



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: September 17, 2015 **REPORT NO.** PC-15-103

ATTENTION: Planning Commission, Agenda of September 24, 2015

SUBJECT: VERIZON MURRAY RIDGE - PROJECT NO. 360261
PROCESS FOUR.

**OWNER/
APPLICANT:** International Church of the Foursquare Gospel dba Faith Community Church
Verizon Wireless

SUMMARY

Issue(s): Should the Planning Commission approve a wireless communication facility at 2285 Murray Ridge Road within the Serra Mesa Community Plan area?

Staff Recommendation(s): Approve Conditional Use Permit No. 1535018 and Planned Development Permit No. 1535019.

Community Planning Group Recommendation: On November 20, 2014, the Serra Mesa Planning Group voted 9-0-0 to recommend approval of the Verizon Murray Ridge project with no conditions.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19 Section 15303 (New Construction) and is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on August 14, 2015, and the opportunity to appeal that determination ended **August 28, 2015**.

Fiscal Impact Statement: Verizon Wireless is the Financially Responsible Party and is responsible for the costs associated with the processing of this permit application.

Code Enforcement Impact: None.

Housing Impact Statement: Not Applicable.

BACKGROUND & DESCRIPTION

Verizon Murray Ridge is an application for a Wireless Communication Facility (WCF), consisting

of a new 30 foot tall monument tower concealing 12 panel antennas, a microwave dish and associated components with equipment located in the base of the tower. An emergency generator is proposed adjacent to the tower in a 144 square foot concrete block enclosure and Verizon is proposing to construct a new 264 square foot storage building for church use (Attachment 8).

The project is located at 2285 Murray Ridge Road in the RS-1-7 zone, within the Serra Mesa community planning area. Surrounding uses include single-unit residential to the north, east and west and Interstate-805 to the south (Attachments 1, 2 and 3).

In residential zones, on premises with a non-residential use, WCF are permitted with a CUP. This WCF is located in a residential zone, on church property with a school. The project site is located on the southern perimeter of the property adjacent to the Interstate-805 Murray Ridge Road off ramp and proposes to encroach into the side yard setback, prompting the need for a PDP, Process Four.

The WCF Regulations require that applicants use all reasonable means to conceal or minimize the visual impacts of WCF through integration, which includes the use of architecture, landscape, and siting solutions. This project has been designed to provide wireless coverage to the surrounding neighborhood and commuters along Interstate-805 in a way that is respectful of the neighborhood context. To accomplish this, Verizon is proposing a 30 foot tall monument tower designed to integrate with the church and ancillary buildings (Attachment 8 and 13). The tower will be located in a perimeter landscape strip in the church parking area, immediately above Interstate-805. An existing first generation Nextel palm tree is located in the same landscape strip and has been slated for demolition and removal. New landscape consisting of two Canary Island Pine trees and shrubs are proposed to be planted around the new facility to improve views (Attachment 13). As designed, the project qualifies as a "complete concealment" and will not include a ten year expiration.

The City's General Plan addresses Wireless Facilities in UD-A.15. The visual impact of WCFs should be minimized by concealing WCFs in existing structures, or utilizing camouflage and screening techniques to hide or blend them into the surrounding area. Facilities should be designed to be aesthetically pleasing and respectful of the neighborhood context. Equipment associated with the WCF should be located in underground vaults or unobtrusive structures. This project complies with the General Plan recommendations by locating the antennas within a new church monument structure with equipment associated with the antennas located in the base of the structure. An emergency generator is proposed to be located next to the tower in a concrete block enclosure with an adjoining 264 square foot storage enclosure to be used for church purposes. The two enclosures are designed with similar architectural detail as the monument tower.

The WCF Regulations and Council Policy 600-43 encourage wireless providers to locate WCFs away from residential and other sensitive uses by providing lower permit process levels in commercial and industrial zones. WCFs located in commercial and industrial zones are permitted with Process 1 (Staff-level) approvals, whereas WCFs located in a residential zone with a residential use are permitted with a Process 4 (Planning Commission) approval. As this particular project is located in a residential zone, with a non-residential use, a Process 3 CUP is required. This is more preferable than locating the WCF in a residential zone with a residential use, but is less preferable than locating the WCF in a commercial or industrial zone. Wireless carriers are required to provide coverage throughout their license area, which sometimes necessitates locating a WCF in a less preferable area.

Deviation:

The church property is 2.87-acres and supports several church buildings, a children's playground and a parking lot. The proposed WCF is located on the southern perimeter of the property above a Caltrans embankment leading down to the Murray Ridge off ramp from I-805 (Attachment 7). The Murray Ridge Road side of the property is considered the front, while the side along the I-805 off ramp is considered the street side yard. The project proposes to deviate from the RS-1-7 street side yard setback, which for lots greater than 50 feet in width, is calculated by multiplying the lot width by .10, which in this case results in a required setback of 29'-10". Complying with this setback would impact circulation within the parking lot, which would in turn impact the playground area. In order to have the least impact on the church, Verizon is proposing to locate their tower and associated equipment 9'-6" from the side yard property line (Attachment 13). With the exception of a very small corner of the existing church building encroaching several inches into the front yard setback, all other setbacks are in compliance.

Conclusion:

Based on the proposed design, the project complies with the WCF Regulations (LDC §141.0420) and with the exception of the street side yard setback, the RS-1-7 development regulations. The project has received support from the community planning group, and draft findings have been made in the affirmative to approve the project (Attachment 5). Therefore, Staff recommends approval of CUP No.1535018 and PDP No. 1535019.

ALTERNATIVES

1. **Approve CUP No.1535018 and PDP No. 1535019, with modifications.**
2. **Deny CUP No.1535018 and PDP No. 1535019, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



Karen Lynch
Development Project Manager
Development Services Department

VACCHI/KAL

Attachments:

1. Aerial Photograph

2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Photo Survey
8. Photosimulations
9. Coverage Maps
10. Environmental Exemption
11. Community Planning Group Recommendation
12. Ownership Disclosure
13. Project Plans

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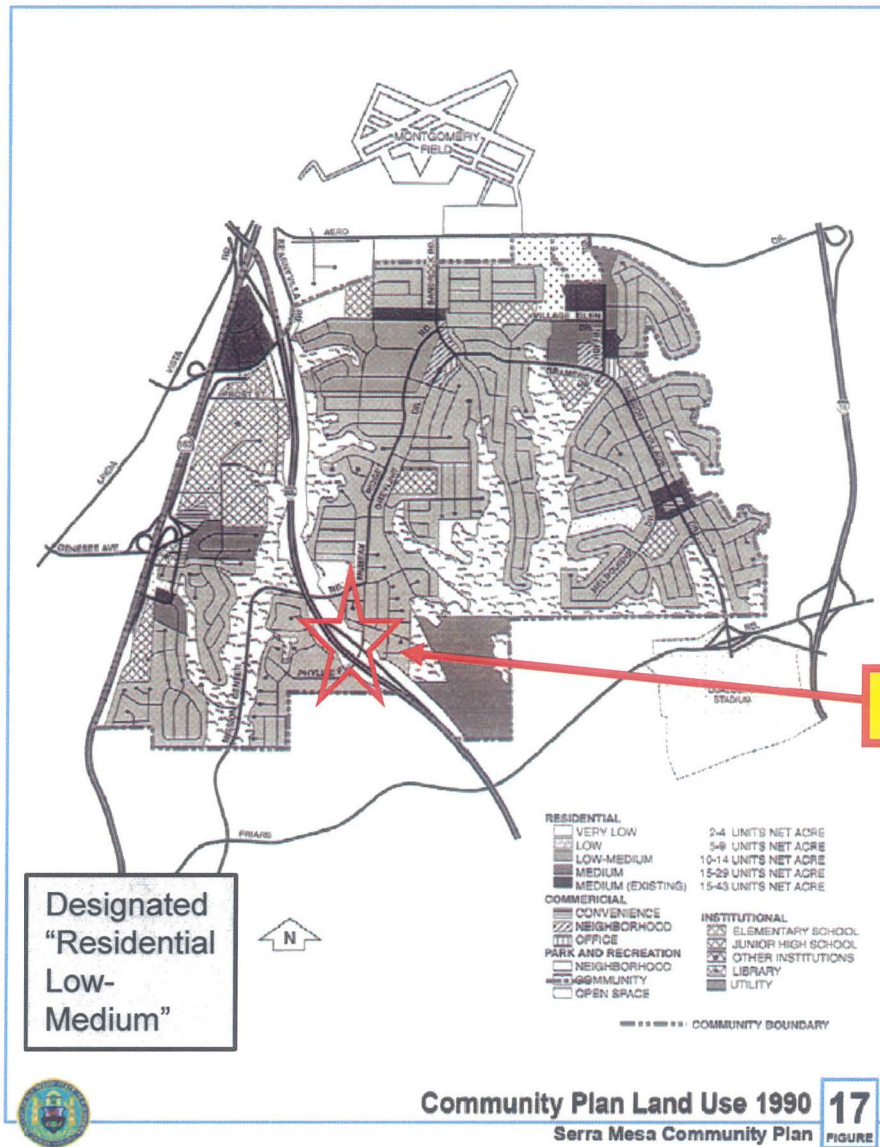


Aerial Photo

VERIZON- MURRAY RIDGE PROJECT NUMBER 360261

2285 MURRAY RIDGE ROAD





PROJECT SITE

SERRA MESA COMMUNITY PLAN MAP

VERIZON- MURRAY RIDGE PROJECT NUMBER 360261

2285 MURRAY RIDGE ROAD





Project Location Map

VERIZON- MURRAY RIDGE PROJECT NUMBER 360261

2285 MURRAY RIDGE ROAD



PROJECT DATA SHEET

PROJECT NAME:	Verizon – Murray Ridge	
PROJECT DESCRIPTION:	Construction of a new 30-foot tall monument tower concealing 12 antennas, a microwave dish and equipment in addition to a 144 square foot enclosure for an emergency generator and a 264 square foot storage enclosure for church use.	
COMMUNITY PLAN AREA:	Serra Mesa	
DISCRETIONARY ACTIONS:	Conditional Use Permit/Planned Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential Low-Medium	
<u>ZONING INFORMATION:</u>		
ZONE: RS-1-7 HEIGHT LIMIT: 30' FRONT SETBACK: 15' SIDE SETBACK: 23'-10" STREET SIDE SETBACK: 29'-10" REAR SETBACK: 13'		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential Low-Medium; RS-1-7.	Single-Unit Residential
SOUTH:	Caltrans ROW; RS-1-7.	Caltrans ROW
EAST:	Residential Low-Medium; RS-1-7.	Single-Unit Residential
WEST:	Residential Low-Medium; RS-1-7.	Single-Unit Residential
DEVIATIONS OR VARIANCES REQUESTED:	Required street side yard setback is 29'-10' and Verizon is proposing a 9'-6" street side yard setback.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On November 20, 2014, the Serra Mesa Planning Group voted 9-0-0 to recommend approval of the Verizon – Murray Ridge project with no conditions.	

**PLANNING COMMISSION
RESOLUTION NO.
CONDITIONAL USE PERMIT NO. 1535018
PLANNED DEVELOPMENT PERMIT NO. 1535019
VERIZON MURRAY RIDGE
PROJECT NO. 360261**

WHEREAS, International Church of the Foursquare Gospel dba Faith Community Church, Owner, and Verizon Wireless, Permittee, filed an application with the City of San Diego for a permit for a wireless communication facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1535018/1535019, on portions of a 2.87-acre property;

WHEREAS, the project site is located at 2285 Murray Ridge Road in the RS-1-7 zone of the Serra Mesa Community Plan area;

WHEREAS, the project site is legally described as Parcel 1: That portion of Parcel "B" of Princess Park Estates Unit No. 7, in the City of San Diego, County of San Diego, State of California, shown on Map No. 4621, filed in the Office of the County Recorder of San Diego County, September 6, 1960, lying northeasterly of the Northeasterly Right-of-Way line of Ste Highway 11-SD-805-18.8. Parcel 2: That portion of Parcel "B" of Princess Park Estates Unit No. 7, according to Map No. 4621, filed in the Office of the County Recorder of San Diego;

WHEREAS, on September 24, 2015, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 1535018 and Planned Development Permit No. 1535019, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on August 14, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Section 15303; and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated September 24, 2015.

FINDINGS:

Conditional Use Permit Approval – Section §126.0305

1. The proposed *development* will not adversely affect the applicable *land use plan*;

The City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities

to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

This project consists of a new 30 foot tall church monument tower concealing 12 panel antennas, associated components and a 2 foot diameter microwave dish. The equipment is located in the base of the tower and an adjacent 144 square foot concrete block enclosure will conceal an emergency generator. Verizon is also proposing a 264 square foot storage building for the church. The WCF is designed to pick up on some of the architectural elements and colors of the church and ancillary buildings. It is located on the southern perimeter of the church property in a landscaped area that sits just above the I-805 Murray Ridge Road off ramp. The WCF is designed to integrate with the church property in a way that is visually compatible and it is located in such a way so as not to interfere with church operations. Based on the design of this facility, the proposed development will not adversely affect the applicable land use plan.

2. The proposed *development* will not be detrimental to the public health, safety, and welfare;

The project is located at 2285 Murray Ridge Road in the Serra Mesa Community Plan Area. The project consists of 12 panel antennas and associated components located within a new 30 foot tall church monument tower. The associated equipment is located in the base of the tower and an emergency generator is proposed within a 144 square foot concrete block enclosure.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions.” A Radio Frequency Electromagnetic Fields Exposure Report demonstrating that the proposed project would be consistent with the FCC’s regulations for wireless facilities has been provided. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed *development* will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and

Pursuant to the San Diego Land Development Code, wireless communication facilities are permitted in all zones citywide with the appropriate permits. Land Development Code Section

141.0420 requires that WCF's be minimally visible through the use of architecture, landscape and siting solutions. Wireless communication facilities are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is to camouflage facilities from public view. In this case, Verizon is proposing to construct a 30 foot tall church monument tower to conceal 12 panel antennas and a 2 foot diameter microwave dish with associated equipment located in the base of the tower. An emergency generator will be located in concrete block enclosure adjacent to the tower. The WCF Regulations and Council Policy 600-43 encourage wireless providers to locate WCFs away from residential and other sensitive uses by providing lower permit process levels in commercial and industrial zones. WCF located in commercial and industrial zones are permitted with Process 1 (Staff-level) approvals, whereas WCF located in a residential zone with a residential use are permitted with a Process 4 (Planning Commission) approval. As this particular project is located in a residential zone, with a non-residential use, a CUP is required. This is more preferable than locating the WCF in a residential zone with a residential use, but is less preferable than locating the WCF in a commercial or industrial zone.

