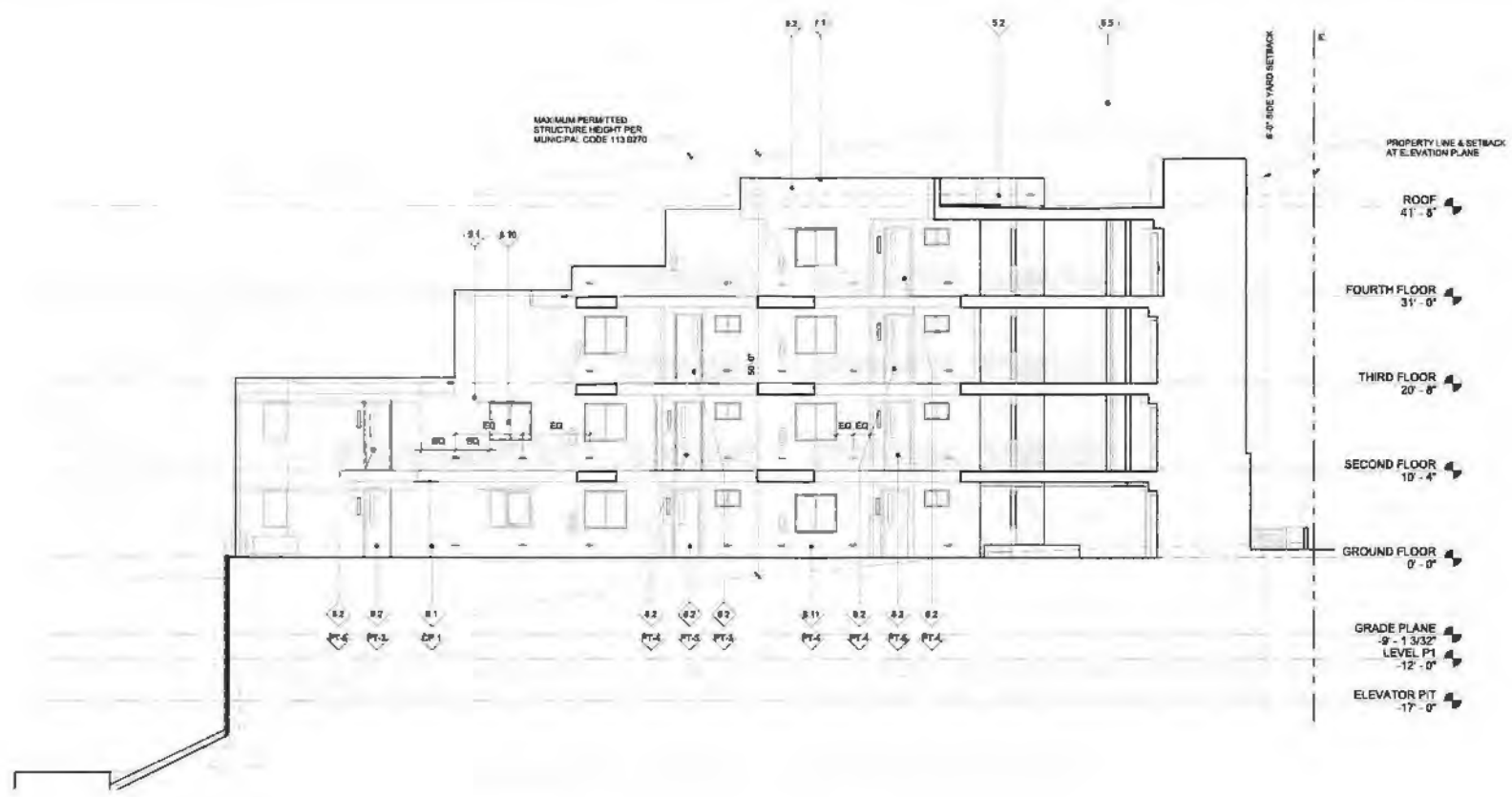
- 2.5 BOL LARD, REF. STRUCTURAL FOR CONNECTION DETAIL
- 3.1 CAST-IN PLACE CONCRETE STAIRS
- 3.2 CAST-IN PLACE CONCRETE SMOOTH SACK FINISH
- 3.3 CAST-IN PLACE CONCRETE MEDIUM BROOM FINISH, NATURAL
- 3.4 CAST-IN PLACE CONCRETE SEAL ED
- 3.5 WIREB. STIFF. PRE-CAST CONCRETE
- 4.1 CONCRETE MASONRY, UNF. CLEAR CONCRETE SEALER
- 4.2 KEYSTONE RETAINING WALL, PER CIVIL DRAWINGS
- 8.1 PAINTED GALVANIZED STEEL CANOPY, PT.2
- 5.2 PAINTED STEEL GUARDRAIL, PT.2
- 5.3 PAINTED STEEL HANDRAIL, PT.2
- 5.4 STEEL STAIRS, PT.1
- 5.5 PAINTED GALVANIZED STEEL TRELLES, PT.1
- 5.6 PAINTED GALVANIZED DECORATIVE METAL SCREEN, PT.2
- 5.7 PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN, 6'0" HIGH
- 5.8 22 GA. SHEET METAL COPING, PAINT TO MATCH WALL FINISH
- 5.9 ANODIZED ALUMINUM DECORATIVE METAL FLASHING
- 5.10 PLANTED METAL MESH SCREEN
- 7.1 RAIL INSULATION
- 8.1 EXTERIOR GLAZED DOOR, WM 1, VG-1
- 8.2 PAINTED EXTERIOR METAL, CLAD WOOD DOORS, PAINT PER BUILDING ELEV
- 8.3 METAL PANEL, SLIDING GLASS DOORS, WM 1, VG-1
- 8.4 NOT USED
- 8.5 NOT USED
- 8.6 CUSTOM STEEL TILT UP GARAGE ENTRY DOOR, PT.2
- 8.10 VINO WINDOW SYSTEM WM 1, VG-2
- 8.11 METAL DOOR, PAINTED, REF. BLDG. ORG. FINISHES
- 8.12 ALUMINUM COVER, 50% MIN. FREE AIR
- 8.13 SLIDING ACCESS DOOR, PAINTED TO MATCH WALL
- 8.1 PORTLAND CEMENT PLASTER, SMOOTH FINISH, REF. ELEV FOR FINISH COLOR
- 8.2 NOT USED
- 8.4 NOT USED
- 10.1 MAIL BOXES
- 10.1 VENT CAP, BEHIND SPZC OR SPZ AS NEEDED
- 16.1 EXTERIOR LIGHT FIXTURE, REF. ELECTRICAL
- 18.9 INTERIOR LIGHT FIXTURE, REF. ELECTRICAL
- 22.1 TRENCH DRAIN PER PLUMBING DRAWINGS

ARCHITECTURAL FEATURES:

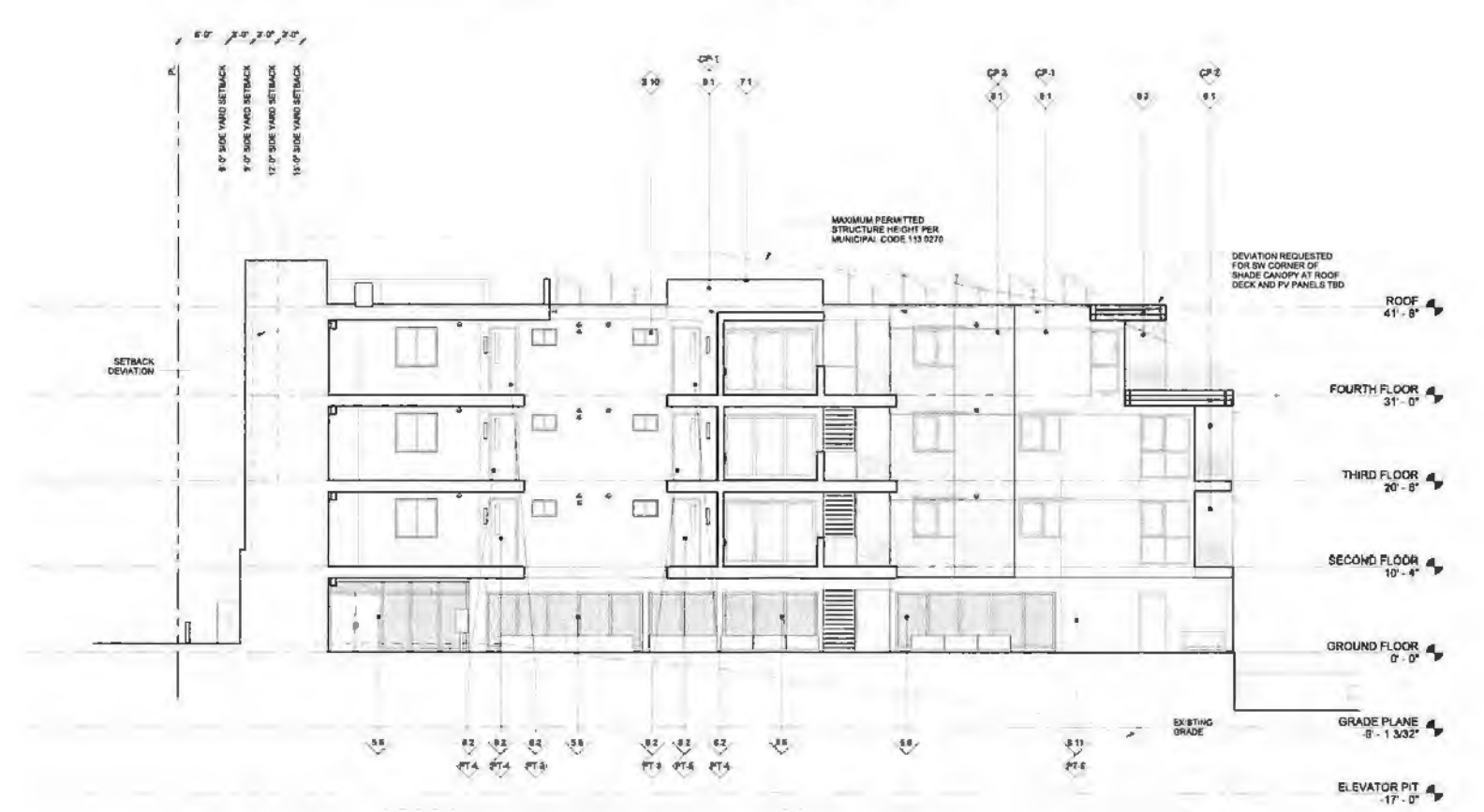
- (A) MULTIPLE PITCHED ROOFS (DEVIATION REQUESTED, REF. T1.01)
- (C) A MINIMUM OF ONE CLERESTORY WINDOW PER 20' OF STREET ELEVATION (DEVIATION REQUESTED, REF. T1.01)
- (E) A MINIMUM OF ONE TRANSOM WINDOW (DEVIATION REQUESTED, REF. T1.01)
- (F) AN ENTRY PORCH
- (H) PLANTED WALL MOUNTED LATTICE

BUILDING ELEVATION FINISH LEGEND:

- WM 1 WINDOW MULLION 1 FINISH TO MATCH NATURAL ALUMINUM
- VG-1 VISION GLASS 1 CLEAR INSULATED GLASS
- CP-1 CEMENT PLASTER 1, GENERAL CO. OR WHITE, SMOOTH FINISH
- CP-2 CEMENT PLASTER 2, ACCENT CO. OR TAN, SMOOTH FINISH
- PT-1 PAINT 1, TRELLES WHITE TO MATCH CP-1
- PT-2 PAINT 2, RAILING WINDOW & DOOR SHADING DEVICES SILVER COLOR TO MATCH WINDOW MULLIONS
- PT-3 PAINT 3, ENTRY DOORS ORANGE (B.O.D. SHERWIN WILLIAMS SW 6685 "ORANGE")
- PT-4 PAINT 4, ENTRY DOORS ORANGE (B.O.D. SHERWIN WILLIAMS SW 6685 "ORANGE")
- PT-5 PAINT 5, ENTRY DOORS RED (B.O.D. SHERWIN WILLIAMS SW 6609 "RAVE-RED")



1 BUILDING B COURTYARD EAST ELEVATION
1/8" = 1'-0"



2 BUILDING B COURTYARD WEST ELEVATION
1/8" = 1'-0"

APPROVED FOR CONSTRUCTION BY THE CITY OF SAN DIEGO: 11/17/2015. THE CITY ENGINEER HAS REVIEWED THIS DRAWING FOR CONFORMANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION DRAWINGS. THIS REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWING AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT ASSUMES FULL RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWING AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT ASSUMES FULL RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.







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 San Diego, California 92101
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 www.avrpstudios.com

ARCHITECT STAMP:


CONSULTANT:

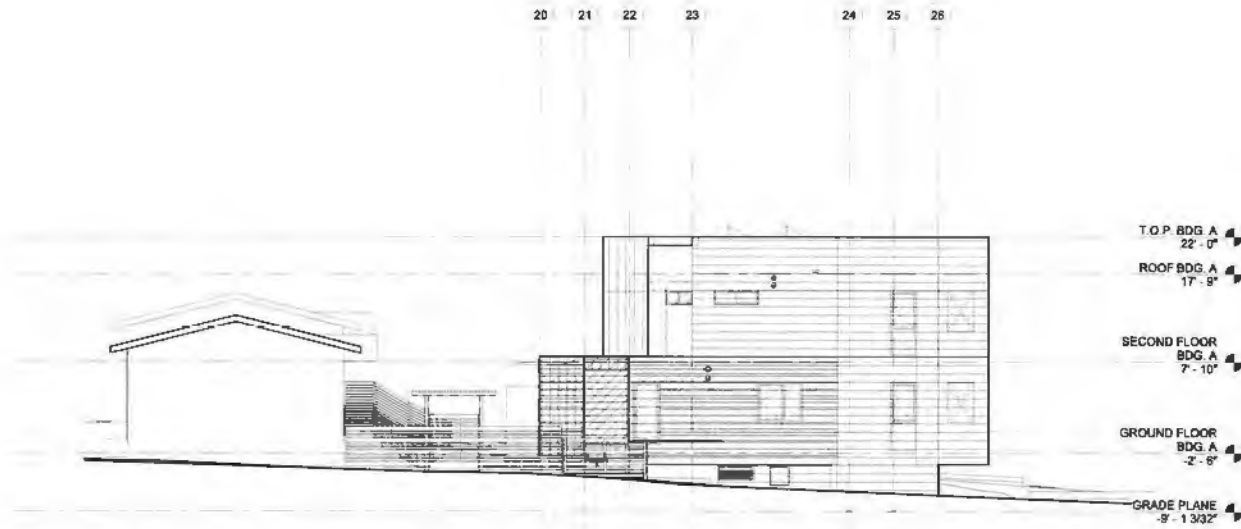
BUILDING A WEST ELEVATION PLANE LEGEND:

TOTAL FRONTAGE AREA= 1,446.5 SF

	0" OFFSET/ 1,132 SF / 78.25%
	14" OFFSET/ 80 SF / 4.1%
	8" OFFSET/ 56 SF / 3.9%
	26" OFFSET/ 136 SF / 9.4%
	20" OFFSET/ 80 SF / 5.5%
	22" OFFSET/ 56 SF / 3.9%

ISSUE DATES:







DESCRIPTION:	DATE:
DEV. PERMIT SUBM.	11/06/2014
DEV. PERMIT RE-SUBM.	1/26/2015
BLD. PERMIT SUBM.	3/04/2015
DEV. PERMIT RE-SUBM.	4/17/2015
DEV. PERMIT RE-SUBM.	5/20/2015