When a lot within the RS-1-7 zone is greater than 50 feet, as this one is, the side yard setback calculations are based on a percentage of the lot width. In this case, the lot is almost 300 feet in width and the street side yard setback is calculated by multiplying the lot width by .10, resulting in a required street side yard of 29'-10". The monument tower and enclosures are proposed at 9'-6" from the street side yard property line. The proposed location, on the southern periphery of the property does not interfere with the existing church parking area or playground. The tower and ancillary enclosures are proposed to be located in a landscaped area, adjacent to the I-805 Murray Ridge Road off ramp. The purpose and intent of a PDP is to encourage imaginative and innovative planning to assure that the development will comply with the Community Plan and would be preferable to what could be achieved with strict conformance to the regulations. If the tower and associated enclosures were to be located to comply with the street side yard setback, they would impact circulation within the parking lot, which would in turn impact the playground area. In order to have the least impact on the church, Verizon is proposing to locate their tower and associated equipment 9'-6" from the side yard property line (Attachment 13). With the exception of a very small corner of the existing church building encroaching several inches into the front yard setback, all other setbacks are in compliance.

The deviation request results in a more desirable project by locating a completely concealed architecturally integrated WCF on the periphery of the church property in a landscape area that does not interfere with existing church operations allowing Verizon to provide wireless coverage to the surrounding neighborhood in a way that is aesthetically pleasing and not disruptive to the community.

Based on this analysis, the architecturally integrated design, and permits required, this project complies with the applicable regulations of the Land Development Code, including the deviations permitted with the PDP.

4. The proposed use is appropriate at the proposed location.

This WCF is proposed on a church property, zoned RS-1-7 and located on Murray Ridge Road, immediately adjacent to I-805. Verizon is proposing a 30 foot tall church monument tower and a small concrete block enclosure for an emergency generator as well as a 264 square foot

enclosure for church storage purposes along the southern periphery of the church property immediately adjacent to the I-805 Murray Ridge Road off ramp. WCF are permitted throughout the City subject to the appropriate review and/or permit process. In this case, the property is zoned RS-1-7 with a church on site, which requires a Process 3 Conditional Use Permit. The design of the WCF and ancillary enclosures utilize architectural elements, textures and colors of the existing church buildings and proposes additional landscape to enhance views of the monument tower. The proposed location, in a peripheral landscape area is sited so that it does not interfere with use of the church property or circulation in the parking area. The use is appropriate at this location based on the integrated design and on-site non-residential uses.

Planned Development Permit - Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan;

The City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

This project consists of a new 30 foot tall church monument tower concealing 12 panel antennas, associated components and a 2 foot diameter microwave dish. The equipment is located in the base of the tower and an adjacent 144 square foot concrete block enclosure will conceal an emergency generator. Verizon is also proposing a 264 square foot storage building for the church. The WCF is designed to pick up on some of the architectural elements and colors of the church and ancillary buildings. It is located on the southern perimeter of the church property in a landscaped area that sits just above the I-805 Murray Ridge Road off ramp. The WCF is designed to integrate with the church property in a way that is visually compatible and it is located in such a way so as not to interfere with church operations. Based on the design of this facility, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The project is located at 2285 Murray Ridge Road in the Serra Mesa Community Plan Area. The project consists of 12 panel antennas and associated components located within a new 30 foot tall church monument tower. The associated equipment is located in the base of the tower and an emergency generator is proposed within a 144 square foot concrete block enclosure.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions.” A Radio Frequency Electromagnetic Fields Exposure Report demonstrating that the proposed project would be consistent with the FCC’s regulations for wireless facilities has been provided. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

Pursuant to the San Diego Land Development Code, wireless communication facilities are permitted in all zones citywide with the appropriate permits. Land Development Code Section 141.0420 requires that WCF's be minimally visible through the use of architecture, landscape and siting solutions. Wireless communication facilities are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is to camouflage facilities from public view. In this case, Verizon is proposing to construct a 30 foot tall church monument tower to conceal 12 panel antennas and a 2 foot diameter microwave dish with associated equipment located in the base of the tower. An emergency generator will be located in concrete block enclosure adjacent to the tower. The WCF Regulations and Council Policy 600-43 encourage wireless providers to locate WCFs away from residential and other sensitive uses by providing lower permit process levels in commercial and industrial zones. WCF located in commercial and industrial zones are permitted with Process 1 (Staff-level) approvals, whereas WCF located in a residential zone with a residential use are permitted with a Process 4 (Planning Commission) approval. As this particular project is located in a residential zone, with a non-residential use, a CUP is required. This is more preferable than locating the WCF in a residential zone with a residential use, but is less preferable than locating the WCF in a commercial or industrial zone.

When a lot within the RS-1-7 zone is greater than 50 feet, as this one is, the side yard setback calculations are based on a percentage of the lot width. In this case, the lot is almost 300 feet in width and the street side yard setback is calculated by multiplying the lot width by .10, resulting in a required street side yard of 29'-10". The monument tower and enclosures are proposed at 9'-6" from the street side yard property line. The proposed location, on the southern periphery of the property does not interfere with the existing church parking area or playground. The tower and ancillary enclosures are proposed to be located in a landscaped area, adjacent to the I-805 Murray Ridge Road off ramp. The purpose and intent of a PDP is to encourage imaginative and innovative planning to assure that the development will comply with the Community Plan and would be preferable to what could be achieved with strict conformance to the regulations. If the tower and associated enclosures were to be located to comply with the street side yard setback, they would impact circulation within the parking lot, which would in turn impact the playground

area. In order to have the least impact on the church, Verizon is proposing to locate their tower and associated equipment 9'-6" from the side yard property line (Attachment 13). With the exception of a very small corner of the existing church building encroaching several inches into the front yard setback, all other setbacks are in compliance.

The deviation request results in a more desirable project by locating a completely concealed architecturally integrated WCF on the periphery of the church property in a landscape area that does not interfere with existing church operations allowing Verizon to provide wireless coverage to the surrounding neighborhood in a way that is aesthetically pleasing and not disruptive to the community.

Based on this analysis, the architecturally integrated design, and permits required, this project complies with the applicable regulations of the Land Development Code, including the deviations permitted with the PDP.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 1535018/Planned Development Permit No. 1535019 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No.1535018/1535019, a copy of which is attached hereto and made a part hereof.

Karen Lynch
Development Project Manager
Development Services

Adopted on: September 24, 2015

SAP or WBS Number: 24004466

Modified HMD 1-26-15

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004466

CONDITIONAL USE PERMIT NO. 1535018
PLANNED DEVELOPMENT PERMIT NO. 1535019
VERIZON – MURRAY RIDGE
PROJECT NO. 360261
PLANNING COMMISSION

This Conditional Use Permit No. 1535018/Planned Development Permit No. 1535019 is granted by the Planning Commission of the City of San Diego to International Church of the Foursquare Gospel dba Faith Community Church, Owner, and Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420, 126.0303 and 126.0601. The 2.87-acre site is located at 2285 Murray Ridge Road in the RS-1-7 zone(s) of the Serra Mesa. The project site is legally described as: All that certain property situated in the County of San Diego, State of California, Described as follows: Parcel 1: That portion of Parcel "B" of Princess Park Estates Unit No. 7, in the City of San Diego, County of San Diego, State of California, shown on Map No. 4621, filed in the Office of the County Recorder of San Diego County, September 6, 1960, lying northeasterly of the Northeasterly Right-of-Way line of Ste Highway 11-SD-805-18.8. Parcel 2: That portion of Parcel "B" of Princess Park Estates Unit No. 7, according to Map No. 4621, filed in the Office of the County Recorder of San Diego.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a wireless communication facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 24, 2015, on file in the Development Services Department.

The project shall include:

- a. A 30 foot tall monument tower concealing 12 panel antennas, 18 Remote Radio Units and a 2 foot diameter microwave dish with associated equipment located in the base of the tower;

- b. A 144 square foot enclosure for a 30 kW emergency generator with a 210 gallon diesel tank;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 8, 2018.
2. The project complies with the Telecommunication Facility Guidelines as a Complete Concealment Facility and as a result, the permit will not contain an expiration date. It is the responsibility of the wireless carrier and owner(s) to maintain the appearance of the approved facility to condition set forth in this permit unless the site is removed and restored to its original condition. Code compliance shall be notified if the appearance or the scope of the project has changed without the approval of the City Manager.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to,

settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. The project proposes to export 24.5 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

14. The applicant shall obtain a Nonexclusive Right-of-Way Use Agreement from the City of San Diego for the proposed work in the Galahad Road and Regency Road Right-of-Way.

15. The applicant shall obtain a Public Right-of-Way use permit for the proposed work in the Galahad Road and Regency Road Right-of-Way.

16. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

18. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

19. Prior to issuance of any construction permits for the telecom facility and associated structures, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance to Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

20. All required landscape shall be maintained by the Owner in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees shall not be permitted.

21. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

22. Plans shall show connectivity to existing irrigation and rain sensor. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department.

23. If trees with a trunk width of 4 inches or more (measured by caliper, 4 feet above grade) are removed or significantly trimmed for the installation or operation of the wireless communication facility, then replacement trees of a similar size shall be planted to the satisfaction of the City Manager.

24. Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan.

25. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

26. An approved Water Budget shall be provided on the Landscape Construction plans and shall be in conformance with water conservation requirements of the Municipal Code Section 142.0413 for landscaped areas over 1,000 square feet.

27. Existing trees to remain on site within the area of work will be protected in place. The following protection measures will be provided:

- a) A bright yellow or orange temporary fence will be placed around existing trees at the drip line.
- b) Stockpiling, topsoil disturbance, vehicle use, and material storage of any kind is prohibited within the drip line.
- c) A tree watering schedule will be maintained and documented during construction.
- d) All damaged trees will be replaced with one of equal or greater size.

PLANNING/DESIGN REQUIREMENTS:

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

30. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
31. It is the Owner/Permittee's responsibility to notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
32. The photosimulation(s) for the proposed project shall be printed on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."
33. No exposed cabling is allowed for this project.
34. The approved antenna dimensions include 72" x 11.9" x 7.1" and a 2 foot diameter microwave dish, as illustrated on the Exhibit "A" dated September 24, 2015. Replacement of the antennas may occur in the future, subject to the Owner/Permittee notifying the Development Services Department prior to the replacement of the antennas and subject to the provision of providing an updated Radio Frequency (RF) report demonstrating compliance with the Federal Communication Commission's regulations in accordance with SDMC Section 141.0420(b)(1)(A) to the satisfaction of the Development Services Department.
35. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.
36. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation.
37. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
38. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.
39. Use of or replacement of any building façade or mechanical screen with FRP material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All FRP shall be painted and textured to match the original building.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed

on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- A “Telecom Planning Inspection” will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5351 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on September 24, 2015 by Resolution No. _____.

Permit Type/PTS Approval No.: CUP No. 1535018/PDP No. 1535019
Date of Approval: September 24, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Karen Lynch
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

International Church of the Foursquare Gospel
Owner

By _____
NAME:
TITLE:

Verizon Wireless
Permittee

By _____
Harold Navarre
Executive Director Network

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PHOTO SURVEY



**MURRAY
RIDGE**

2285 MURRAY RIDGE ROAD
SAN DIEGO, CA 92123

MorganChee
M&M Telecom Inc.
(510) 508-9392

morgan.chee@mmtelecominc.com





PHOTO SURVEY looking at the site

1. Looking North at Site



2. Looking East at Site



PHOTO SURVEY looking at the site

3. Looking South at Site



4. Looking West at Site



PHOTO SURVEY looking away from site

5. Looking Northeast at Site



6. Looking Northwest at Site



7. Looking Southeast at Site



8. Looking Southwest at Site



PHOTO SURVEY looking away from site

9. Looking North Away from the Site



10. Looking East Away from the Site



PHOTO SURVEY looking away from site

11. Looking South Away from the Site



12. Looking West Away from the Site



PHOTO SURVEY looking away from site

13. Looking Northeast Away from the Site



14. Looking Northwest Away from the Site



PHOTO SURVEY looking away from site

15. Looking Southeast Away from the Site



16. Looking Southwest Away from the Site



PHOTO SURVEY looking away from site

17. Ingress to Site from Murray Ridge Road



18. Egress from Site to Murray Ridge Road







MURRAY RIDGE
2285 MURRAY RIDGE ROAD, SAN DIEGO, CA 92123

LOOKING EAST TOWARD SITE FROM ADJACENT PROPERTY



SITE PRIOR TO INSTALLATION



SITE AFTER INSTALLATION



VICINITY MAP

M&M TELECOM, INC.
(510) 508-9392 



MURRAY RIDGE
2285 MURRAY RIDGE ROAD, SAN DIEGO, CA 92123

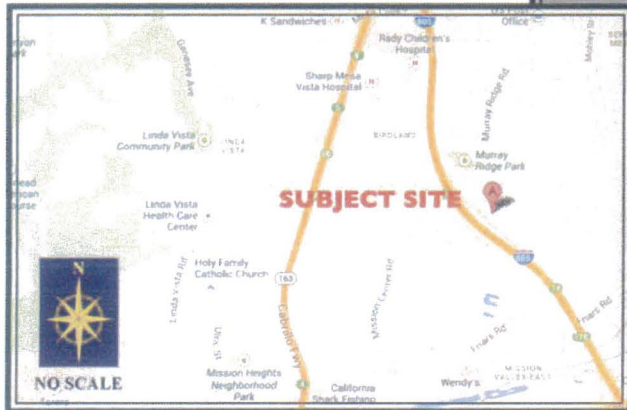
LOOKING NORTHEAST TOWARD SITE FROM INTERSTATE 805