1 BUILDING A WEST OFFSETTING ELEVATION
 1/8" = 1'-0"

BUILDING B WEST ELEVATION PLANE LEGEND:

TOTAL FRONTAGE AREA= 2,923.05 SF

	0" OFFSET/ 536.6 SF / 18%
	8" OFFSET/ 606.8 SF / 21%
	6" OFFSET/ 348.45 SF / 12%
	9" OFFSET/ 408.5 SF / 14%
	11" OFFSET/ 488.75 SF / 17%
	41" OFFSET/ 325.25 SF / 11%

CLIENT:

THE IRVING GROUP

PROJECT NAME:

INDIANA STREET APARTMENTS
 3525 - 3535 Indiana Street
 San Diego, CA 92103

PROJECT NUMBERS: AVRP STUDIOS: 14023.00

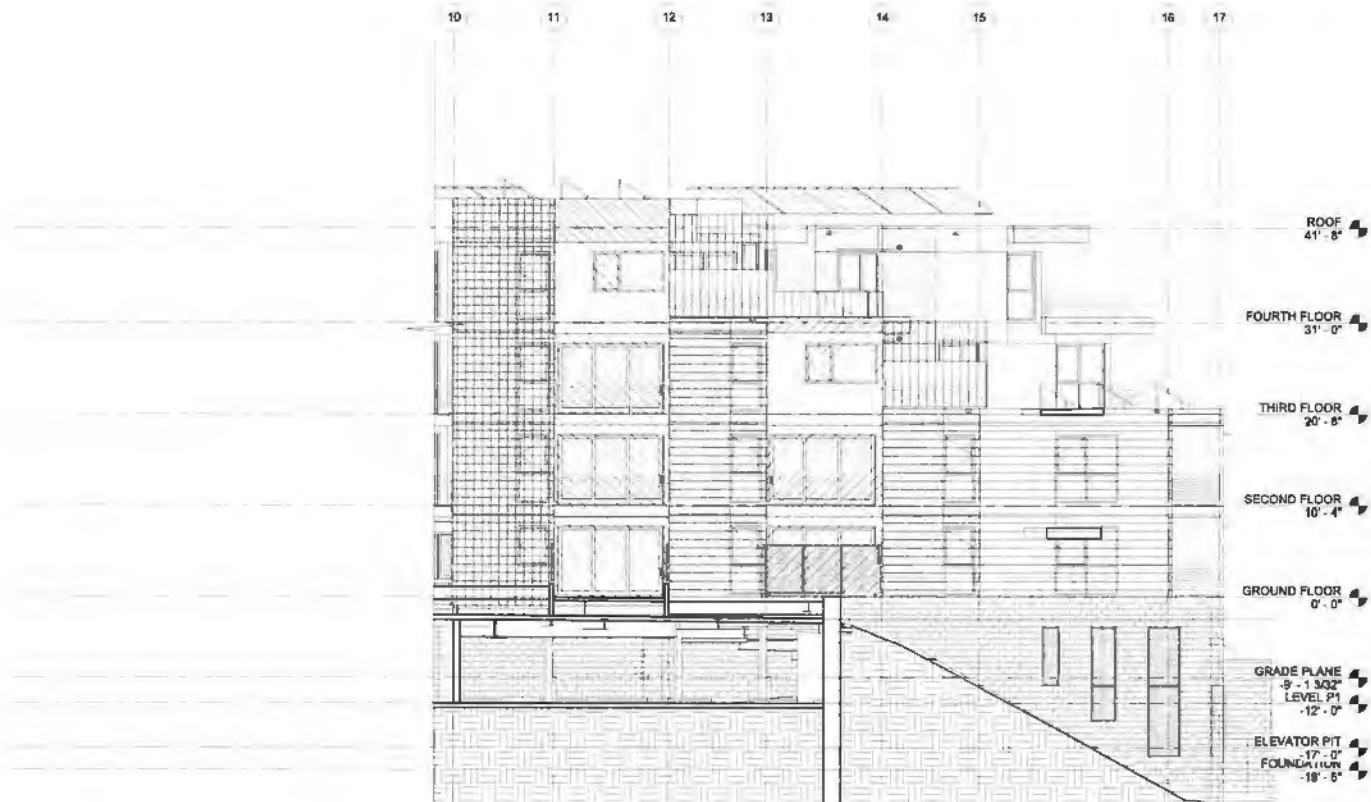
CLIENT:

AGENCY: PTS #:

DRAWN BY: CHECKED BY:

SHEET TITLE: OFFSETTING WEST PLANE DIAGRAM

SHEET NUMBER:



2 BUILDING B WEST OFFSETTING ELEVATION
 1/8" = 1'-0"

A6.05



CONSULTANT:
 CONSULTANT STAMP:

ISSUE DATE:	DESCRIPTION:	DATE:
DEV. PERMIT SUBM.		11/06/2014
BLD. PERMIT RE-SUBM.		1/28/2015
DEV. PERMIT SUBM.		3/04/2015
DEV. PERMIT RE-SUBM.		4/17/2015
DEV. PERMIT RE-SUBM.		5/20/2015

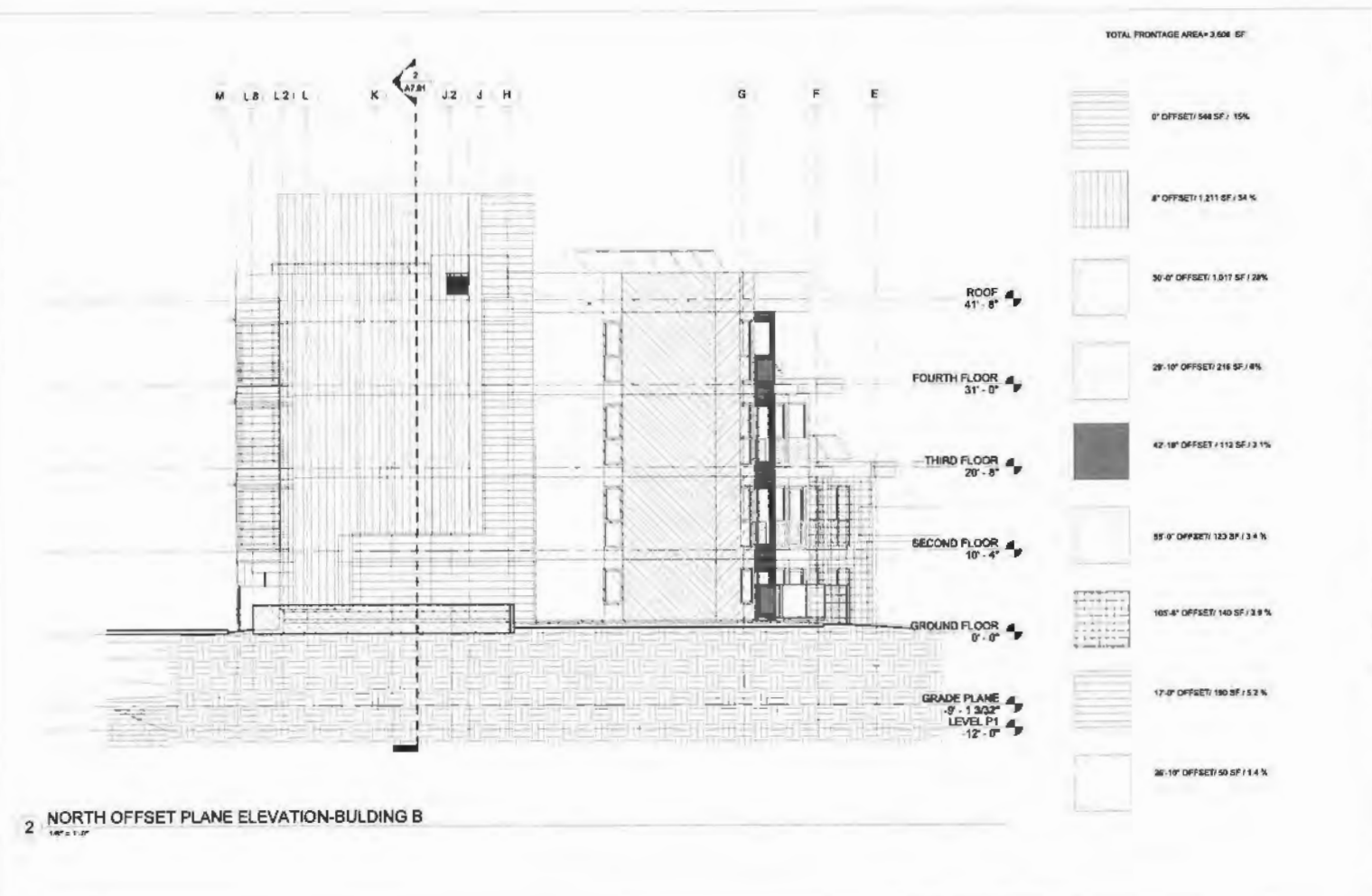
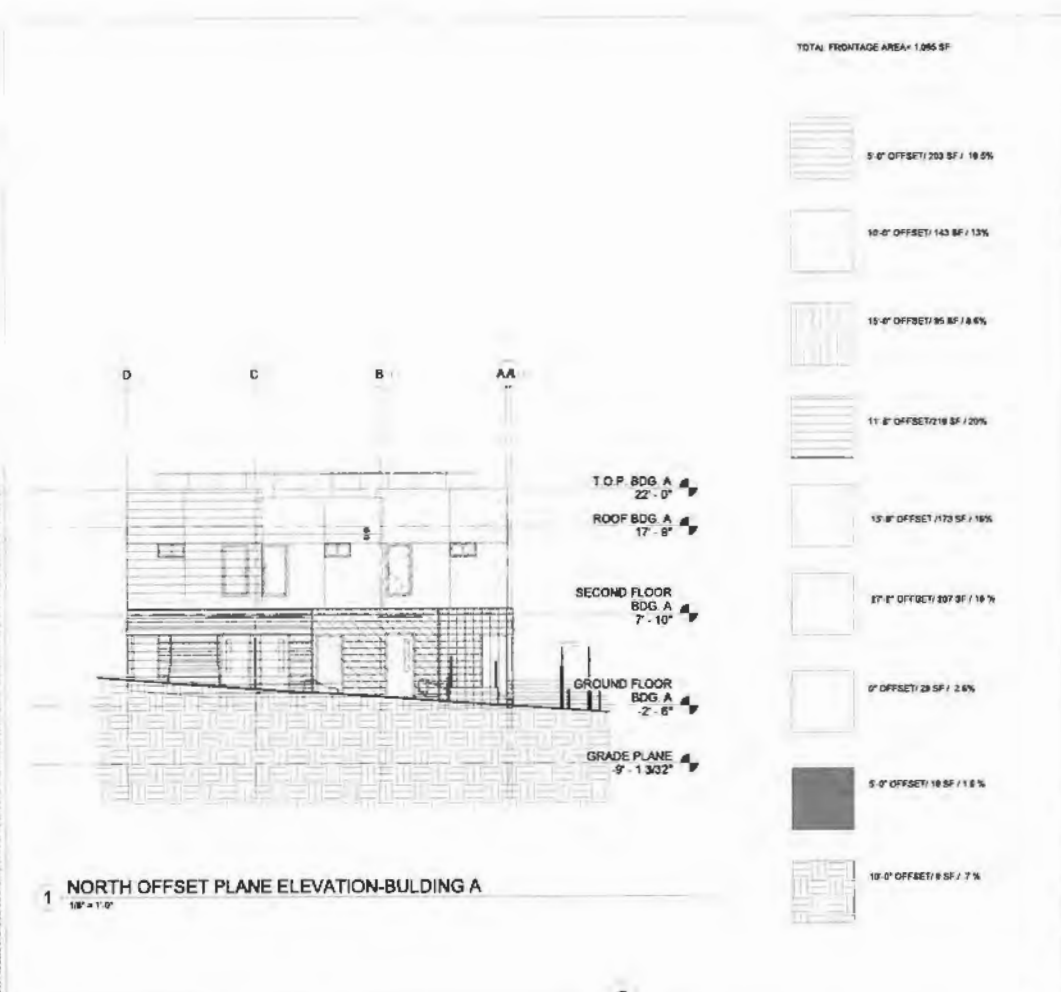
NOT FOR CONSTRUCTION

CLIENT:
The IRVING GROUP
 PROJECT NAME:

INDIANA STREET APARTMENTS
 3525 - 3535 Indiana Street
 San Diego, CA 92103

PROJECT NUMBER: 14023.00
 CLIENT: PTS-B
 AGENCY:
 DRAWN BY:
 CHECKED BY:
 SHEET TITLE:
 OFFSETTING NORTH PLANE ELEVATION
 SHEET NUMBER:

A6.06



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CONSULTANT:

CONSULTANT STAMP:

GENERAL NOTES

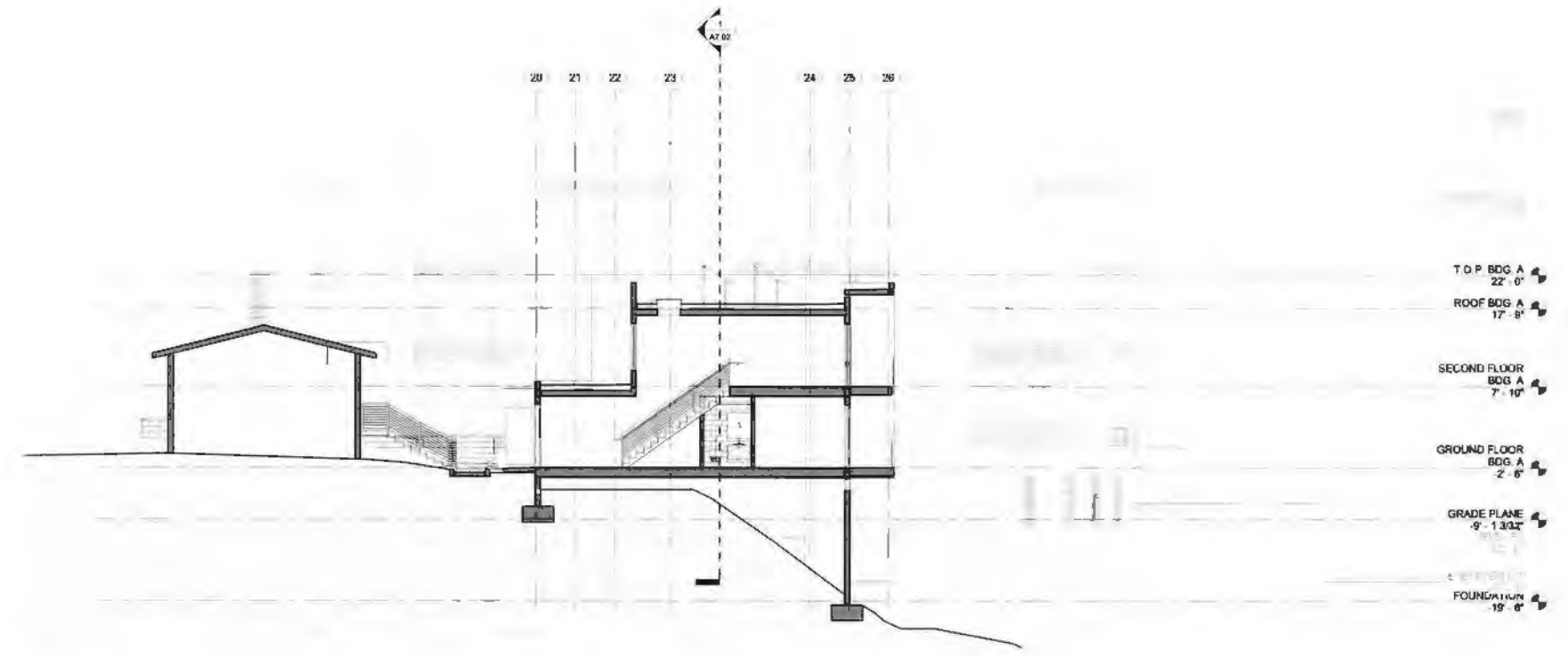
1. ALL WOOD FRAMED WALLS ARE DIMENSIONED FROM FACE OF STUD U.N.O. MASONRY WALLS ARE DIMENSIONED FROM FACE OF CMU U.N.O. CIP CONCRETE WALLS ARE DIMENSIONED FROM FACE OF WALL, CURS U.N.O.
2. INSTALL 5/8" TYPE X GYPSUM BOARD ON ALL INTERIOR WALLS & CEILINGS U.N.O. REF. WALL TYPES AND UL ASSEMBLIES.
3. RATED WALL ASSEMBLIES BEHIND TUB & SHOWER ENCLOSURES TO BE MAINTAINED AS DETAIL ED. ADDITIONAL LAYER OF GYPSUM BOARD AS REQUIRED, REF. WALL TYPES.
4. INSTALL CAL KING SEALANT AT ALL JOINTS & PENETRATIONS, REF. DETAILS RATED ASSEMBLY PENETRATION DETAILS.
5. REF. 117x SERIES DRAWINGS FOR ADDITIONAL INFORMATION REGARDING RATED ASSEMBLY PENETRATION DETAILS.
6. INSTALL BLOCKING IN WALLS FOR SECURE ATTACHMENT OF CABINETS, HANDRAILS, SHELVING, & FUTURE GRAB BARS AS REQUIRED, REF. TR, K, AND 7. FURRED DOWN CEILING ARE BELOW RATED FLOOR CEILING ASSEMBLY HEIGHT AS INDICATED. REFER TO PARTITION TYPES.
8. INSTALL WASHING MACHINE RECESSED CONNECTION BOX 48" A.F.F. BOXES METALLED IN FIRE RATED ASSEMBLIES TO BE METAL. VERIFY MOUNTING HEIGHT w/ MANUFACTURER.
9. INSTALL DRYER EXHAUST BOOSTER FANS AS REQUIRED. CONFIRM REQUIREMENTS OF HORIZONTAL RIGS w/ DRYER MANUFACTURERS.
10. INSTALL COMBINED SMOKE & CARBON MONOXIDE DETECTORS PER LOCAL CODES AND ORDINANCES. REF. ELECTRICAL & FIRE PROTECTION.
11. REFER TO ACCESSIBILITY DETAIL SHEETS AND 2015 CBC CHAPTER 11A FOR ADDITIONAL INFORMATION REGARDING ACCESSIBILITY REQUIREMENTS.
12. MOISTURE RESISTANT TYPE X GYPSUM BOARD TO BE INSTALLED AT ALL BATHROOMS AND AT KITCHENS BEHIND SINK AND DISHWASHER, REF. WALL TYPES.
13. GYPSUM BOARD FINISH TO BE "LEVEL 4 SMOOTH" U.N.O.
14. KEYNOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
15. PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN HIDDEN IN ELEVATION TO ALLOW BUILDING TO BE SEEN BETTER.

SYMBOL LEGEND

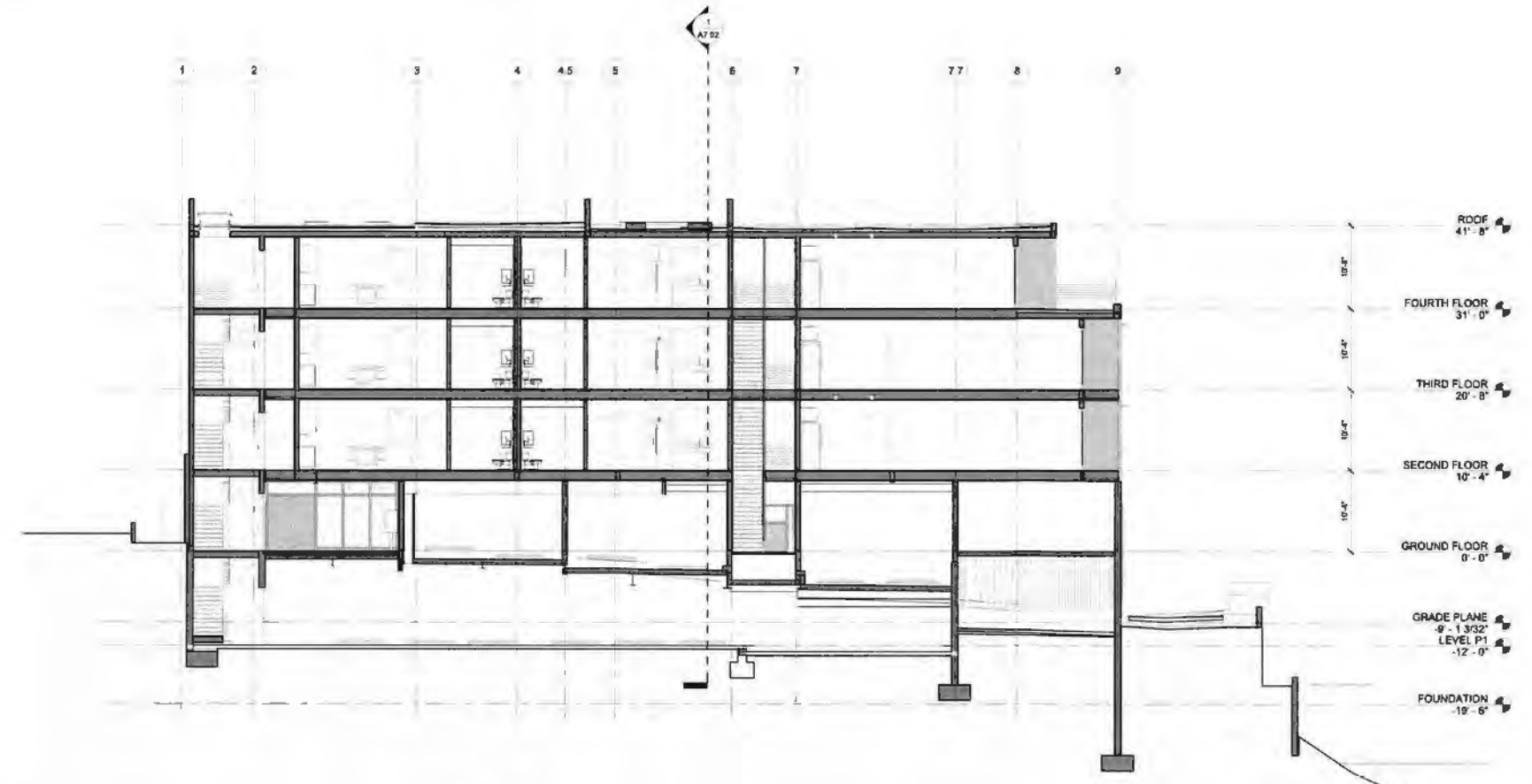
WALL ASSEMBLIES	CONCRETE WALL	MASONRY WALL	STEEL STUD WALL	WOOD FRAMED WALL
1047A-40	WALL TAG (REF A11 D1 FOR ADDITIONAL INFORMATION)			
	SPECIAL USE (IF ANY) THICKNESS IN SACS AND DOORS (4-7W) FIRE RATING IN HOURS			
A-1	GRID TAG	ROOM TAG	CEILING HEIGHT TAG	ROOM TAG
5-1	SM	#8	KEYNOTE TAG (INTERIOR)	
A101	DETAIL REFERENCE		BATHROOM COMPLIES WITH CBC SEC 113AA.2 OPTION 2 REF. TAB 31	
A101	INTERIOR ELEVATION		ACCESSIBILITY CLEARANCE: 30"x48" TYP. 48"x36" AT W.C.	
A101	SECTION REFERENCE			
			SPOT ELEVATION HEIGHT ABOVE GROUND FLOOR LEVEL	
			ABSOLUTE ELEVATION	

KEYNOTES

- 25 BOLLARD, REF. STRUCTURAL FOR CONNECTION DETAIL
- 31 CAST IN PLACE CONCRETE STAIRS
- 32 CAST IN PLACE CONCRETE SMOOTH SACK FINISH
- 33 CAST IN PLACE CONCRETE MEDIUM BROOM FINISH, NATURAL
- 34 CAST IN PLACE CONCRETE, SEALED
- 35 WHEEL STOP, PRE-CAST CONCRETE
- 41 CONCRETE MASONRY UNIT, CLEAR CONCRETE SEALER
- 42 REVISION: BRICKS WALL, PER CIVIL DRAWINGS
- 51 PAINTED GALVANIZED STEEL, SANDY, PT-2
- 52 PAINTED STEEL GUARDRAIL, PT-2
- 53 PAINTED STEEL HANDRAIL, PT-2
- 54 STEEL STAIRS, PT-1
- 55 PAINTED GALVANIZED STEEL TRELLIS, PT-1
- 56 PAINTED GALVANIZED DECORATIVE METAL SCREEN, PT-2
- 57 PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN, 6" HIG
- 58 22 GA SHEET METAL, COPING PAINT TO MATCH WALL FINISH
- 59 ANODIZED ALUMINUM DECORATIVE METAL FLASHING
- 510 PAINTED METAL MESH SCREEN
- 71 BATT INSULATION
- 81 EXTERIOR GLAZED DOOR, WM 1, VG-1
- 82 PAINTED EXTERIOR METAL GLAZED WOOD DOOR, PAINT PER BUILDING ELEV.
- 83 MULTI-PANEL SLIDING GLASS DOORS, WM 1, VG-1
- 84 NOT USED
- 85 NOT USED
- 86 CUSTOM STEEL TILT UP GARAGE ENTRY DOOR, PT-2
- 810 JAMB WINDOW SYSTEM WM 1, VG-2
- 811 METAL DOOR, PAINTED, REF. BUILDING ELEVATIONS
- 812 ALUMINUM CLINGER 50% MIN. FREE AIR
- 813 ZOOBY ACCESS DOOR, PAINTED TO MATCH WALL
- 81 PORTLAND CEMENT PLASTER, SMOOTH FINISH, REF. ELEV FOR FINISH COLOR
- 84 NOT USED
- 10-1 MAIL BOXES
- 15-1 VENT CAS. BEHIND SFZC OR SFZ AS NEEDED
- 16-1 EXTERIOR LIGHT FIXTURE, REF. ELECTRICAL
- 18-2 INTERIOR LIGHT FIXTURE, REF. ELECTRICAL
- 22-1 TROUGH DRAIN PER PLUMBING DRAWINGS



1 SITE SECTION 1
1/8" = 1'-0"



2 SITE SECTION 2
1/8" = 1'-0"

NOT FOR CONSTRUCTION

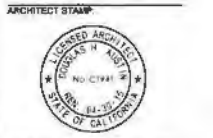
CLIENT:
THE IRVING GROUP

PROJECT NAME:

INDIANA STREET APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBER: AVRP STUDIOS: 14023.00
CLIENT: PTB &
AGENCY: PTB &
DRAWN BY:
DESIGNED BY:
SHEET TITLE: SITE SECTIONS
SHEET NUMBER:

A7.01



CONTRACTOR:
CONSULTANT STAMP:

ISSUE DATE:	DESCRIPTION:	DATE:
DEV PERMIT SUBM		11/06/2014
DEV PERMIT RE-SUBM		1/28/2015
BLD. PERMIT SUBM		3/04/2015
DEV PERMIT RE-SUBM		4/17/2015
DEV PERMIT RE-SUBM		5/20/2015

GENERAL NOTES

1. ALL WOOD FRAMED WALLS ARE DIMENSIONED FROM FACE OF STUD U N O. MASONRY WALLS ARE DIMENSIONED FROM FACE OF CMU U N O. CONCRETE WALLS/CURBS ARE DIMENSIONED FROM FACE OF WALL/CURB U N O.
2. INSTALL 5/8" TYPE X GYPSUM BOARD ON ALL INTERIOR WALLS & CEILING AS MAINTAINED AS DETAIL. ADDITIONAL LAYER OF GYPSUM BOARD AS REQUIRED. REF. WALL TYPES.
3. RATED WALL ASSEMBLIES BEHIND TUB & SHOWER ENCLOSURES TO BE MAINTAINED AS DETAIL. ADDITIONAL LAYER OF GYPSUM BOARD AS REQUIRED. REF. WALL TYPES.
4. INSTALL CAULKING/SEALANT AT ALL JOINTS & PENETRATIONS. REF. DETAILS.
5. REF. 117x SERIES DRAWINGS FOR ADDITIONAL INFORMATION REGARDING RATED ASSEMBLY PENETRATION DETAILS.
6. INSTALL BLOCKING IN WALLS FOR SECURE ATTACHMENT OF CABINETS, HANDRAILS, SHELVING, & FUTURE GRAB BARS AS REQUIRED. REF. TO XX AND
7. FURRED DOWN CEILING ARE BELOW RATED FLOOR CEILING ASSEMBLY HEIGHT AS INDICATED. REFER TO PARTITION TYPES.
8. INSTALL WASHING MACHINE RECESSED CONNECTION BOX 48" A.F.F. BOXES INSTALLED IN FIRE RATED ASSEMBLIES TO BE METAL. VERIFY MOUNTING HEIGHT w/ MANUFACTURER.
9. INSTALL DRYER EXHAUST BOOSTER FANS AS REQUIRED. CONFIRM REQUIREMENTS OF HORIZONTAL BLIND w/ DRYER MANUFACTURER.
10. INSTALL COMBINED SMOKE & CARBON MONOXIDE DETECTORS PER LOCAL CODES AND ORDINANCES. REF. ELECTRICAL & FIRE PROTECTION.
11. REFER TO ACCESSIBILITY DETAIL SHEETS AND 2013 CBC CHAPTER 11A FOR ADDITIONAL INFORMATION REGARDING ACCESSIBILITY REQUIREMENTS.
12. MOISTURE RESISTANT TYPE X GYPSUM BOARD TO BE INSTALLED AT ALL BATHROOMS AND AT KITCHENS BEHIND SINK AND DISHWASHER. REF. WALL TYPES.
13. GYPSUM BOARD FINISH TO BE LEVEL 4 SMOOTH U N O.
14. KEYNOTES ON THESE SHEETS ARE AN ACCUMULATION OF ITEMS FOUND ON THE PLANS, ELEVATIONS AND SECTIONS. NOT ALL ITEMS ARE FOUND ON EACH SHEET.
15. PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN HIDDEN IN ELEVATION TO ALLOW BUILDING TO BE SEEN BETTER.