SITE PRIOR TO INSTALLATION



SITE AFTER INSTALLATION



VICINITY MAP

M&M TELECOM, INC.
(510) 508-9392 

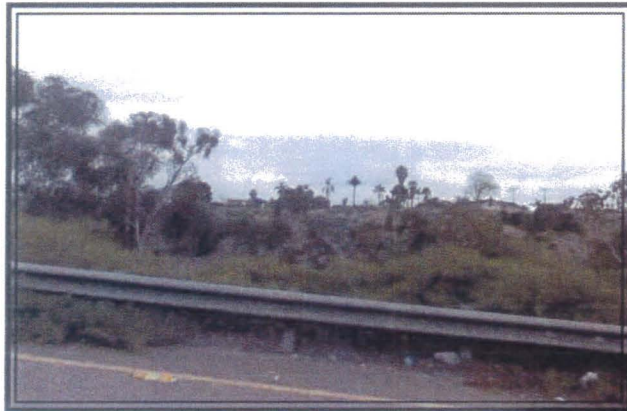
2

ATTACHMENT 8

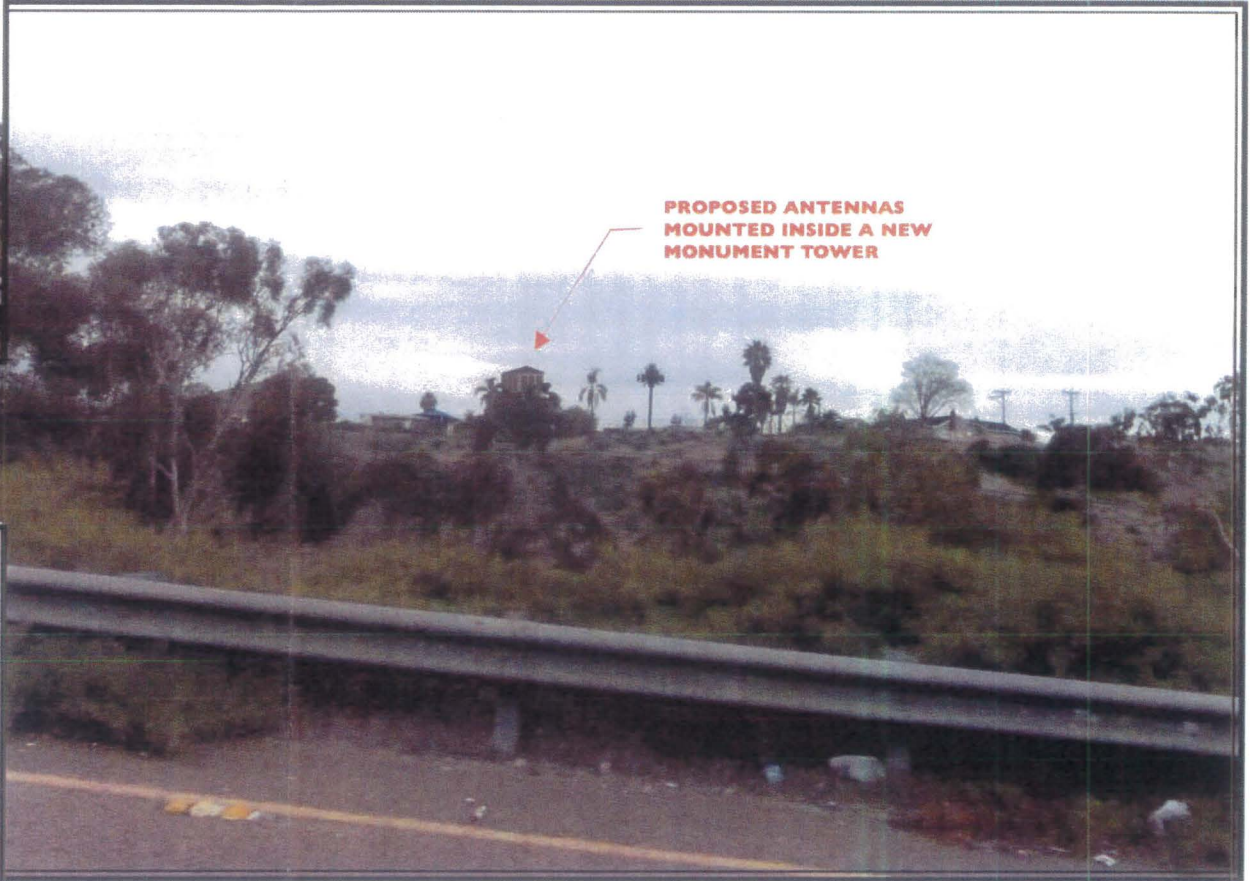


MURRAY RIDGE
2285 MURRAY RIDGE ROAD, SAN DIEGO, CA 92123

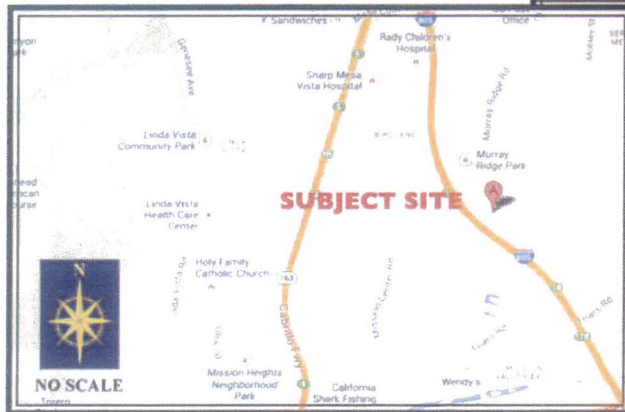
LOOKING NORTHWEST TOWARD SITE FROM INTERSTATE 805



SITE PRIOR TO INSTALLATION



**PROPOSED ANTENNAS
MOUNTED INSIDE A NEW
MONUMENT TOWER**



VICINITY MAP

SITE AFTER INSTALLATION

M&M TELECOM, INC.
(510) 508-9392 

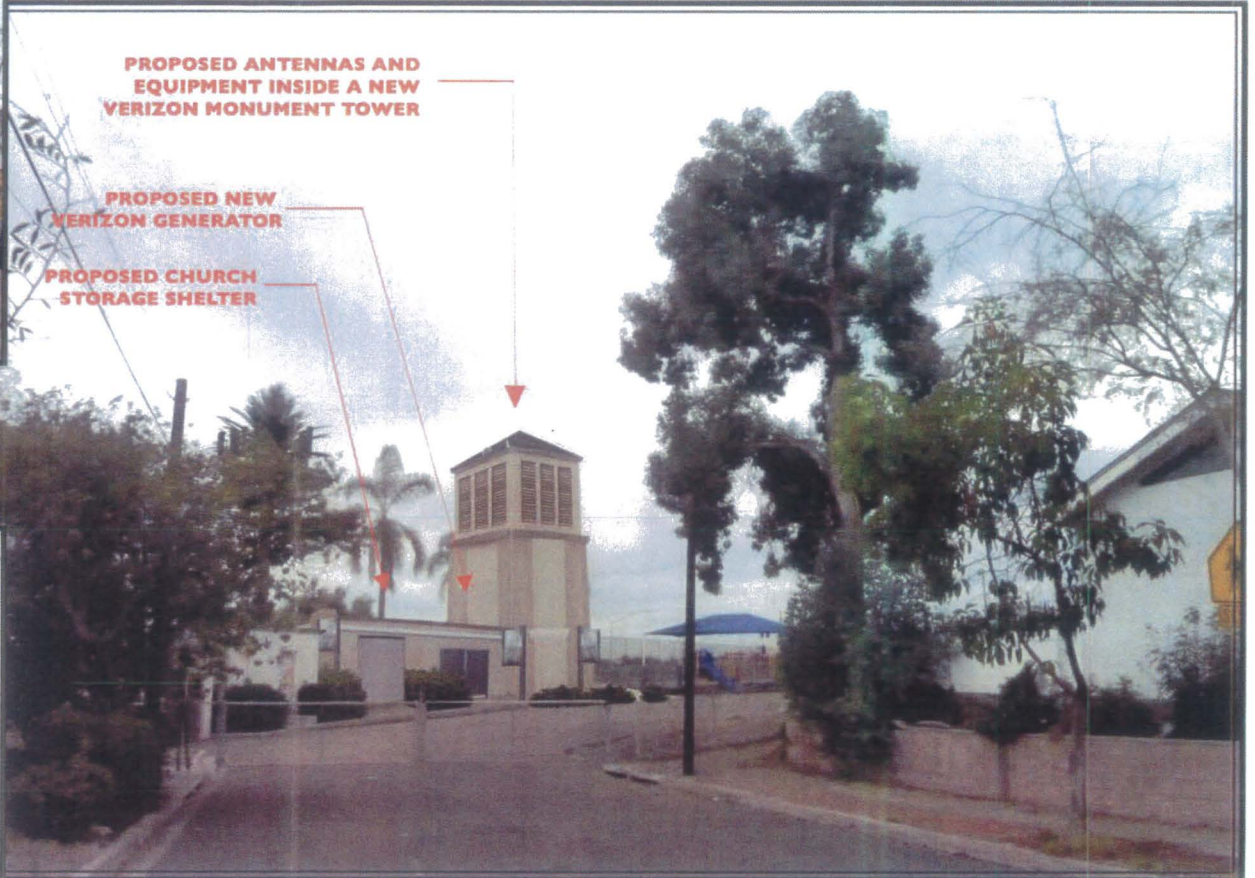


MURRAY RIDGE
2285 MURRAY RIDGE ROAD, SAN DIEGO, CA 92123

LOOKING SOUTHWEST TOWARD SITE FROM ADJACENT NEIGHBORHOOD



4 SITE PRIOR TO INSTALLATION



SITE AFTER INSTALLATION



VICINITY MAP

M&M TELECOM, INC.
(510) 508-9392

MURRAY RIDGE
2285 MURRAY RIDGE ROAD
SAN DIEGO, CA 92123



COVERAGE MAPS KEY



Optimal Coverage: Good in-building coverage and fast data speeds.



Good Coverage: Good in-building coverage but poor data speeds.



Minimal Coverage: Poor in-building coverage but some in-car coverage. Slow data transfer speeds.



Poor Coverage: Poor in-building coverage and in-car coverage and minimal on-street coverage. Slow to minimal data transfer speeds.



No Coverage: Lacking indoor coverage, outdoor coverage and data transferability .

Megahertz

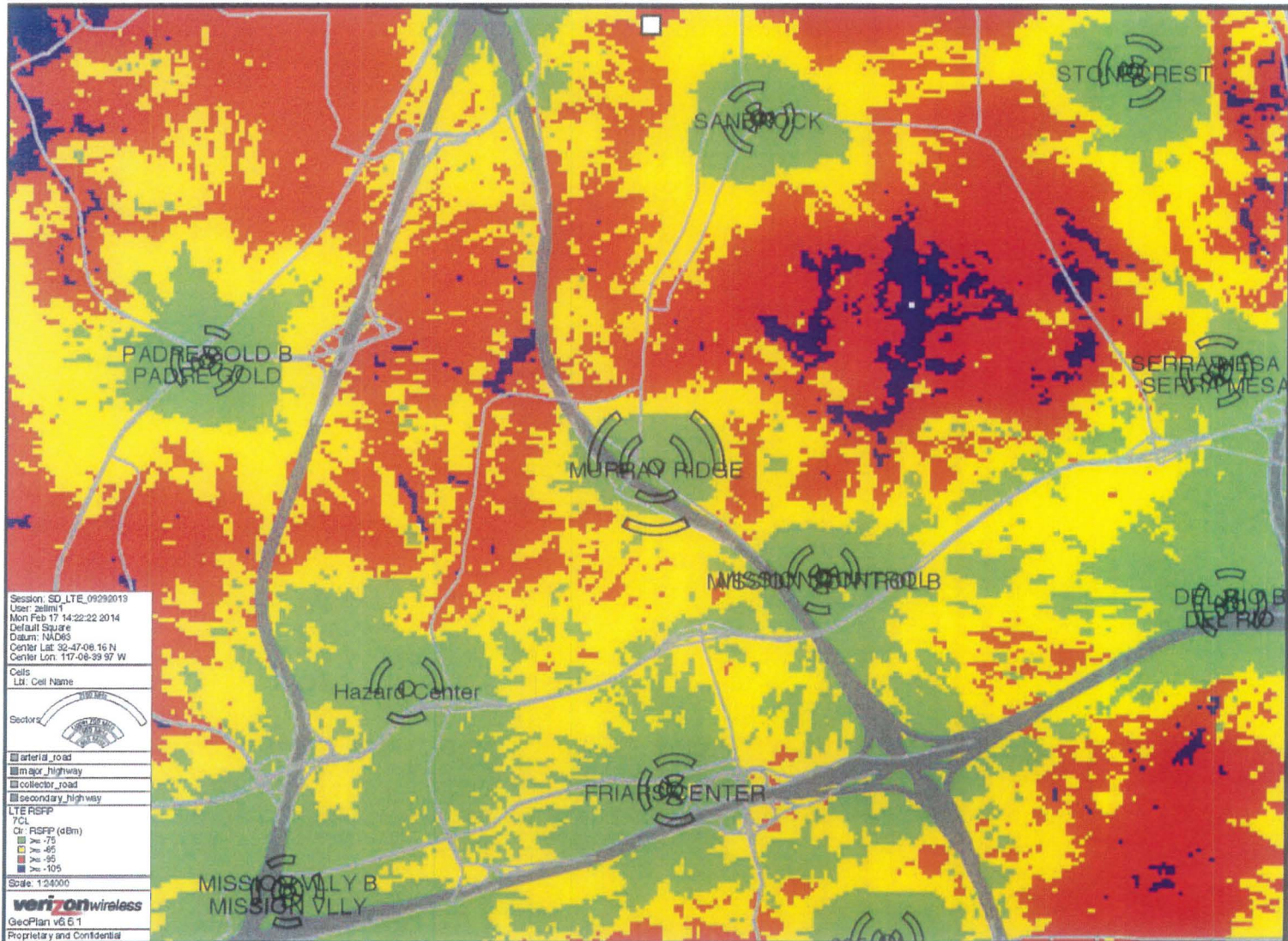
2100=AWS (Advanced Wireless Service) LTE,
Upper 700=LTE (Long-Term Evolution),
1900=EVDO (Enhanced Voice Data Only) ,
850=CDMA (Code Division Multiple Access)

MURRAY RIDGE
2285 MURRAY RIDGE ROAD
SAN DIEGO, CA 92123



OVERALL NETWORK COVERAGE WITH MURRAY RIDGE SITE

2



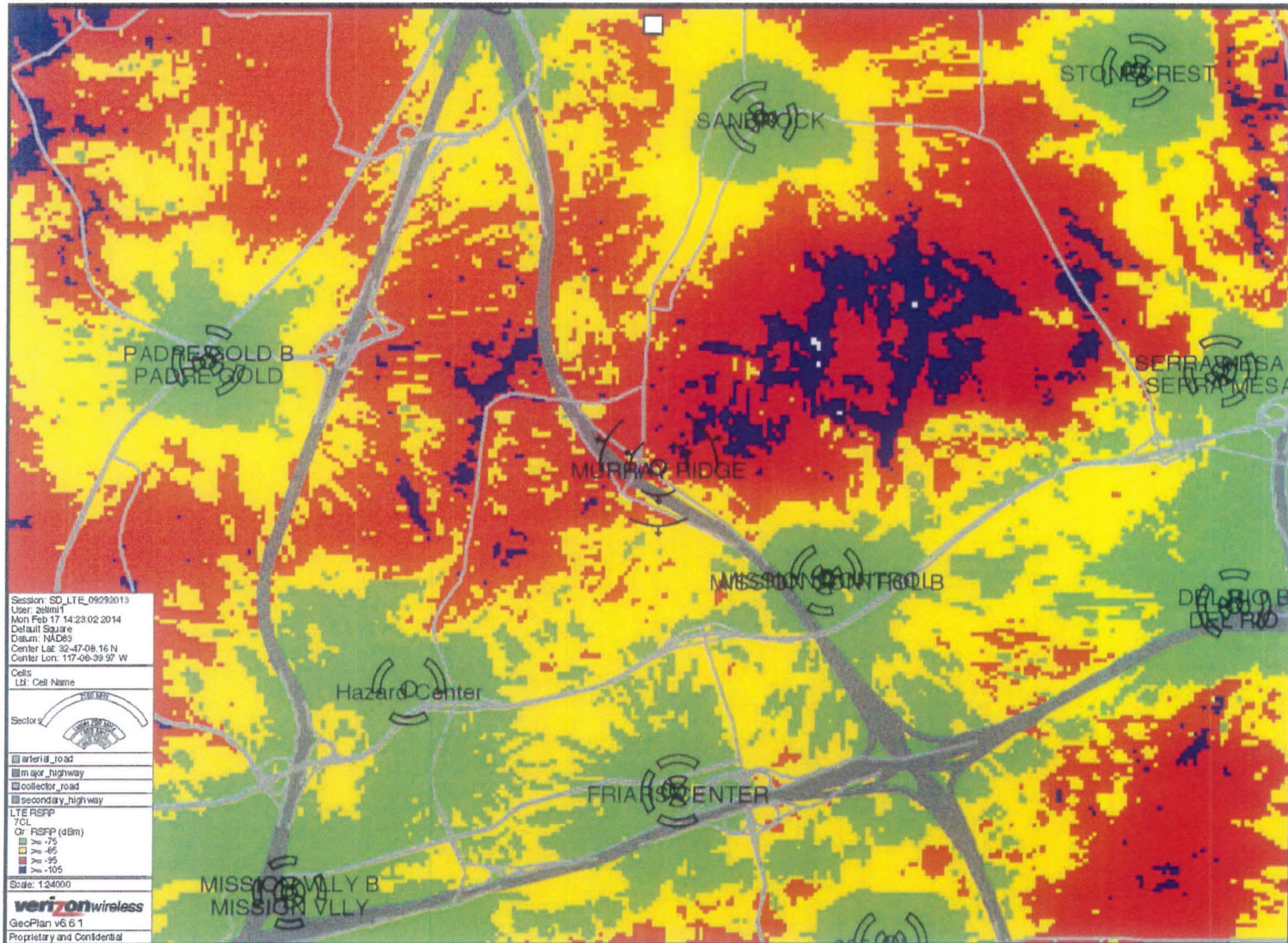
ATTACHMENT 9

MURRAY RIDGE
 2285 MURRAY RIDGE ROAD
 SAN DIEGO, CA 92123



EXISTING COVERAGE WITHOUT MURRAY RIDGE SITE

3



NOTICE OF EXEMPTION

ATTACHMENT 10

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: N/A PROJECT TITLE: Verizon Murray Ridge

PROJECT LOCATION-SPECIFIC: The project is located at 2285 Murray Ridge Road San Diego, CA 92123

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: A Conditional Use Permit (CUP) and a Planned Development Permit (PDP) for the construction of a wireless communication facility (WCF). The project would install wireless telecommunications equipment racks and antennas inside a new 30 foot high wood framed monument tower on a concrete pad. Associated equipment will be in the base of the tower and a 144 square foot enclosure would house an emergency generator. Additionally, a 264 square foot storage unit for the church is also proposed along with minor landscaping improvements. The PDP is required for the street side setback encroachment, where 29 foot-10 inches is required and 9 feet-6 inches is being provided. The project site consists of an existing developed church compound located on a 2.66 acre site within the RS-1-7 zone. The proposed WCF would be located at an existing developed church site and is zoned RM-3-7 zone.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Verizon Wireless 15505 Sand Canyon Avenue, Irvine CA, 92168. (858) 255-1416

EXEMPT STATUS: (CHECK ONE)

- () MINISTERIAL (SEC. 21080(b)(1); 15268);
() DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
() EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
(X) CATEGORICAL EXEMPTION: SECTION 15303 (New Construction)
() STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303 (New Construction) which allows for the construction of limited numbers of new, small facilities and the installation of small new equipment. Since the project is constructing accessory structures and permitting an allowable use which would not substantially increase capacity the exemption is appropriate. Furthermore, since the WCF would occur on a developed site lacking sensitive resources the exceptions listed in CEQA Section 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: JEFFREY SZYMANSKI

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Signature/Title: JEFFREY SZYMANSKI / SENIOR PLANNER

8/14/2015

SIGNATURE/TITLE

DATE

CHECK ONE:

- (X) SIGNED BY LEAD AGENCY
() SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

**Community Planning
 Committee
 Distribution Form Part 2**

Project Name: Verizon Murray Ridge		Project Number: 360261	Distribution Date: 11/06/2014
Project Scope/Location: SERRA MESA - CUP/NDP (possibly PDP) Process 3 (for now!) for a wireless communication facility consisting of a 30' tall faux eucalyptus tree supporting 12 panel antennas, 12 RRUs and a 4' diameter microwave dish. Associated equipment/generator in a proposed 444 sf enclosure. A 180 sf storage unit for the church is also proposed. RS-1-7 zone, CD 7. 2 notice cards.			
Applicant Name:		Applicant Phone Number:	
Project Manager: Karen Lynch	Phone Number: (619) 446-5351	Fax Number: (619) 446-5245	E-mail Address: KLynchAsh@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 9	Members No 0	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: <i>Cindy Moore</i>		TITLE: <i>Chair, SMP6</i>	
SIGNATURE: <i>Cindy Moore</i>		DATE: <i>11/21/14</i>	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title

Project No. For City Use Only

Verizon Wireless Murray Ridge

360261

Project Address:

2285 Murray Ridge Road, San Diego, CA 92123

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Project Title:

Project No. (For City Use Only)

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? CA Corporate Identification No. C0130106
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
 San Diego Foursquare dba Faith Community Church

Owner Tenant/Lessee

Street Address:
 10771 Black Mountain Road #32

City/State/Zip:
 San Diego, CA 92126

Phone No: 619 733-6512 Fax No: 858 565-6726

Name of Corporate Officer/Partner (type or print):
 Secretary/Treasurer

Title (type or print):
 Administrative Pastor

Signature: [Signature] Date: 2-10-14

Corporate/Partnership Name (type or print):
 International Church of the Foursquare Gospel

Owner Tenant/Lessee

Street Address:
 PO Box 26902

City/State/Zip:
 Los Angeles, CA 26902

Phone No: 213 989-4234 Fax No: 213 989-4590

Name of Corporate Officer/Partner (type or print):
 Ron Thigpen

Title (type or print):
 CFO

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):
 SBA Steel, LLC

Owner Tenant/Lessee

Street Address:
 5900 Broken Sound Parkway NW

City/State/Zip:
 Boca Raton, FL 33487-2797

Phone No: 951 219-9701 Fax No: _____

Name of Corporate Officer/Partner (type or print):
 Dan Webster

Title (type or print):
 Regional Site Manager

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____



MURRAY RIDGE
2285 MURRAY RIDGE RD
SAN DIEGO, CA 92123

VICINITY MAP

THOMAS GUIDE PAGE: 1249 - C7

ADDRESS
2285 MURRAY RIDGE RD
SAN DIEGO, CA 92123

DIRECTIONS:
(FROM VZW'S OFFICES IN IRVINE): FROM 15505 SAND CANYON AVENUE, IRVINE, CA START GOING SOUTHWEST ON SAN CANYON AVE TOWARDS WATERWORKS WAY. MERGE INTO I-405S BECOMES I-5S. KEEP LEFT TO TAKE I-805S. TAKE THE MURRAY RIDGE RD/PHYLLIS PLACE EXIT 18. TURN LEFT ON MURRAY RIDGE RD. 2285 IS ON THE RIGHT.

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

CONSULTANT TEAM

ARCHITECT:
BOOTH & SUAREZ ARCHITECTURE INC.
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008
(760) 434-8474
(760) 434-8598 (FAX)

SURVEYOR:
JRN CIVIL ENGINEERS
232 AVENIDA FABRICANTE, SUITE 107
SAN CLEMENTE, CA 92672
(949) 248-4685

LEASING/PLANNING:
MAM TELECOM INC.
LEASING
ANNA MAYDANIK
PO BOX 55
POWAY, CA 92074
(858) 255-1418
anna.moydanik@mmltelecomline.com

PLANNING:
MORGAN CHEE
PO BOX 55
POWAY, CA 92074
(510) 508-9392
morgan.chee@mmltelecomline.com

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:
THAT PORTION OF PARCEL "B" OF PRINCESS PARK ESTATES UNIT NO. 7, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, SHOWN ON MAP NO. 4621, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 5, 1960, LYING NORTHEASTERLY OF THE NORTHEASTERLY RIGHT OF WAY LINE OF STATE HIGHWAY 11-SD-805-18.8

PARCEL 2:
THAT PORTION OF PARCEL "B" OF PRINCESS PARK ESTATES UNIT NO. 7, ACCORDING TO MAP NO. 4621, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO

FOR ADDITIONAL LEGAL DESCRIPTION INFORMATION SEE SHEET C-1

PERMITS REQUIRED

• CUP

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
15505 SAND CANYON AVENUE
IRVINE, CA 92618
CONTACT: ANNA MAYDANIK
PHONE: (858) 255-1418

OWNER: INTERNATIONAL CHURCH OF THE FOURSQUARE GOSPEL
2285 MURRAY RIDGE RD
SAN DIEGO, CA 92123
SITE CONTACT: KEN CALVERT
PHONE: (619) 733-6512

PROJECT DESCRIPTION:

- INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT RACKS INSIDE A NEW 30'-0" HIGH WOOD FRAMED MONUMENT TOWER ON A CONCRETE PAD
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS) MOUNTED INSIDE PROPOSED 30'-0" HIGH MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS
- INSTALLATION OF SIX (6) VERIZON WIRELESS RRU UNITS PER SECTOR (TOTAL OF EIGHTEEN (18) RRU'S) MOUNTED BEHIND PROPOSED ANTENNAS
- INSTALLATION OF ONE (1) VERIZON WIRELESS 2'-0" MICROWAVE DISH (FOR TELCO SERVICE FEED) MOUNTED INSIDE PROPOSED 30'-0" HIGH MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS
- INSTALLATION OF TWO (2) VERIZON WIRELESS E/911 GPS ANTENNAS
- INSTALLATION OF A 30KW ENCLOSED STANDBY GENERATOR WITH A 210 GALLON DIESEL TANK ON A CONCRETE PAD INSIDE A CONCRETE BLOCK ENCLOSURE.
- INSTALLATION OF A NEW CONCRETE BLOCK STORAGE BUILDING FOR CHURCH USE
- INSTALLATION OF A NEW 200 AMP ELECTRICAL SERVICE
- INSTALLATION OF A NEW TELCO SERVICE CONNECTION
- MINOR LANDSCAPE AND IRRIGATION IS PLANNED FOR THIS PROJECT

PROJECT ADDRESS: 2285 MURRAY RIDGE RD
SAN DIEGO, CA 92123

ASSESSORS PARCEL NUMBER: 433-190-08

EXISTING ZONING: RS-1-7
RESIDENTIAL SINGLE UNIT

TOTAL SITE AREA: 115,982 S.F.
= 2.66 ACRES

PROPOSED PROJECT AREA: 633 S.F.
MONUMENT TOWER: 225 S.F.
GENERATOR ENCLOSURE: 144 S.F.
STORAGE ROOM: 264 S.F.

PROPOSED LEASE AREA: 369 S.F.