SYMBOL LEGEND

WALL ASSEMBLY:	CONCRETE WALL	MASONRY WALL	STEEL STUD WALL	WOOD FRAMED WALL
1047A-40	WALL TAG (REF A11 #1 FOR ADDITIONAL INFORMATION)			
	STC RATING			
	SPECIALTY USE (IF ANY)			
	THICKNESS - IN INCHES AND HEIGHTS (L-HP)			
	WALL CATEGORY			
	FIRE RATING IN HOURS			
A 1	BRD TAG	10 - 10 1/2"	CEILING HEIGHT TAG	
5 1	DETAIL REFERENCE	ROOM TAG	ROOM TAG	
1 A101	SECTION REFERENCE	KEYNOTE TAG (INTERIOR)		
1 A101	SECTION REFERENCE	BATHROOM COMPARTMENTS WITH CBC SEC. 113A4.2, OPTION 2 REF: 21A8.31		
1 A101	SECTION REFERENCE	ACCESSIBILITY CLEARANCE, 3074A1 TYP. 4870A1 AT W.C.		
1 0'	SPOT ELEVATION HEIGHT ABOVE OROUND FLOOR LEVEL ABSOLUTE ELEVATION			
EL. 27.53				

KEYNOTES

- 25 BOLARD, REF. STRUCTURAL FOR CONNECTION DETAIL
- 31 CAST-IN-PLACE CONCRETE STAIRS
- 33 CAST-IN-PLACE CONCRETE SMOOTH BACK FINISH
- 34 CAST-IN-PLACE CONCRETE MEDIUM BROOM FINISH, NATURAL
- 35 CAST-IN-PLACE CONCRETE SEALED
- 36 WHITE STOP, PRE-CAST CONCRETE
- 41 CONCRETE MASONRY UNIT, CLEAR CONCRETE SEALER
- 42 KEYSTONE RETAINING WALL, PER CIVL DRAWINGS
- 51 PAINTED GALVANIZED STEEL CANOPY, PT 2
- 52 PAINTED STEEL GUARDRAIL, PT 2
- 53 PAINTED STEEL HANDRAIL, PT 2
- 54 STEEL STAIRS, PT 1
- 55 PAINTED GALVANIZED STEEL TRELLIS, PT 1
- 58 PAINTED GALVANIZED DECORATIVE METAL SCREEN, PT 2
- 87 PAINTED GALVANIZED DECORATIVE PRIVACY METAL SCREEN 0'-0" HIGH
- 88 22 GA. STEEL METAL COPING, PAINT TO MATCH WALL FINISH
- 89 ANODIZED ALUMINUM DECORATIVE METAL FLASHING
- 91 PAINTED METAL MESH SCREEN
- 92 BATT INSULATION
- 81 EXTENSION GLAZED DOORS, WM-1, VG-1
- 82 PAINTED EXTERIOR METAL CLAD WOOD DOOR, PAINT PER BUILDING ELEV
- 83 METAL PANEL SLIDING GLASS DOORS, WM-1, VG-1
- 84 NOT USED
- 85 NOT USED
- 86 CUSTOM STEEL TILT UP GARAGE ENTRY DOOR, PT 2
- 87 VINYL WINDOW SYSTEM WM-1, VG-2
- 88 METAL DOOR, PAINTED, REF. BUILDING ELEVATIONS
- 89 ALUMINUM COVER, 50% MAX. FREE AIR
- 90 ZEPHYRUS ACCESS DOOR, PAINTED TO MATCH WALL
- 91 PORTLAND CEMENT PLASTER, SMOOTH FINISH, REF. ELEV FOR FINISH COLOR
- 92 NOT USED
- 93 NOT USED
- 94 NOT USED
- 181 MAIL BOXES
- 182 VENT CAP, SEHO SF2C OR SF2 AS NEEDED
- 183 EXTERIOR LIGHT FIXTURES, REF. ELECTRICAL
- 184 INTERIOR LIGHT FIXTURES, REF. ELECTRICAL
- 221 TRENCH DRAIN PER PLUMBING DRAWINGS

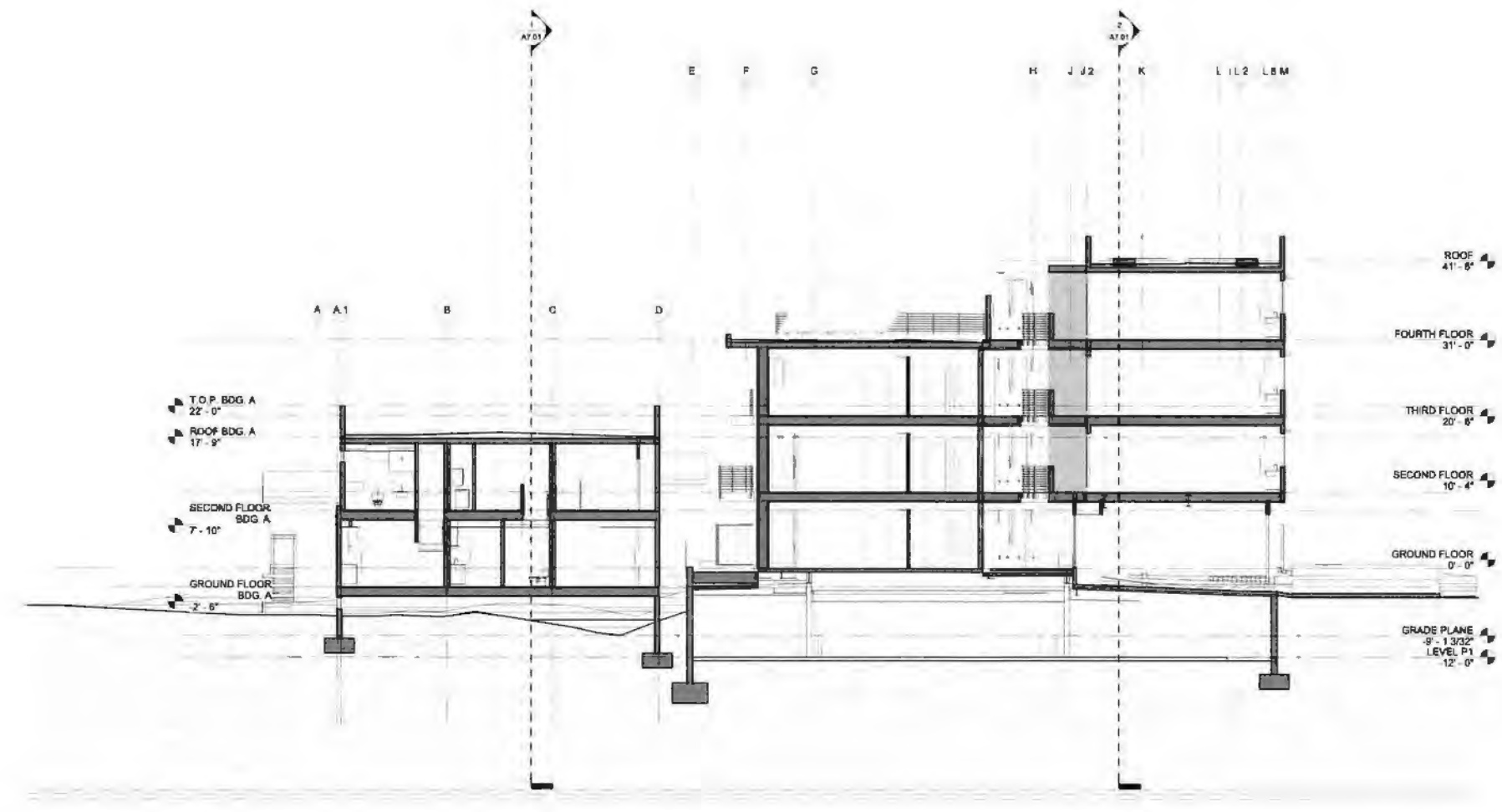
CLIENT:
THE IRVING GROUP

PROJECT NAME:

INDIANA STREET APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBER: AVRP STUDIOS: 14023 00
CLIENT: _____
AGENCY: _____ PTS # _____
DRAWN BY: _____
CHECKED BY: _____
SHEET TITLE: _____
SITE SECTIONS
SHEET NUMBER: _____

A7.02

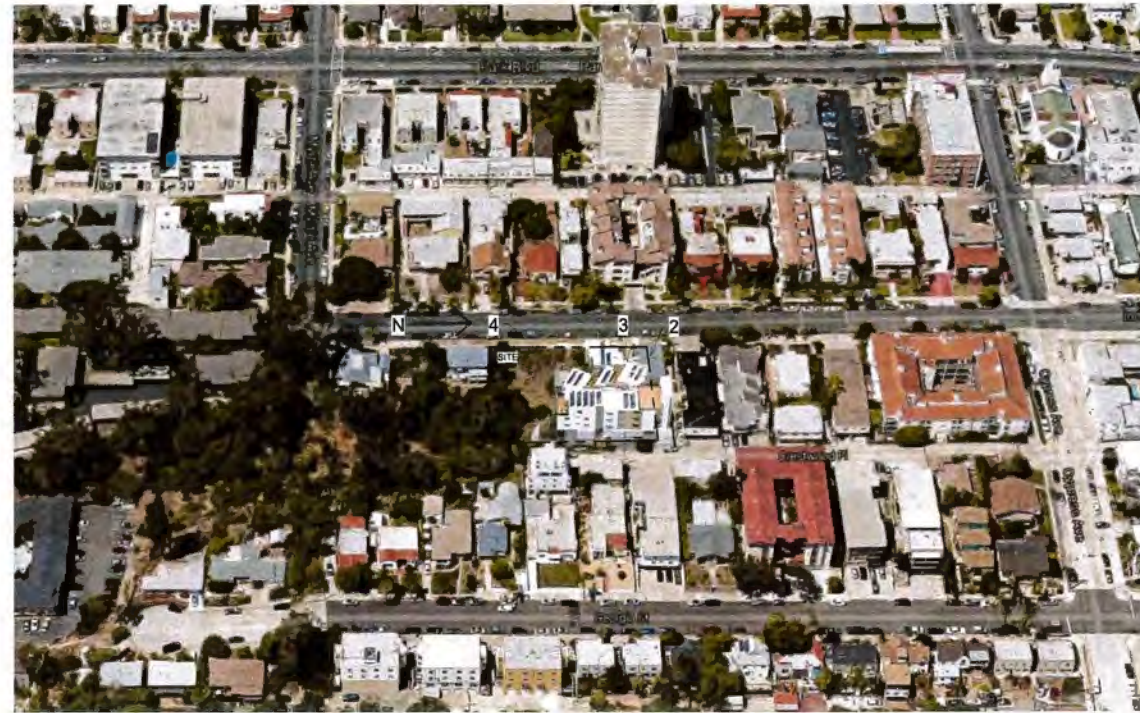


1 SITE SECTION 3
1/8" = 1'-0"

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2 VIEW FROM INDIANA STREET LOOKING SOUTHEAST
NTS



1 NEIGHBORHOOD SCALE AND CONTEXT
NTS



4 VIEW FROM INDIANA STREET LOOKING NORTHEAST
NTS



3 LOOKING EAST FROM INDIANA STREET
NTS



ISSUE DATE:	DATE:
DEV. PERMIT SUBM.	11/06/2014
DEV. PERMIT RE-SUBM.	1/28/2015
BLD. PERMIT SUBM.	3/04/2015
DEV. PERMIT RE-SUBM.	4/17/2015
DEV. PERMIT RE-SUBM.	5/20/2015

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INDIANA STREET APARTMENTS
3525 - 3535 Indiana Street
San Diego, CA 92103

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AVRP STUDIOS:	14023.00
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RENDERINGS

AVRP STUDIOS, INC. • 703 160 STREET, SUITE 200, SAN DIEGO, CALIFORNIA 92101 • TEL: 619 704 2700 • FAX: 619 704 2800 • WWW.AVRPSTUDIOS.COM



2 VIEW FROM COURTYARD TOWARDS INDIANA STREET
NTS



1 LOOKING EAST FROM INDIANA STREET
NTS



ISSUE DATES:	DESCRIPTION:	DATE:
DEV. PERMIT SUBM.		11/08/2014
DEV. PERMIT RE-SUBM.		1/28/2015
BLD. PERMIT SUBM.		3/04/2015
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AVRP STUDIOS:	14023.00
CLIENT:	-
AGENCY:	PTS #
DRAWN BY:	-
CHECKED BY:	-
SHEET TITLE:	

RENDERINGS

A9.02

LANDSCAPE SITE PLAN LEGEND

TAG	DESCRIPTION	TAG	DESCRIPTION
1	(N) CONCRETE SLAB SCURED AS SHOWN	9	TOURNESOL LIGHTWEIGHT FRP FIBERGLASS PLANTER (NR 4800) WWW.TOURNESOL.COM
2	(N) WOOD FENCE	10	TOURNESOL LIGHTWEIGHT FRP FIBERGLASS PLANTER (NR 7148) WWW.TOURNESOL.COM
3	(N) CONCRETE ENTRY STOOP, NATURAL GRAY W/ AGG STON FINISH (SEE SHT. 1.02 DETAIL C)	11	TOURNESOL LIGHTWEIGHT FRP FIBERGLASS PLANTER (NR 4800) WWW.TOURNESOL.COM
4	(N) RAMP PATHWAY SEE ARCHITECTURAL PLAN	12	(D) ENTRY STOODS TO BE REPLACED W/ RND
5	(N) ENTRY GATE AND ARCHOR	13	18" DEPTH INTEGRAL PLANTER
6	(N) 18" HT. REGALSTONE (NATURAL COLOR) SEATWALL W/ MATCHING REGALSTONE CAP WWW.PCPL.COM	14	(N) CONCRETE STOPS (SEE SHT. 1.02 DETAIL A)
7	(N) 36" HT. REGALSTONE (NATURAL COLOR) PLANTER AND WALL W/ MATCHING REGALSTONE CAP WWW.PCPL.COM		
8	TOURNESOL LIGHTWEIGHT FRP FIBERGLASS PLANTER (NR 12014M) WWW.TOURNESOL.COM		

EXISTING TREE LEGEND

TAG	BOTANICAL/COMMON NAME	SIZE	REMARKS
1	SCHNUS MOLE CALIFORNIA PEPPER TREE	12" CALIPER	TO BE REMOVED
2	SCHNUS MOLE CALIFORNIA PEPPER TREE	18" CALIPER	TO REMAIN PROTECT IN PLACE
3	SCHNUS TERMINIFOLIUS BRAZILIAN PEPPER	4" CALIPER	TO BE REMOVED
4	ACACIA LONGIFOLIA GOLDEN WATTLE	12" CALIPER	TO BE REMOVED
5	ACACIA LONGIFOLIA GOLDEN WATTLE	12" CALIPER	TO BE REMOVED
6	JADARANDA MIMOSIFOLIA JAGUARADA	10" CALIPER	TO BE REMOVED
7	PROLEX CAMBRESIS CANARY ISLAND DATE PALM	30" CALIPER	TO REMAIN PROTECT IN PLACE
8	ARAUCARIA HETEROPHYLLA NORFOLK ISLAND PINE	4" CALIPER	TO BE REMOVED
9	ULMUS PARVIFOLIA CHINESE ELM TREE	15" CALIPER	TO BE REMOVED
10	FICUS BENJAMINA WEeping FIG	8" CALIPER	TO BE REMOVED

GROUND COVER / HARDSCAPE

SYMBOL	PRODUCT	MANUFACTURER	SPEC	NOTES
[Symbol]	CONCRETE SLAB			SEE SHT. 1.02 DETAIL D-F
[Symbol]	R.O.W. CONCRETE SIDEWALK PER CITY STANDARDS			
[Symbol]	IRRIGATED PLANTER AREA			TO BE IRRIGATED BY DRP OR ROTORS SEE SHT. 1.39 (PLANTING PLAN)

LIGHTING LEGEND

SYMBOL	PRODUCT	MANUFACTURER	SPEC	NOTES
[Symbol]	TREE UPLIGHTING	FX LUMINAIRE WWW.FX.COM	NP 20 BLED 1.5 FT	LED UPLIGHT BACON-BOLLARD 38 LED W/LOW SHIELD IT 800 ALUMINUM FINISH
[Symbol]	BOLLARD LIGHT	FORMA SURFACES WWW.FORMA.COM	BRN LED	
[Symbol]	WALL LIGHT	CO LIGHTS WWW.CO-LIGHTS.COM#C200	AC200	

NOTE: THIS LIGHTING IS CONCEPTUAL AND MAY CHANGE SIGNIFICANTLY BASED ON LIGHTING CONSULTANT INPUT AND PHOTOGRAPHIC STUDY OF THE AREA AND LOCAL REGULATIONS. THE LIGHTING AS SHOWN IN THE PLAN INCLUDES BOLLARD AND TREE UPLIGHTS. ELECTRICAL CONTRACTOR SHALL PROVIDE THE REQUIRED POWER AND LOCATE TRUNK LINES FOR ALL LIGHT FIXTURES.

TO CALCULATE MAWA - Maximum Applied Water Allowance

ETo	47
LA	11,878
SLA	0
MAWA (Gallons)	238,208
MAWA (inches per sq. ft.)	32.7
MAWA (inches per DAY)	0.93

Maximum Applied Water Allowance Equation:
MAWA = (ETo x 0.62) / (0.7 x LA) = 0.3 x SLA

TO CALCULATE ETWU - Estimated Total Water Use

ETo	47
PF x LA (see chart)	4187
HA (same as LA)	11878
IE (see chart)	0.51500685
SLA	0
ETWU (Gallons)	127,487
ETWU (inches per sq. ft.)	17.5
ETWU (inches per DAY)	0.95

Estimate Total Water Use Equation:
ETWU = (ETo x 0.62) / (0.7 x HA) + SLA

TO DETERMINE AVERAGE SYSTEM "IE" EXCEEDS 71

HZ	Type	Sprinkler	HA	"IE"	Weighted Area
1	Remaining HA	Dry	2553	0.8	2057.7
2	R.O.W. Area	Dry	2508	0.9	2257.2
3	Zone A BAC	Wet	8917	0.75	6687.8
4					0
5					0
6					0
7					0
8					0
11878 Totals					9017.6
					0.92

Does ETWU Qualify? Yes - ETWU Does Not Exceed Maximum Allowed

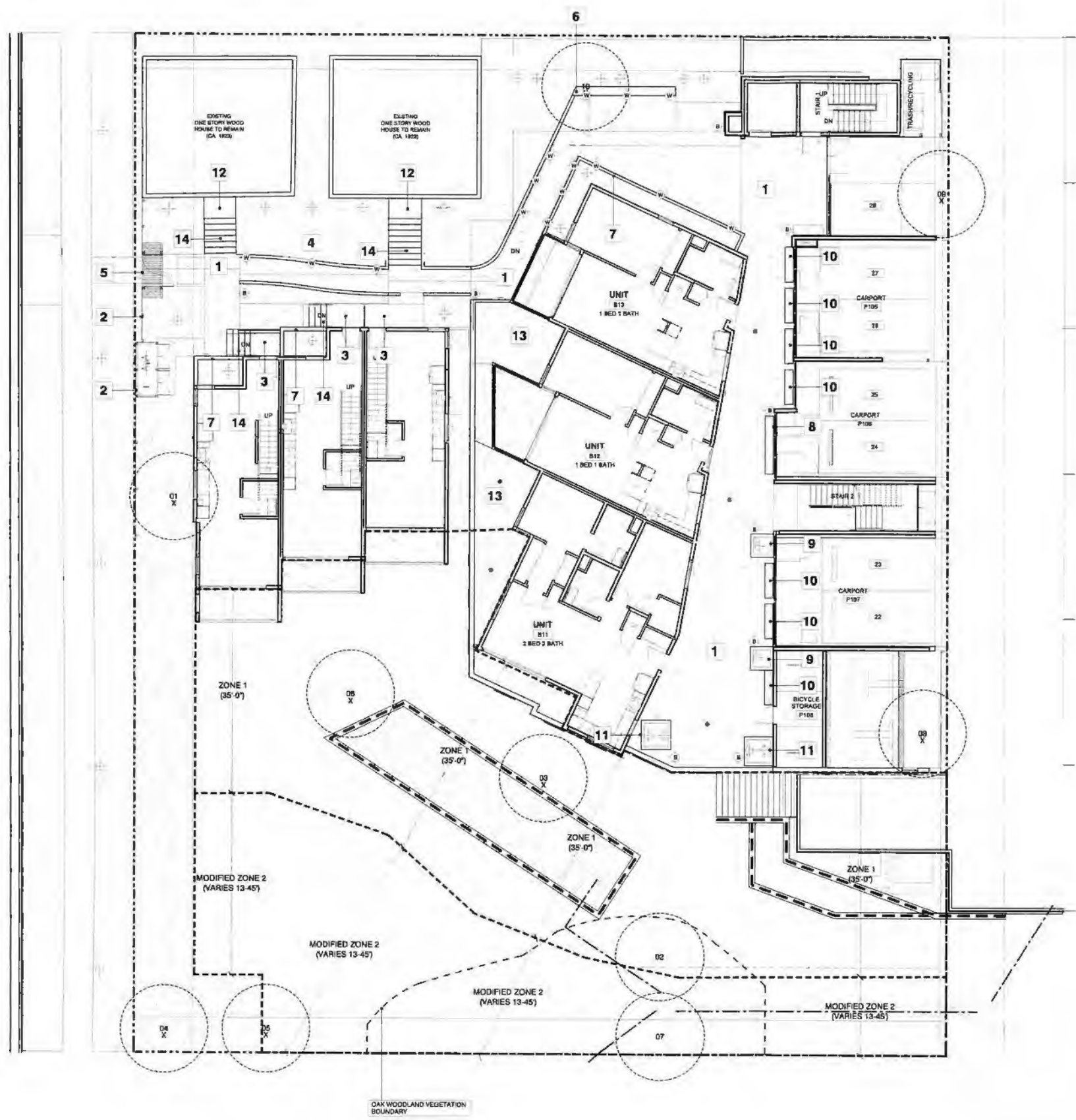
OFF-SITE BRUSH MANAGEMENT NOTE:

*Off site brush management shall be the responsibility of adjacent property owners. For fast load maintenance issues, contact the Fire Rescue Department's Fire Hazard Advisor. Brush/Wood compliant line at (619) 533-4444.

[Symbol]	ZONE ONE 35' PERPENDICULAR FROM BUILDING
[Symbol]	ZONE TWO VARIES 13 - 45'

PLANT COMMUNITIES

See sht. 1.3.02 for details of plant communities. NOTE: BRUSH MANAGEMENT PLANT MATERIAL LEGEND ON SHEET 1.3.02



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ARCHITECT STAMP

CONSULTANT

miasd
McClough Landscape Architects, Inc.
1000 La Jolla Village Drive, Suite 100
La Jolla, CA 92037
P 619 451-1111
F 619 451-1112

CONSULTANT STAMP



DATE	DESCRIPTION	DATE
11/06/2014	DEV PERMIT SUBM.	
1/28/2015	DEV PERMIT RE-SUBM.	
3/04/2015	BLD PERMIT SUBM.	
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CLIENT:
THE IRVING GROUP

PROJECT NAME:

INDIANA STREET APARTMENTS
3523-3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBER:
AVRP STUDIOS: 14029 01
CLIENT:
AGENCY: PTS #
DRAWN BY: EJT
CHECKED BY: DM

SHEET TITLE:
LANDSCAPE CALCULATIONS

SHEET NUMBER:

L1.01

LANDSCAPE CALCULATIONS

STREET TREES (IN PUBLIC RIGHT OF WAY)

Length of Street Frontage	175 LF
Street Trees Required	9
Street Trees Provided	10

STREET YARD (ALL ZONES)

Total Area	1,520 S.F.
Plant Area Required	780 S.F.
Plant Area Provided	1,263 S.F.
Plant Points Required	0 S.F.
Plant Points Provided	76
Plant Points Provided	100
Points Achieved w/ Trees	100

REMAINING YARD

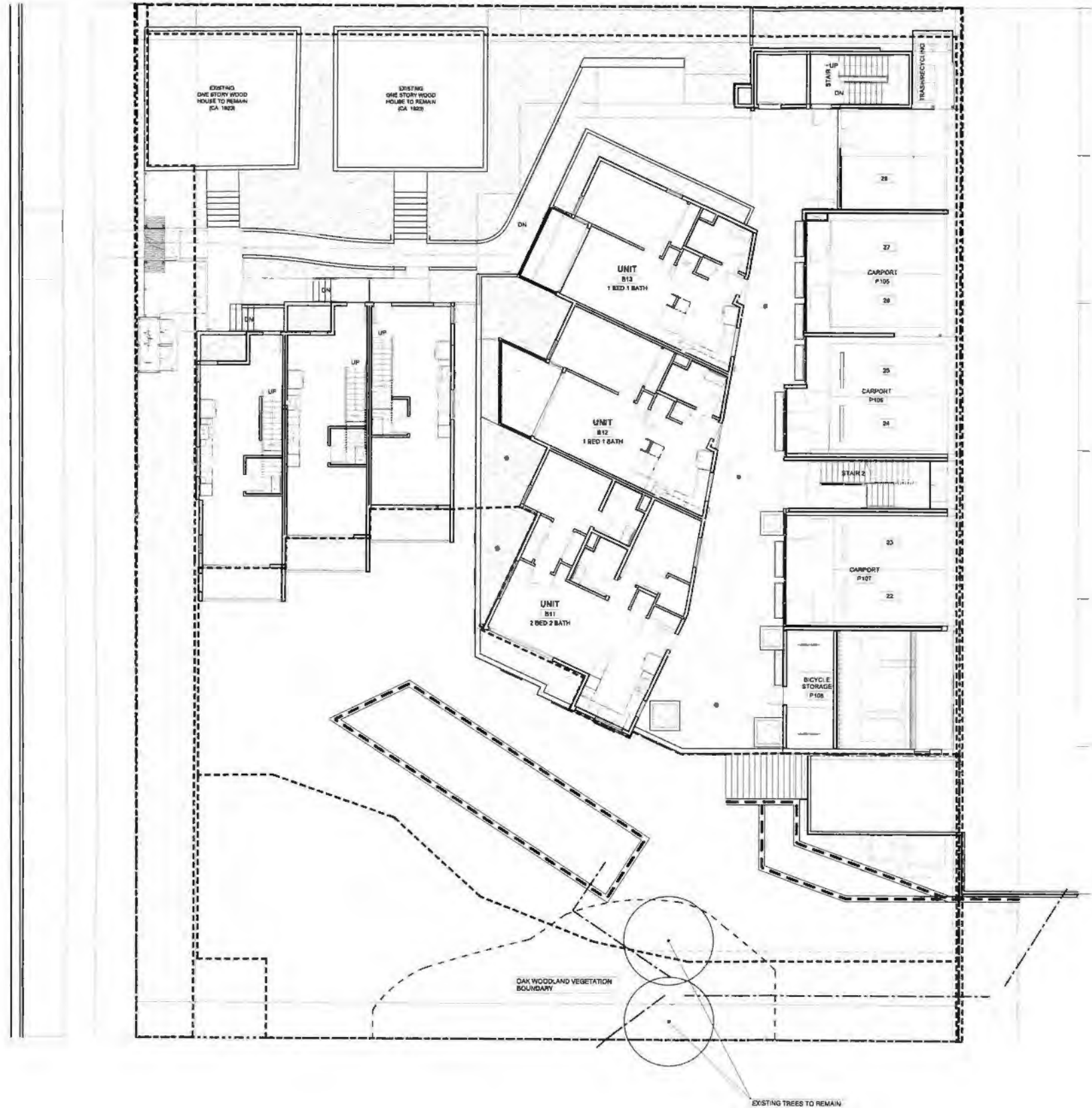
Planting Area Required (40 S.F. per required tree)	5 S.F.
Planting Area Provided (throughout site excl. Street Yard)	1,487 S.F.
Plant Points Required (60 points per building) (Baseline Req.)	300
Plant Points Provided	300
Points Achieved w/ Trees (1 1/2 gallon, (8" 24" dia) (4 3/4" dia)	380
Number of Buildings (Existing and Proposed)	5
Number of Trees Required (min. of 50% of 300pts.)	150 pts
Number of Trees Provided	14

EXISTING TREES

Total Existing Trees on Site	10
Trees to Remain	2
Trees to be Removed	8

AREA CALCULATION LEGEND

SYMBOL	DESCRIPTION	AREA
	STREET YARD	1,520 SF
	REMAINING PLANT AREAS	1,487 SF

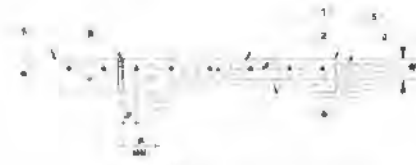


N

AVRP STUDIOS ARCHITECTURE, INTERIOR DESIGN, PLANNING 703 14TH STREET, SUITE 200 SAN DIEGO, CALIFORNIA 92101 P 619 704 2100 F 619 704 2888 WWW.AVRPSTUDIOS.COM

CONSTRUCTION NOTES

- VISIT THE SITE PRIOR TO SUBMITTING BIDS.
- SUBMIT A UNIT COST FOR IMPORT SOIL IN-PLACE AND BE COMPLETELY AWARE OF THE AMOUNT OF SOIL NECESSARY TO REACH THE SATISFACTORY GROUND LEVEL.
- VERIFY ALL PROPERTY LINES OR OTHER LIMIT OF WORK LINES PRIOR TO COMMENCING WORK.
- REMOVE ALL DEMOLITION ITEMS FROM THE PROJECT SITE AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS. DO NOT BURY RUBBISH OR DEBRIS ON SITE.
- REPAIR OR REPLACE ANY DAMAGE TO ADJACENT PROPERTIES, CURBS, WALKS, PLANTING, WALLS, ETC. AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS BEFORE PROCEEDING WITH THE WORK. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLAN.
- REPORT DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE LANDSCAPE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE FULL RESPONSIBILITY FOR ALL NECESSARY CORRECTIONS DUE TO FAILURE TO REPORT KNOWN DISCREPANCIES.
- LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND PROTECT THEM FROM DAMAGE. NOTIFY OWNER IMMEDIATELY IF DAMAGE OCCURS AND ASSUME FULL RESPONSIBILITY FOR EXPENSE OF REPAIR OR REPLACEMENT.
- COMPLY WITH ALL PROVISIONS OF THE LATEST BUILDING CODE AND WITH OTHER CURRENT RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE WORK. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- LOCATIONS OF N/C CONSTRUCTION ELEMENTS SUCH AS LIGHTS, SIGNS, VENTS, HYDRANTS, TRANSFORMERS, ETC., ARE APPROXIMATE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD THE LOCATION OF THESE ITEMS INTERFERE WITH THE PROPER EXECUTION OF WORK.
- VERIFY ALL PAVING AND HARDSCAPE CONSTRUCTION DRAWINGS WITH SOIL ENGINEER'S REPORT WITH REGARD TO BASE PREPARATION AND FOOTING REQUIREMENTS. NOTIFY OWNER IMMEDIATELY IF SOILS REPORT RECOMMENDATIONS DIFFER FROM DRAWINGS. THE SOILS REPORT RECOMMENDATIONS, IF MORE STRINGENT THAN THE DRAWINGS, SHALL TAKE PRECEDENCE.
- BE RESPONSIBLE FOR COORDINATION BETWEEN SUBCONTRACTORS FOR PROPER AND TIMELY PLACEMENT OF SLEEVING, PIPING AND/OR CONDUIT INSTALLATION UNDER OR THROUGH LANDSCAPE ELEMENTS.
- DO NOT SCALE DRAWINGS.
- SEE CIVIL ENGINEER'S PLAN FOR PRECISE GRADING AND DRAINAGE INFORMATION.
- PROVIDE A REPRESENTATIVE SAMPLE OF EACH PAINTED OR STAINED ELEMENT TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO APPLYING FINISH. REFER TO DETAILS AND SPECIFICATIONS FOR SPECIFIC SUBMITTAL REQUIREMENTS.
- PROVIDE A 4" X 4" SAMPLE OF EACH PAVING TYPE IN LOCATION SPECIFIED BY OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS.
- WHERE PAVING AND FINISH GRADE MEET, DEPRESS FINISH GRADE 1" IN TURF AREAS AND 1-1/2" IN GROUND COVER AREAS UNLESS OTHERWISE INDICATED.
- DO NOT EXCEED 3:1 SLOPE IN TURF AREAS.
- FOR PROJECT WALKS DO NOT EXCEED A SLOPE OF 20:1 (5% GRADIENT) UNLESS OTHERWISE INDICATED.
- DO NOT EXCEED 2:1 SLOPE IN PLANTED AREAS.
- HOLD FINISH GRADE A MINIMUM OF 6" BELOW FINISH FLOOR UNLESS OTHERWISE NOTED.
- CONSTRUCT ALL CURVE TO CURVE AND CURVE TO TANGENT LINES TO BE NEAT, TRIM, SMOOTH AND UNIFORM. CONSTRUCT ALL CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS.
- PROVIDE OWNER WITH ALL WARRANTIES, GUARANTEES, AND INSTRUCTION MANUALS FOR EQUIPMENT, APPLIANCES, FIXTURES, ETC. AS DESCRIBED IN THE SPECIFICATIONS.