NOTE: THERE ARE EXISTING TELECOMMUNICATION FACILITIES ON THIS PROPERTY

SHEET SCHEDULE

T-1	TITLE SHEET AND PROJECT DATA
A-0	SITE PLAN
A-1	EQUIPMENT FLOOR PLAN (LEVEL 1), GENERATOR ENCLOSURE AND STORAGE ROOM PLAN
A-2	EQUIPMENT FLOOR PLAN (LEVEL 2), CHAIN LINK LID AND ROOF PLAN
A-3	ANTENNA PLAN (LEVEL 3) AND TOWER ROOF PLAN
A-4	EXTERIOR ELEVATIONS
L-1	LANDSCAPE DEVELOPMENT PLAN
C-1	TOPOGRAPHIC SURVEY

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
CALIFORNIA STATE BUILDING CODE, TITLE 24, 2013 EDITION
CALIFORNIA PLUMBING CODE, 2013 EDITION
CALIFORNIA MECHANICAL CODE, 2013 EDITION
CALIFORNIA ELECTRICAL CODE, 2013 EDITION
CALIFORNIA FIRE CODE, 2013 EDITION
CALIFORNIA ENERGY CODE, 2013 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

ARCHITECTURE INCORPORATED
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR

P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

MURRAY RIDGE

2285 MURRAY RIDGE RD
SAN DIEGO, CA 92123
SAN DIEGO COUNTY

DRAWING DATES

01/20/14	90% ZD (dn)
01/23/14	100% ZD (ss)
01/27/14	100% ZD REVISION 1 (hc)
02/18/14	100% ZD REVISION 2 (lc)
03/31/14	100% ZD REVISION 3 (lc)
04/17/14	100% ZD REVISION 4 (lc)
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06/15/14	100% ZD REVISION 6 (lc)
10/07/14	100% ZD REVISION 7 (ss)
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01/14/15	100% ZD REVISION 9 (lc)
02/20/15	100% ZD REVISION 10 (lc)
03/05/15	100% ZD REVISION 11 (ss)
05/05/15	100% ZD REVISION 12 (ss)
05/08/16	100% ZD REVISION 13 (ss)
06/04/15	100% ZD REVISION 14 (lc)
06/12/15	100% ZD REVISION 15 (ss)
08/21/15	100% ZD REVISION 16 (rl)

SHEET TITLE

TITLE SHEET & PROJECT DATA

PROJECTS\VERIZON\13388

T-1

BOOTH SUAREZ &
 ARCHITECTURE INCORPORATED
 395 CARLSBAD VILLAGE DRIVE, SUITE D9
 CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR

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 (949) 286-7000

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PROJECT NAME
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 SAN DIEGO, CA 92123
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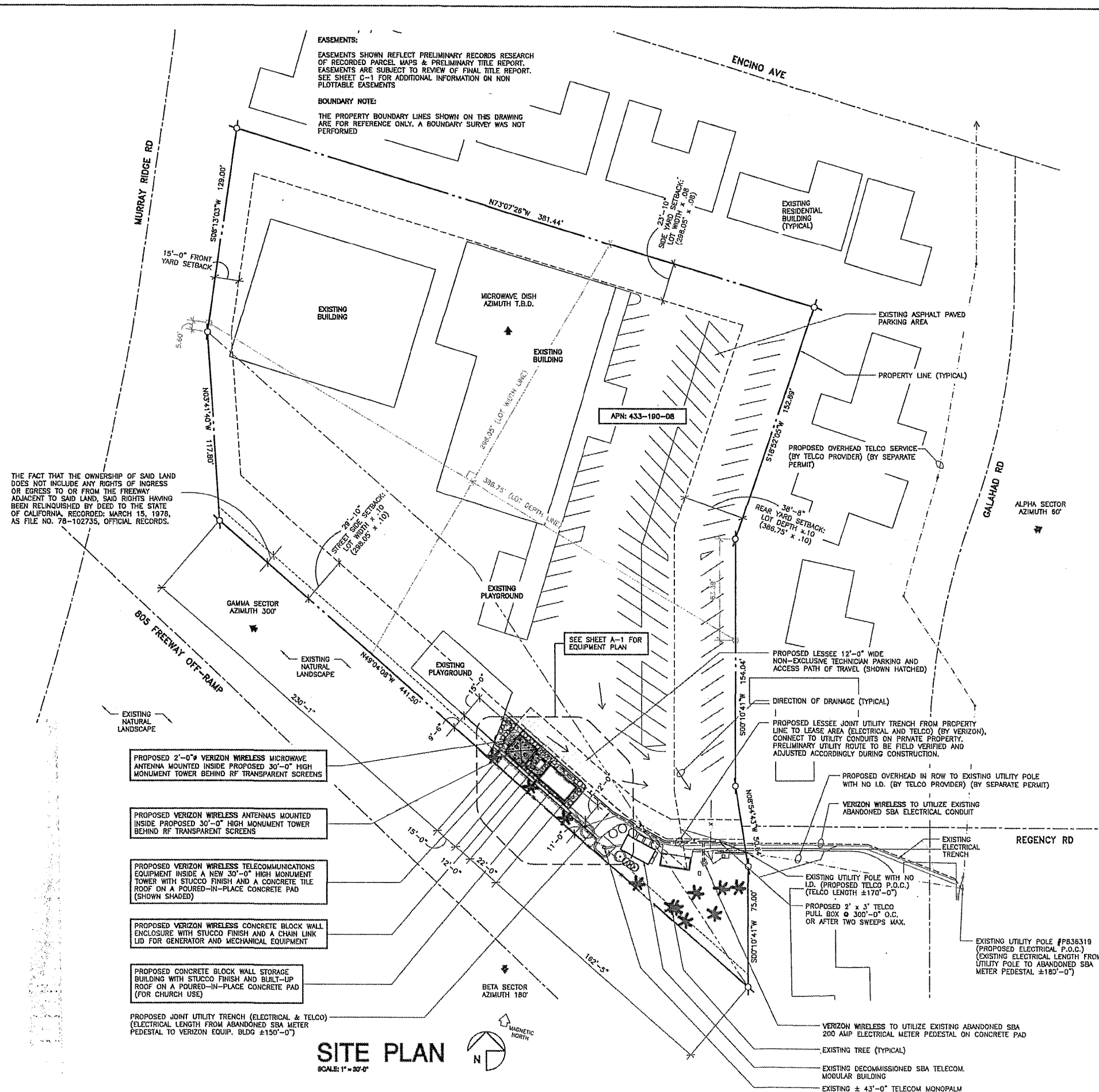
DRAWING DATES

DATE	DESCRIPTION
01/20/14	BOX 2D (01)
01/23/14	100% 2D (02)
01/27/14	100% 2D REVISION 1 (03)
02/18/14	100% 2D REVISION 2 (04)
03/31/14	100% 2D REVISION 3 (05)
04/17/14	100% 2D REVISION 4 (06)
04/22/14	100% 2D REVISION 5 (07)
06/15/14	100% 2D REVISION 6 (08)
10/07/14	100% 2D REVISION 7 (09)
10/31/14	100% 2D REVISION 8 (10)
01/14/15	100% 2D REVISION 9 (11)
02/20/15	100% 2D REVISION 10 (12)
03/05/15	100% 2D REVISION 11 (13)
03/05/15	100% 2D REVISION 12 (14)
05/08/15	100% 2D REVISION 13 (15)
06/04/15	100% 2D REVISION 14 (16)
06/12/15	100% 2D REVISION 15 (17)
08/21/15	100% 2D REVISION 16 (18)

SHEET TITLE
SITE PLAN

PROJECTS\VERIZON\13398

A-0



Lease's Certificate
 Standard Wireless Facility Project
 for Post Construction BMPs
 I, the undersigned as Lessee(s) of the property described as
2285 MURRAY RIDGE ROAD, SAN DIEGO, CA 92154,
 (Address or legal description)

understand that in accordance with the San Diego Municipal Code, Land
 Development Manual - Storm Water Standards, this project is required to "Minimize
 Pollution from the Project Area" and incorporate "Site Design" and "Source
 Control" BMPs.

I/We certify to the best of my knowledge, pollutants anticipated by the proposed
 land use are as follows:

- Sediments
- Nutrients
- Trash & Debris
- Oxygen Demanding Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

- I/We will incorporate the following into the site design -
- Minimize pre-development runoff characteristics
 - Minimize impervious foot print by connecting walkways, patios and driveways with permeable surfaces.
 - Conserve natural areas
 - Use natural drainage systems as opposed to lined swales or underground drainage systems
 - Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
 - Preserve existing native trees and shrubs
 - Protect all slopes from erosion

- Additionally I/We will:
- Minimize the use of pesticides
 - Use efficient irrigation systems and landscape design - incorporating rain shield devices and flow reducers

I/We will maintain the above Standard Permanent BMPs for the duration of the lease.

Lessee: Andrew Matoskin Company Name: Verizon Wireless
 Location: [Signature] Date: 7/25/14

GRADING DATA TABLE:

PERCENTAGE OF SITE PREVIOUSLY GRADED 0.0%
 CUBIC YARDS OF CUT 66.7, CUBIC YARDS OF FILL 42.2
 VOLUME OF FILL TO BE IMPORTED 0.0 CU.YD., EXPORTED 24.5 CU.YD.
 AREA TO BE GRADED? 0.0 % OF SITE 0.0%
 PROPOSED CUT SLOPE RATIO: 0.0 FILL SLOPE RATIO: 0.0
 MAXIMUM HEIGHT OF: CUT SLOPE 0.0 FEET; FILL SLOPE 0.0 FEET

GRADING QUANTITIES:

MONUMENT TOWER FOOTING:	6.7 CU. YDS.	18" DEPTH
GENERATOR ENCLOSURE FOOTING:	3.7 CU. YDS.	18" DEPTH
STORAGE ROOM FOOTING:	10.7 CU. YDS.	18" DEPTH
CONCRETE WALK FOOTINGS & CURBS:	3.4 CU. YDS.	8" DEPTH
UTILITY TRENCH (ELEC./TELCO):	42.2 CU. YDS.	48" DEPTH
TOTAL GRADING:	66.7 CU. YDS.	

GRADING NOTES:
 ALL EXCAVATED MATERIAL LISTED TO BE EXPORTED, SHALL BE EXPORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE "GREEN BOOK"), 2009 EDITION AND REGIONAL SUPPLEMENT AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE.

- ENGINEERING NOTES:
- THE APPLICANT SHALL OBTAIN A NONEXCLUSIVE RIGHT-OF-WAY USE AGREEMENT FROM THE CITY OF SAN DIEGO FOR THE PROPOSED WORK IN THE GALAHAD ROAD AND REGENCY ROAD RIGHT-OF-WAY.
 - THE APPLICANT SHALL OBTAIN A PUBLIC RIGHT-OF-WAY USE PERMIT FOR THE PROPOSED WORK IN THE GALAHAD ROAD AND REGENCY ROAD RIGHT-OF-WAY.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
 - THE PROPOSED EQUIPMENT BUILDING, GENERATOR ENCLOSURE AND STORAGE BUILDING WILL NOT BLOCK OR ALTER THE EXISTING STORM WATER DRAINAGE PATTERN.
 - PROJECT WILL NOT DISCHARGE ANY STORM WATER RUN-OFF ONTO THE ADJACENT I-805 FREEWAY RIGHT-OF-WAY.
 - THE DRAINAGE SYSTEM PROPOSED FOR THIS DEVELOPMENT, AS SHOWN ON THE SITE PLAN, IS PRIVATE AND SUBJECT TO APPROVAL BY THE CITY ENGINEER.
 - NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT

EASEMENTS:
 EASEMENTS SHOWN REFLECT PRELIMINARY RECORDS RESEARCH OF RECORDED PARCEL MAPS & PRELIMINARY TITLE REPORT. EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT. SEE SHEET C-1 FOR ADDITIONAL INFORMATION ON NON PLOTTABLE EASEMENTS


BOUNDARY NOTE:
 THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. A BOUNDARY SURVEY WAS NOT PERFORMED

THE FACT THAT THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE ANY RIGHTS OF INGRESS OR EGRESS TO OR FROM THE FREEWAY ADJACENT TO SAID LAND, SAID RIGHTS HAVING BEEN RELINQUISHED BY DEED TO THE STATE OF CALIFORNIA, RECORDED: MARCH 15, 1978, AS FILE NO. 78-102735, OFFICIAL RECORDS.

- PROPOSED 2'-0" VERIZON WIRELESS MICROWAVE ANTENNA MOUNTED INSIDE PROPOSED 30'-0" HIGH MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS
- PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED INSIDE PROPOSED 30'-0" HIGH MONUMENT TOWER BEHIND RF TRANSPARENT SCREENS
- PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW 30'-0" HIGH MONUMENT TOWER WITH STUCCO FINISH AND A CONCRETE TILE ROOF ON A POURED-IN-PLACE CONCRETE PAD (SHOWN SHADED)
- PROPOSED VERIZON WIRELESS CONCRETE BLOCK WALL ENCLOSURE WITH STUCCO FINISH AND A CHAIN LINK LID FOR GENERATOR AND MECHANICAL EQUIPMENT
- PROPOSED CONCRETE BLOCK WALL STORAGE BUILDING WITH STUCCO FINISH AND BUILT-UP ROOF ON A POURED-IN-PLACE CONCRETE PAD (FOR CHURCH USE)

SITE PLAN
 SCALE: 1" = 30'-0"



PREPARED FOR

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 IRVINE, CA 92623-9707
 (949) 286-7000

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PROJECT NAME

MURRAY RIDGE

2285 MURRAY RIDGE RD
 SAN DIEGO, CA 92123
 SAN DIEGO COUNTY

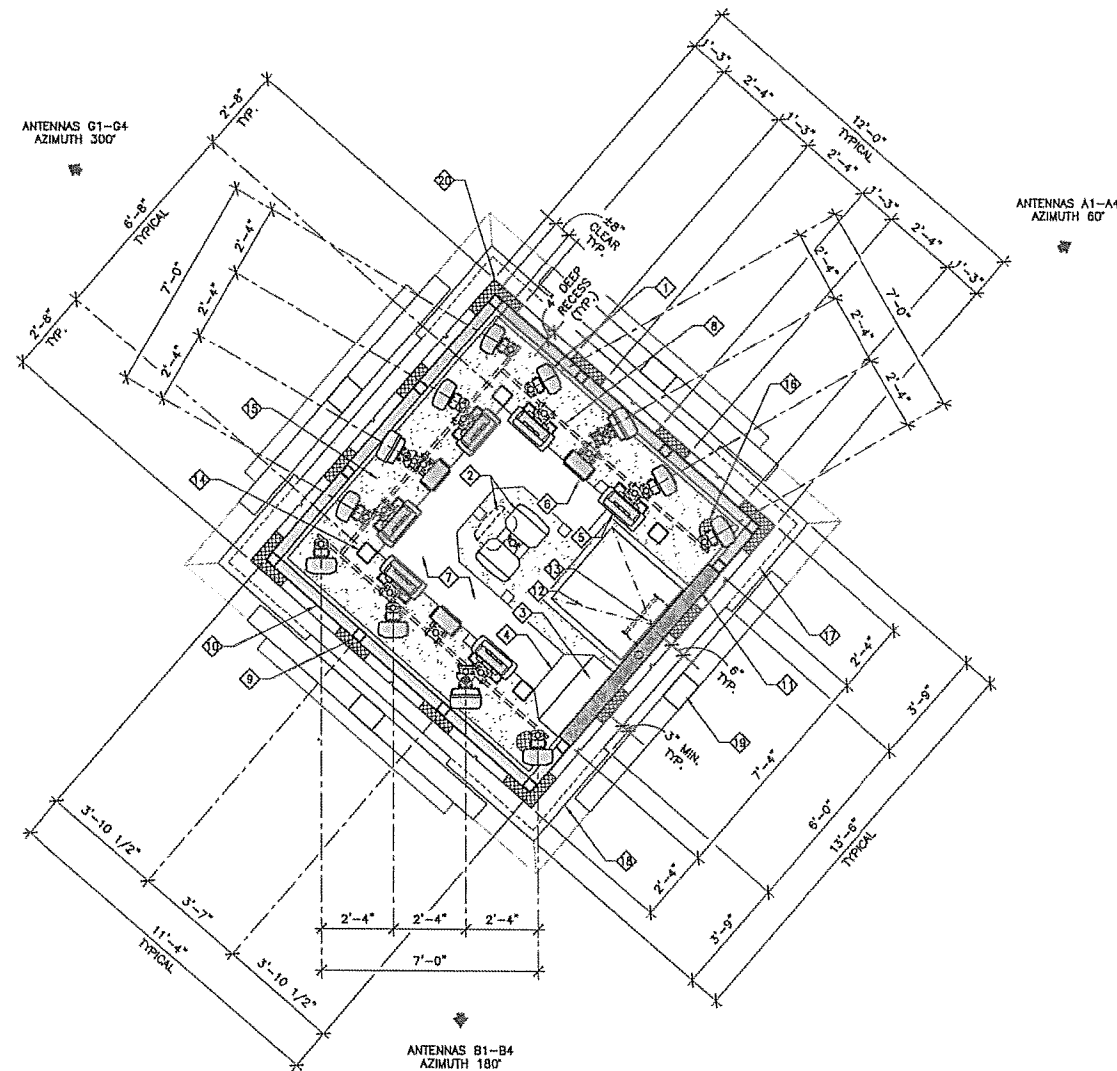
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SHEET TITLE

**ANTENNA PLAN (LEVEL 3)
 AND TOWER ROOF PLAN**

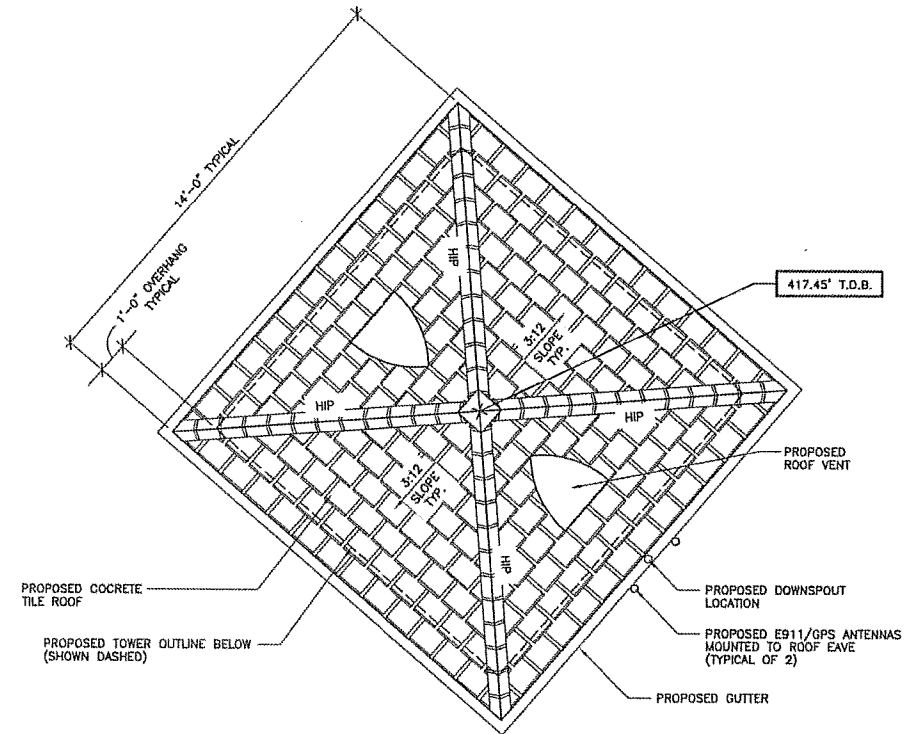
PROJECTS\VERIZON\13388



ANTENNA PLAN (LEVEL 3)
 SCALE: 3/8" = 1'-0"

ANTENNA PLAN NOTES:

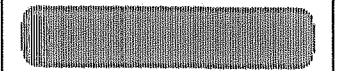
- | | |
|---|--|
| 1. PROPOSED VERIZON WIRELESS PANEL ANTENNAS PIPE MOUNTED BEHIND RF TRANSPARENT SCREENS. (TYP.) | 11. PROPOSED WOOD STUD WALL |
| 2. PROPOSED RAYCAP DC SURGE PROTECTION UNITS UNISTRUT MOUNTED TO STEEL PIPE COLUMN (TYPICAL OF 3) | 12. PROPOSED STEEL ACCESS HATCH |
| 3. PROPOSED COAX CABLE TRAY MOUNTED ON WALL | 13. PROPOSED STEEL ACCESS LADDER BELOW (SHOWN DASHED) |
| 4. PROPOSED COAX CABLE SHROUD | 14. PROPOSED STEEL COLUMN (TYPICAL OF 4) |
| 5. PROPOSED STACKED PAIR VERIZON WIRELESS RRU MODULES MOUNTED BEHIND ANTENNA ON MOUNTING PIPE (TYPICAL 4 RRU MODULES PER SECTOR) | 15. PROPOSED WATERPROOF DECK |
| 6. PROPOSED STACKED PAIR VERIZON WIRELESS RRU'S MOUNTED BEHIND ANTENNA ON MOUNTING PIPE (TYPICAL 2 RRU'S PER SECTOR) | 16. PROPOSED FLOOR DRAW (TYPICAL OF 2) |
| 7. PROPOSED COAX CABLE TRAY MOUNTED ON PVC SLEEPERS | 17. PROPOSED EQUIPMENT TOWER OUTLINE BELOW (SHOW DASHED) |
| 8. PROPOSED UNISTRUT | 18. PROPOSED TAPERED WALL OUTLINE |
| 9. PROPOSED 4" x 4" x 1/4" FIBERGLASS TUBE (TYPICAL) | 19. PROPOSED ARCHITECTURAL CROSS (TYP.) |
| 10. PROPOSED 7'-8" HIGH RF TRANSPARENT SCREENS. RF TRANSPARENT SCREENS SHALL BE DETAILED, TEXTURED AND PAINTED TO MATCH PROPOSED STUCCO FINISH. | 20. PROPOSED DECORATIVE ARCHITECTURAL FOAM (SHOWN HATCHED) (TYPICAL) |



TOWER ROOF PLAN
 SCALE: 3/8" = 1'-0"

ANTENNA AND COAXIAL CABLE SCHEDULE									
SECTOR ANTENNA	DIRECTION	AZIMUTH	DOWNTILT	SKEW ANGLE	SIZE	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+ / - 5')	JUMPER LENGTH (+ / - 3')	COAX SIZE
ALPHA1	NORTHEAST	60°	0°	N/A	72.0" L x 11.9" W x 7.1" D	4 COAX, 4 HYBRID + RET CABLES	60'-0"	6'-0"	7/8"
ALPHA2					72.0" L x 11.9" W x 7.1" D				
ALPHA3					72.0" L x 11.9" W x 7.1" D				
ALPHA4					72.0" L x 11.9" W x 7.1" D				
BETA1	SOUTH	180°	0°	N/A	72.0" L x 11.9" W x 7.1" D	4 COAX, 4 HYBRID + RET CABLES	40'-0"	6'-0"	7/8"
BETA2					72.0" L x 11.9" W x 7.1" D				
BETA3					72.0" L x 11.9" W x 7.1" D				
BETA4					72.0" L x 11.9" W x 7.1" D				
GAMMA1	NORTHWEST	300°	0°	N/A	72.0" L x 11.9" W x 7.1" D	4 COAX, 4 HYBRID + RET CABLES	60'-0"	6'-0"	7/8"
GAMMA2					72.0" L x 11.9" W x 7.1" D				
GAMMA3					72.0" L x 11.9" W x 7.1" D				
GAMMA4					72.0" L x 11.9" W x 7.1" D				
MICROWAVE DISH	T.B.D.	-	-	-	2'-0" DIAMETER	1	10'-0"	-	1 1/4"

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 ARCHITECTURE INCORPORATED
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PROJECT NAME

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 SAN DIEGO COUNTY

DRAWING DATES

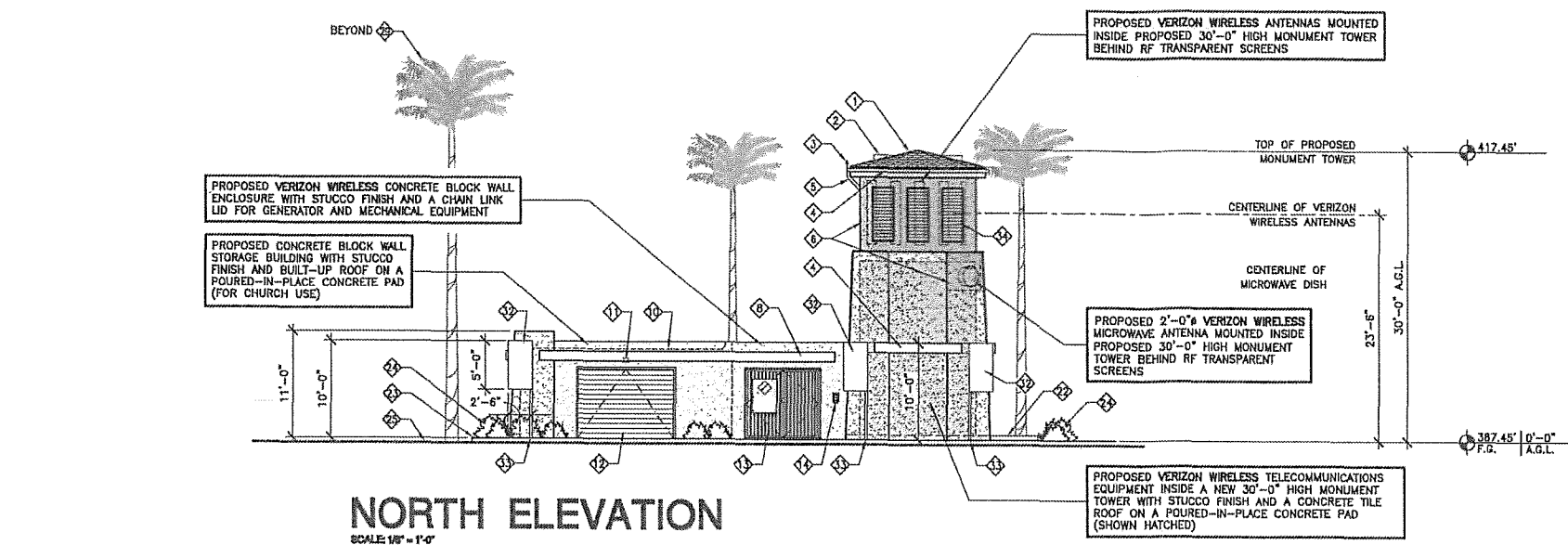
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SHEET TITLE

EXTERIOR ELEVATIONS

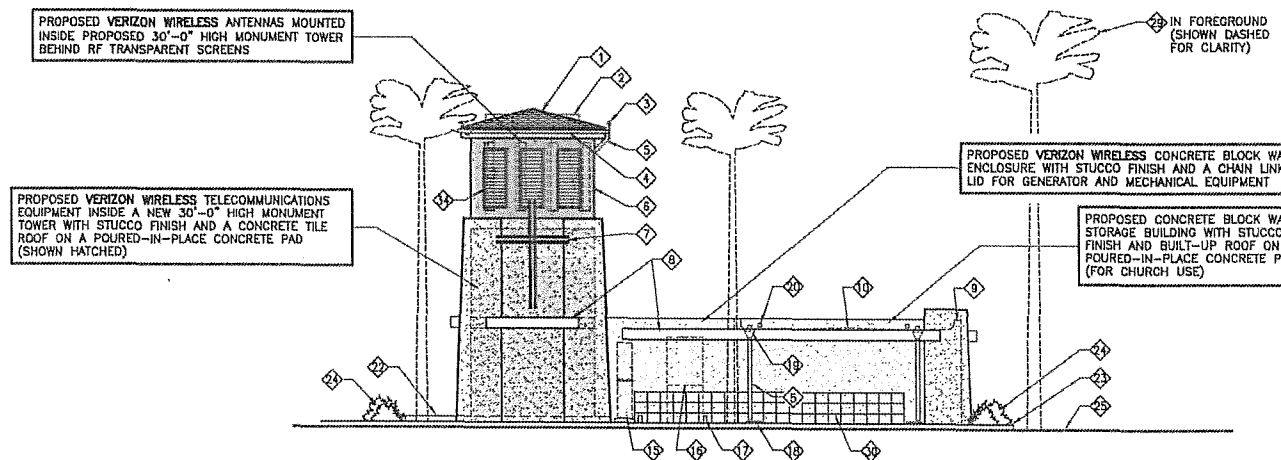
PROJECTS\VERIZON\13388

A-4



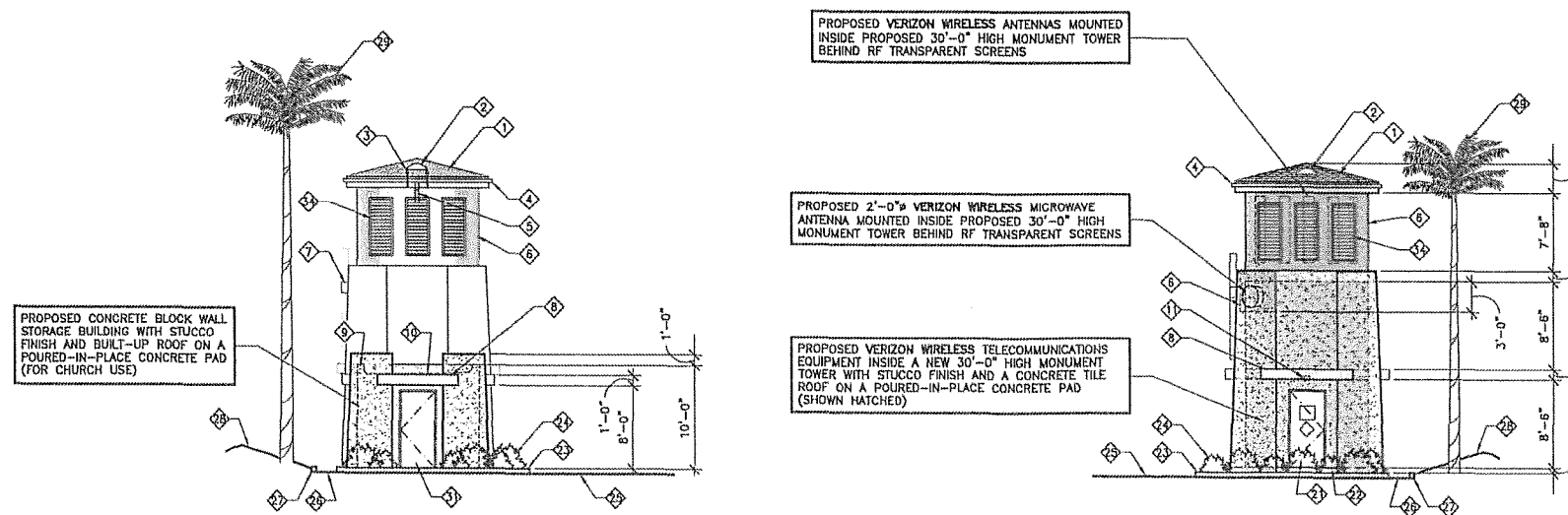
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

WEST ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION NOTES:

- 1. PROPOSED CONCRETE TILE ROOF
- 2. PROPOSED ROOF VENT
- 3. PROPOSED EB11/GPS ANTENNAS MOUNTED TO ROOF EAVE (TYPICAL OF 2)
- 4. PROPOSED GUTTER
- 5. PROPOSED DOWNSPOUT FOR ROOF DRAIN
- 6. PROPOSED RF TRANSPARENT SCREENS (SHOWN SHADED) RF TRANSPARENT SCREENS SHALL BE DETAILED, TEXTURED AND PAINTED TO MATCH PROPOSED STUCCO FINISH
- 7. PROPOSED FIBERGLASS ARCHITECTURAL CROSS
- 8. PROPOSED SOFFIT OVERHANG
- 9. PROPOSED PARAPET WALL
- 10. PROPOSED ROOF SURFACE (SHOWN DASHED)
- 11. PROVIDE RECESSED EXTERIOR LIGHT FIXTURE MOUNTED IN SOFFIT OVERHANG
- 12. PROPOSED 10'-0" WIDE ROLL UP DOOR
- 13. PROPOSED PAIR 4'-0" WIDE STEEL GATES & FRAME W/ SIGNAGE. PROVIDE PAINT FINISH
- 14. PROPOSED VERIZON WIRELESS REVERSE SERVICE GENERATOR RECEPTACLE FOR STANDBY GENERATOR CONNECTION MOUNTED TO WALL
- 15. PROPOSED (2) STACKED MECHANICAL UNITS MOUNTED ON A CONCRETE PAD (SHOWN DASHED)
- 16. PROPOSED VERIZON WIRELESS ENCLOSED STANDBY GENERATOR WITH A DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD (SHOWN DASHED)
- 17. PROVIDE 4" x 8" OPENING AT BASE OF WALL FOR DRAIN (TYPICAL OF 2)
- 18. PROPOSED SPLASH BLOCK
- 19. PROPOSED ROOF DRAIN
- 20. PROPOSED ROOF OVERFLOW DRAIN
- 21. PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE. PROVIDE PAINT FINISH
- 22. PROPOSED CONCRETE LANDING
- 23. PROPOSED CONCRETE CURB
- 24. PROPOSED SHRUBS
- 25. EXISTING ASPHALT PAVED DRIVEWAY
- 26. EXISTING CONCRETE CURB
- 27. EXISTING GUTTER
- 28. EXISTING LANDSCAPE AREA
- 29. EXISTING PALM TREE (TYPICAL)
- 30. PROPOSED TRELLIS
- 31. PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME
- 32. PROPOSED 30" x 5'-0" BANNER (TYPICAL OF 3)
- 33. PROPOSED 2 3/4" DIAMETER STREET POLE BRACKETS WITH RODS (TYPICAL OF 3)
- 34. PROPOSED ARCHITECTURAL RECESS "SHUTTER" (TYPICAL)

COLOR SPEC:

EXTERIOR WALLS:
 FINISH: STUCCO
 COLOR: TO MATCH EXISTING BUILDINGS
 ("FRAZEE" 150% SOYA BEAN)
 DOORS/TRIM:
 COLOR: TO MATCH EXISTING BUILDINGS
 ("SHERWIN WILLIAMS" CARIBOU BROWN)
 CROSS:
 COLOR: TO SIMULATE STAINLESS STEEL

BOOTH SUAREZ &
 ARCHITECTURE INCORPORATED
 325 CARLSBAD VILLAGE DRIVE, SUITE 02
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 SAN DIEGO, CA 92123
 SAN DIEGO COUNTY

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08/21/15	100X ZD REVISION 16 (rl)

SHEET TITLE
LANDSCAPE DEVELOPMENT PLAN

PROJECTS\VERIZON\13388

L-1

PLANTING NOTES

1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE'S TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
5. ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.
6. PLANTING INSTALLATION CRITERIA:
 ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PLANTING MAINTENANCE CRITERIA:
 ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
8. MINIMUM TREE SEPARATION DISTANCE
 IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:
 TRAFFIC SIGNALS (STOP SIGN) - 20 FEET ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER) DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
9. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
10. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE & IRRIGATION AREAS SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
11. IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.
12. IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.
13. REMOVE WEEDS AND PROVIDE A WEED BARRIER. PROVIDE A MINIMUM 2-INCH THICK BARK MULCH ABOVE THE WEED BARRIER.

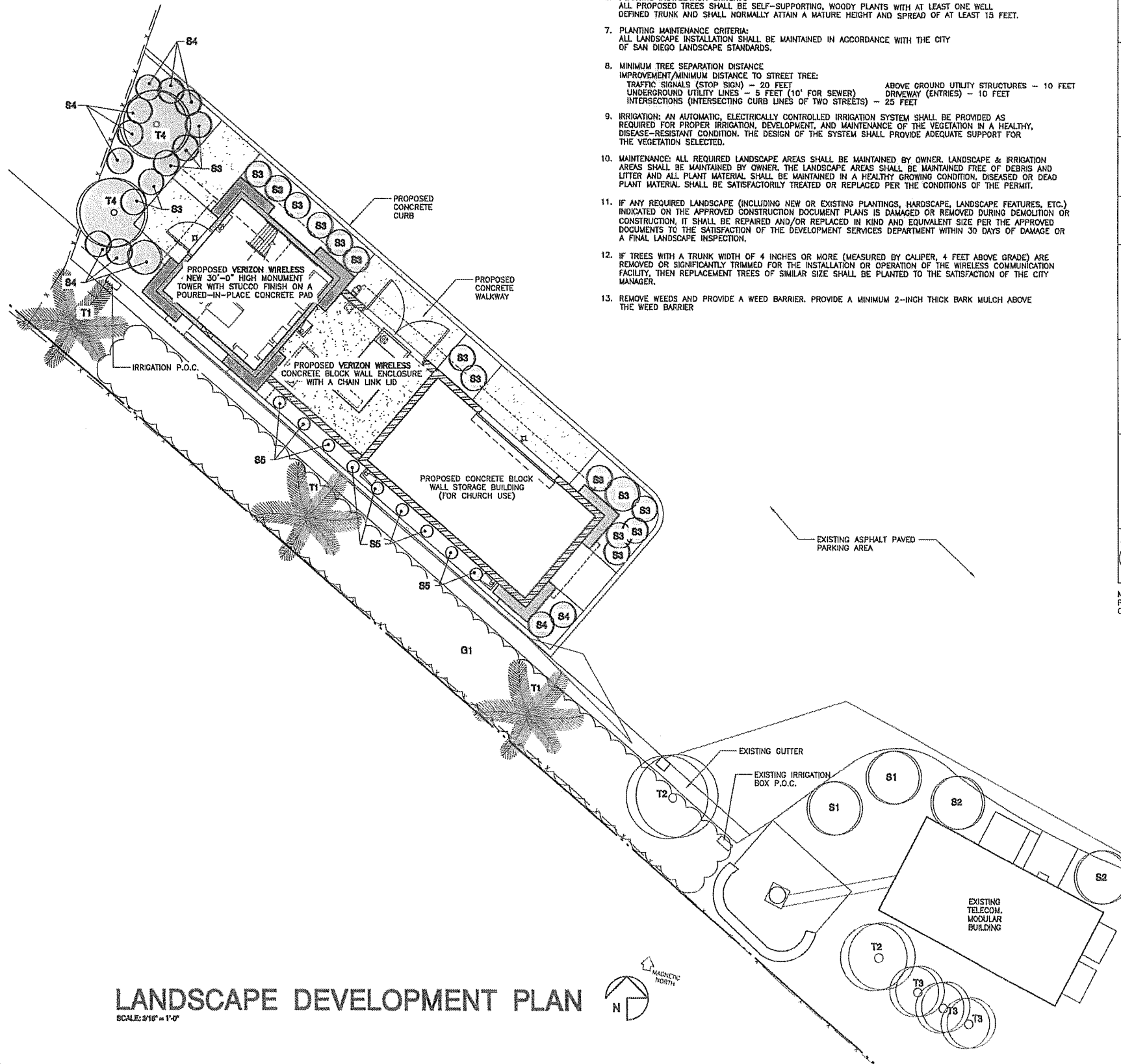
PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	FORM / FUNCTION	PLANTING SIZE	QUANTITY	MATURE HEIGHT & SPREAD
T1	ARECASTRUM ROMANZOFFIANUM	QUEEN PALM	EXISTING	-	3	45'-0" HEIGHT 25'-0" SPREAD
T2	EUCALYPTUS POLYANTHEMOS	SILVER DOLLAR EUCALYPTUS	EXISTING	-	2	75'-0" HEIGHT 45'-0" SPREAD
T3	KOELREUTERIA BIPINNATA	GOLDEN RAIN TREE OR CHINESE FLAME	EXISTING	-	3	30'-0" HEIGHT 30'-0" SPREAD
T4	OLEA EUROPAEA 'WILSONI' or PINUS CANARIENSIS or JACARANDA MIMOSIFOLIA	FRUITLESS OLIVE or CANARY ISLAND PINE or JACARANDA	TREE	24" BOX	2	20' HEIGHT 25' SPREAD or 60' HEIGHT 30' SPREAD or 40' HEIGHT 60' SPREAD
S1	LANTANA CAMARA	WEeping LANTANA	EXISTING	-	2	3'-0" HEIGHT 8'-0" SPREAD
S2	RHAPHIOLEPIS DELACOURII	ENCHANTRESS HAWTHORN	EXISTING	-	2	6'-0" HEIGHT 5'-0" SPREAD
S3	BOUGAINVILLEA SPECTABILIS 'SAN DIEGO RED' or MELALEUCA NESOPHILA or STRELITZIA NICOLAI	BOUGAINVILLEA GROUND COVER or PINK MELALEUCA or GIANT BIRD OF PARADISE	SHRUB	5 GALLON	19	30' HEIGHT 30' SPREAD or 20' HEIGHT 20' SPREAD or 20' HEIGHT 20' SPREAD
S4	BACCHARIS PILULARIS or PHORMIUM TENAX 'FLAMING RED' or LEUCADENDRON 'CLOUDBANK GINNY'	DWARF COYOTE BUSH or RED NEW ZEALAND FLAX or LEUCADENDRON	SHRUB	5 GALLON	11	4' HEIGHT 6' SPREAD or 3' HEIGHT 3' SPREAD or 6' HEIGHT 6' SPREAD
S5	BOUGAINVILLEA SPECTABILIS 'SAN DIEGO RED' or PHOTINIA FRASERI or DODONAEA VISCOSA	BOUGAINVILLEA CREEPING or RED TIP PHOTINIA or PURPLE HOPSEED BUSH	SHRUB	5 GALLON	9	30' HEIGHT 30' SPREAD or 25' HEIGHT 15' SPREAD or 20' HEIGHT 8' SPREAD
G1	CARPOBROTUS EDULIS	HIGHWAY ICEPLANT OR HOTTENTOT	EXISTING	-	-	1'-0" HEIGHT 30'-0" SPREAD

NOTE:
 PATCH & REPAIR GROUND COVER WHERE DAMAGED BY TRENCHING AND INSTALLATION OF LANDSCAPE SHRUBS

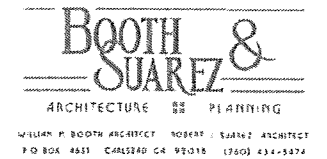
WATER CONSERVATION NOTES

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA.
4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS.
5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
7. ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM FOR THE EXISTING SITE.
8. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, PONDING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS.
9. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND MISTING.
10. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS.
11. NEW IRRIGATION SYSTEM TO BE CONNECTED TO THE CLOSEST EXISTING IRRIGATION VALVE BOX EXISTING IRRIGATION SYSTEM TO BE RE-CALIBRATED FOR NEW IRRIGATION.
12. AUTOMATIC IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR.
13. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL [142.0411(c)].
14. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.



LANDSCAPE DEVELOPMENT PLAN

SCALE: 3/16" = 1'-0"



PREPARED FOR

P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 222-7000

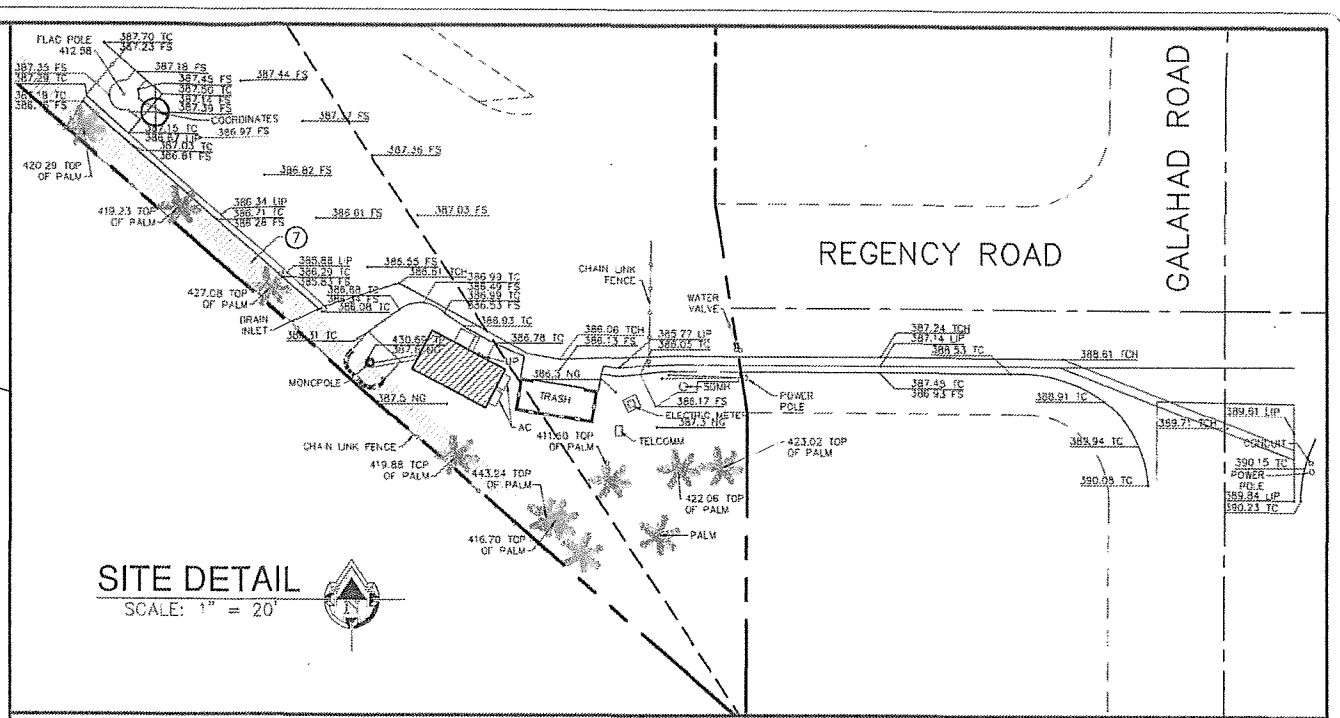
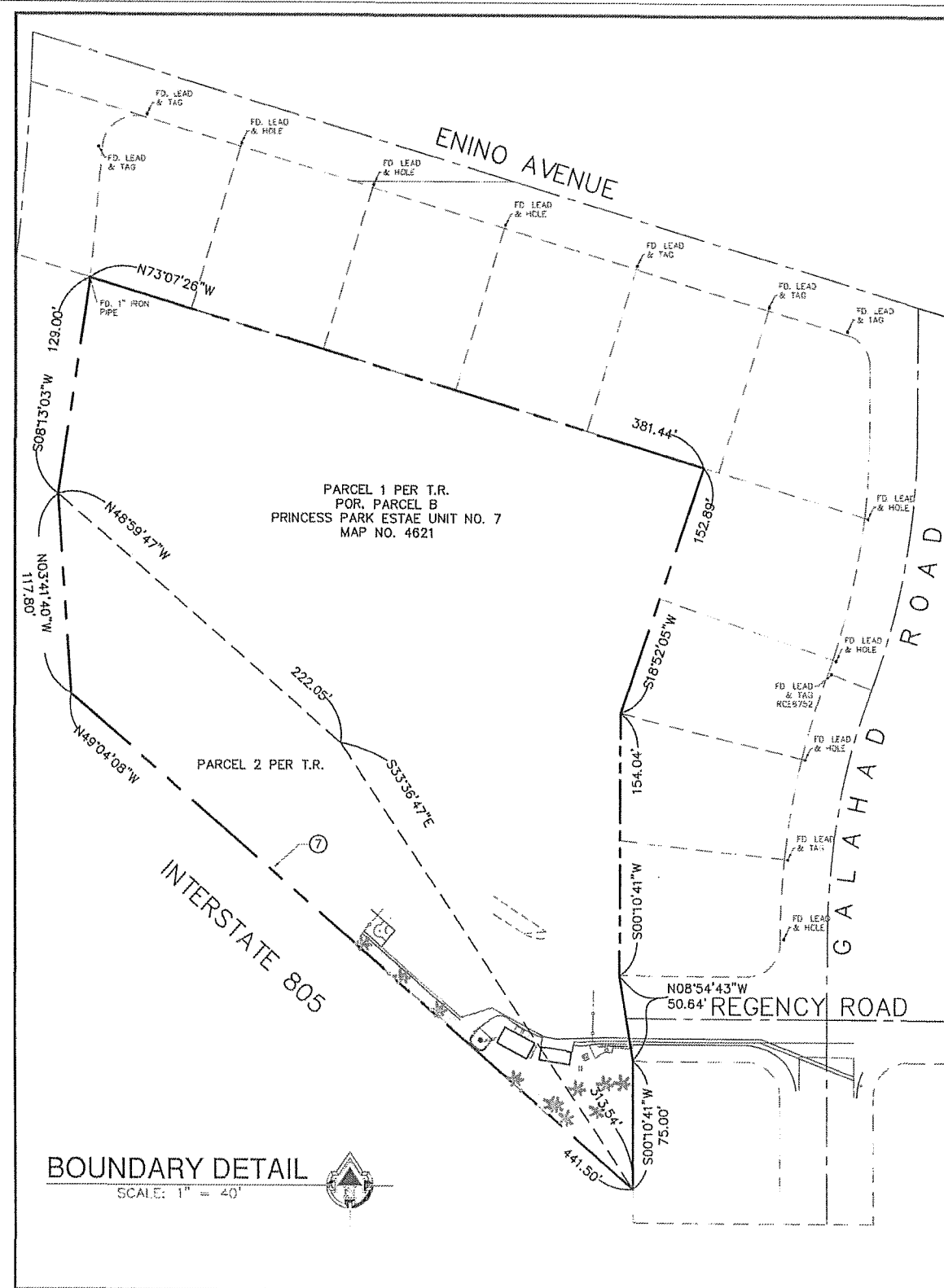
CONSULTANT
JRN
CIVIL ENGINEERS
 232 AVENIDA FABRICANTE,
 SUITE 107
 SAN CLEMENTE, CA 92672
 (949) 248-4685

PROJECT NAME
MURRAY RIDGE
 2285 MURRAY RIDGE ROAD
 SAN DIEGO, CA 92123

DRAWING DATES

SHEET TITLE
 TOPOGRAPHIC SURVEY

C1



ITEMS CORRESPONDING TO SCHEDULE "B":

- BY: COMMONWEALTH LAND TITLE COMPANY CUR FILE NO: 08020753
 TITLE OFFICER: CHRIS HAZIAR
 NEWPORT BEACH, CA 92660 DATE: OCTOBER 28, 2013
 PHONE: (949) 724-0706
- THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS THAT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
- EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS, RECORDING DATE DECEMBER 21, 1936, RECORDING NO IN BOOK 8391, PAGE 329. OFFICIAL RECORDS THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
 - COVENANTS, CONDITIONS AND RESTRICTIONS, RECORDING DATE SEPTEMBER 7, 1960, RECORDING NO. AS FILE NO. 180684, RECORDING DATE SEPTEMBER 30, 1960, RECORDING NO. 15 FILE NO. 196470, OFFICIAL RECORDS THIS ITEM AFFECTS THE SUBJECT PROPERTY IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 - THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "CITY OF SAN DIEGO - DECISION OF THE ZONING ADMINISTRATOR - CASE NO. 1666 CONDITIONAL USE PERMIT" RECORDED APRIL 13, 1973, AS FILE NO. 73-098456, OFFICIAL RECORDS. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "CITY OF SAN DIEGO - DECISION OF THE ZONING ADMINISTRATOR - CASE NO. 1666 AMENDMENT - CONDITIONAL USE PERMIT - HEARING" RECORDED APRIL 17, 1978, AS FILE NO. 78-151851, OFFICIAL RECORDS. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "CITY OF SAN DIEGO - DECISION OF THE ZONING ADMINISTRATOR - CASE NO. 1666 AMENDMENT - CONDITIONAL USE PERMIT" RECORDED APRIL 17, 1978, AS FILE NO. 78-151852, OFFICIAL RECORDS. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "AMENDMENT - CONDITIONAL USE PERMIT C-1666 INTERNATIONAL CHURCH OF THE FOURSQUARE GOSPEL (FAITH COMMUNITY CHURCH)" RECORDED JULY 19, 1998, AS FILE NO. 1998-3439196, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 - EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS, RECORDING DATE NOVEMBER 26, 1974, RECORDING NO AS FILE NO. 74-310753, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION COULD NOT BE DETERMINED FROM THE RECORD DOCUMENT AND IS NOT PLOTTED HEREON.
 - THE FACT THAT THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE ANY RIGHTS OF INGRESS OR EGRESS TO OR FROM THE FREEWAY ADJACENT TO SAID LAND, SAID RIGHTS HAVING BEEN RELINQUISHED BY DEED TO THE STATE OF CALIFORNIA, RECORDED, MARCH 15, 1978, AS FILE NO. 78-102735, OFFICIAL RECORDS THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - TERMS, COVENANTS, CONDITIONS AND PROVISIONS, ENTITLED ASSIGNMENT AND ASSUMPTION OF GROUND LEASE, RECORDING DATE: MARCH 4, 2009, RECORDING NO. AS FILE NO. 2009-0156974, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 - THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "CONDITIONAL USE PERMIT NO. 121517 PLANNED DEVELOPMENT PERMIT NO. 194792, LOWERED - MURRAY RIDGE PROJECT NO. 205032 PLANNING COMMISSION" RECORDED JUNE 17, 2011, AS FILE NO. 2011-0309149, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- *ITEMS #5 SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1
 THAT PORTION OF PARCEL "B" OF PRINCESS PARK ESTATES UNIT NO. 7, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, SHOWN ON MAP NO. 4621, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 6, 1960, 1/4 AC. NORTHEASTERLY OF THE NORTHEASTERLY RIGHT OF WAY LINE OF STATE HIGHWAY 11-50-805-18.8; SAID PORTION HEREBY CONVEYED DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID PARCEL "B", DISTANT ALONG SAID EAST LINE NORTH 00° 08' 05" EAST, 20.00 FEET FROM A 2-INCH IRON PIPE MARKED R. E. 6752 SET FOR THE SOUTHEAST CORNER OF SAID PARCEL "B"; THENCE ALONG THE FOLLOWING NUMBERED COURSES: (1) ALONG SAID EAST LINE, NORTH 00° 08' 05" EAST, 74.98 FEET; (2) NORTH 8° 35' 11" WEST, 50.66 FEET; (3) NORTH 00° 04' 5" EAST, 154.08 FEET; (4) NORTH 8° 42' 34" EAST, 152.9 FEET TO THE NORTH-EAST CORNER OF SAID PARCEL "B"; (5) ALONG THE NORTH LINE OF SAID PARCEL "B" NORTH 73° 08' 41" WEST, 381.44 FEET; (6) LEAVING SAID NORTH LINE, SOUTH 8° 13' 48" WEST, 129.90 FEET TO SAID NORTHEASTERLY RIGHT OF WAY LINE; (7) ALONG SAID RIGHT OF WAY LINE, SOUTH 48° 59' 02" EAST, 222.05 FEET; AND (8) SOUTH 33° 43' 49" EAST, 313.10 FEET TO THE POINT OF BEGINNING.

PARCEL 2
 THAT PORTION OF PARCEL "B" OF PRINCESS PARK ESTATES UNIT NO. 7, ACCORDING TO MAP NO. 4621, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF PARCEL "B", DISTANT ALONG SAID EAST LINE NORTH 00° 08' 05" EAST, 20.00 FEET FROM A 2" IRON PIPE MARKED R. E. 6752 SET FOR THE SOUTHEAST CORNER OF SAID PARCEL "B"; THENCE (1) LEAVING SAID EAST LINE NORTH 49° 03' 40" WEST, 441.76 FEET; THENCE (2) NORTH 03° 46' 28" WEST, 116.9 FEET TO THE NORTH-WESTERLY TERMINUS COURSE (7) OF THE NORTHEASTERLY RIGHT OF WAY LINE DESCRIBED IN DIRECTOR'S DEED TO INTERNATIONAL CHURCH OF THE FOURSQUARE GOSPEL, RECORDED JUNE 28, 1972 AS FILE NO. 166306 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE (3) ALONG SAID RIGHT OF WAY LINE SOUTH 48° 59' 02" EAST, 222.05 FEET; AND (4) SOUTH 33° 43' 49" EAST, 313.10 FEET TO THE POINT OF BEGINNING.

LEGEND:

- FD - FOUND
- FS - FINISH SURFACE
- LIP - EDGE OF CUTTER
- NC - NATURAL GROUND
- SOUTH - STORM DRAIN MANHOLE
- TCH - TRENCH
- TP - TOP OF POLE
- UP - UTILITY PANEL

BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, EPOCH 1997.33 ADJUSTED. 3RD BEARING BETWEEN FIRST ORDER STATION 1221 AND SECOND ORDER STATION 2867 AS SHOWN ON RECORD OF SURVEY 14492, I.C. N 301°42' E

ASSESSOR'S PARCEL NUMBER:
 433-190-08

COORDINATES:
 LATITUDE: 32°47'03.454" N
 LONGITUDE: 117°08'36.852" W
 DATUM: NAD83

DATUM STATEMENT:
 BENCHMARK FOR THIS SURVEY IS THE NGVD 29 ELEVATION AT STATION 724 AS SHOWN ON RECORD OF SURVEY 14492, NGVD29 ELEV=501.13

DATE OF SURVEY:
 12/19/2013

MIGUEL A. MARTINEZ L.S. 7443