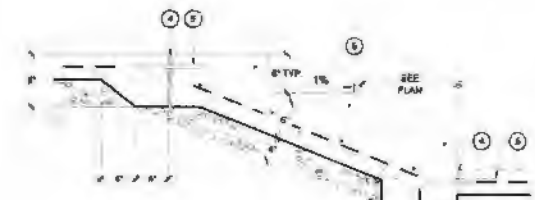
LEGEND:

- CONCRETE PAVING REFER TO CONSTRUCTION PLAN FOR COLOR AND FINISH
- #3 REBAR @ 18" O.C., EACH WAY, CENTERED IN SLAB
- FINISH GRADE
- COMPACTED SUBGRADE PER SOILS ENGINEER'S REPORT
- 1/4" TOOLED RADIUS
- EXPANSION JOINT (SEE CONTR. JOINT DETAIL)
- ADJACENT HARDSCAPE PER PLAN

NOTES:

- PAVING THICKNESS, BASE PREPARATION AND REINFORCING ARE SHOWN FOR BID PURPOSES ONLY. VERIFY REQUIREMENTS OF THE SOILS REPORT AND COMPLY.
- PROVIDE FINISH SAMPLE PER SPECIFICATIONS.
- EXPANSION JOINTS SHALL BE INSTALLED AT ALL JUNCTIONS WITH VERTICAL SURFACES: WALLS, CURBS, STEPS, BUILDING WALLS, ETC. AND AT ALL AREAS AS INDICATED ON THE PLANS.
- 3 1/2" PEDESTAL USE CONCRETE
- 1/2" AUTOMOBILE USE CONCRETE

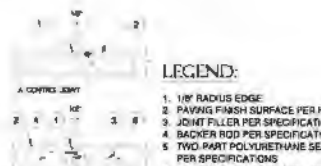
D | CONCRETE PAVING NTS



LEGEND:

- 2" WIDE REFLECTIVE, NON-SLIP STRIP, AMERICAN SAFETY TREAD CO., INC. TYPE 24, COLOR TO BE BLACK, INSTALL PER MFG'S. REC.
- #3 REBAR IN EACH STEP NOSE, HOLD 1" MIN. FROM OUTER SURFACE
- 3/8" RADIUS
- EXPANSION JOINT
- #4 REBAR DOWEL 12" LONG W/ SLEEVE 150:0
- CONCRETE STEP, FINISH & COLOR PER PLAN
- #3 REBAR 12" O.C. E-W
- 80% COMPACTED SUBGRADE
- CRUSHED STONE

A | CONCRETE STEPS NTS



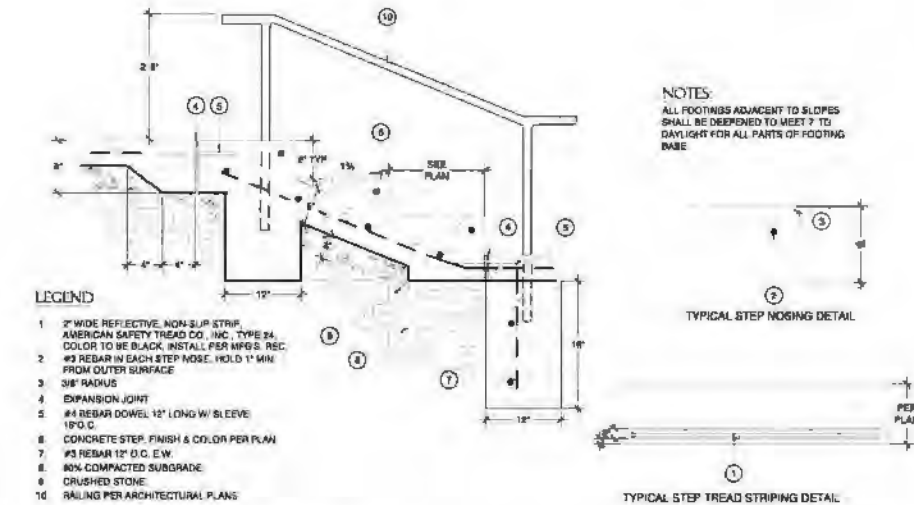
LEGEND:

- 1/8" RADIUS EDGE
- PAVING FINISH SURFACE PER PLAN
- JOINT FILLER PER SPECIFICATIONS
- BACKER ROD PER SPECIFICATIONS
- TWO PART POLYURETHANE SEALANT PER SPECIFICATIONS
- 1/2" DIA. X 12" LONG STEEL DOWEL @ 24" O.C., PAPER WRAP ONE END

NOTES:

- EXPANSION JOINTS SHALL BE INSTALLED AT ALL JUNCTIONS WITH VERTICAL SURFACES: WALLS, CURBS, STEPS, BUILDING WALLS, ETC. AND ALL AREAS AS INDICATED ON THE PLANS.
- SEALANT COLOR TO MATCH ADJACENT PAVING
- 3/4" PAVING LESS THAN 4" THICK
- 1" PAVING 4" THICK OR GREATER

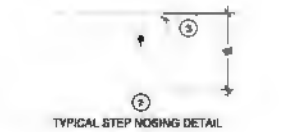
E | CONCRETE JOINTS DETAIL NTS



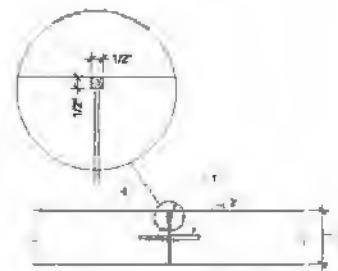
LEGEND:

- 2" WIDE REFLECTIVE, NON-SLIP STRIP, AMERICAN SAFETY TREAD CO., INC. TYPE 24, COLOR TO BE BLACK, INSTALL PER MFG'S. REC.
- #3 REBAR IN EACH STEP NOSE, HOLD 1" MIN. FROM OUTER SURFACE
- 3/8" RADIUS
- EXPANSION JOINT
- #4 REBAR DOWEL 12" LONG W/ SLEEVE 150:0
- CONCRETE STEP, FINISH & COLOR PER PLAN
- #3 REBAR 12" O.C. E-W
- 80% COMPACTED SUBGRADE
- CRUSHED STONE
- RAILING PER ARCHITECTURAL PLANS

NOTES:
ALL FOOTINGS ADJACENT TO SLOPES SHALL BE OPENED TO MEET 3" TO DAYLIGHT FOR ALL PARTS OF FOOTING BASE



B | CONCRETE STAIRS WITH RAILING NTS

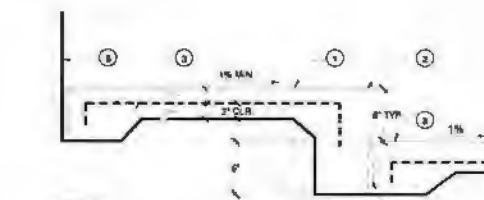


LEGEND:

- SAWOUT AND EMBED 1/2" X 1/2" (1/8" METAL) STRIP, SET WITH THIN SET MORTAR
- 1/4" DIAMOND DOWEL SYSTEM @ 18" O.C.
- CONCRETE DEPTH (SEE CONCRETE PAVING DETAIL)
- JOINT FILLER PER SPECIFICATIONS

METAL STRIP BY CAESAR CERAMIC AMBIENT SERIES (OR APPROVED EQUAL) AVAILABLE THROUGH GC THOMAS P/N: 616-518-3811

F | HIDDEN EXPANSION JOINT W/ METAL EMBED NTS



LEGEND:

- CONCRETE PAVING SEE PLANS
- 1/2" TOOLED RADIUS EDGE
- #3 REBAR @ 18" O.C. BOTH WAYS
- EXPANSION JOINT (COLOR TO MATCH ADJACENT CONCRETE)
- BASE PREPARATION PER SOILS ENG. REPORT
- BUILDING WALL SEE ARCH. PLANS

C | ENTRY STOOP NTS



ISSUE DATE:	DESCRIPTION:	DATE:
DEV PERMIT SUBM		11/06/2014
DEV PERMIT RE-SUBM		1/28/2015
BLD PERMIT SUBM		3/04/2015
DEV PERMIT RE-SUBM		4/17/2015
DEV PERMIT RE-SUBM		5/20/2015

NOT FOR CONSTRUCTION

CLIENT:

THE IRVING GROUP

PROJECT NAME:

INDIANA STREET APARTMENTS
3523-3535 Indiana Street
San Diego, CA 92103

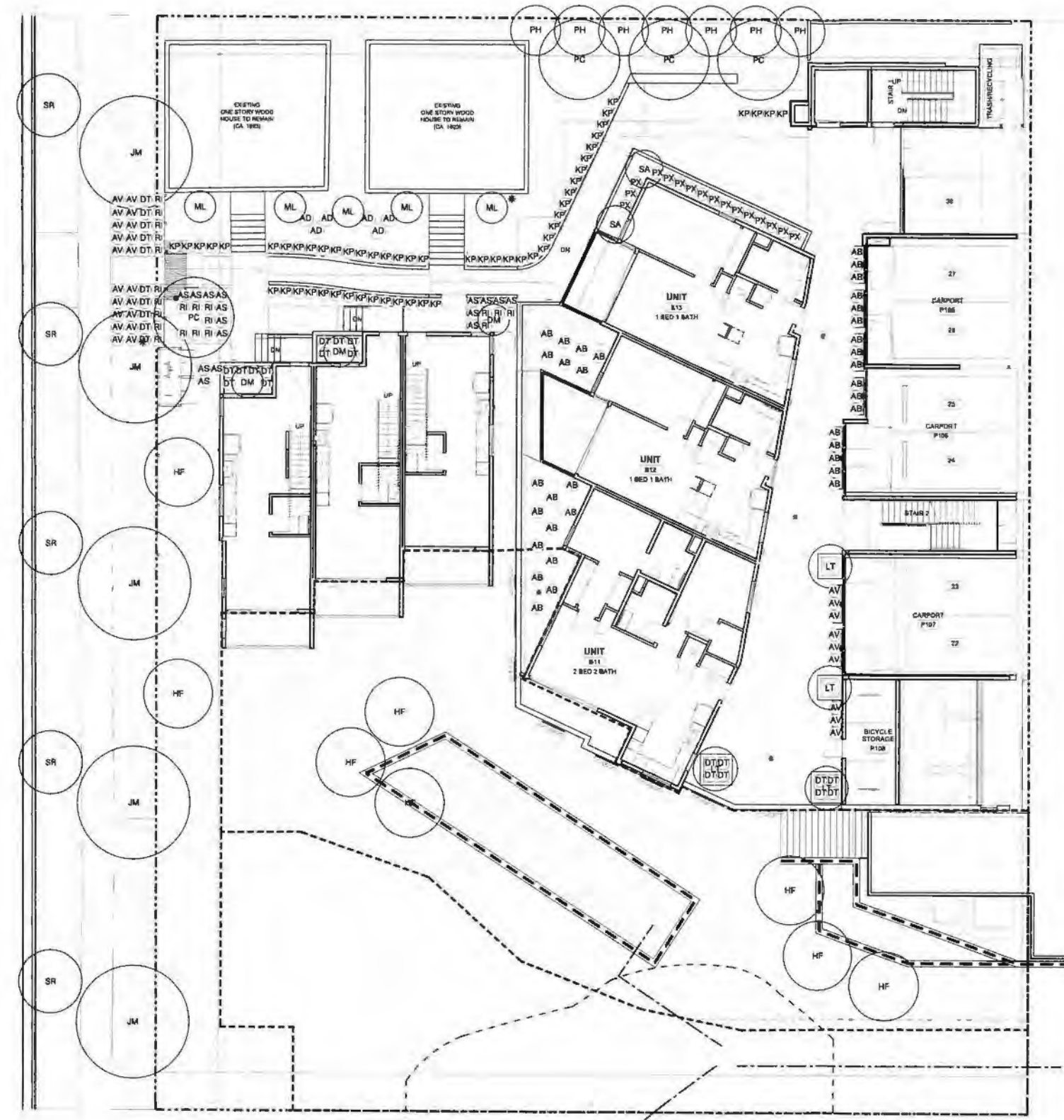
PROJECT NUMBER: AVR STUDIOS: 14023.01
CLIENT: PTB #
AGENCY: PTB #
DRAWN BY: BVT
CHECKED BY: DM

SHEET TITLE: CONSTRUCTION DETAILS

SHEET NUMBER:

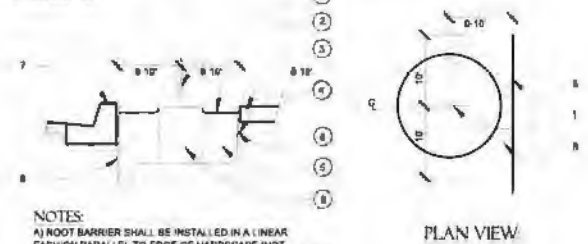
PLANT MATERIAL LEGEND

SYMBOL	SCREEN AND CANOPY TREES	SIZE	REMARKS	WUCOLS	
JM	JACARANDA MIMOSIFOLIA JACARANDA	36" BOX	STD	M	
SR	SYAGRUS ROMANZOFFIANUM QUEEN PALM	12 BTH	N/A	L	
HF	HYMENOSPORUM FLAVUM SWEET SHADE TREE	24" BOX	STD	L	
PC	PISTACIA CHINENSIS CHINESE PISTACIO	36" BOX	STD	ML	
PH	PODOCARPUS HENKELII LONG LEAFED YELLOW-WOOD	24" BOX	STD	M	
SYMBOL	ACCENT / COURTYARD TREES	SIZE	REMARKS	WUCOLS	
LT	LAGERSTROEMIA HYBRIDS TONTO TONTO GRAPE MYRTLE	24" BOX	STD	ML	
DM	DRACAENA MARGINATA MADAGASCAR DRAGON TREE	24" BOX	N/A	L	
ML	CITRUS LIMON MEYERS IMPROVED IMPROVED MEYERS LEMON	24" BOX	N/A	M	
SA	SCHEFFLERA ACTINOPHYLLA UMBRELLA TREE	15 GAL	N/A	M	
SYMBOL	EVERGREEN ACCENT SHRUB	SIZE	REMARKS	WUCOLS	
KP	ANIGOZANTHOS BIG RED RED KANGAROO PAW	5 GALLON	N/A	ML	
AB	AGAVE BLUE GLOW BLUE GLOW AGAVE	15 GALLON	N/A	L	
AD	AGAVE DESMETIANA VARIEGATA VARIEGATED SMOOTH AGAVE	15 GALLON	N/A	L	
AS	ALOE STRIATA CORAL ALOE	5 GALLON	N/A	L	
AV	ALOE VERA	15 GALLON	N/A	L	
DT	DIANELLA TASMANICA TASMAN FLAX LILY	5 GALLON	N/A	L	
PX	PHILODENDRON XANADU PHILODENDRON	5 GALLON	N/A	M	
RI	ROSA ICEBERG ICEBERG ROSE (WHITE)	15 GALLON	SHRUB FORM	M	
SYMBOL	EVERGREEN SHRUB	MAINT. HT., SPACING	SIZE	REMARKS	WUCOLS
[Symbol]	LIGUSTRUM JAPONICUM TEXANUM TEXAS PRIVET	42" HT., 24" O.C.	15 GAL	SCREENING HEDGE	M
[Symbol]	RUSSELLIA EQUISETIFORMIS CORAL FOUNTAIN	38-48" HT., 48" O.C.	5 GAL		VL
[Symbol]	VINCA MAJOR PERIWINKLE	12-24" HT., 10" O.C.	1 GAL	TO CASCADE WHEN APPLICABLE	M
[Symbol]	HESPERALOE PARVIFOLIA RED YUCCA	35-48" HT., 24" O.C.	5 GAL		VL
[Symbol]	PENNISETUM ALOPECUROIDES LITTLE BUNNY FOUNTAIN GRASS	6-12" HT., 12" O.C.	1 GAL		VL
[Symbol]	WILDFLOWER HYDROSEED MIX SEE SHT. L-3.03	N/A	N/A		VL
[Symbol]	MULCH 3" DEPTH	N/A	N/A		
SYMBOL	BIORETENTION PLANTS	MAINT. HT., SPACING	SIZE	REMARKS	WUCOLS
[Symbol]	CAREX PRAEGRACILIS CALIFORNIA FIELD SEDGE	10-12" HT., 10" O.C.	PLUGS	SPREADING SEDGE	M
[Symbol]	MULLENBERGIA CAPILLARIS 'LENCA' REGAL MIST PINK MUHLY	35-48" HT., 24" O.C.	5 GALLON	N/A	M
[Symbol]	JUNCUS EFFUSUS 'QUARTZ CREEK' QUARTZ CREEK SOFT RUSH	24-36" HT., 18" O.C.	5 GALLON	N/A	M
SYMBOL	EVERGREEN VINES	SIZE	REMARKS	WUCOLS	
[Symbol]	DISTICTUS BUCINATORIA BLOOD-RED TRUMPET VINE	15 GAL	VINE TO CLIMB	M	
[Symbol]	FICUS PUMILA CREEPING FIG	15 GAL	VINE TO CLIMB	ML	



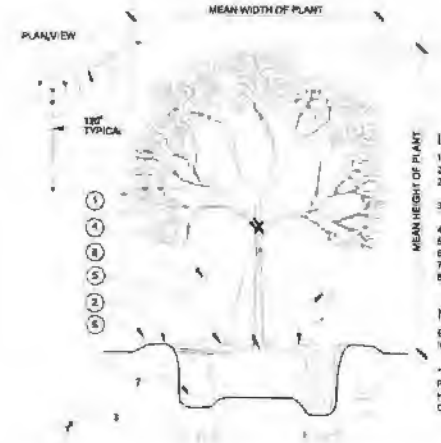
LEGEND:

- 1 TREE TRUNK EQUIDISTANT FROM BOTH ENDS OF ROOT BARRIER
- 2 FINISH GRADE
- 3 EDGE OF PAVING/ SIDEWALK (TYP.)
- 4 PLASTIC ROOT BARRIER, 18-INCH MIN DEPTH ADJ. TO SIDEWALK
- 5 BACKFILL MIX
- 6 ROOTBALL
- 7 CURB/CUTTER (TYP.)
- 8 PLASTIC ROOT BARRIER, 18-INCH MIN DEPTH ADJ. TO CURB/HARDSCAPE



- NOTES:**
- A) ROOT BARRIER SHALL BE INSTALLED IN A LINEAR FASHION PARALLEL TO EDGE OF HARDSCAPE (NOT INCLUDING ROOTBALL) 20 FEET MIN. LENGTH EACH TREE. ROOT BARRIERS ARE ONLY NEEDED WHEN TREE IS CLOSER THAN 10' TO ANY HARDSCAPE EDGE.
 - B) TOP OF ROOT CONTROL BARRIER SHALL BE ONE INCH ABOVE FINISH GRADE (MIN).
 - C) ROOT BARRIER SHALL BE INSTALLED WITH RAISED ROOT DIVERTERS FACING TOWARD THE TREE ROOTBALL.

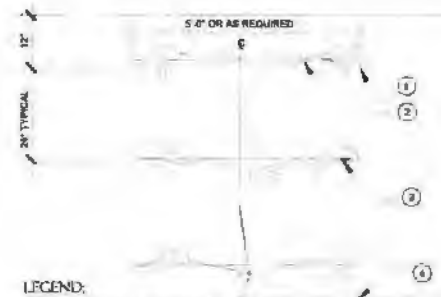
G | ROOT CONTROL BARRIER (TYP.) NTS



- LEGEND:**
- 1 10 GAUGE GALVANIZED WIRE ENCASED IN PLY REINFORCED RUBBER HOSE (BLACK)
 - 2 SAUCER SHAPED BERM 4\"/>
 - 3 DUCK BILL ANCHOR, INSTALL PER MANUFACTURERS INSTRUCTIONS
 - 4 1/4\"/>
 - 5 3\"/>
 - 6 1/2\"/>
 - 7 PREPARED BACKFILL (SEE SPECS)
 - 8 TOP OF BALL TO BE 1\"/>

- NOTE:**
- * LOCATE GUY WIRES AWAY FROM PUBLIC SIDEWALKS TO AVOID TRIP HAZARDS. WIRES SHOULD BE A MIN. OF 5\"/>

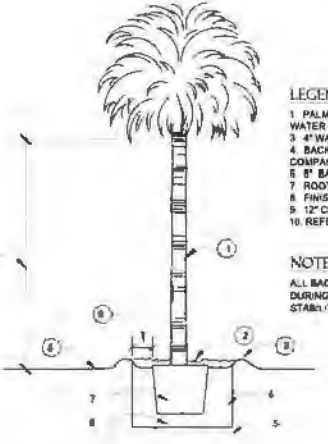
D | TREE PLANTING (36\"/> NTS



- LEGEND:**
- 1 ANCHOR INTO WALL: SCREW EYE FOR WOOD EXPANDABLE ANCHOR IN MASONRY
 - 2 1/2 GAUGE GALVANIZED WIRE NUMBER AS REQUIRED TO COVER WALL
 - 3 FLEXIBLE TIE TAPE SECURING VINE TO WIRE
 - 4 FINISH SURFACE

- NOTE:**
- WHEN PLANTING SEVERAL VINES ON ONE WALL WIRE TRELLIS SHALL BE CONTINUOUS

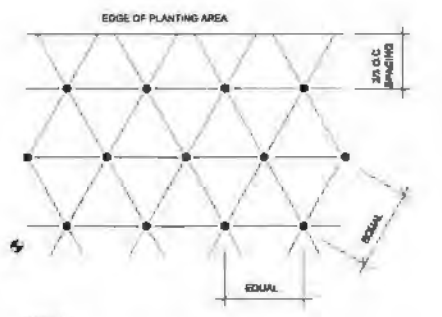
E | VINE DETAIL NTS



- LEGEND:**
- 1 PALM TRUNK TO BE PLUMB (VERTICAL)
 - 2 4\"/>
 - 3 4\"/>
 - 4 BACKFILL 100% WASHED PLASTER SAND
 - 5 COMPACTED SUBGRADE
 - 6 8\"/>
 - 7 ROOTBALL
 - 8 FINISH GRADE
 - 9 12\"/>
 - 10 REFER TO PLANT LIST FOR HEIGHT

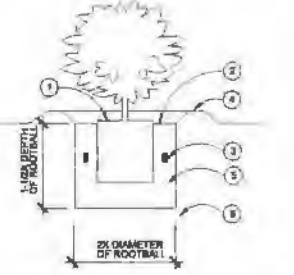
- NOTE:**
- ALL BACKFILL TO BE WATER JETTED DURING PLANTING FOR MAXIMUM STABILITY

F | PALM PLANTING NTS



- NOTE:**
- ALL SHRUBS/GROUND COVER SHALL BE PLANTED AT EQUAL SPACING (TRIANGULAR UNLESS OTHERWISE INDICATED ON PLANS) SEE LEGEND FOR SPACING REQUIREMENTS

A | SHRUB/GROUND COVER SPACING NTS



- LEGEND:**
- 1 CROWN OF PLANT TO BE PLANTED 1/2\"/>
 - 2 BASIN
 - 3 PLANT TABLETS PER SPECIFICATIONS
 - 4 TEMPORARY EARTH BERM
 - 5 BACKFILL MIX PER SPECIFICATIONS
 - 6 NATIVE SOIL

- NOTES:**
- A. FOR REQUIRED PLANTING METHODS REFER TO SPECIFICATIONS (NOTE SPECIAL TREATMENT)
 - B. FOR SLOPE PLANTING SHAPE, SHAPE UP HILL SIDE OF PLANT PIT FOR SMOOTH, CONTINUOUS TRANSITION TO FINISH GRADE (2\"/>

B | SHRUB PLANTING NTS



- LEGEND:**
- 1 CENTER TREE IN BASIN, SET CROWN 1\"/>
 - 2 BASIN MULCH PER SPECIFICATIONS
 - 3 2\"/>
 - 4 TREE TIES PER SPECIFICATIONS
 - 5 TEMPORARY 3\"/>
 - 6 PLANT TABLETS PER SPECIFICATIONS
 - 7 BACKFILL PER SPECIFICATIONS
 - 8 UNAMENDED NATIVE SOIL BACKFILL FIRMED TO SUPPORT PLANT
 - 9 ROOTBALL
 - 10 SCARIFY EDGES OF PLANT PIT
 - 11 ANCHOR GUARD
 - 12 ROOT ADAPTATION TUBE - 2\"/>

- NOTES:**
- A. REMOVE STAKE WHICH COMES WITH PLANT FROM NURSERY
 - B. PLACE PARALLEL TO CURB OR WALK WHERE POSSIBLE
 - C. ON SLOPES PLACE STAKES ON EITHER SIDE OF TRUNK AT SAME ELEVATION
 - D. IN FLAT AREAS, PLACE STAKES ON EITHER SIDE OF TRUNK PARALLEL TO PREVAILING WINDS
 - E. TREES PLANTED IN TURF SHALL HAVE A 2\"/>

C | TREE PLANTING NTS



ISSUE DATES	DESCRIPTION	DATE
DEV. PERMIT SUBM.		11/06/2014
DEV. PERMIT RE-SUBM.		1/28/2015
BLD. PERMIT SUBM.		3/04/2015
DEV. PERMIT RE-SUBM.		4/17/2015
DEV. PERMIT RE-SUBM.		6/20/2015

NOT FOR CONSTRUCTION

CLIENT
THE IRVING GROUP

PROJECT NAME

INDIANA STREET APARTMENTS
3523-3535 Indiana Street
San Diego, CA 92103

PROJECT NUMBER: 14023.01
AVRP STUDIOS
CLIENT:
AGENCY: PFS #
DRAWN BY: EY
CHECKED BY: DR
SHEET TITLE:

BRUSH MANAGEMENT GUIDE

SHEET NUMBER

L3.03

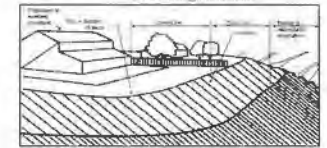
142.0412 Brush Management

Brush management is required in all base zones on publicly or privately owned properties that are within 100 feet of a structure and contain native or naturalized vegetation.

- (a) Brush management activity is permitted within environmentally sensitive lands (except the wetlands) that are located within 100 feet of an existing structure in accordance with Section 142.010(c)(7). Brush management by wetlands may be requested with a development permit in accordance with Section 143.0110 where the Fire Chief deems brush management necessary in accordance with Section 142.0412(i). Where brush management in wetlands is deemed necessary by the Fire Chief, that brush management shall not qualify for an exemption under the Environmentally Sensitive Lands Regulations, Section 143.010(c)(7).
- (b) Brush Management Zones. Where brush management is required, a comprehensive program shall be implemented that reduces fire hazards around structures by providing an effective fire break between all structures and contiguous areas of native or naturalized vegetation. This fire break shall consist of two distinct brush management areas called "Zone One" and "Zone Two" as shown in Diagram 142.04E.

Diagram 142.04E

Brush Management Zones



- (1) Brush management Zone One is the area adjacent to the structure, shall be legal flammable, and shall typically consist of pavement and permanently irrigated ornamental planting. Brush management Zone One shall not be allowed on slopes with gradient greater than 4:1 (4 horizontal feet to 1 vertical foot) unless the property received a natural wrap approval before November 15, 1969. However, within the Coastal Overlay Zone coastal development shall be subject to the construction limitations set forth in Section 143.0142(a)(2) of the Environmentally Sensitive Lands Regulations.
- (2) Brush management Zone Two is the area between Zone One and any area of native or naturalized vegetation and typically consists of thinned, native or naturalized non-irrigated vegetation.
- (3) The width of Zone One and Zone Two shall not exceed 100 feet and shall meet the width requirements in Table 142.04H unless modified based on existing conditions pursuant to Section 142.0412(i) and the following:
 - (i) The establishment of brush management Zones One and Two for new development shall be addressed in a site-specific plan to include all existing site and/or structural design features to minimize impacts to undisturbed native vegetation. Both Zone One and Zone Two shall be provided on the subject property unless a recorded easement is granted by an adjacent property owner to the owner of the subject property to establish and maintain the required brush management zones on the adjacent property in perpetuity.
 - (ii) Where Zone Two is located within City-owned property, a Right-of-Way shall be executed in accordance with Section 03.010 prior to any brush management activity. Zone Two brush management is not permitted in City-owned open space for new development proposals. For properties in the Coastal Overlay Zone, additional requirements for new subdivisions are found in Section 142.0412(i).

Table 142.04H
Brush Management Zone Width Requirements

Zone	Zone Width
Zone One	100'
Zone Two	100'

- (d) Brush management activities are prohibited within coastal sage scrub, maritime sycamore scrub, and coastal sage-shrubland habitats from March 1 through August 15, except where documented to the satisfaction of the City Manager that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Saltonia Plan.
- (e) Where Zone One width is required adjacent to the MHPA or within the Coastal Overlay Zone, any of the following modifications to development regulations of the Land Development Code or standards in the Land Development Manual are permitted to accommodate the increase in width:
 - (1) The required front yard setback of the base zone may be reduced by 5 feet.
 - (2) A sidewalk may be eliminated from one side of the public right-of-way and the minimum required public right-of-way width may be reduced by 5 feet, or
 - (3) The overall minimum pavement and public right-of-way width may be reduced in accordance with the Street Design Standards of the Land Development Manual.
- (f) The Zone Two width may be decreased by 1/2 foot for each 1 foot of increase in Zone One width up to a maximum reduction of 30 feet of Zone Two width.
- (g) Zone One Requirements:
 - (1) The required Zone One width shall be provided between native or naturalized vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.

- (2) Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, palapas, play structures, and nonhabitable garages that are located within brush management Zone One shall be of noncombustible construction.
- (3) Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be fire-resistant and fire-retardant.
- (4) Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structure to the drip line of the tree at maturity in accordance with the Landscape Standards of the Land Development Manual.
- (5) Permanent irrigation is required for all planting areas within Zone One except as follows:
 - (A) When planting areas contain only species that do not grow taller than 24 inches in height, or
 - (B) When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
- (6) Zone One irrigation overlap and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
- (7) Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.
- (h) Zone Two Requirements:
 - (1) The required Zone Two width shall be provided between Zone One and the undisturbed, native or naturalized vegetation, and shall be measured from the edge of Zone One that is farthest from the habitable structures to the edge of undisturbed vegetation.
 - (2) No structures shall be constructed in Zone Two.
 - (3) Within Zone Two, 50 percent of the plants over 24 inches in height shall be cut and detritus to a height of 6 inches.
 - (4) Within Zone Two, all plants remaining after 50 percent are reduced in height, shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual. Non-native plants shall be pruned before native plants are pruned.
 - (5) The following standards shall be used where Zone Two is in an area previously graded as part of legal development activity and is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:
 - (A) All new plant material for Zone Two shall be native, low-fuel, and fire-resistant. No non-native plant material may be planted in Zone Two other than the MHPA or in the Coastal Overlay Zone adjacent to areas containing sensitive biological resources.
 - (B) New plants shall be low-growing with a maximum height at maturity of 24 inches. Single specimens of fire-resistant native trees and tree form shrubs may exceed this limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures and if the vertical distance between the lowest branches of the trees and the top of adjacent plants is three times the height of the adjacent plants to reduce the spread of fire through ladder fueling.
 - (C) All new Zone Two plantings shall irrigated temporarily until established to the satisfaction of the City Manager. Only low-flow, low-gallonage spray heads may be used in Zone Two. Overcap, and runoff from the irrigation shall not drip or flow into adjacent areas of native or naturalized vegetation. Temporary irrigation systems shall be removed upon approved establishment of the plantings. Permanent irrigation is not allowed in Zone Two.

AVRP STUDIOS ARCHITECTURE AND INTERIOR DESIGN, INC. IS AN EQUAL OPPORTUNITY AND AFFIRMATIVE ACTION EMPLOYER. ALL EMPLOYEES AND CONTRACTORS SHALL BE HELD ACCOUNTABLE TO THE COMPANY'S POLICY ON CONSTRUCTION SAFETY. THE COMPANY'S POLICY ON CONSTRUCTION SAFETY IS AVAILABLE AT: WWW.AVRPSTUDIOS.COM/SAFETY. THE COMPANY'S POLICY ON CONSTRUCTION SAFETY IS AVAILABLE AT: WWW.AVRPSTUDIOS.COM/SAFETY.



ISSUE DATE:	DESCRIPTION:	DATE
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DEV. PERMIT RE-SUBM.		5/20/2015

HAST BURN CONSTRUCTION

CLIENT

THE IRVING GROUP

PROJECT NAME

INDIANA STREET
 APARTMENTS
 3523-3535 Indiana Street
 San Diego, CA 92103

PROJECT NUMBER: AVRP STUDIOS 14023 01

CLIENT:

AGENCY: PTS #

DRAWN BY: EFT

CHECKED BY: DM

SHEET TITLE

BRUSH MANAGEMENT REQUIREMENTS

SHEET NUMBER

L3.04

BRUSH MANAGEMENT REQUIREMENTS (SDMC Section 142.0412)

Any property containing a habitable structure and native or naturalized vegetation is required to provide 100 feet of brush management in two distinct zones: Zone 1 and Zone 2. Special requirements may apply (i.e. pre-1990 development). Check with Fire-Rescue or DFR before you begin brush management work.

Brush Management Zone 1 extends 35 feet out from the habitable structure towards flammable vegetation, and occurs on the level portion of a property.

- Zone 1 must be maintained on a regular basis by thinning and pruning trees and plants, controlling weeds, and maintaining irrigation systems.
- No habitable structures are permitted. New construction (i.e. fences, walls, patios, play structures, garages, and decks) must be non-combustible and/or have a minimum 1-hour fire resistance rating. Previously conforming structures (legally constructed prior to enforcement) may remain unless they constitute a distinct hazard to life or property.
- Plants should be primarily low-growing (less than 4 feet in height), low-fuel, and fire-resistant.
- All portions of trees, other than the trunk, which extend within ten feet of a structure or the outer of any chimney, must be cut back.
- Trees adjacent to or overhanging any building must be free of dead wood.
- Need and rain gutters must be free of leaves, needles, or other dead vegetative growth.

Brush Management Zone 2 is the remaining 65 feet that extends beyond Zone 1, typically comprised of undisturbed vegetation on a slope subject to sensitive biological resource protection.

- Zone 2 must be maintained on a regular basis by controlling weeds and removing invasive species. (See back of bulletin under additional information.)
- Selective thinning and pruning of native and non-native plants is required to reduce the fuel-load. Do not grade or grub native plants, snags or habitats. Non-native plants must be pruned before native plants. See detailed instructions provided in this bulletin. Violators will be responsible for restoration and mitigation costs as applicable.
- Brush management activity is not allowed March 1 through August 15 in coastal sage scrub, maritime succulent scrub, or coastal sage-chaparral habitats, unless an exception is specifically granted.
- NO structures or permanent irrigation are allowed in Zone 2.
- A permit is required to re-vegetate or revegetate Brush Management Zone 2. Failure to obtain the required permit could result in costly corrective action.

VI. BRUSH MANAGEMENT - VEGETATION

A. Thinning and Pruning, Native/Naturalized Vegetation (SDMC §142.0412(d), (g) & (h); Landscape Standards §3.2-2.04, 3.2-3.01) - Two key factors in creating a fire safe landscape are providing fuel discontinuity by the separation of the flammable plant cover (thinning) and reduction in fuel load by cutting out dead and excess growth of the native-naturalized vegetation (pruning). Plants to be retained should be consistent with the allowable coverage, spacing and pruning required in the Brush Management Regulations and the Landscape Standards. Whenever possible, a person knowledgeable about the use and maintenance of native plants should be consulted to oversee the selection, thinning, and pruning of these plants. The progression of work should proceed as follows: 1) remove dead plants, 2) thin out brush management areas to the required coverage, 3) prune remaining plants, 4) dispose or mulch debris and trimmings, and 5) maintain Zone One on a year-round basis, Zone Two on a seasonal basis. Note that brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Mayor's Designer that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSCP Subarea Plan.

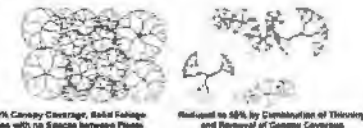
1) **Thinning** - This first step requires identification of the native/naturalized species and a familiarity with their various characteristics such as rooting depth, fuel loads, flammability, as well as habitat and aesthetic value. Thinning should be prioritized as follows: 1) invasive non-native species with the exception of eucalyptus trees in Eucalyptus Woodland areas, 2) non-native species, 3) flammable native species, 4) native species, and 5) regionally sensitive species. All vegetation that is not to be removed during the initial thinning should be noted or flagged. The remaining plants which are not to be saved should be cut six inches above the ground without pulling out the roots.

For Eucalyptus Woodland areas that fall within Zone Two Brush Management, all trees 3 inches or less in diameter at breast height (d.b.h.) shall be removed with the exception of indigenous, native species. The removal of live (includes "dissect") eucalyptus trees over 3 inches d.b.h., should only occur:

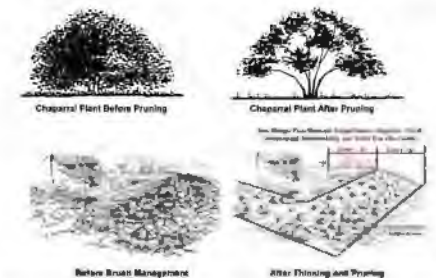
- when needed to remove adjacent dead trees;
- to achieve tree/shrub vertical requirements;
- where deemed a specific liability or fire safety hazard by the Fire Chief; or
- on private property when adhering to the horizontal spacing criteria shown in the Tree & Shrub Spacing Chart under Section VI.B.

Certain native plants, such as those found in coastal sage scrub, should be cut back to within 12 inches of the main crown. As sprouting and regrowth occur, these plants can be maintained as low, succulent shrubs. Examples include *Artemisia californica* (California Sagebrush), *Salvia mellifera* (Black Sage), *Adenostoma fasciculatum* (Chamise) and *Eriogonum fasciculatum* (Buckwheat).

PLAN VIEW



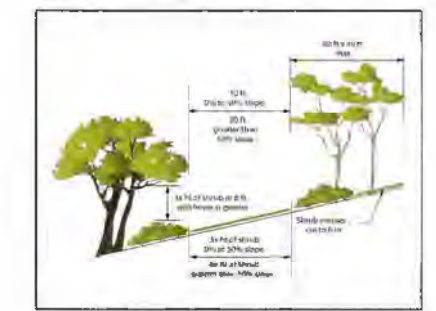
7) **Pruning** - After thinning of the native/naturalized vegetation, the fuel load should be further reduced by pruning the plants that have not been removed. While pruning individual plants is not feasible in coastal sage scrub, it is very effective for many hard chaparral species, such as *Ceanothus* (Wild Lilac), *Heteromeles* (Toyon), *Rhus* (Lemonade Berry, Sugarbush), and *Rhamnus* (Coffeeberry, Redberry). These plants can be shaped into attractive, fire safe specimens by pruning dead and excessively twiggy growth. The figure below illustrates pruning of native shrubs. Note that the limbs touching the ground have been removed, and that a large volume of material has been taken from the canopy. The limbs that remain should be those with young, vigorous shoots.



B. Thinning and Pruning, Trees (Landscape Standards §3.2-1.03, 1.05) - Trees are allowed within the defensible space, provided the horizontal and vertical distance between trees and shrubs meets compliance with required spacing for the slope gradient shown in the following Tree and Shrub Spacing Chart.

Tree & Shrub Spacing Chart	Minimum horizontal spacing	
	From edge of one tree canopy spread to edge of another tree canopy spread	From edge of one tree canopy spread to edge of the next
Trees	Slope 0% to 50% (2:1)	10 feet
	Greater than 50% (2:1)	15 feet
Shrubs	Slope 0% to 30% (2:1)	3 times the height of the shrub max
	Greater than 30% (2:1)	3 times the height of the shrub max
Vertical Spacing	Minimum vertical space between top of shrub and bottom of lower tree branches: 3 times the height of the shrub max or 6 feet, whichever is greater	

- Trees greater than 3 inches d.b.h. located in Eucalyptus Woodland areas are exempt from the minimum horizontal tree spacing requirements.
- Indigenous, native trees in all areas are exempt from the minimum horizontal tree spacing requirements.



Vertical clearance between trees and shrubs can be created by pruning up the tree canopy, reducing height of the shrubs, or a combination thereof. Canopies of existing trees that extend to within 10 feet of any structure shall be pruned to maintain a minimum horizontal and vertical clearance of 10 feet. Portions of tree canopies that extend within 10 feet of the



NORTH PARK PLANNING COMMITTEE
 Final Minutes: April 21, 2015 – 6:30 PM
www.northparkplanning.org
info@northparkplanning.org

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I. Call to order: 6:35 pm

II. Attendance Report:

Member	Robert Barry	Howard Blackson	Dionne Carlson	Steve Codraro	Daniel Gebreselassie	Vicki Granowitz	Peter Hill	Brandon Hilpert	Rachel Levin	Sarah McAlear	Lucky Morrison	Roger Morrison	Dang Nguyen	Rick Pyles	Rene Vidales
Attendance			1	2	3	4	5	6	7	8	9			10	11
Late														6:45	
Absences	1	1										1	1		

III. Modifications to and Adoption of the 4/21/15 Agenda

- a. Urgent Non-Agenda Action Items: none
- b. **MOTION: Adopt 4/21/15 Agenda Hill/Hilpert 10-0-0**

IV. Consent Agenda:

- a. 4514-4516 Utah St. – Tentative Map for a 7-unit project (6 units under construction, 1 existing residence) is to create condominiums. The 7,000 sf site is within the MR-1500 zone of the Mid-City Communities Planned District & the Transit Area Overlay Zone. An affordable Housing Density Bonus allowed a density bonus of 2 units (included one very affordable, one bedroom unit through the SD Housing commission). 8 parking spaces are to be provided, of which 6 are tandem. **MOTION: To deny the project as presented, due to lack of prior community input. Hill/UDPR 10-0-0 (On Consent)**
- b. 3537-3547 Indiana St Apartments. 24 units on a 24,326 sf site. The project to keep two historically designated bungalows & relocation 3 other bungalows. Parking to be underground, accessed through the alley, parking for all units, including the existing bungalows included. The site is located within the MR-1000 zone of the Mid-City Communities Planned District, Transit Area Overlay Zone **MOTION: To approve Indiana St Apartments Project #396980 at 3537-3547 Indiana St including a Site Development Permit, Neighborhood Use Permit, Easement Vacation for an existing drain and Deviations for:**
 - 1) required side and rear setbacks from the property lines for an elevator structure on the alley
 - 2) maximum allowable height, for an elevator equipment enclosure and solar panels
 - 3) architectural features required, for roof, window and door treatments
 - 4) providing one pedestrian entry where the code requires two entries**Hill/UDPR 10-0-0 (On Consent)**
- c. Proposed Zoning Correction for 2011-2197 Haller & Rezoning of 1942 Boundary St. **MOTION: To recommend rezoning of the RS-1-7 at 1942 Boundary St & 2011-2197 Haller St to multifamily medium density (14-29 dwelling units per acre), include a zoning correction on the adjacent 2011-2197 Haller St existing townhouse development to reflect its actual density. The steep hillside is remain RS 1-1 & and to preserve access to Juniper Canyon open space. Hill/UDPR 10-0-0 (On Consent)**



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title

Project No. For City Use Only

INDIANA STREET APARTMENTS

Project Address:

3537-3547 INDIANA ST SAN DIEGO, CA 92103-5201

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Project Title: INDIANA STREET APARTMENTS	Project No. (For City Use Only)
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
Indiana Street Apartments #1, LLC

Owner Tenant/Lessee

Street Address:
4980 N. Harbor Drive, Suite 204

City/State/Zip:
San Diego, CA 92106

Phone No: (619) 222-8084 Fax No: (000) 000-0000

Name of Corporate Officer/Partner (type or print):
Tim Wright

Title (type or print):
General Partner

Signature: *T.M. Wright* Date: 11/5/14

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):
Indiana Street Apartments #1, LLC

Owner Tenant/Lessee

Street Address:
4980 N. Harbor Drive, Suite 204

City/State/Zip:
San Diego, CA 92106

Phone No: (619) 222-8084 Fax No: (000) 000-0000

Name of Corporate Officer/Partner (type or print):
Craig Irving

Title (type or print):
General Partner

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date: