



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: October 15, 2020 REPORT NO. PC-20-060

HEARING DATE: October 22, 2020

SUBJECT: COSTA AZUL MIXED USE – Process Five Decision

PROJECT NUMBER: [400127](#)

OWNER/APPLICANT: Carmel Valley Centre Drive, LLC, a California Limited Liability Corporation, Owner/Applicant

SUMMARY

Issue: Should the Planning Commission recommend to City Council approval for the construction of a 7-story, 128-room hotel, and 5-story office building with restaurant on an undeveloped 3.2-acre site located at 3501 Valley Centre Drive within the Carmel Valley Community?

Staff Recommendations:

1. Recommend the City Council CERTIFY the California Environmental Quality Act (CEQA) exemption pursuant to Section 15332, In-Fill Development Projects;
2. Recommend the City Council APPROVE Vesting Tentative Map No. 2330057 and Easement Vacation 2362143; and
3. Recommend City Council APPROVE Coastal Development Permit No. 1402084, Planned Development Permit No. 1402086, and Site Development Permit No. 1402087.

Community Planning Group Recommendation: On April 26, 2018, the Carmel Valley Community Planning Board voted 10-0-0, to recommend approval of the project with conditions as discussed further within the report (Attachment 11).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332, In-Fill Development Projects (Attachment 9).

Fiscal Impact Statement: All costs associated with the processing of this project are

recovered through a deposit account funded by the applicant.

Housing Impact Statement:

To date, there are 17,750 existing residential dwelling units within the Carmel Valley Community Plan. Of the total number of dwelling units, there are 169 existing affordable dwelling units based on Housing Commission data. The subject parcel is designated for Visitor Commercial and therefore, is not forecasted for future housing.

Carmel Valley Community Plan Area

	2019	2050	Change
Population	36,180	36,315	135
Housing	13,750	13,770	20
Jobs*	14,725	17,300	2,575

*Base year for jobs is 2012. SANDAG 2019 Estimates
SANDAG, Series 13, Regional Forecast

BACKGROUND

The Costa Azul Mixed-Use project is located at 3501 Valley Centre Drive in the Visitor Commercial (VC) zone of the Carmel Valley Planned District (CVPD), Coastal Overlay Zone (Appealable and Non-Appealable Areas), the Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area within the Carmel Valley Community Plan area (Attachment 1-3).

The site is east of Interstate 5 (I-5) and North of State Route 56, on graded pads above Carmel Valley Road. South, on Carmel Valley Road, is an open space area that feeds into the Los Peñasquitos Lagoon and ultimately to the Pacific Ocean. The project site is not located within the First Public Roadway (south of Carmel Valley Road and west of Sorrento Valley Road) and the Pacific Ocean.

The site is designated by the Carmel Valley (North City West) Community Plan as Visitor Commercial and the North City West Employment Center Precise Plan (Precise Plan) as Neighborhood 2. The Visitor Commercial designation is intended to provide motel/hotel, restaurant, office uses, and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Hotel, office, and restaurant uses are consistent with the Neighborhood 2 Precise Plan and Visitor Commercial designation in the Carmel Valley Community Plan.

In 1984, the City Council approved Planned Commercial Development (PCD) 83-0191 on Lots 1-5 in Unit No. 2 of North City West Employment Center. The approved project included a 500-unit hotel, three restaurants, and auto service station. In 1999, PCD 83-0191.1 was approved for a 270-unit hotel and 170,000-square-foot office building. The site immediately northwest has received approval for a 127-room hotel to replace a vacant restaurant. The Costa Azul mixed-use project is proposed within the last remaining undeveloped lot within Lots 1-5.

The project is subject to the following San Diego Municipal Coded (SDMC) discretionary permits:

- Vesting Tentative Map- [SDMC Section 125.0410](#) to subdivide the lot.
- Easement Vacation - [SDMC Section 125.1010\(b\)](#) to vacate and relocate a water easement.
- Coastal Development Permit - [SDMC Section 126.0702](#) for development within the Coastal Overlay Zone.
- Planned Development Permit – [Section 126.0602\(b\)](#) for development that does not comply with all base zone regulations.
- Site Development Permit- [SDMC Section 153.0201\(b\)](#) for major development within the Carmel Valley Planned District.

All discretionary actions have been consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in [SDMC Section 112.0103](#). Therefore, the decision to approve, conditionally approve, or deny this project will be made by the City Council.

DISCUSSION

Project Description:

The Costa Azul mixed-use project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), in Neighborhood 2 of the Carmel Valley Community Plan area.

The proposed map will consolidate and subdivide a 9.89-acre property into 2 (two) Parcels, Parcel One will be 3.2-acres and Parcel Two, 6.7-acres. The Coastal Azul mixed-use project, on Parcel One, will include three commercial condominiums; hotel, office building and subterranean parking (Figure 1). Parcel Two is currently developed with an office building and parking structure, there is no proposed construction on this site.



Figure 1 Lot One undeveloped 3.2-acres

The proposed 7-story hotel and 5-story office building with restaurant is designed to comply with the VC Zone of the Carmel Valley Planned District by utilizing the existing topography and minimizing the amount of grading outside of the building footprint. The parking for the development will include 71 surface parking spaces and a 2-level subterranean parking garage with 383 parking spaces, for a total of 454 spaces. The project includes the vacation and relocation of a water easement adjacent to Valley Centre Drive with the recordation of the Parcel Map, that has been reviewed and accepted by the City Engineer.

The proposed project complies with all the setbacks, and is proposing a floor area ratio of 1.3, well below the maximum of 2.0 allowed in the VC zone. The project meets all applicable development regulations of the SDMC and Coastal Overlay Zone, except for height. A Planned Development Permit (PDP) for height deviations is proposed pursuant to SDMC section 126.02(b)(1). The requested deviation is to allow 11 percent of the hotel height at 76 feet and 3 percent of the office building at 68'-6" where a 60-foot maximum is allowed in the VC Zone; 86 percent of the buildings meet the height requirement (Figure 2).

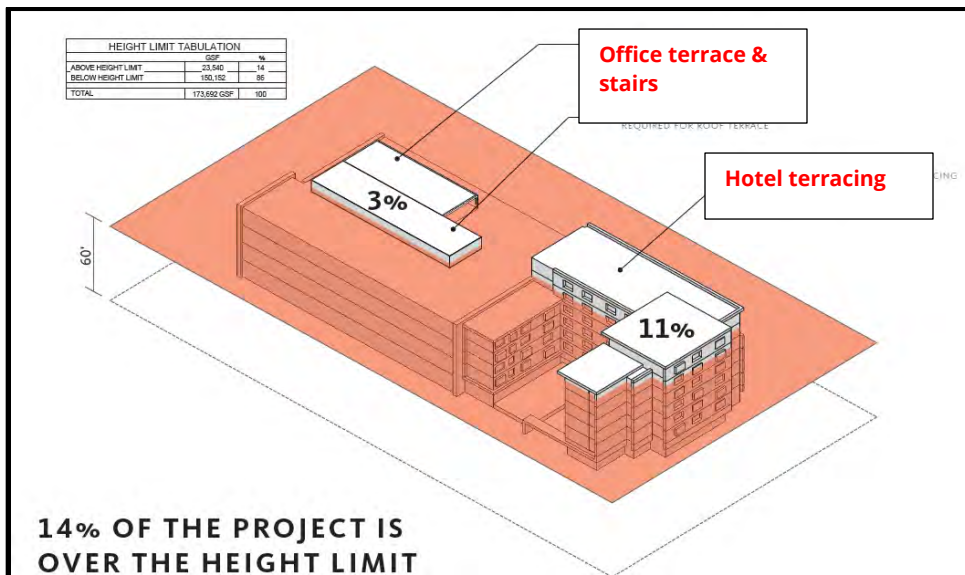


Figure 2 Proposed height deviation

The purpose of a PDP, as stated in [SDMC Section 126.0601](#), is to establish a review process for development that allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations. The increased height to both structures was the optimal design to condense the overall massing as shown on *Figure 6*, and to enable the continued integration of the existing surrounding structures as show on *Figure 3* and *Figure 7*.



Figure 3 Existing development

The project includes a landscaped, 8-foot pedestrian and bicycle promenade along the western property line that connects the development to Old El Camino Real for the mutual benefit of Costa Azul, the Marriott Hotel and the CV Hotel, as shown on Figures 4-5. The promenade provides access to Carmel Valley Road, the Los Peñasquitos Lagoon, and the Pacific Ocean.

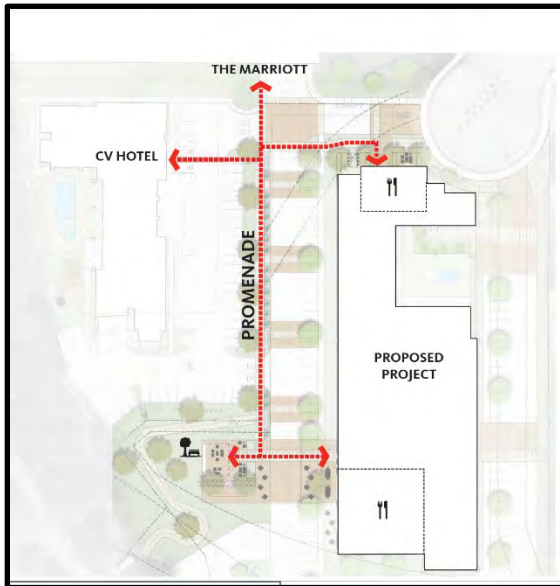


Figure 4 Promenade



Figure 5 Landscaping

Community Plan Analysis:

The project site is subject to the Citywide General Plan (adopted in 2008), the Carmel Valley (North City West) Community Plan (1975), and the North City West Employment Center Precise Plan (1981),

which are the adopted land use plans for the site. The subject site is conceptually identified as Visitor Commercial by the Carmel Valley Community Plan (Community Plan) and designated Visitor Commercial by the Precise Plan. The Community Plan provides a general framework for future planning and development of the commercial visitor area. It states the need for the visitor commercial uses to serve the office and industrial development in Carmel Valley as well as to the south of the community.

The subject site is part of the Precise Plan area which encompasses an area between I-5 on the west and El Camino Real and Carmel Vista Road on the east, and between Del Mar Heights Road on the north and Carmel Valley Road on the south. This area serves as the major employment area for the community. At the time the Carmel Valley Community Plan was adopted in 1975, all the Precise Plan area, including the subject site, was undeveloped. The subject site encompasses approximately 3.2-acres and is located at the end of Valley Center Road, near the intersection of El Camino Real and Carmel Valley Road. Given the proximity of I-5 and State Route 56 interchange and the employment center, hotel and office uses are a compatible use for subject site location.

The Precise Plan provides general guidance for the individual buildings to include natural materials, grey and earth tone colors, and be designed with a varying of heights and massing to break up the bulk of the buildings. The Plan also recommends multiple buildings rather than a single building. The proposed project is consistent with these recommendations by proposing multiple buildings with varying heights: a 7-story hotel with 128 rooms and 5-story office with an overall total of 173,692 square feet for the project.

The proposed project would be adjacent to an existing, 6-story hotel and a 4-story hotel and would be combined with the existing hotels into a cluster of buildings. The project includes scaled buildings consistent with the neighborhood and will include a combination of glass and grey stucco on the facades. While the proposed building height exceeds the height limit, the building heights are relative to the adjacent hotel and office buildings. To the north of the site is an existing 12-story hotel and 8-story office building. On the east side of El Camino Real there is an existing 6-story hotel. The four adjacent hotels have a total of 755 rooms.

Carmel Valley Hotel Rooms

Hotel	Rooms
Hampton Inn	129
Double Tree Hilton	224
Residence Inn	118
Marriott	284
Total	755

Travel Weekly, 9-23-20

The proposed project is providing pedestrian friendly entrances and is consistent with the design guidance provided in the Precise Plan. Overall, the proposed project is consistent with the General Plan in that it concentrates development in already approved and planned neighborhoods, and protects the remaining lands as open space, per Urban Design Element UD-4 which recommends building a "compact, efficient and environmentally sensitive pattern of land development".

Environmental Analysis:

On August 26, 2019, this project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development Projects).

The site does not contain or support Environmentally Sensitive Lands as defined by the Biology Guidelines of the City's Land Development Manual. The site does not contain native or sensitive plant species, wildlife species, or vegetation communities; wetlands that would be expected to support special status wildlife species; or lands classified as Tier I, Tier II, Tier IIIA, or Tier IIIB Habitats.

West of the project site there is a man-made storm water retention facility that contains vegetation dominated by cattail, which is commonly found in storm water facilities throughout the City of San Diego. The project would not directly impact this storm water retention facility, which is maintained by the City and does not support sensitive species. Surface drainage run-off from the developed portions of the site will be conveyed through a new drain and biofiltration system. Long-term operational storm water discharge would be reduced compared to existing conditions and directed through on-site landscaping and storm drains prior to discharging into an off-site detention basin.

Carmel Valley Community Planning Board

The applicant worked with staff and the community planning board to redesign the original buildings, shown in *Figure 6* to the proposed optimal design, shown in *Figure 7*, condensing and terracing the overall massing while enabling the continued integration of the existing surrounding structures that include inviting landscaped pedestrian and bicycle public pathways.



Figure 6 Box design



Figure 7 Terraced design

On April 26, 2018, the Carmel Valley Community planning Board voted 10-0-0 to recommend approval of the project with the requirement that wayfinding signage, identifying the pathways for bicyclists and pedestrians, be provided (Attachment 11).

Conclusion:

The proposed hotel and office building would benefit the community by providing visitor accommodations and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Additionally, the proposed development would provide numerous job opportunities for the residents of San Diego. The proposed project and all issues identified through the review process have been resolved in

conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided the draft findings to support approval of the project and draft conditions of approval. Staff recommend the Planning Commission recommend the City Council approve the project as proposed.

ALTERNATIVES

1. Recommend the City Council certify the CEQA exemption and approve Vesting Tentative Map No. 2330057 with Easement Vacation 2362143, Coastal Development Permit No. 1402084, Planned Development Permit No. 1402086, and Site Development Permit No. 1402087, with modifications.
2. Recommend the City Council not certify the CEQA exemption and deny Vesting Tentative Map No. 2330057 with Easement Vacation 2362143, Coastal Development Permit No. 1402084, Planned Development Permit No. 1402086, and Site Development Permit No. 1402087, if the findings cannot be made.

Respectfully submitted,



PJ FitzGerald
Assistant Deputy Director
Development Services Department

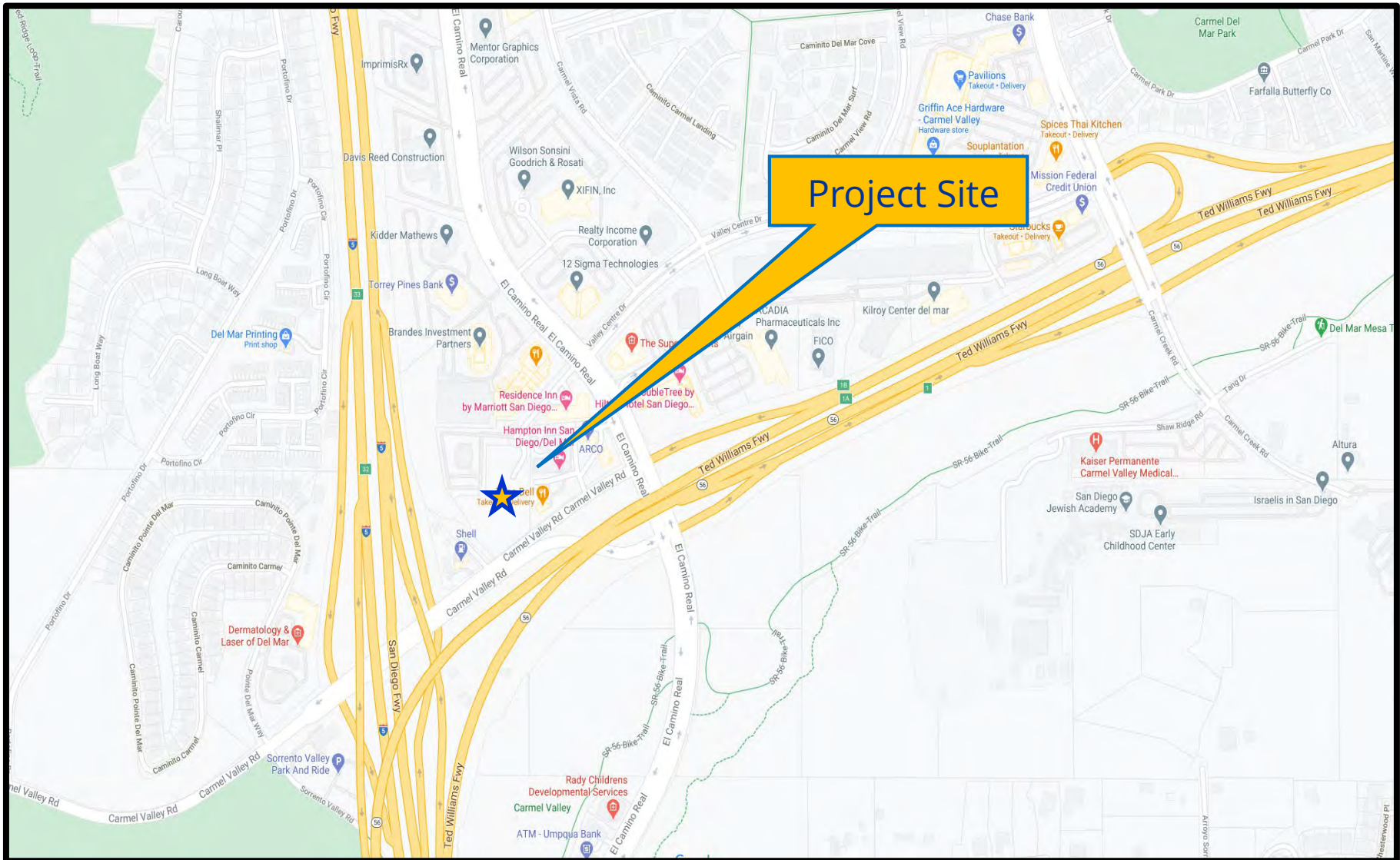


Edith Gutierrez
Development Project Manager
Development Services Department

FitzGerald/EG

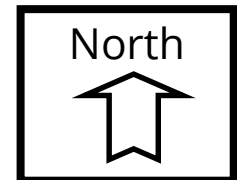
Attachments:

1. Project Location Map
2. Aerial View
3. Community Plan Land Use Map
4. Project Data Sheet
5. Draft TM/EV Conditions
6. Draft TM/EV Resolution
7. Draft Permit with Conditions
8. Draft Permit Resolution
9. Environmental Exemption
10. Project Site Plans and Vesting Tentative Map
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement



Project Location Map

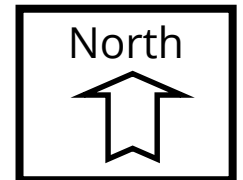
Costa Azul Mixed Use / 3501 Valley Centre Drive
PROJECT NO. 400127

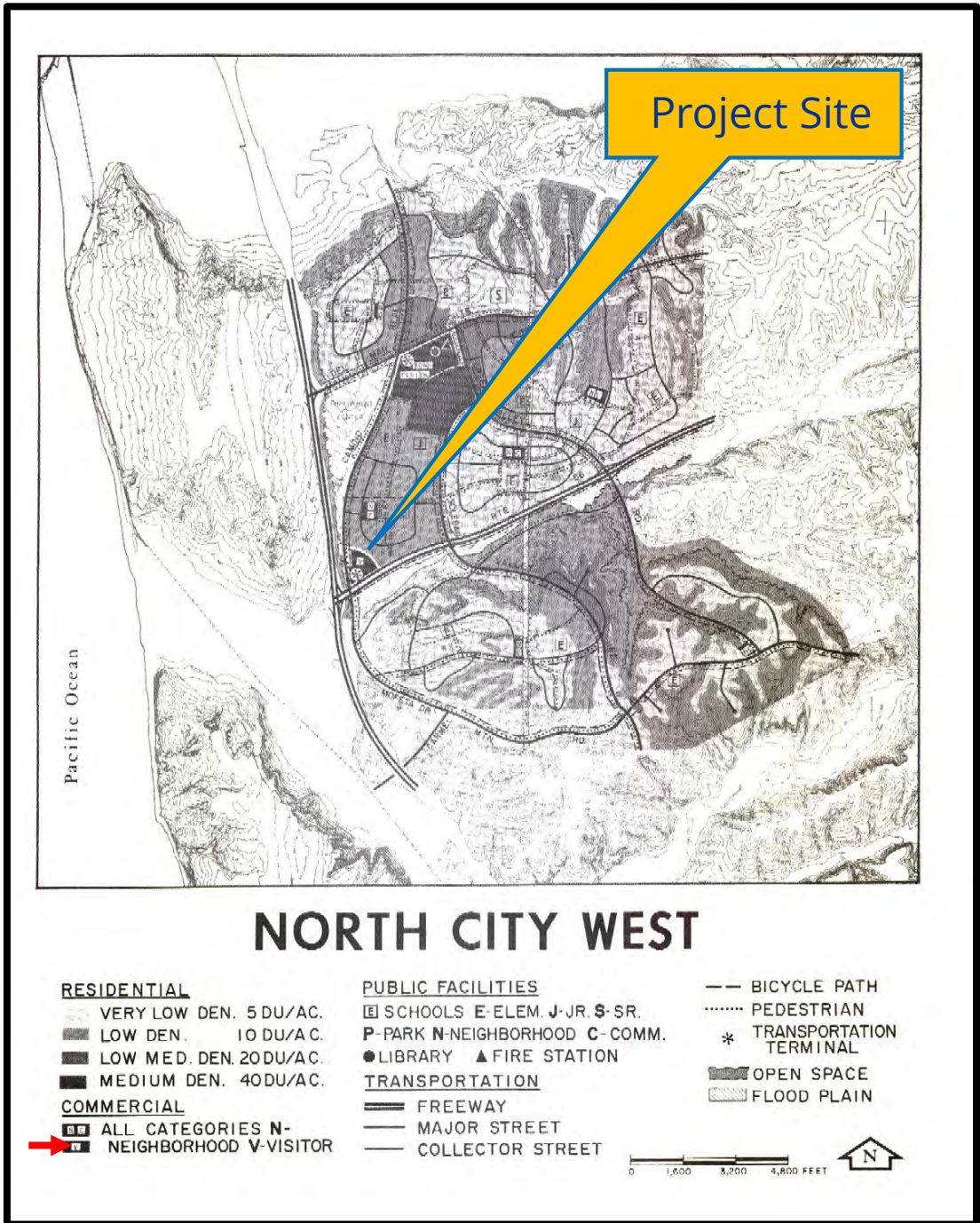




Aerial Photo

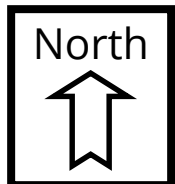
Costa Azul Mixed Use / 3501 Valley Centre Drive
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Community Land Use Map

Cost Azul Mixed Use / 3501 Valley Centre Drive
PROJECT NO. 400127



PROJECT DATA SHEET

PROJECT NAME:	Costa Azul Mixed Use – Project No. 400127	
PROJECT DESCRIPTION:	The construction of a 77,652-square-foot, 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building including a 4,815-square-foot restaurant with height deviations, lot consolidation, the creation of three commercial condominiums, and an easement vacation on a vacant 3.2-acre site.	
COMMUNITY PLAN AREA:	Carmel Valley Neighborhood 2	
DISCRETIONARY ACTIONS:	CDP/PDP/VTM and Vesting Tentative Map with Easement Vacation	
COMMUNITY PLAN LAND USE DESIGNATION:	Visitor Commercial	
ZONING INFORMATION:		
ZONE:	CVPDO-VC	
HEIGHT LIMIT:	76'-0" and 68'-6" height where 60'-0" is the maximum in the VC zone	
LOT SIZE:	3.2-acre vacant portion of a 9.89-acre mapping site	
FLOOR AREA RATIO:	1.3 FAR where 2.0 FAR is the max permitted	
FRONT SETBACK:	10'-0" minimum and observed	
SIDE SETBACK:	10'-0" minimum	
STREETSIDE SETBACK:	10'-0" minimum	
REAR SETBACK:	10'-0" minimum	
PARKING:	454 subterranean and surface spaces	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Visitor Commercial/CVPDO-VC	Visitor Commercial; Hotel and Office Building
SOUTH:	Visitor Commercial/CVPDO-VC	Visitor Commercial; Hotel
EAST:	Visitor Commercial/CVPDO-VC	Visitor Commercial; Hotel and Visitor uses
WEST:	Visitor Commercial/CVPDO-VC	Visitor Commercial Automobile Service Station
DEVIATION REQUESTED:	76'-0" and 68'-6" height where 60'-0" is the maximum in the VC zone	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On April 26, 2018, the Carmel Valley Community Planning Board voted 10-0-0 to recommend approval of the project as presented with wayfinding signage provided so that bicyclists and pedestrians will know that the internal pathways to public pathways.	

CITY COUNCIL
CONDITIONS FOR TENTATIVE VESTING TENTATIVE MAP NO. 2330057
COSTA AZUL MIXED USE - PROJECT NO. 400127

ADOPTED BY RESOLUTION NO. R-_____ ON _____

GENERAL

1. This Vesting Tentative Map will expire _____.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map unless otherwise noted.
3. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid tax lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. The Vesting Tentative Map shall conform to the provisions of Coastal Development Permit No. 1402084, Site Development Permit No. 1402087, and Planned Development Permit No. 1402086.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

6. The Subdivider shall construct a new sidewalk per current City Standard adjacent to the site on Old El Camino Real satisfactory to the City Engineer.
7. The Subdivider shall construct a new driveway per current City Standards adjacent to the site on El Camino Real.

ATTACHMENT 5

8. The Subdivider shall reconstruct the existing curb ramp on corner of Old El Camino Real and Carmel Valley Road adjacent to the site, with current City Standards curb ramp to satisfaction of the City Engineer.
9. Per the City of San Diego Street Design Manual-Street Light Standards, and Council Policy 200-18, the Subdivider will be required to install a new streetlight on Carmel Valley Road and upgrade existing streetlights adjacent to the site to satisfaction of the City Engineer.
10. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
11. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
12. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Vesting Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

13. The specific easements shown on the Vesting Tentative Map exhibit shall be vacated pursuant to section 66445(j) of the Subdivision Map Act.
14. Prior to the expiration of the Vesting Tentative Map, a Parcel Map to consolidate and subdivide the 9.890 acres property into 2 (two) Parcels shall be recorded with the County Recorder's office.
15. The Parcel Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495. All survey monuments shall be set prior to the recordation of the Parcel Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Parcel Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.
16. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
17. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."

18. The Parcel Map shall:
- a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

TRANSPORTATION

19. Prior to recordation of the Parcel Map, the Subdivider shall show a dedication of 3'-0" on Valley Centre Drive, satisfactory to the City Engineer.

INFORMATION:

- The approval of this Tentative Map by the City Council of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Vesting Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Vesting Tentative Map, may protest the imposition within ninety days of the approval of this Vesting Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required

ATTACHMENT 5

permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607.

Internal Order No. 24005397

CITY COUNCIL RESOLUTION NUMBER R-_____

VESTING TENTATIVE MAP NO. 2330057
EASEMENT VACATION NO. 2362143
COSTA AZUL MIXED USE - PROJECT NO. 400127

WHEREAS, Carmel Valley Centre Drive, LLC, a California Limited Liability Company, Subdivider, and Adam Eisenberg, Surveyor, submitted an application to the City of San Diego for a Vesting Tentative Map No. 2330057 and Easement Vacation No. 2362143, for the Costa Azul hotel and office mixed-use project. The project site is located at 3501 Valley Centre Drive in the Visitor Commercial (VC) zone of the Carmel Valley Planned District (CVPD), Coastal Overlay Zone (Appealable and Non-Appealable Areas), Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area, within the Carmel Valley Community Plan area. The project site is legally described as: Lots 3 and 4 of Pardee Visitor Center, Map No. 11479, together with a portion of Parcel 1 of Parcel Map No. 1848; and

WHEREAS, the Map proposes the Subdivision to consolidate and subdivide the 9.80-acre property into 2 (two) Parcels, including one 3.2-acre site with three commercial condominiums; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of commercial condominium units is three (3); and

WHEREAS, on August 22, 2020, the Planning Commission of the City of San Diego considered Vesting Tentative Map No. 2330057 and Easement Vacation No. 2362143, and pursuant to Resolution No. PC-_____, voted to recommend City Council approval of the map and easement; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, on _____, the City Council of the City of San Diego considered Vesting Tentative Map No. 2330057 and Easement Vacation No. 2362143, and pursuant to San Diego Municipal Code sections 125.0440, and 125.1040, and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the City Council having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the following findings with respect to Vesting Tentative Map No. 2330057 and Easement Vacation No. 2362143:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The Costa Azul mixed-use project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), within Neighborhood 2 of the Carmel Valley Community Plan area.

The proposed map will consolidate and subdivide a 9.89-acre property into 2 (two) Parcels, Parcel One will be 3.2-acres and Parcel Two, 6.7-acraes. The Coastal Azul mixed-use project, on Parcel One, will include three commercial condominiums; hotel, office building and parking structure. Parcel Two is currently developed with an office building and parking structure, there is no proposed construction on this site.

Parcel One will be developed with a 77,652-square-foot, 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building which includes a 4,815- square- foot restaurant, and accessory uses and structures. The site is previously graded at a lower elevation than existing development to the north and includes a promenade, bicycle and pedestrian access to Old El Camino Real which allows views along the west property line.

The site is designated by the Carmel Valley (North City West) Community Plan as Visitor Commercial and the North City West Employment Center Precise Plan (Precise Plan) as Neighborhood 2. The Visitor Commercial designation is intended to provide motel/hotel, restaurant, office uses, and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Hotel, office, and restaurant uses are consistent with the Neighborhood 2 Employment Center Precise Plan and Visitor Commercial designation in the Carmel Valley Community Plan.

The proposed subdivision to develop a hotel, office building with restaurant and two-level subterranean parking garage on Parcel One is consistent with the policies, goals, and objectives of the Carmel Valley Community Plan and North City Local Coastal Land Use Plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The proposed subdivision of a 9.89-acre site into two Parcels (Parcel One 3.2-acres and Parcel Two, 6.7-acres) and development of a 77,652-square-foot, 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building including a 4,815- square- foot restaurant and accessory uses and structures on Parcel One. All development on Parcel One has been designed to comply with all of the applicable development regulations, including the VC Zone of the Carmel Valley Planned District. The project meets all applicable Land Development requirements of this zone, except for height. A Planned Development Permit (PDP) for height deviations is proposed pursuant to SDMC section 126.02(b)(1). The requested deviation is to allow the hotel height at 76 feet and the office building at 68'-6" where a 60-foot maximum is allowed in the VC Zone. The purpose of a PDP, as stated in SDMC section 126.0601, is to establish a review process for development that allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations. The increased height to both structures was the optimal designed to condense the overall massing while enabling the continued integration of the existing surrounding structures that include inviting landscaped pedestrian and bicycle public pathways. Therefore, the proposed development will comply with the applicable zoning and development regulations of the Land Development Code, including any proposed deviations that are appropriate for this location.

3. The site is physically suitable for the type and density of development.

The proposed map will consolidate and subdivide a 9.89-acre property into 2 (two) Parcels, Parcel One will be 3.2-acres and Parcel Two will be 6.7-acraes. The Coastal Azul mixed-use project, on Parcel One, will include three commercial condominiums; hotel, office building and parking structure. Parcel Two is currently developed with an office building and parking structure, there is no proposed development on this site.

The site is designated by the Carmel Valley (North City West) Community Plan as Visitor Commercial and the North City West Employment Center Precise Plan (Precise Plan) as Neighborhood 2. The Visitor Commercial designation is intended to provide motel/hotel, restaurant, office uses, and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Hotel, office, and restaurant uses are consistent with the Neighborhood 2 Employment Center Precise Plan and Visitor Commercial designation in the Carmel Valley Community Plan.

The proposed development will comply with the applicable zoning and development regulations of the Land Development Code which includes a Planned Development Permit for a height deviation. The subdivision will allow the site to be accessed from Valley Centre Drive and Old El Camino Real, and will provide bicycle and pedestrian access from Valley Centre Drive through a promenade to Old El Camino Real, Carmel Valley Road, the Los Peñasquitos Lagoon, and Pacific Ocean. Therefore, the project as designed is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The proposed Costa Azul project will complete the development in the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), within Neighborhood 2 of the Carmel Valley Community Plan area. The project will develop a 3.2-acre parcel with a 77,652-square-foot 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building including a 4,815 square foot restaurant, and accessory uses and structures.

The project site is undeveloped and located on a previously graded flat pad, within an urbanized area of Carmel Valley, adjacent to the Interstate 5 Freeway. The site does not contain or support Environmentally Sensitive Lands (ESL) as defined by the Biology Guidelines of the City's Land Development Manual. The site does not contain native or sensitive plant species, wildlife species, or vegetation communities; wetlands that would be expected to support special status wildlife species; or lands classified as Tier I, Tier II, Tier IIIA, or Tier IIIB Habitats. West of the project site there is a man-made storm water retention facility that contains vegetation dominated by cattail, which is commonly found in storm water facilities throughout the City of San Diego. The project would not directly impact this storm water retention facility, which is maintained by the City and does not support sensitive

species. Surface drainage run-off from the developed portions of the site will be conveyed through a new drain and biofiltration system. Long-term operational storm water discharge would be reduced compared to existing conditions and directed through on-site landscaping and storm drains prior to discharging into an off-site detention basin.

The project and subdivision have been determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development Projects). The development of this site proposes 50,000 cubic yards of cut, and 1,000 cubic yards of fill, for a total export of 49,000 cubic yards. Most of the grading will be to provide a subterranean parking facility for the development and construction of the 7-story hotel and 5-story office building. The design of the subdivision and proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The Costa Azul mixed-use project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), in Neighborhood 2 of the Carmel Valley Community Plan area. The project will develop a 3.2-acre parcel with a 77,652-square-foot 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building including a 4,815 square foot restaurant, and accessory uses and structures.

An environmental review determined that this project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development Projects). The project will make public health and safety improvements including restoration of curb, gutter and sidewalks along the Valley Centre Drive street frontage, vacation and relocation of a water easement, vehicle, bicycle, and pedestrian access from Old El Camino Real and dedication of an additional three feet to the public right-of-way on Valley Centre Drive.

The permit controlling the development for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff to ensure construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The proposed subdivision contains public service easements that will remain with no development restricting access. The project will vacate and relocate a water easement

adjacent to Valley Centre Drive, with the recordation of the Parcel Map, that has been reviewed and accepted by the City Engineer.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The proposed subdivision of a 9.89-acre site into two lots for commercial development will not impede or inhibit any future passive or natural heating and cooling opportunities. The design of the subdivision has taken into account the best use of the land to minimize grading and provide a promenade through the site. Through the building permit process, each structure will have the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The proposed subdivision of a 9.89-acre site into two lots for commercial development will provide office employment in the Carmel Valley Community Plan area and visitor uses, including a 128-room hotel and restaurant. The subdivision is located on previously graded pads within the Employment Center Neighborhood and is designated and zoned for Visitor Commercial uses. Therefore, the decisionmaker has considered the needs of the community to provide balanced development of uses.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that portions of a water easement, located within the project boundaries as shown in Vesting Tentative Map No. 2330057, shall be vacated, contingent upon the relocation of a water easement and recordation of the approved Parcel Map for the project, and that the following findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference:

9. There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated. (San Diego Municipal Code § 125.1040(a))

The site located at 3501 Valley Centre Drive was previously graded. The subdivision will create a 3.2-acre site to be developed with a hotel, office building and parking structure. The

project will vacate and relocate a water easement adjacent to Valley Centre Drive with the recordation of the Parcel Map, that has been reviewed and accepted by the City Engineer. Because the utility easement will be relocated, there will be no prospective public use of the easement to be vacated, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.

10. The public will benefit from the action through improved utilization of the land made available by the vacation. (San Diego Municipal Code § 125.1040(b))

The proposed subdivision contains public service easements that will remain with no development restricting access. The project will vacate and relocate a water easement adjacent to Valley Centre Drive with the recordation of the Parcel Map, that has been reviewed and accepted by the City Engineer. The design of the subdivision has taken into account the best use of the land to minimize grading and provide a promenade through the site. The easement vacation and relocation will benefit the public through property taxes and hotel room tax for the general fund, and public access of the area, therefore, the public will benefit from the action through improved utilization of the land made available by the vacation.

11. The vacation is consistent with any applicable land use plan. (San Diego Municipal Code § 125.1040(c))

The Costa Azul mixed-use project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), in Neighborhood 2 of the Carmel Valley Community Plan area.

The proposed map will consolidate and subdivide a 9.89-acre property into 2 (two) Parcels, Parcel One will be 3.2-acres and Parcel Two will be 6.7-acres. The Coastal Azul mixed-use project, on Parcel One, will include three commercial condominiums; hotel, office building and parking structure. Parcel Two is currently developed with an office building and parking structure, there is no proposed construction on this site.

Parcel One will be developed with a 77,652-square-foot, 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building which includes a 4,815- square- foot restaurant, and accessory uses and structures.

The site is designated by the Carmel Valley (North City West) Community Plan and the North City West Employment Center Precise Plan. The Visitor Commercial designation is intended to provide motel/hotel, restaurant, office uses, and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Hotel, office, and restaurant uses are consistent with the Neighborhood 2 Employment Center Precise Plan and Visitor Commercial designation in the Carmel Valley Community Plan.

The vacation and relocation of the water easement will allow development of visitor accommodations and office uses in compliance with the community plan and zone. Therefore, the vacation is consistent with the Carmel Valley Community Plan.

12. The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists. (San Diego Municipal Code § 125.1040(d))

The proposed subdivision contains public service easements that will remain with no development restricting access. The project will vacate and relocate a water easement adjacent to Valley Centre Drive, with the recordation of the Parcel Map, that has been reviewed and accepted by the City Engineer. The purpose for which the easement was acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists because the water easement will be relocated.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the City Council for Vesting Tentative Map No. 2330057 and Easement Vacation No. 2362143 are hereby granted to Carmel Valley Centre Drive, LLC, a California Limited Liability Company, Subdivider, subject to the attached conditions which are made a part of this resolution by this reference.

APPROVED Mara W. Elliott, City Attorney

By _____
[Attorney]
Deputy City Attorney

[Initials]:[Initials]
[Month]/[Day]/[Year]
Or.Dept:[Dept]
R-R-[Reso Code]

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24005397

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

INTERNAL ORDER NUMBER: 24005397

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 1402084
PLANNED DEVELOPMENT PERMIT NO. 1402086
SITE DEVELOPMENT PERMIT NO. 1402087
COSTA AZUL MIXED USE PROJECT NO. 400127
CITY COUNCIL

This Coastal Development Permit No. 1402084, Planned Development Permit No. 1402086, and Site Development Permit No. 1402087, are granted by the City Council of the City of San Diego to Carmel Valley Centre Drive, LLC, a California Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0702, 126.0602, and 126.0502. The proposed 3.2-acre site is located at 3501 Valley Centre Drive in the Visitor Commercial (VC) zone of the Carmel Valley Planned District (CVPD), Coastal Overlay Zone (Appealable and Non-Appealable Areas), the Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area within the Carmel Valley Community Plan area. The project site is legally described as: Lots 3 and 4 of Pardee Visitor Center, Map No. 11479, together with a portion of Parcel 1 of Parcel Map No. 18484.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a hotel and office building development subject to the City's land use regulations described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated _____, on file in the Development Services Department.

The project shall include:

- a. Construction of a 7-story, 128-room hotel, approximately 77,652 square feet of gross floor area, a 5-story office building, approximately 96,040 square feet of gross floor area including a 4,815 square foot restaurant, and accessory uses and structures;
- b. Deviations to development regulations for height within the VC zone. The hotel will be approximately 76'-0" in height and the office building approximately 68'-6" in height where the maximum height in the VC zone is 60'-0".
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking, including a subterranean parking garage; and

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. Prior to issuance of any construction permit authorizing grading or construction of impervious surfaces, a fee shall be deposited with the Development Services Department for the Los Peñasquitos Watershed Restoration and Enhancement Program. The enhancement fee shall be computed on the basis of site grading at a rate of \$0.005 per square foot for all areas graded, with an additional rate of \$0.03 per square foot for all impervious surfaces created by the development. The enhancement fee shall be computed by the Owner/Permittee and verified by the Development Services Department.
5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

8. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

9. The Owner/Permittee shall secure all necessary construction permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

10. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

13. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

CLIMATE ACTION PLAN REQUIREMENTS:

14. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

15. Prior to the issuance of any construction permit, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

16. The project proposes to export 49,000 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2015 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private improvements within Water, Sewer and Drainage Easement.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for landscaping/ irrigation on Valley Centre Drive.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private pipe connecting to public storm drain structure.

21. Prior to the issuance of any construction permit, the Owner/Permittee shall dedicate an additional 3 feet on Valley Center Drive to provide a 10-foot curb-to-property-line distance, satisfactory to the City Engineer.

22. Prior to the issuance of any construction permit, the Owner/Permittee shall assure, by permit and bond removal of existing driveways on Valley Centre Drive and replace them with two 25-foot driveways per current City Standards satisfactory to City Engineer.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

24. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

25. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.

26. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

27. The Planned Development Permit No. 1402086, Easement Vacation No. 2362143, Coastal Development Permit No. 1402084, and Site Development Permit No. 1402087 shall comply with all conditions of the Parcel Map for Tentative Map No. 2330057.

LANDSCAPE REQUIREMENTS:

28. Prior to issuance of any engineering permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

29. Prior to issuance of any engineering permit for right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

30. Prior to issuance of any construction permit for structures (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6.

31. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

32. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another approved entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

33. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged, or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

34. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

35. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

36. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

LONG RANGE PLANNING REQUIREMENTS:

37. Prior to the issuance of any construction permit, a minimum 8-foot wide pedestrian and bicycle pathway for public access shall be provided in conformance with Exhibit "A."

38. Prior to the issuance of any construction permit, a trash enclosure shall be located in the subterranean parking area in conformance with Exhibit "A."

39. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, which shall include a pedestrian promenade along the western property line connecting the development to Old El Camino Real for the mutual benefit of Costa Azul (APN 307-240-0400 & 307-240-0300) and the CV Hotel (APN 307-240-0200).

40. Prior to the issuance of any construction permit, construction documents must show visual interest via protrusions, recesses, color variation, and height and texture variation on all building elevations consistent with the design elements in Exhibit "A."

GEOLOGY REQUIREMENTS:

41. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

42. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

TRANSPORTATION REQUIREMENTS

43. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

44. Prior to issuance of first construction permit, the Owner/Permittee shall record a shared parking agreement between all commercial condominiums within the project site, to the satisfaction of the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

45. Prior to the issuance of any construction permit, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

46. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner

satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

47. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

48. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

49. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the construction permit plan check.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on _____ and Resolution No. _____.

ATTACHMENT 7

COASTAL DEVELOPMENT PERMIT NO. 1402084
PLANNED DEVELOPMENT PERMIT NO. 1402086
SITE DEVELOPMENT PERMIT NO. 1402087
PTS 400127

Date of Approval: _____

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Edith Gutierrez
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Carmel Valley Centre Drive, LLC,
a California Limited Liability Company,
Owner/Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

CITY COUNCIL RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 1402084
PLANNED DEVELOPMENT PERMIT NO. 1402086
SITE DEVELOPMENT PERMIT NO. 1402087
COSTA AZUL MIXED USE PROJECT NO. 400127

WHEREAS, Carmel Valley Centre Drive, LLC, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a Coastal Development Permit (CDP), Planned Development Permit (PDP), and Site Development Permit (SDP), to construct a hotel and office building known as the Costa Azul project, located at 3501 Valley Centre Drive, and legally described as Lots 3 and 4 of Pardee Visitor Center, Map No. 11479, together with a portion of Parcel 1 of Parcel Map No. 18484, in the Carmel Valley Community Plan area, in the Visitor Commercial (VC) zone of the Carmel Valley Planned District (CVPD), Coastal Overlay Zone (Appealable and Non-Appealable Areas), Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area, within then Carmel Valley Community Plan area; and

WHEREAS, on October 22, 2020, the Planning Commission of the City of San Diego considered CDP No. 1402084, PDP No. 1402086, and SDP No. 1402087, and pursuant to Resolution No. _____-PC voted to recommend approval of the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on _____, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to CDP No. 1402084, PDP No. 1402086, and SDP No. 1402087:

1. COASTAL DEVELOPMENT PERMIT (SDMC Section 126.0708)

a. Findings for all Coastal Development Permits:

- (1) The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan**

The Costa Azul mixed-use project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), within Neighborhood 2 of the Carmel Valley Community Plan area. The project will develop a 3.2-acre parcel with a 77,652-square-foot 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building including a 4,815 square foot restaurant, and accessory uses and structures.

The Costa Azul project is located at 3501 Valley Centre Drive, within the Coastal Overlay zone's Non-Appealable Area 1 and the Appealable jurisdiction to the California Coastal Commission. The site is east of Interstate 5, North of Highway 56, on graded pads above Carmel Valley Road. South of Carmel Valley Road is the open space area of Carmel Valley that feeds into the Los Peñasquitos Lagoon and ultimately to the Pacific Ocean. The project site is not located within the First Public Roadway (south of Carmel Valley Road and west of Sorrento Valley Road) and the Pacific Ocean.

The Costa Azul project site does not contain any form of existing physical accessway legally used by the public as identified by the Carmel Valley Community Plan and North City Local Coastal Program Land Use Plan, and none is anticipated. The proposed structures will be developed within the existing graded project site area with minimal grading of previously graded slopes, and entirely within private property. Further, the project includes a landscaped, 8-foot pedestrian and bicycle promenade along the western property line that connects the development to Old El Camino Real for the mutual benefit of Costa Azul, the Marriott Hotel and CV Hotel.

The promenade provides access to Carmel Valley Road, the Los Peñasquitos Lagoon, and the Pacific Ocean.

The proposed project meets the development standards, such as building setbacks, off-street parking, and floor area ratio required by the underlying zone, however, does include deviations for structure height. The proposed 7-story hotel and 5-story office buildings are consistent with adjacent hotels and office buildings which range from 8-12 stories. The project site is located at a lower elevation than the northern pads directly northeast of the Interstate 5 and Highway 56 intersection, the proposed development will not affect public views to and along the ocean and other scenic coastal areas as specified in the Carmel Valley Community Plan and North City Local Coastal Program Land Use Plan.

(2) The proposed coastal development will not adversely affect environmentally sensitive lands.

The Costa Azul mixed-use project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), within Neighborhood 2 of the Carmel Valley Community Plan area. The project will develop a 3.2-acre parcel with a 77,652-square-foot 7-story, 128-room hotel, and a 96,040-square-foot, 5-story office building, including a 4,815 square foot restaurant, and accessory uses and structures.

The project site is undeveloped and located on a previously graded flat pad, within an urbanized area of Carmel Valley, adjacent to the Interstate 5 Freeway. The site does not contain or support Environmentally Sensitive Lands as defined by the Biology Guidelines of the City's Land Development Manual. The site does not contain native or sensitive plant species, wildlife species, or vegetation communities; wetlands that would be expected to support special status wildlife species; or lands classified as Tier I, Tier II, Tier IIIA, or Tier IIIB Habitats.

West of the project site there is a man-made storm water retention facility that contains vegetation dominated by cattail, which is commonly found in storm water facilities throughout the City of San Diego. The project would not directly impact this storm water retention facility, which is maintained by the City and does not support sensitive species. Surface drainage run-off from the developed portions of the site will be conveyed through a new drain and biofiltration system. Long-term operational storm water discharge would be reduced compared to existing conditions and directed through on-site landscaping and storm drains prior to discharging into an off-site detention basin.

The project has been determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development Projects). The development of this site proposes 50,000 cubic yards of cut, and 1,000 cubic yards of fill, for a total export of 49,000 cubic yards. Most of the grading will be to provide a subterranean parking facility for the development and construction of

the hotel and office building. The proposed coastal development will not adversely affect environmentally sensitive lands.

(3) The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The Costa Azul mixed-use project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), within Neighborhood 2 of the Carmel Valley Community Plan area. The project will develop a 3.2-acre parcel with a 77,652-square-foot 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building including a 4,815 square foot restaurant, and accessory uses and structures.

The project site is subject to the Citywide General Plan (adopted in 2008), the Carmel Valley (North City West) Community Plan (1975), and the North City West Employment Center Precise Plan (1981), which is the adopted land use plan for the site. The subject site is conceptually identified as Visitor Commercial by the Carmel Valley Community Plan (Community Plan) and designated Visitor Commercial by the Precise Plan. The Community Plan provides a general framework for future planning and development of the commercial visitor area. It states the need for the visitor commercial uses to serve the office and industrial development in Carmel Valley as well as areas to the south of the community. The subject site encompasses approximately 3.2-acres and is located at the end of Valley Centre Road, near the intersection of El Camino Real and Carmel Valley Road. Given the proximity of I-5 and State Route 56 interchange, the employment center, hotel and office uses are compatible use for the subject site location.

The proposed 7-story hotel and 5-story office building with restaurant are designed to comply with the VC Zone of the Carmel Valley Planned District by utilizing the existing topography and minimizing the amount of grading outside of the building footprint. The parking for the development will include a 2-level subterranean parking garage. The proposed project complies with all the setbacks, and is proposing a floor area ratio of 1.3, well below the maximum of 2.0 allowed in the VC zone. The project meets all applicable development regulations of the SDMC and the Coastal Overlay Zone. A Planned Development Permit (PDP) for height deviations is proposed pursuant to SDMC section 126.02(b)(1). The requested deviation is to allow the hotel height at 76 feet and the office building at 68'-6" where a 60-foot maximum is allowed in the VC Zone. The purpose of a PDP, as stated in SDMC section 126.0601, is to establish a review process for development that allows an applicant to request greater flexibility from the strict application of the regulations than would be allowed through a deviation process. The intent is to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations. The increased height to both structures was the optimal designed to condense the

overall massing to enable the continued integration of the existing hotels, office building, and other surrounding structures.

The site does not contain any form of physical accessway legally used by the public as identified by the Carmel Valley Community Plan and North City Local Coastal Program Land Use Plan, and none are anticipated. In addition, the project site does not contain nor is adjacent to any public views as identified by the Carmel Valley Plan and the North City Local Coastal Program Land Use Plan. The proposed project is sited within the private property, within the allowed building envelope and will not negatively affect any designated public view, as identified by the Carmel Valley Community Plan and the North City Local Coastal Program Land Use Plan. Project development will be fully contained within the existing legal lot area. Therefore, the proposed project has been determined to be in conformance with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program

(4) For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act

The project site is located at 3501 Valley Centre Drive and is not located within the first public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone. The proposed development of the property will maintain the existing public right-of-way. Further, the project site does not contain public access way or recreational resources and would not encroach upon beaches or the coastline access way or recreational areas. Therefore, the project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

PLANNED DEVELOPMENT PERMIT [SDMC Section 126.0605]

a. Findings for all Planned Development Permits:

(1) The proposed development will not adversely affect the applicable land use plan.

The Costa Azul mixed-use project is proposed within the last remaining undeveloped lot within the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), within Neighborhood 2 of the Carmel Valley Community Plan area. The project will develop a 3.2-acre parcel with a 77,652-square-foot 7-story, 128-room hotel, and a 96,040-square-foot, 5-story office building including a 4,815 square foot restaurant, and accessory uses and structures.

The project site is subject to the Citywide General Plan (adopted in 2008), the Carmel Valley (North City West) Community Plan (1975), and the North City West

Employment Center Precise Plan (1981), which is the adopted land use plan for the site. The subject site is conceptually identified as Visitor Commercial by the Carmel Valley Community Plan (Community Plan) and designated Visitor Commercial by the Precise Plan. The Community Plan provides a general framework for future planning and development of the commercial visitor area. It states the need for the visitor commercial uses to serve the office and industrial development in Carmel Valley as well as areas to the south of the community. The subject site encompasses approximately 3.2-acres and is located at the end of Valley Centre Road, near the intersection of El Camino Real and Carmel Valley Road. Given the proximity of I-5 and State Route 56 interchange, the employment center, hotel and office uses are compatible uses for the subject site location.

In 1984, the City Council approved Planned Commercial Development (PCD) 83-0191 on Lots 1-5 in Unit No. 2 of North City West Employment Center. The approved project included a 500-unit hotel, three restaurants, and auto service station. In 1999, PCD 83-0191.1 was approved for a 270-unit hotel and 170,000-square-foot office building. The Costa Azul mixed-use project is proposed within the last remaining undeveloped lot within Lots 1-5.

The proposed hotel and office building with restaurant are consistent with community plan land use. The proposed structures comply with the regulations of the VC zone with a Planned Development Permit for height deviations. The proposed hotel, office building with restaurant, and two-level subterranean parking garage will not adversely affect the Carmel Valley Community Plan and North City Local Coastal Land Use Plan.

(2) The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed develop of a vacant 3.2-acre parcel with a 77,652-square-foot 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building including a 4,815 square foot restaurant, and accessory uses and structures has been designed to comply with all of the applicable development regulations, including those of the VC Zone of the Carmel Valley Planned District, Coastal Overlay Zone, Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area, within then Carmel Valley Community Plan area with height deviations, as allowed with a Planned Development Permit.

An environmental review determined that this project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development Projects). The project will make public health and safety improvements including restoration of curb, gutter and sidewalks along the Valley Centre Drive street frontage, vacation and relocation of a water easement, vehicle, bicycle, and pedestrian access from Old El Camino Real and dedication of an additional three feet to the public right-of-way on Valley Centre Drive.

The permit controlling the development for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff to ensure construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

(3) The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The proposed develop of a vacant 3.2-acre parcel with a 77,652-square-foot 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building including a 4,815 square foot restaurant, and accessory uses and structures has been designed to comply with all of the applicable development regulations, including those of the VC Zone of the Carmel Valley Planned District, Coastal Overlay Zone, Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area, within then Carmel Valley Community Plan area with height deviations, as allowed with a Planned Development Permit.

The site is designated by the Carmel Valley (North City West) Community Plan as Visitor Commercial and the North City West Employment Center Precise Plan (Precise Plan) within Neighborhood 2. The Visitor Commercial designation is intended to provide motel/hotel, restaurant, office uses, and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Hotel, office, and restaurant uses are consistent with the Neighborhood 2 Employment Center Precise Plan and Visitor Commercial designation in the Carmel Valley Community Plan.

The site is previously graded and at a lower elevation than existing development to the north and includes a promenade, bicycle and pedestrian access to Old El Camino Real which allows views along the west property line.

The proposed hotel and office structures comply with the regulations of the VC zone with a deviation to allowed height. The proposed hotel and office building with restaurant use will include a two-level subterranean parking garage and will include a promenade for pedestrian and bicycle access to Old El Camino Real, Carmel Valley, Los Peñasquitos Lagoon, and the Pacific Ocean. The height deviation allows the

development to have 5- and 7-story towers articulated to break up the building massing, provide a more desirable development, consistent with the surrounding development. Therefore, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

SITE DEVELOPMENT PERMIT [SDMC Section 126.0605]

a. Findings for all Site Development Permits

(1) The proposed development will not adversely affect the applicable land use plan.

The proposed Costa Azul project will complete the development in the Visitor Commercial (CV) zone of the Carmel Valley Planned District (CVPD), and within Neighborhood 2 of the Carmel Valley Community Plan area. The project will develop an approximate 3.2-acre parcel with an approximately 77,652 square feet of gross floor area, 7-story, 128-room hotel, an approximately 96,040 square feet of gross floor area, 5-story office building, including a 4,815 square foot restaurant, and accessory uses and structures.

The site is designated by the Carmel Valley (North City West) Community Plan as Visitor Commercial and the North City West Employment Center Precise Plan (Precise Plan) within Neighborhood 2. The Visitor Commercial designation is intended to provide motel/hotel, restaurant, office uses, and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Hotel, office, and restaurant uses are consistent with the Neighborhood 2 Employment Center Precise Plan and Visitor Commercial designation in the Carmel Valley Community Plan.

In 1984 the City Council approved Planned Commercial Development (PCD) 83-0191 on Lots 1-5 in Unit No. 2 of North City West Employment Center. The approved project included a 500-unit hotel, three restaurants, and auto service station. In 1999, PCD 83.0191.1 was approved for a 270-unit hotel and 170,000-square-foot office building. The Costa Azul mixed-use project is proposed within the last remaining undeveloped lot within Lots 1-5.

The proposed hotel and office structures comply with the regulations of the VC zone with a deviation to allowed height. The proposed hotel and office building with restaurant use will include a two-level subterranean parking garage and will not adversely affect the Carmel Valley Community Plan and North City Local Coastal Land Use Plan.

(2) The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed develop of a vacant 3.2-acre parcel with a 77,652-square-foot 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building including a 4,815 square foot restaurant, and accessory uses and structures has been designed to comply with all of the applicable development regulations, including those of the VC Zone of the Carmel Valley Planned District, Coastal Overlay Zone, Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area, within then Carmel Valley Community Plan area with height deviations, as allowed with a Planned Development Permit.

An environmental review determined that this project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15332 (In-Fill Development Projects). The project will make public health and safety improvements including restoration of curb, gutter and sidewalks along the Valley Centre Drive street frontage, vacation and relocation of a water easement, vehicle, bicycle, and pedestrian access from Old El Camino Real and dedication of an additional three feet to the public right-of-way on Valley Centre Drive.

The permit controlling the development for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff to ensure construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

(3) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed develop of a vacant 3.2-acre parcel with a 77,652-square-foot 7-story, 128-room hotel, a 96,040-square-foot, 5-story office building including a 4,815 square foot restaurant, and accessory uses and structures has been designed to comply with all of the applicable development regulations, including those of the VC Zone of the Carmel Valley Planned District, Coastal Overlay Zone, Parking Impact Overlay Zone (Coastal Impact Area), and Transit Priority Area, within then Carmel Valley Community Plan area with height deviations, as allowed with a Planned Development Permit.

The site is previously graded and at a lower elevation than existing development to the north and includes a promenade, bicycle and pedestrian access to Old El Camino Real which allows views along the west property line.

The site is designated by the Carmel Valley (North City West) Community Plan as

ATTACHMENT 8

Visitor Commercial and the North City West Employment Center Precise Plan (Precise Plan) within Neighborhood 2. The Visitor Commercial designation is intended to provide motel/hotel, restaurant, office uses, and related services to the adjacent industrial /office park in the Carmel Valley Employment Center as well as for nearby industrial uses in Sorrento Valley. Hotel, office, and restaurant uses are consistent with the Neighborhood 2 Employment Center Precise Plan and Visitor Commercial designation in the Carmel Valley Community Plan.

The proposed hotel and office building structures comply with the regulations of the VC zone with a deviation to allowed height. The proposed hotel and office building with restaurant use will include a two-level subterranean parking garage and a promenade for pedestrian and bicycle access to Old El Camino Real, Carmel Valley, Los Penasquitos Lagoon, and the Pacific Ocean. The height deviation allows the development to have a 5- and 7-story towers to break up the building massing and provide a more desirable development. Therefore, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that CDP No. 1402084, PDP No. 1402086, and SDP No. 1402087, is granted to Carmel Valley Centre Drive, LLC, a California Limited Liability Company, Owner/Permittee, under the terms and conditions set forth in the attached permit which is made a part of this resolution.

NOTICE OF EXEMPTION

(Check one or both)

TO: X Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

FROM: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

 Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name/Number: Costa Azul Mixed Use / 400127

SCH No.: N.A.

Project Location-Specific: 3501 Valley Center Drive, San Diego, California 92130

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The project is requesting a PLANNED DEVELOPMENT PERMIT, SITE DEVELOPMENT PERMIT, COASTAL DEVELOPMENT PERMIT, EASEMENT VACATION and VESTING TENTATIVE MAP to construct a 173,692 -square foot mixed use development including a 7-story 77,652-square-foot, 128-room hotel and a 5-story 96,040-square-foot office building which would include a 4,815-square-foot restaurant and two levels of below grade parking totaling 139,068-square feet. Additionally, the project includes the consolidation of Lots 3 and 4 into one, the creation of three commercial condominiums including the office building, hotel and parking. The project also includes associated hardscape and landscape. The 3.2-acre project site is located at 3501 Valley Centre Drive. The parcel is designated Commercial Employment, Retail, and Services and is within the CVPD-VC zone of the Carmel Valley Planned District in the Carmel Valley Community Plan area. Additionally, the project is within the Coastal Overlay Zone (Appealable and Non-Appealable), Very High Fire Hazard Severity Zone, Parking Impact Overlay Zone (Coastal), and Transit Priority Area.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Hunter Oliver, 7969 Engineer Road #108 San Diego, California, 92111 (858) 405-9846

Exempt Status: (CHECK ONE)

- () Ministerial (Sec. 21080(b)(1); 15268);
- () Declared Emergency (Sec. 21080(b)(3); 15269(a));
- () Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- (X) Categorical Exemption: 15332
- () Statutory Exemptions:

Reasons why project is exempt: The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section CEQA Section 15332 that consists of projects characterized as in-fill development meeting the following conditions: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) The project has no value as habitat for endangered, rare, or threatened species; (d) Approval of the project would not result in any significant

ATTACHMENT 9

effects relating to traffic, noise, air quality, or water quality; and (e) The site can be adequately served by all required utilities and public services. The exceptions listed in 15300.2 would not apply.

Lead Agency Contact Person: M. Dresser

Telephone: (619) 200-3738

If filed by applicant:

- 1. Attach certified document of exemption finding.
- 2. Has a notice of exemption been filed by the public agency approving the project? () Yes () No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Signature/Title

Date

Check One:

(X) Signed By Lead Agency

() Signed by Applicant

Date Received for Filing with County Clerk or OPR:

Gensler

225 Broadway
Suite 100
San Diego, CA 92101
United States
Tel 619.557.2500
Fax 619.557.2520



PROJECT NO: 55.7604.000

COSTA AZUL CARMEL VALLEY

San Diego, California

NOT FOR CONSTRUCTION

REFERENCE:
PES 400127

SHEET:



COSTA AZUL CARMEL VALLEY

03/23/2020 SDP Submittal 5

3501 Valley Centre Dr.
San Diego, CA
92130

PREPARED BY: NAME: Gensler 225 Broadway Suite 100 San Diego, CA 92101 United States PHONE #: 619.557.2500	REVISION 14: _____ REVISION 13: _____ REVISION 12: _____ REVISION 11: _____ REVISION 10: _____ REVISION 9: _____ REVISION 8: _____ REVISION 7: _____ REVISION 6: _____ REVISION 5: _____ REVISION 4: <u>2020-03-23</u> REVISION 3: <u>2018-08-30</u> REVISION 2: <u>2018-07-02</u> REVISION 1: <u>2018-04-02</u>
PROJECT ADDRESS: 3515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120	ORIGINAL DATE: <u>2017-09-28</u>
PROJECT NAME: COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT	SHEET <u>01</u> OF <u>30</u>
SHEET TITLE: G0.00 COVER SHEET	DEP# _____



PROJECT NO: 55.7604.000

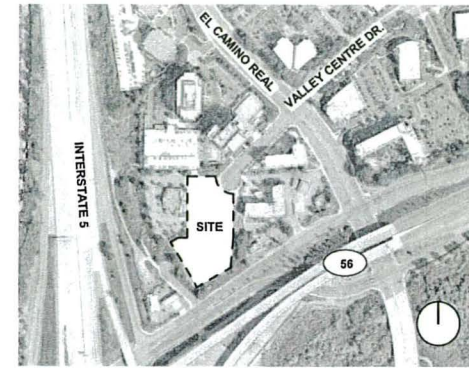
COSTA AZUL CARMEL VALLEY

San Diego, California

NOT FOR CONSTRUCTION

REFERENCE: FIS 400127

SHEET



VICINITY MAP

OWNER

CARMEL VALLEY CENTRE DRIVE, LLC
7969 ENGINEER ROAD
SUITE 108
SAN DIEGO, CA 92111
PHONE: 858.405.9846
CONTACT: HUNTER OLIVER

ARCHITECT

GENSLER
225 BROADWAY
SUITE 100
SAN DIEGO, CA 92101
PHONE: 619-557-2500
FAX: 619-557-2520
CONTACT: DARREL FULLBRIGHT

CIVIL

BWE
9449 BALBOA AVE
SUITE 270
SAN DIEGO, CA 92123
PHONE: 619-299-5550
CONTACT: CARL FLORICA

LANDSCAPE

AHLES LANDSCAPE ARCHITECTURE
P.O. BOX 1503
RANCHO SANTA FE, CA 92067
PHONE: 858-756-8963
CONTACT: STEVE AHLES

TRAFFIC

TJW ENGINEERING
6 VENTURE, SUITE 265
IRVINE, CA 92618
PHONE: 949-878-3509
CONTACT: JEFF WECKSTEIN

PROJECT TEAM

GENERAL	
G0.00	COVER
G0.01	PROJECT INFORMATION
ARCHITECTURE	
A0.50	SITE PLAN
A0.51	FIRE ACCESS PLAN
A2.01	PARKING STRUCTURE - FLOOR PLANS
A2.02	PARKING STRUCTURE - FLOOR PLANS
A2.03	OFFICE BLDG 1 - FLOOR & ROOF PLANS
A2.04	HOTEL BLDG 2 - FLOOR PLANS
A2.05	HOTEL BLDG 2 - FLOOR PLANS - ROOF
A4.01	OFFICE BLDG 1 - EXTERIOR ELEVATIONS
A4.02	OFFICE BLDG 1 - EXTERIOR ELEVATIONS
A4.03	HOTEL BLDG 2 - EXTERIOR ELEVATIONS
A4.04	HOTEL BLDG 2 - EXTERIOR ELEVATIONS
AS.01 SITE SECTIONS	
AS.00	ULI PARKING CALCULATIONS
AS.01	ULI PARKING CALCULATIONS
AS.02	GENERAL NOTES - SAN DIEGO
CIVIL	
C1.0	EXISTING SITE CONDITIONS
C2.0	GRADING AND DRAINAGE PLAN
C3.0	SLOPE ANALYSIS
C4.0	WATER AND SEWER PLAN
C5.0	BMP PLAN
CS.1	BMP DETAILS
CS.2	BMP DETAILS
LANDSCAPE	
L-1	TITLE SHEET, CITY CALCULATIONS, AND NOTES
L-2	PLANT LEGEND
L-3	LANDSCAPE DEVELOPMENT PLAN
L-4	WATER CONSERVATION PLAN
CIVIL	
29	VESTING TENTATIVE MAP
30	TITLE NOTES AND CROSS-SECTIONS

DRAWING INDEX

PROJECT ADDRESS:	3515 VALLEY CENTRE DR. SAN DIEGO, CA 92130
APN:	307-240-03, 307-240-04
LEGAL DESCRIPTION	LOTS 3 AND 4 OF PARDEE VISITOR CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 11479, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 2, 1986.
ZONING CLASSIFICATION	CVPD-VC CV-1-1
SETBACKS	FRONT = 10' STREET SIDE = 10' SIDE = 10' REAR = 10'

CODE ANALYSIS (BASED ON 2016 C.B.C.)

	OFFICE BLDG 1 COMMERCIAL OFFICE	HOTEL BLDG 2 HOTEL	PARKING STRUCTURE PARKING GARAGE
USE	B	R-1	S-2
OCCUPANCY	TYPE I - B	TYPE I - B	TYPE I - B
CONSTRUCTION TYPE	YES	YES	YES
SPRINKLERS			
ALLOWABLE AREA			
BASE AREA (TABLE 506.2)	UL	UL	79,000
FRONTAGE INCREASE (PER 506.3) **			
SPRINKLER INCREASE (TABLE 506.2)			158,000
TOTAL ALLOWABLE AREA	UL	UL	237,000
LARGEST PROPOSED AREA	97,565	77,652	139,068
ALLOWABLE STORIES			
NUMBER OF STORIES (TABLE 504.4)	11	11	11
SPRINKLER STORY INCREASE (TABLE 504.4)	1	1	1
TOTAL ALLOWABLE STORIES	12	12	12
PROPOSED STORIES	4	7	BELOW GRADE
BUILDING HEIGHT			
BASE HEIGHT (TABLE 504.2)	180'-0"	180'-0"	160'-0"
SPRINKLER INCREASE (TABLE 504.3) *	20'-0"	20'-0"	20'-0"
TOTAL ALLOWABLE HEIGHT	180'-0"	180'-0"	180'-0"
MAXIMUM PROPOSED HEIGHT	68'-6"	76'-0"	BELOW GRADE
BUILDING ELEMENTS - FIRE RATING (HOURS) (PER TABLE 601)			
PRIMARY STRUCTURAL FRAME	2	2	2
BEARING WALLS EXTERIOR	2	2	2
BEARING WALLS INTERIOR	2	2	2
NON-BEARING WALLS EXTERIOR	0	0	0
NON-BEARING WALLS INTERIOR	0	0	0
FLOOR CONSTRUCTION	2	2	2
ROOF CONSTRUCTION	1	1	1
SHAFT ENCLOSURES ****	1-10-2	1-10-2	1-10-2
INTERIOR EXIT STAIRWAY AND RAMP *****	1-10-2	1-10-2	1-10-2
EXIT PASSAGEWAY *****	2	2	2

* SPRINKLER INCREASE NOT NEEDED
** FRONTAGE INCREASE NOT NEEDED
*** 2 HR WHEN CONSTRUCTING 4 OR MORE STORIES (INCLUDING ELEVATORS PER SEC. 713.4)
**** 2 HR WHEN CONSTRUCTING 4 OR MORE STORIES PER SEC. 1023.2
***** INTERIOR EXIT PASSAGEWAY SHALL MAINTAIN INTERIOR EXIT STAIRWAY RATING PER SEC. 1024.1

BUILDING CODE ANALYSIS

PREPARED BY:	NAME: Gensler 225 Broadway Suite 100 San Diego, CA 92101 United States PHONE #: 619.557.2500	REVISION 14: _____ REVISION 13: _____ REVISION 12: _____ REVISION 11: _____ REVISION 10: _____ REVISION 9: _____ REVISION 8: _____ REVISION 7: _____ REVISION 6: _____ REVISION 5: _____ REVISION 4: 2020-03-23 REVISION 3: 2018-08-30 REVISION 2: 2018-07-02 REVISION 1: 2018-04-02
PROJECT ADDRESS:	3515 VALLEY CENTRE DRIVE SAN DIEGO, CA 92120	REVISION 0: _____
PROJECT NAME:	COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT	REVISION 4: 2020-03-23 REVISION 3: 2018-08-30 REVISION 2: 2018-07-02 REVISION 1: 2018-04-02
SHEET TITLE:	G0.01 PROJECT INFORMATION	ORIGINAL DATE: 2017-09-28 SHEET 02 OF 30 DEP: _____

Gensler

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PROJECT NO.: 55.7604.000

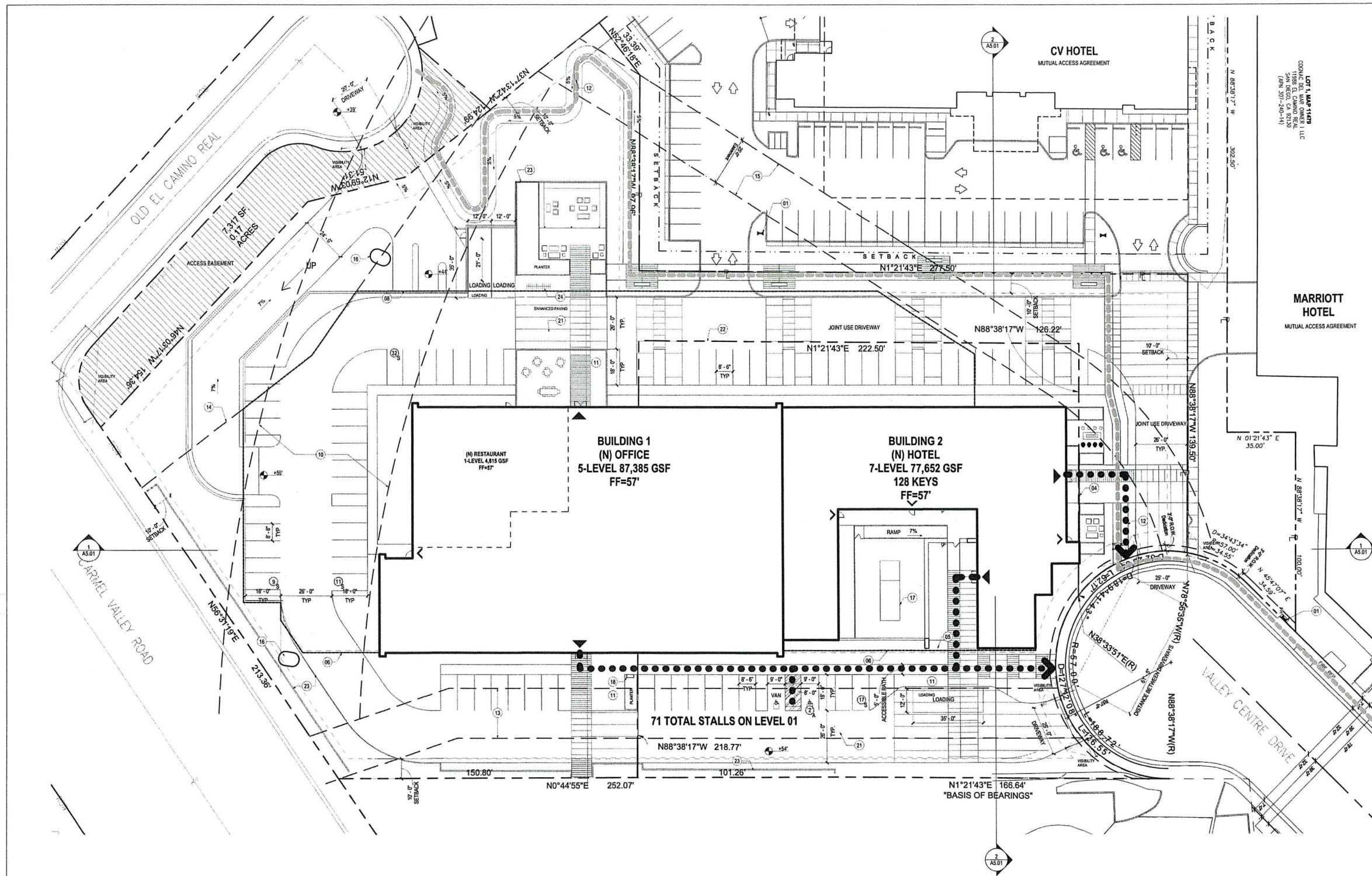
COSTA AZUL CARMEL VALLEY

San Diego, California

NOT FOR CONSTRUCTION

REFERENCE: P15 40127

SHEET:



1 SITE PLAN
 SCALE: 1" = 20'-0"

GENERAL NOTES

- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (JFC 901.4.4)
- PROJECT NOT ADJACENT TO TRANSIT STOPS
- EVERY BUILDING FOUR STORIES OR MORE IN HEIGHT SHALL BE PROVIDED WITH NOT LESS THAN ONE STAIRWELL FOR USE DURING CONSTRUCTION INSTALLED IN ACCORDANCE WITH CFC 3313.1. STANDPIPE SHALL BE INSTALLED WHEN THE PROGRESS OF CONSTRUCTION IS NOT MORE THAN 40 FEET IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS. CFC 3313.1
- 1.7 MILES TO NEAREST TRANSIT STOP: N TORREY PINES & STATE BEACH
- NO VEGETATION, OTHER THAN TREES, IN THESE AREAS WILL EXCEED 24 INCHES IN HEIGHT IN VISIBILITY AREAS
- SEE A2.01 FOR FURTHER INFORMATION ON TYPICAL PARKING STALL DIMENSIONS

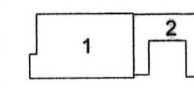
LEGEND

- PROPERTY LINE
- SETBACK
- ACCESSIBLE PATH OF TRAVEL
- PEDESTRIAN & BICYCLE PATH 8'-0" WIDE
- ACCESS EASEMENT AGREEMENT, PARKING CIRCULATION & LANDSCAPE
- GARAGE BELOW
- INTERNATIONAL SYMBOL OF ACCESSIBILITY
- 1.0% CROSS SLOPE
- L.S. LANDSCAPE AREA
- PRIMARY BUILDING EXIT
- SECONDARY BUILDING EXIT
- SPOT ELEVATION, SEE CIVIL
- NUMBER OF STALLS IN RUN
- STANDARD ACCESSIBLE
- MOTORCYCLE
- CLEAN-AIR / VANPOOL
- BIKE LOCKER

KEYNOTES

- (E) FIRE HYDRANT TO REMAIN
- LINE OF BUILDING OVERHANG ABOVE, TYP.
- LINE OF ENTRY CANOPY ABOVE, TYP.
- LINE OF GARAGE BELOW, TYP.
- LINE OF GUARDRAIL, VEHICLE BARRIER
- LINE OF FUTURE FREEWAY CONNECTOR AERIAL EASEMENT PER CAL TRANS
- PASSENGER DROP-OFF
- PEDESTRIAN & BICYCLE PATHWAY
- SOILS EASEMENT, HIGH VOLTAGE UNDERGROUND CABLE
- ENCROACHMENT AGREEMENT WATER SEWER & DRAINAGE EASEMENT
- (E) DRAINAGE EASEMENT PER MAP NO. 11479
- FUTURE FREEWAY CONNECTOR COLUMN PLACEMENT
- POOL ON RAISED POOL DECK
- CARPOOL / RIDE SHARING INFORMATION KIOSK
- TRUCK MANEUVERABILITY
- INTERNAL LOT LINE, PER FORTHCOMING LOT TIE AGREEMENT
- RETAINING WALL PER CIVIL
- SHORT TERM BIKE STORAGE, 23

KEYPLAN



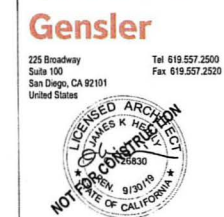
PREPARED BY:
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 PHONE #: 619.557.2500

PROJECT ADDRESS:
 3515 VALLEY CENTER DRIVE
 SAN DIEGO, CA 92120

PROJECT NAME:
 COSTA AZUL CARMEL VALLEY
 MIXED USE DEVELOPMENT

SHEET TITLE:
A0.50 SITE PLAN

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	2020-03-23
REVISION 3:	2018-08-30
REVISION 2:	2018-07-02
REVISION 1:	2018-04-02
ORIGINAL DATE:	2017-09-28
SHEET 03 OF 30	_____
DEPI	_____



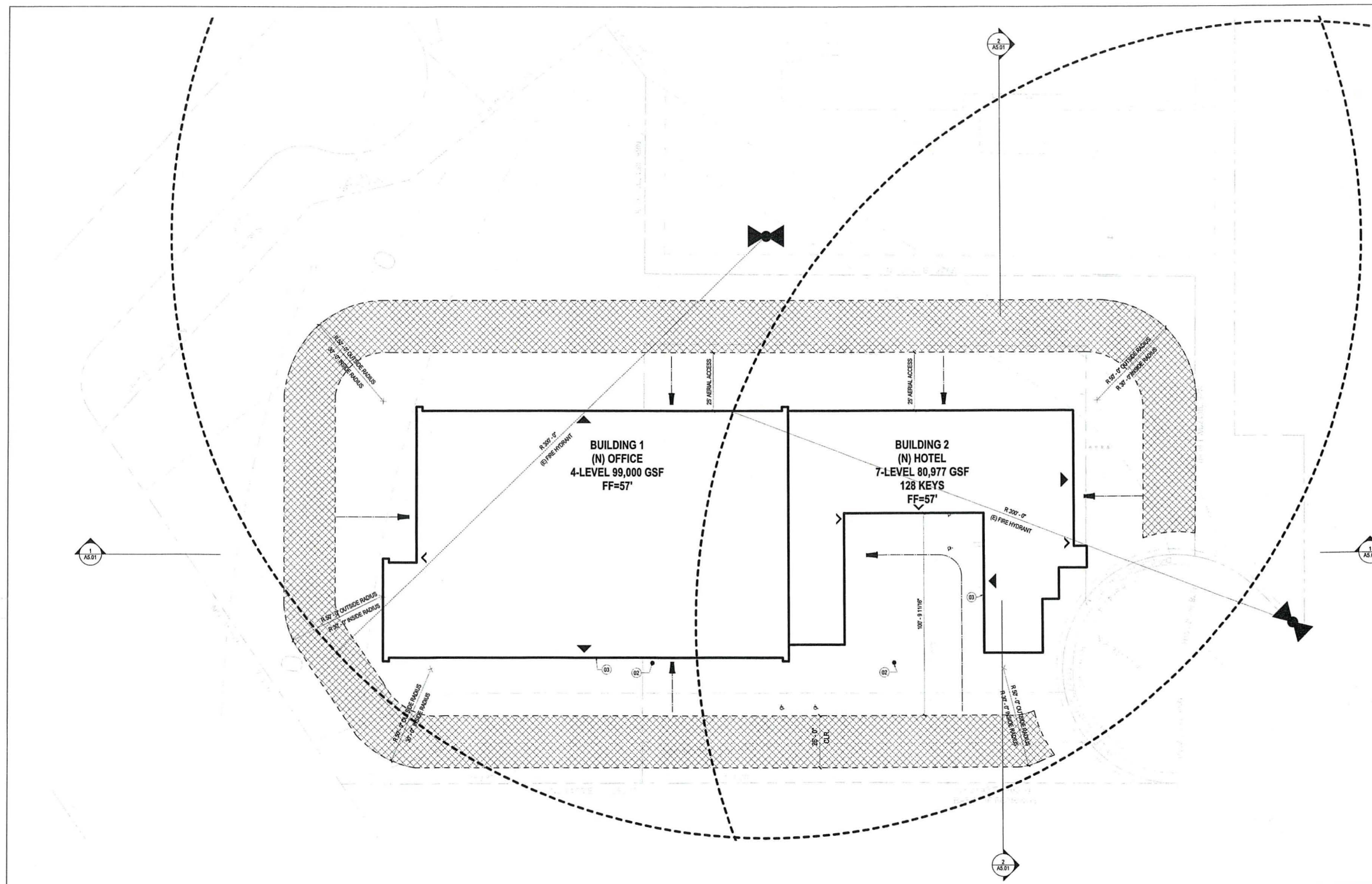
PROJECT NO. 55.7604.000

COSTA AZUL CARMEL VALLEY
San Diego, California

NOT FOR CONSTRUCTION

REFERENCE:
PTS 400127

SHEET:

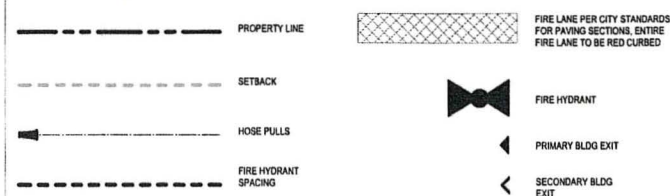


1 FIRE ACCESS PLAN
SCALE: 1" = 20'-0"

GENERAL NOTES

1. FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC CH 33
2. ALL BUILDINGS AND SITES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 33 OF THE CFC.
3. STRUCTURES UNDER CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH SECTION 908 AND SIZED FOR NOT LESS THAN ORDINARY HAZARD (2A100C) AS FOLLOWS:
 1. AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
 2. IN EVERY STORAGE AND CONSTRUCTION SHED.
 3. ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST INCLUDING, BUT NOT LIMITED TO, THE STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE LIQUIDS
4. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF STRUCTURES.

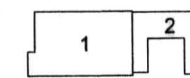
LEGEND



KEYNOTES

- 02 FDC/PV
- 03 KNOX BOX LOCATIONS PER FIRE DEPARTMENT POLICY K-12-2

KEYPLAN



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3515 VALLEY CENTER DRIVE
SAN DIEGO, CA 92120

PROJECT NAME:
COSTA AZUL CARMEL VALLEY
MIXED USE DEVELOPMENT

SHEET TITLE:
A0.51 FIRE ACCESS PLAN

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	2020-03-23
REVISION 3:	2018-08-30
REVISION 2:	2018-07-02
REVISION 1:	2018-04-02
ORIGINAL DATE:	2017-09-28
SHEET	04 OF 30
DEPI	_____

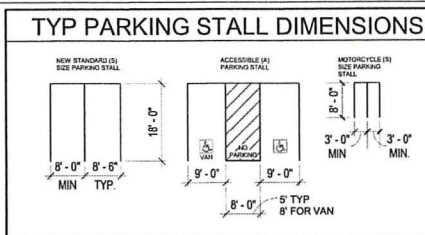
REFUSE & RECYCLE		
100,001+ GSF	REQUIRED	PROVIDED
REFUGE	334 SF	339 SF
RECYCLE	334 SF	339 SF
TOTAL	668 SF	678 SF

PER SDMC SECTION 142.0830, TABLE 142-08C

OVERALL PARCEL PARKING TABULATION			SUBTERRANEAN / STRUCT. PARKING SF / CAR TABULATION		
	STANDARD	ACCESSIBLE	TOTAL	TOTAL SF	SF / CAR
P1 - SUBTERRANEAN	177	8	185	69,543 SF	376
P2 - SUBTERRANEAN	198	0	198	69,543 SF	351
SURFACE	69	2	71		
TOTAL	444	10	454	139,068 SF	306

OVERALL PARKING RATIOS		
TOTAL PARKING - 454 SPACES	REQUIRED	PROVIDED
ACCESSIBLE SPACES (401-500)	9	10
CARPPOOL / EV SPACES (8%)	37	37
MOTORCYCLE SPACES (2%)	10	10
BIKE LOCKERS - SHORT-TERM (5%)	23	23
BIKE LOCKERS - LONG-TERM (5%)	23	23
OFFICE LOADING (0.1% / 10,000 SF)	1	1
HOTEL LOADING (0.25% / 10,000 SF)	2	2

***NOTE: SEE SHEET A02.01 FOR BIKE STORAGE**



ATTACHMENT TO
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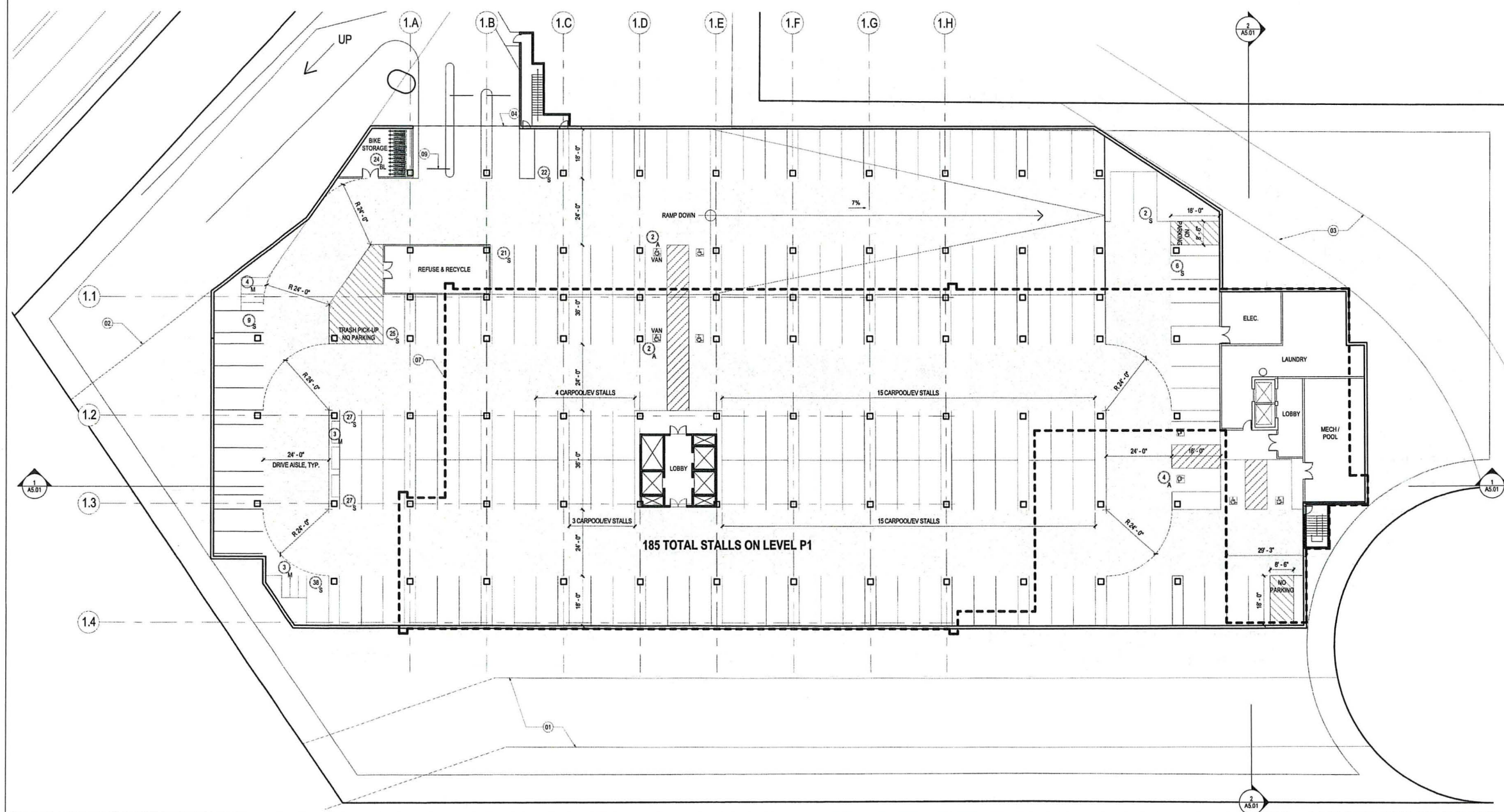
LICENSED ARCHITECT
 JAMES K. HUBBARD
 ARCHITECT
 9/20/19
 STATE OF CALIFORNIA
 NOT FOR CONSTRUCTION

PROJECT NO. 55.7604.000

COSTA AZUL CARMEL VALLEY
 San Diego, California

NOT FOR CONSTRUCTION

REFERENCE: P15 400127
 SHEET:



01 PARKING STRUCTURE - FLOOR PLAN - LEVEL P1
 SCALE: 1/16" = 1'-0"

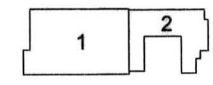
GENERAL NOTES

LEGEND

KEYNOTES

KEYPLAN

- 01 SDG&E EASEMENT, HIGH VOLTAGE UNDERGROUND CABLE
- 02 ENCROACHMENT AGREEMENT WATER SEWER & DRAINAGE EASEMENT
- 03 (E) DRAINAGE EASEMENT PER MAP NO. 11479
- 04 SECURITY GATE
- 07 LINE OF BLDG ABOVE
- 09 AUTOMATIC GATE ARMS W/ ALL ASSOCIATED SENSOR LOOPS, TRANSPONDERS, ETC.



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 SAN DIEGO, CA 92120

PROJECT NAME:
 COSTA AZUL CARMEL VALLEY
 MIXED USE DEVELOPMENT

SHEET TITLE:
A2.01 PARKING STRUCT. FLOOR PLANS

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	2020-03-23
REVISION 3:	2018-06-30
REVISION 2:	2018-07-02
REVISION 1:	2018-04-02
ORIGINAL DATE:	2017-09-28
SHEET	05 OF 30
DEP	_____

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PROJECT NO: 55.7604.000

COSTA AZUL CARMEL VALLEY
San Diego, California

NOT FOR CONSTRUCTION

REFERENCE: P/S 400127
SHEET:

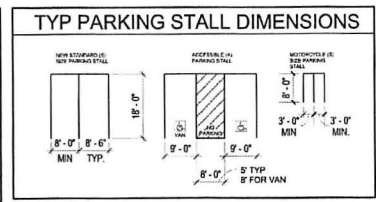
REFUSE & RECYCLE		
100,001+ GSF	REQUIRED	PROVIDED
REFUGE	334 SF	339 SF
RECYCLE	334 SF	339 SF
TOTAL	668 SF	678 SF

PER SDMG SECTION 142.0830, TABLE 142-08C

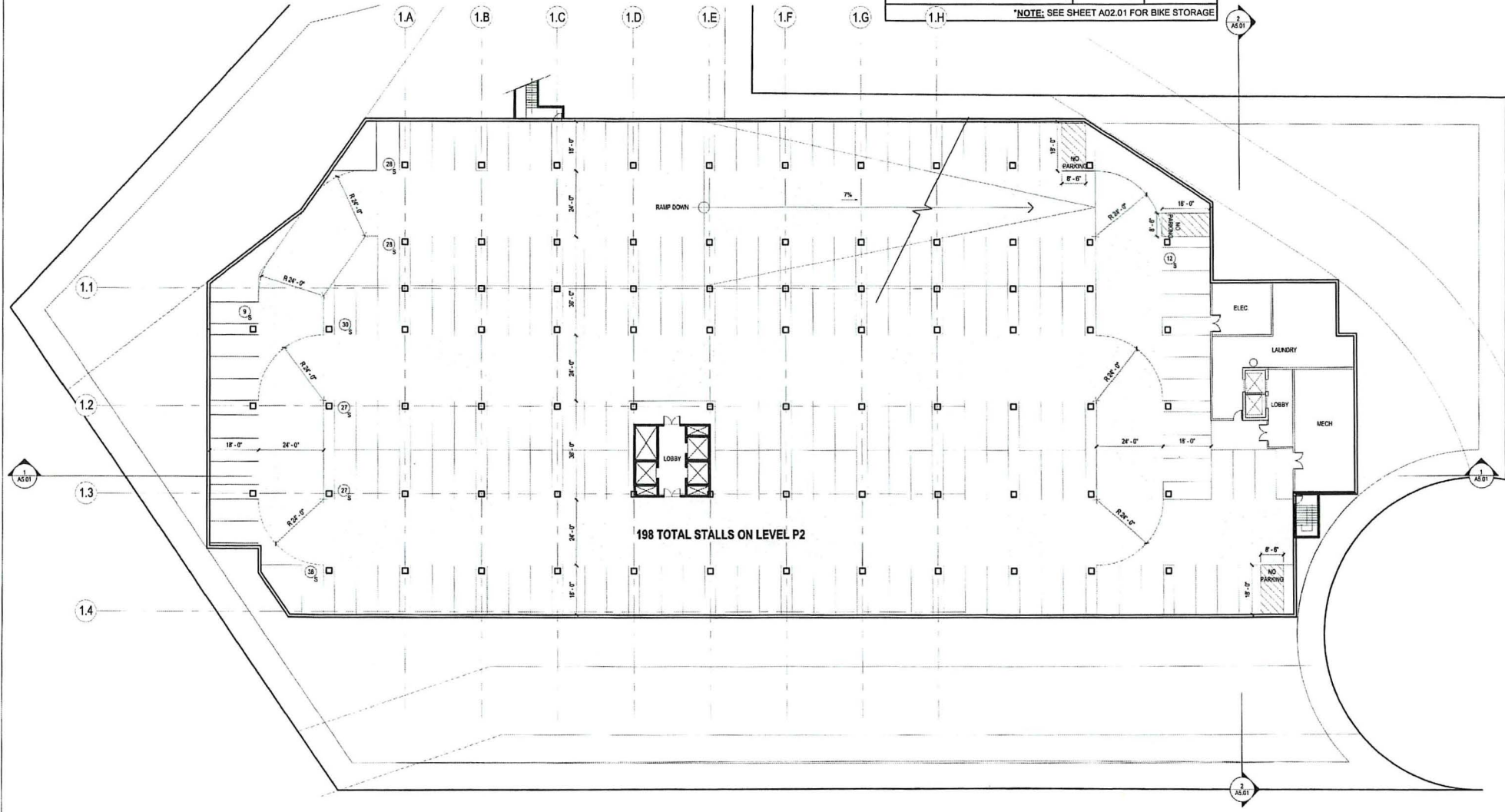
OVERALL PARCEL PARKING TABULATION				SUBTERRANEAN / STRUCT. PARKING SF / CAR TABULATION	
	STANDARD	ACCESSIBLE	TOTAL	TOTAL SF	SF / CAR
P1 - SUBTERRANEAN	177	8	185	69,543 SF	376
P2 - SUBTERRANEAN	198	0	198	69,543 SF	351
SURFACE	69	2	71	XXXXXX SF	XXXX
TOTAL	444	10	454	139,068 SF	306

OVERALL PARKING RATIOS		
TOTAL PARKING - 454 SPACES	REQUIRED	PROVIDED
ACCESSIBLE SPACES (401-500)	9	10
CARPOOL / EV SPACES (8%)	37	37
MOTORCYCLE SPACES (2%)	10	10
BIKE LOCKERS - SHORT-TERM (5%)	23	23
BIKE LOCKERS - LONG-TERM (5%)	23	23
OFFICE LOADING (0.1% / 10,000 SF)	1	1
HOTEL LOADING (0.25% / 10,000 SF)	2	2

NOTE: SEE SHEET A02.01 FOR BIKE STORAGE



REQUIRED PARKING: 454 PER ULI SHARED PARKING DEMANDS
PROVIDED PARKING: 454 STALLS / (169,852 GSF* / 1000) = 2.7
*Excludes Rooftop Accessory



01 PARKING STRUCTURE - FLOOR PLAN - LEVEL P2
SCALE: 1/8" = 1'-0"

GENERAL NOTES	LEGEND	KEYNOTES	KEYPLAN
1. SEE A2.01 FOR TYPICAL NOTES			

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PROJECT ADDRESS:
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PROJECT NAME:
COSTA AZUL CARMEL VALLEY
MIXED USE DEVELOPMENT

SHEET TITLE:
A2.02 PARKING STRUCT. FLOOR PLANS

REVISION 14: _____
REVISION 13: _____
REVISION 12: _____
REVISION 11: _____
REVISION 10: _____
REVISION 9: _____
REVISION 8: _____
REVISION 7: _____
REVISION 6: _____
REVISION 5: _____
REVISION 4: 2020-03-23
REVISION 3: 2018-06-30
REVISION 2: 2018-07-02
REVISION 1: 2018-04-02

ORIGINAL DATE: 2017-09-28
SHEET 08 OF 30
DEF#



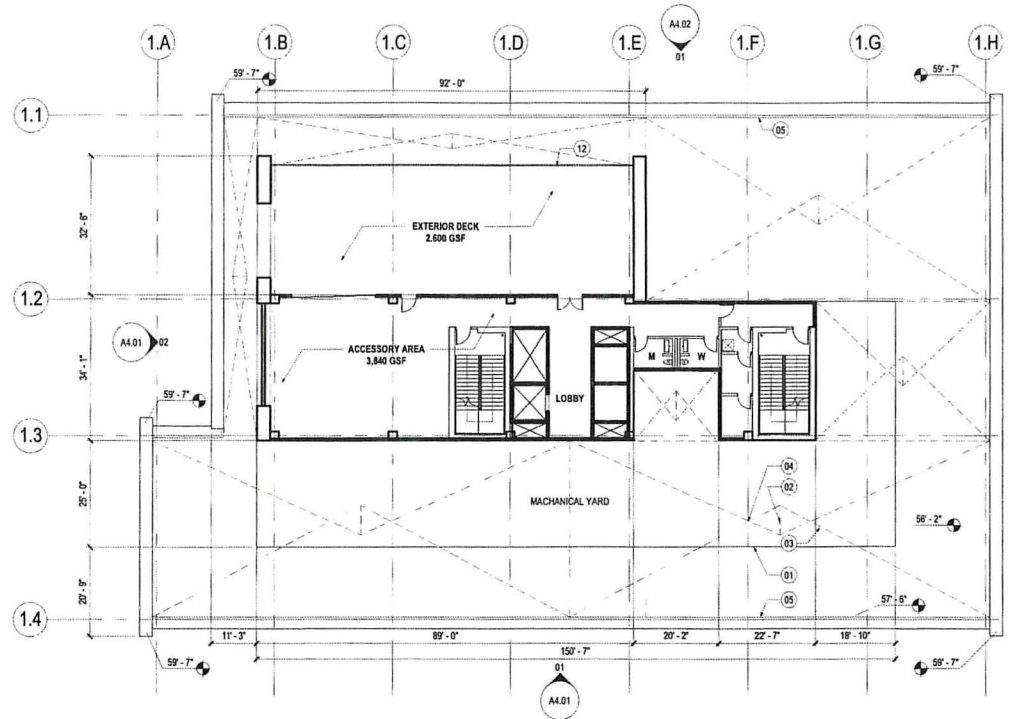
PROJECT NO. 55.7604.000

**COSTA AZUL
CARMEL VALLEY**

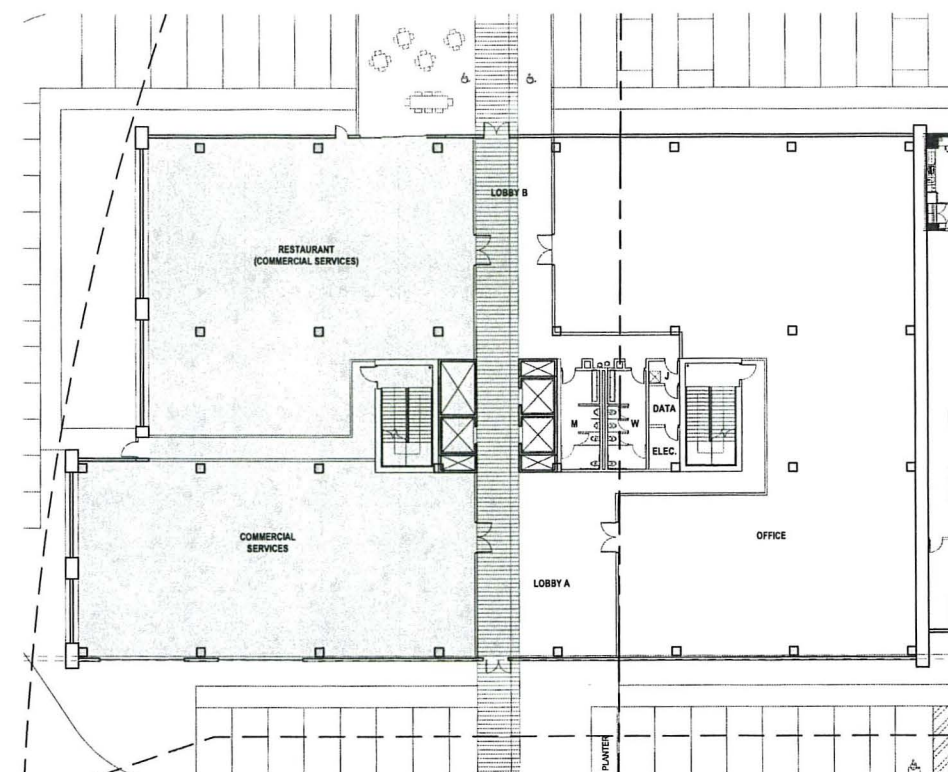
San Diego, California

**NOT FOR
CONSTRUCTION**

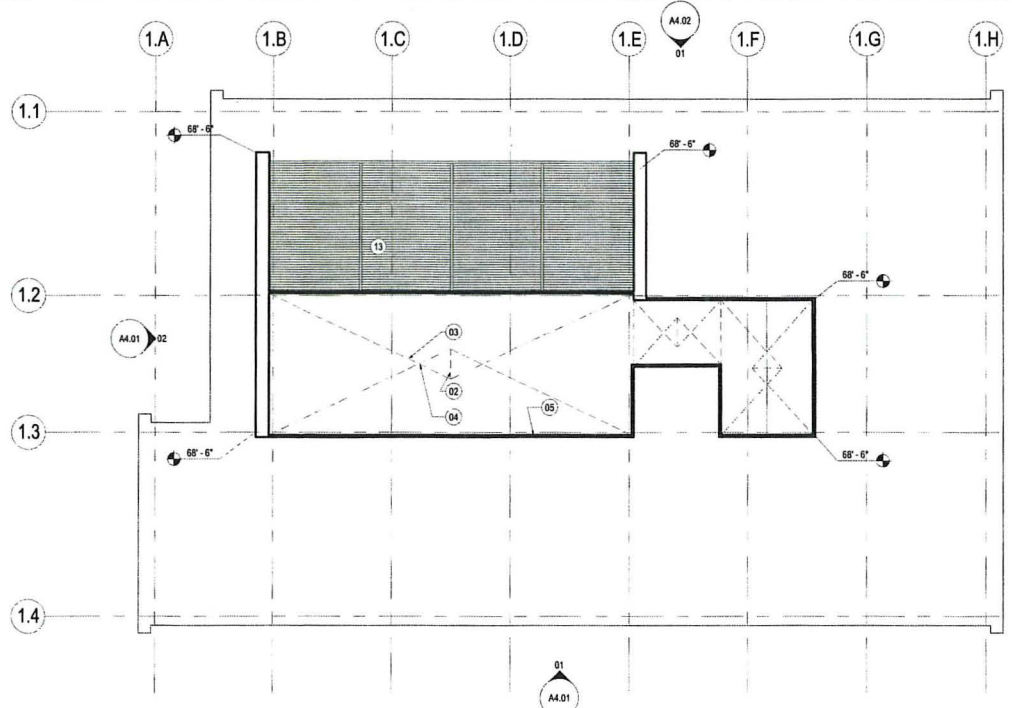
REFERENCE:
PTS 400127
SHEET



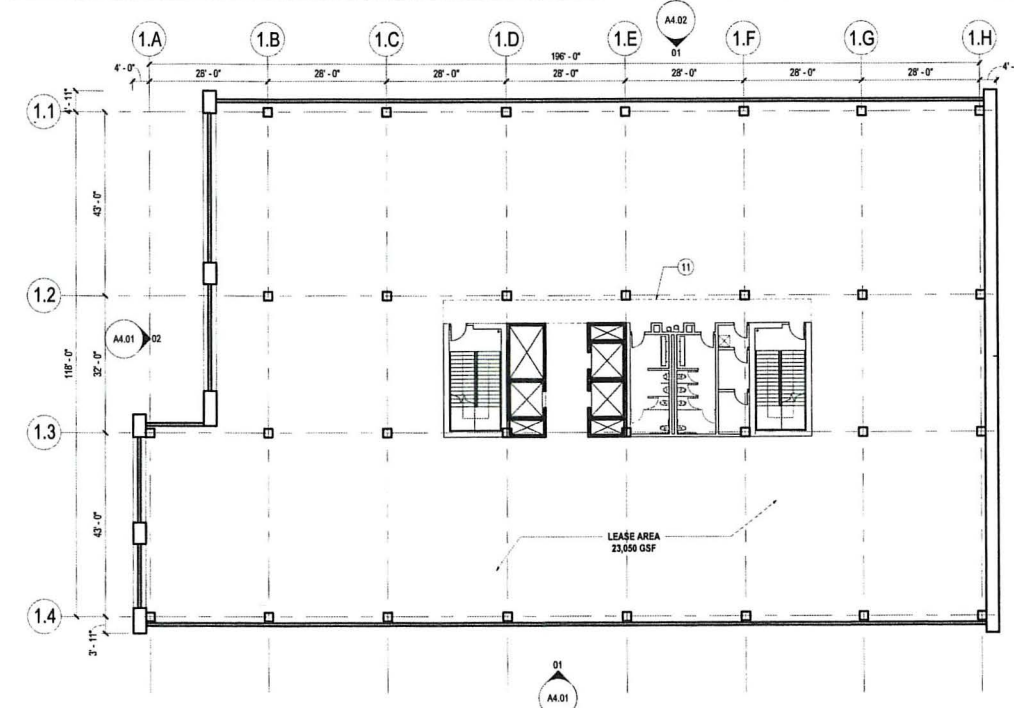
03 OFFICE BUILDING 1 - FLOOR PLAN - ACCESSORY LEVEL 05
SCALE: 1/16" = 1'-0"



01 OFFICE BUILDING 1 - FLOOR PLAN - LEVEL 01
SCALE: 1/16" = 1'-0"



4 OFFICE BUILDING 1 - ROOF PLAN
SCALE: 1/16" = 1'-0"

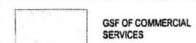


02 OFFICE BUILDING 1 - FLOOR PLAN - LEVEL 02 - 04
SCALE: 1/16" = 1'-0"

GENERAL NOTES

COMMERCIAL SERVICES TABULATION		
	GSF	%
COMMERCIAL SERVICES	11,525	50
OFFICE	11,525	50
LEVEL 01 TOTAL	23,050	100

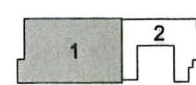
LEGEND



KEYNOTES

- 01 MECHANICAL SCREEN
- 02 RIDGE, TYP.
- 03 VALLEY, TYP.
- 04 ROOF & OVERFLOW DRAIN, TYP.
- 05 PARAPET
- 11 FUTURE CORRIDOR
- 12 GUARDRAIL
- 13 TRELLIS

KEYPLAN



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PROJECT ADDRESS:
3515 VALLEY CENTER DRIVE
SAN DIEGO, CA 92120

PROJECT NAME:
COSTA AZUL CARMEL VALLEY
MIXED USE DEVELOPMENT

SHEET TITLE:
**A2.03 OFFICE BLDG 1
FLOOR PLANS**

REVISION 14: _____
REVISION 13: _____
REVISION 12: _____
REVISION 11: _____
REVISION 10: _____
REVISION 9: _____
REVISION 8: _____
REVISION 7: _____
REVISION 6: _____
REVISION 5: _____
REVISION 4: 2020-03-23
REVISION 3: 2018-08-30
REVISION 2: 2018-07-02
REVISION 1: 2018-04-02

ORIGINAL DATE: 2017-09-28
SHEET 07 OF 30
DEPJ



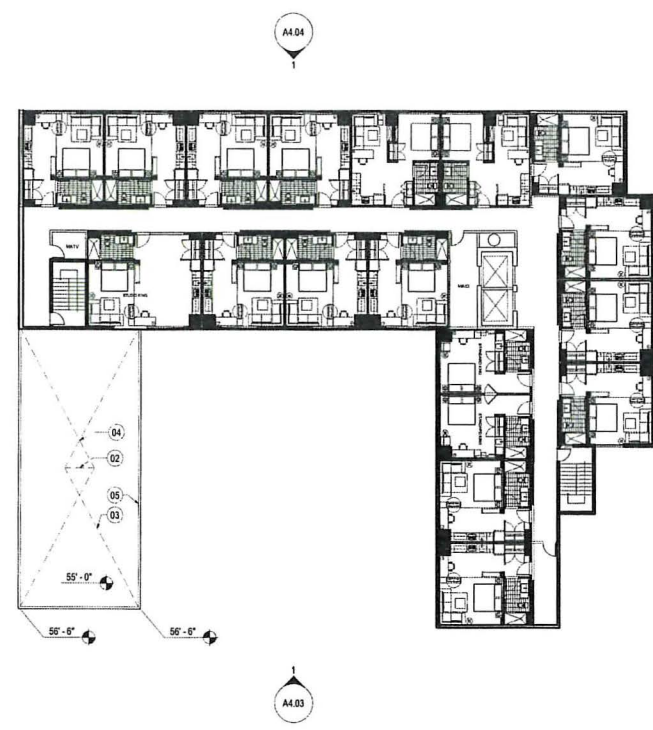
PROJECT NO.: 55.7604.000

COSTA AZUL CARMEL VALLEY

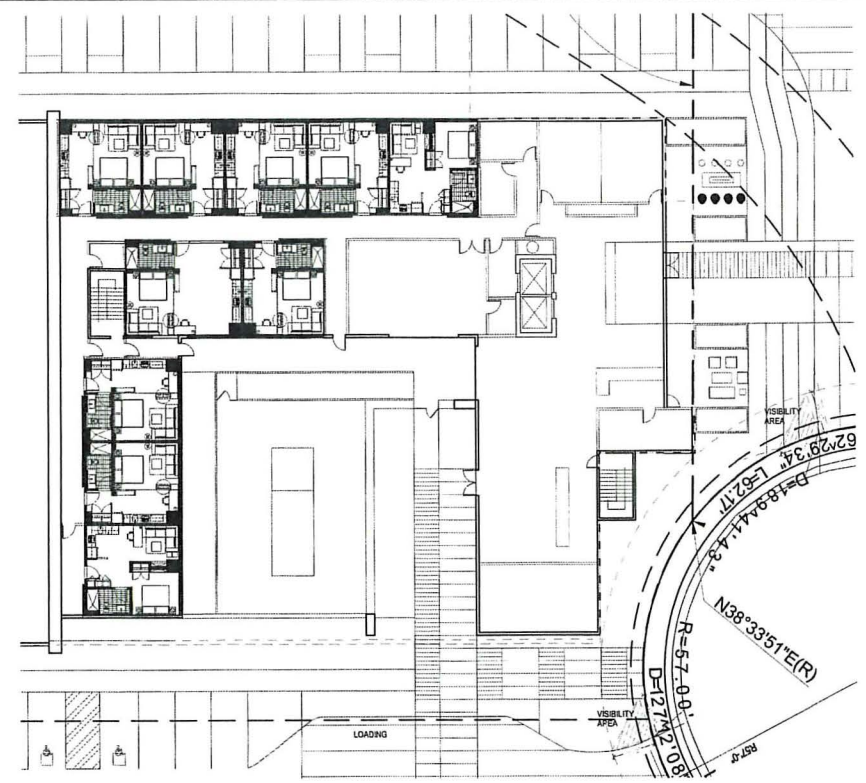
San Diego, California

NOT FOR CONSTRUCTION

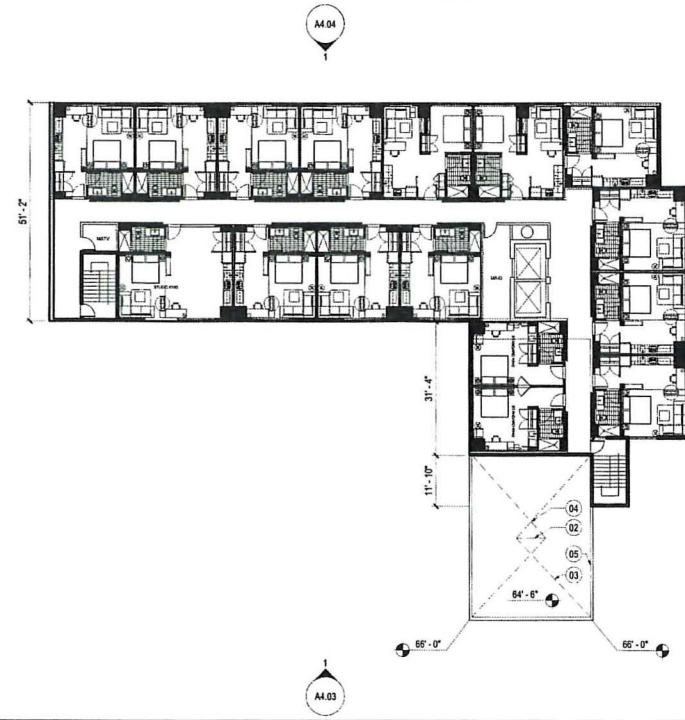
REFERENCE: FIS 400127
SHEET:



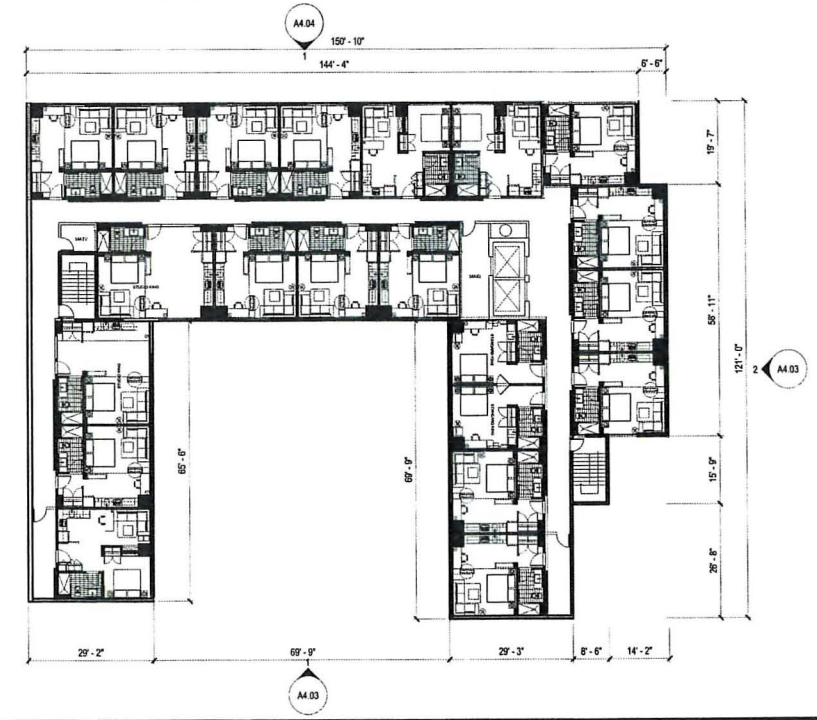
03 HOTEL BUILDING 2 - FLOOR PLAN - LEVEL 06
SCALE: 1/16" = 1'-0"



01 HOTEL BUILDING 2 - FLOOR PLAN - LEVEL 01
SCALE: 1/16" = 1'-0"



04 HOTEL BUILDING 2 - FLOOR PLAN - LEVEL 07
SCALE: 1/16" = 1'-0"



02 HOTEL BUILDING 2 - FLOOR PLAN - LEVEL 02 - 05
SCALE: 1/16" = 1'-0"

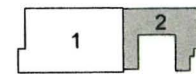
GENERAL NOTES

1. SEE 02A2.04 FOR TYPICAL DIMENSIONS.

LEGEND

KEYNOTES

KEYPLAN



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PROJECT ADDRESS:
3515 VALLEY CENTER DRIVE
SAN DIEGO, CA 92120

PROJECT NAME:
COSTA AZUL CARMEL VALLEY
MIXED USE DEVELOPMENT

SHEET TITLE:
A2.04 HOTEL BLDG 2 FLOOR PLANS

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	2020-03-23
REVISION 3:	2018-09-30
REVISION 2:	2018-07-02
REVISION 1:	2018-04-02
ORIGINAL DATE:	2017-09-28
SHEET 08 OF 30	_____
DEP#	_____

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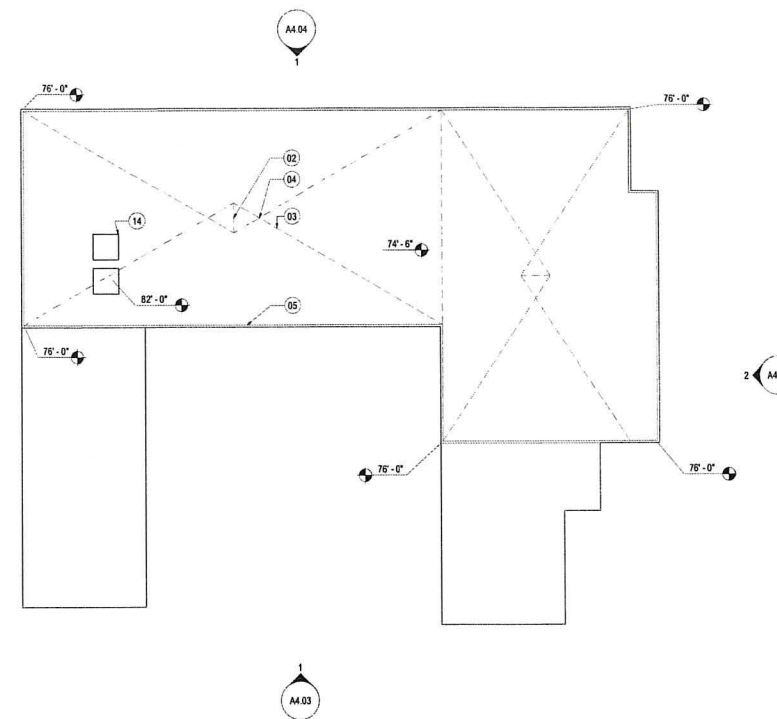
PROJECT NO. 55.7604.000

**COSTA AZUL
AZUL
CARMEL VALLEY**

San Diego, California

**NOT FOR
CONSTRUCTION**

REFERENCE:
PTS 400127
SHEET:



1 HOTEL BUILDING 2 - FLOOR PLAN - ROOF
SCALE: 1/16" = 1'-0"



GENERAL NOTES

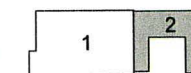
1. SEE 02/A2.04 FOR TYPICAL DIMENSIONS.

LEGEND

- 02 RIDGE, TYP.
- 03 VALLEY, TYP.
- 04 ROOF & OVERFLOW DRAIN, TYP.
- 05 PARAPET
- 14 LOULVERED MECHANICAL EQUIPMENT

KEYNOTES

KEYPLAN



PREPARED BY:
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225 Broadway
Suite 100
San Diego, CA 92101
United States
PHONE: 619.557.2500

PROJECT ADDRESS:
3515 VALLEY CENTER DRIVE
SAN DIEGO, CA 92120

PROJECT NAME:
COSTA AZUL, CARMEL VALLEY
MIXED USE DEVELOPMENT

SHEET TITLE:
**A2.05 HOTEL BLDG 2
ROOF PLAN**

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	2020-03-23
REVISION 3:	2018-08-30
REVISION 2:	2018-07-02
REVISION 1:	2018-04-02
ORIGINAL DATE:	2017-09-28
SHEET 09 OF 30	_____
DEP#	_____

Gensler

225 Broadway
Suite 100
San Diego, CA 92101
United States
Tel 619.557.2500
Fax 619.557.2500



PROJECT NO. 55.7604.000

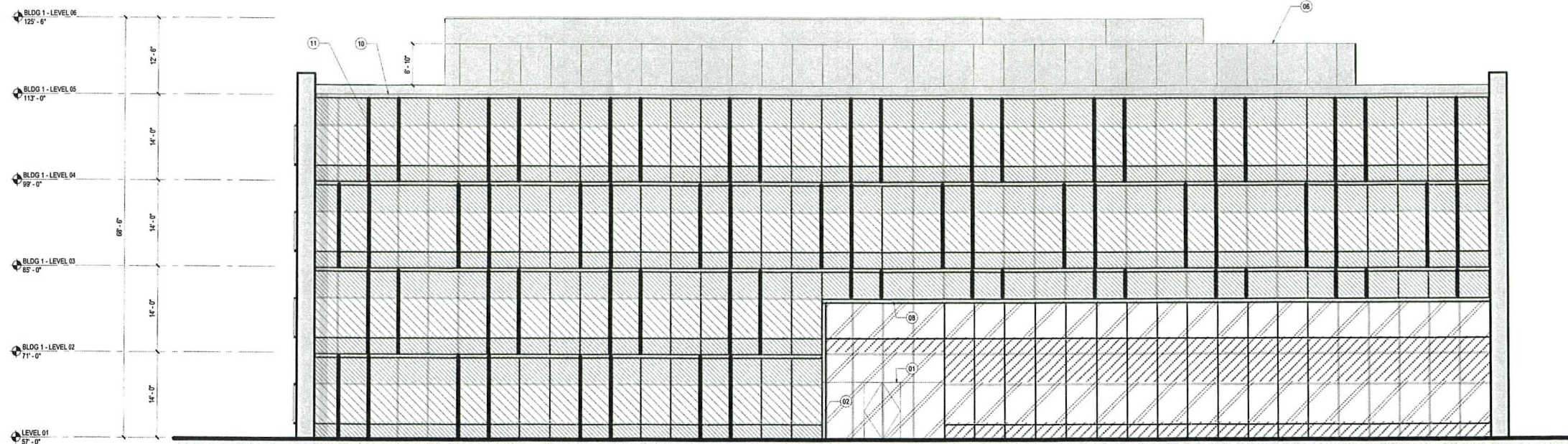
**COSTA
AZUL
CARMEL
VALLEY**

San Diego, California

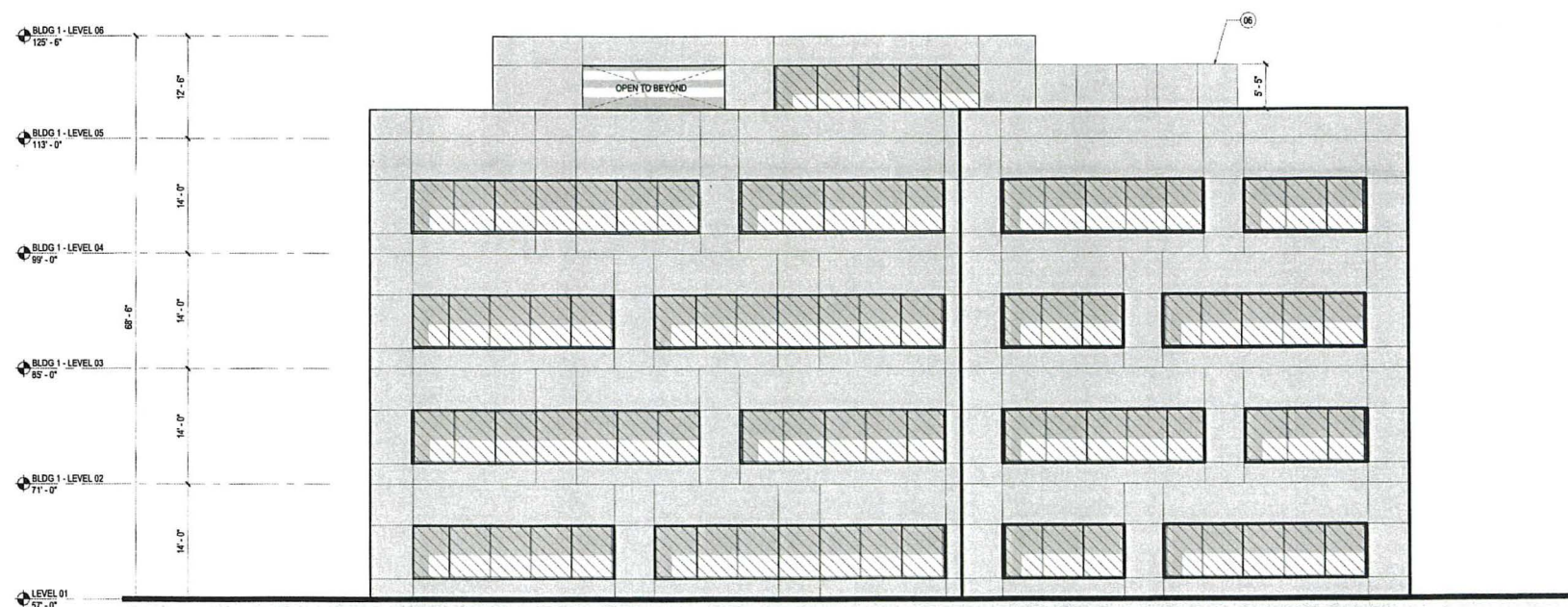
**NOT FOR
CONSTRUCTION**

REFERENCE
PTS 400127

SHEET



01 OFFICE BLDG 1 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



02 OFFICE BLDG 1 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. SEE CIVIL FOR EXIST VS. PROPOSED GRADE

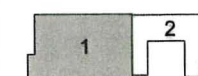
LEGEND

- GL-1 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE
- GL-1 BP 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACKPAN
- GL-2 1" INSULATED GLASS SOLARBAN 70XL
- GL-2 BP 1" INSULATED GLASS SOLARBAN 70XL W/ BACKPAN
- PL-2 PLASTER, GREY

KEYNOTES

- 01 FRAMLESS GLASS DOORS
- 02 KNOX BOX
- 06 MECHANICAL SCREEN, PAINTED TO MATCH PLASTER
- 08 CANOPY FEATURE
- 10 14" DEEP HORIZONTAL LOUVER, TYP.
- 11 12" DEEP VERTICAL LOUVER, TYP.

KEYPLAN



PREPARED BY: NAME: Gensler PHONE #: 619.557.2500	225 Broadway Suite 100 San Diego, CA 92101 United States	REVISION 14: _____
PROJECT ADDRESS: 3515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120		REVISION 13: _____
PROJECT NAME: COSTA AZUL, CARMEL VALLEY MIXED USE DEVELOPMENT		REVISION 12: _____
SHEET TITLE: A4.01 OFFICE BLDG 1 EXT. ELEVATIONS		REVISION 11: _____
		REVISION 10: _____
		REVISION 9: _____
		REVISION 8: _____
		REVISION 7: _____
		REVISION 6: _____
		REVISION 5: _____
		REVISION 4: 2020-03-23
		REVISION 3: 2018-08-30
		REVISION 2: 2018-07-02
		REVISION 1: 2018-04-02
		ORIGINAL DATE: 2017-09-28
		SHEET 10 OF 30
		DEPJ



PROJECT NO.: 55.7604.000

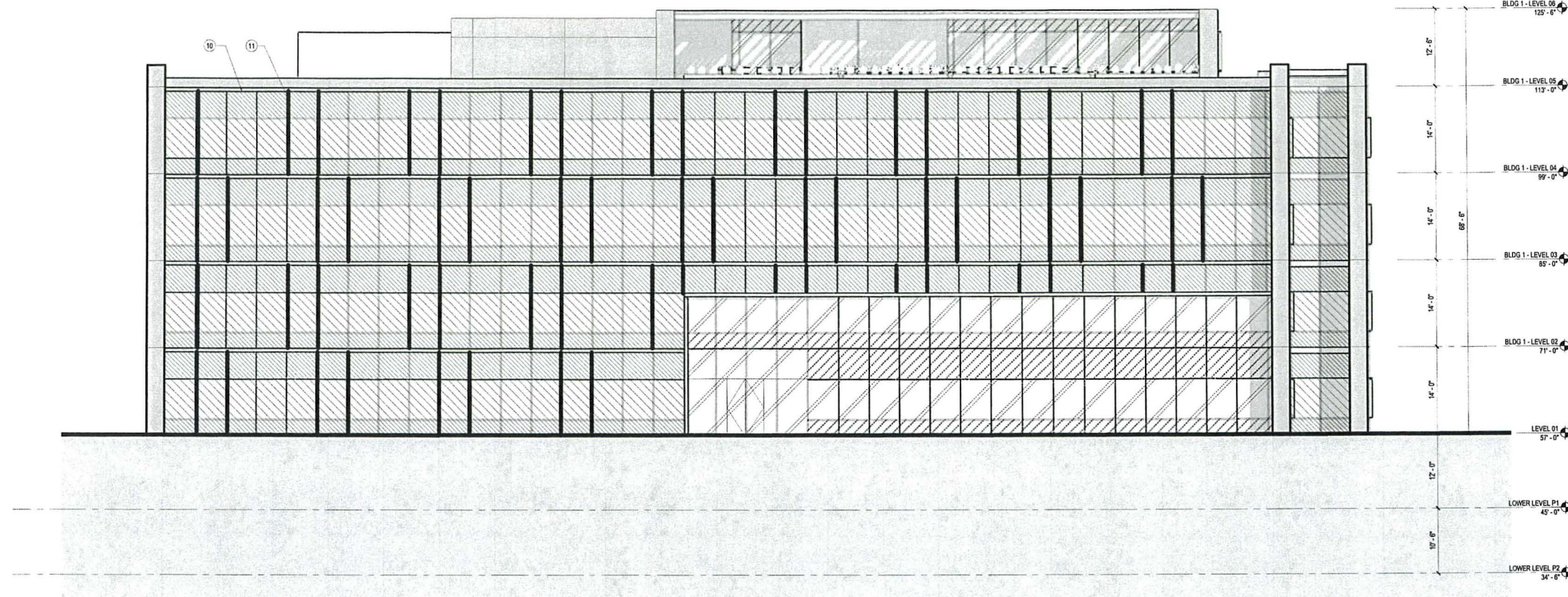
**COSTA AZUL
AZUL
CARMEL VALLEY**

San Diego, California

**NOT FOR
CONSTRUCTION**

REFERENCE:
PTS 400127

SHEET:



01 OFFICE BLDG 1 - WEST ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. SEE CIVIL FOR EXIST VS. PROPOSED GRADE

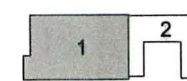
LEGEND

	GL-1	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE
	GL-1 BP	1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACK PAN
	GL-2	1" INSULATED GLASS SOLARBAN 70XL
	GL-2 BP	1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN
	PL-2	PLASTER, GREY

10 14" DEEP HORIZONTAL LOUVER, TYP.
11 12" DEEP VERTICAL LOUVER, TYP.

KEYNOTES

KEYPLAN



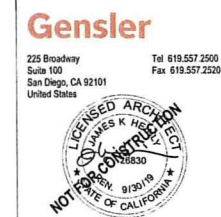
PREPARED BY:
NAME: Gensler 225 Broadway
Suite 100
San Diego, CA 92101
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PHONE #: 619.557.2500

PROJECT ADDRESS:
3515 VALLEY CENTER DRIVE
SAN DIEGO, CA 92120

PROJECT NAME:
COSTA AZUL CARMEL VALLEY
MIXED USE DEVELOPMENT

SHEET TITLE:
**A4.02 OFFICE BLDG 1
EXT. ELEVATIONS**

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	2020-03-23
REVISION 3:	2018-08-30
REVISION 2:	2018-07-02
REVISION 1:	2018-04-02
ORIGINAL DATE:	2017-09-28
SHEET 11 OF 30	DEP# _____



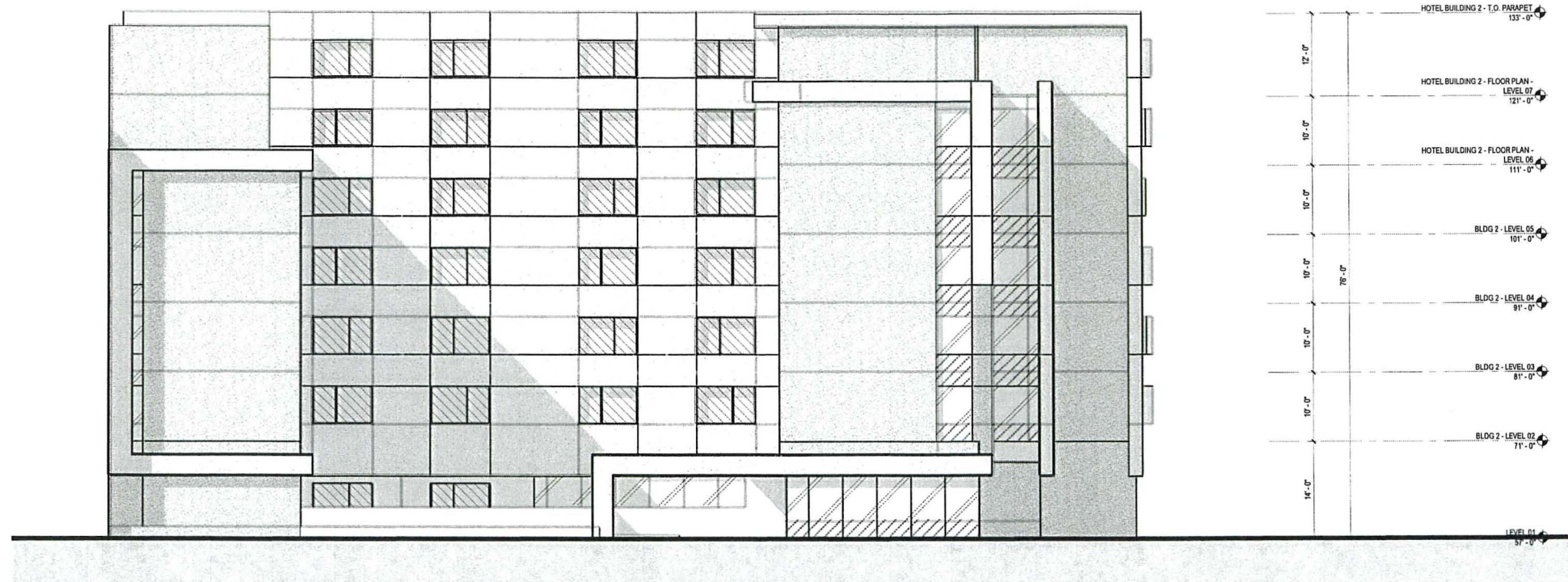
PROJECT NO.: 55.7604.000

COSTA AZUL CARMEL VALLEY
San Diego, California

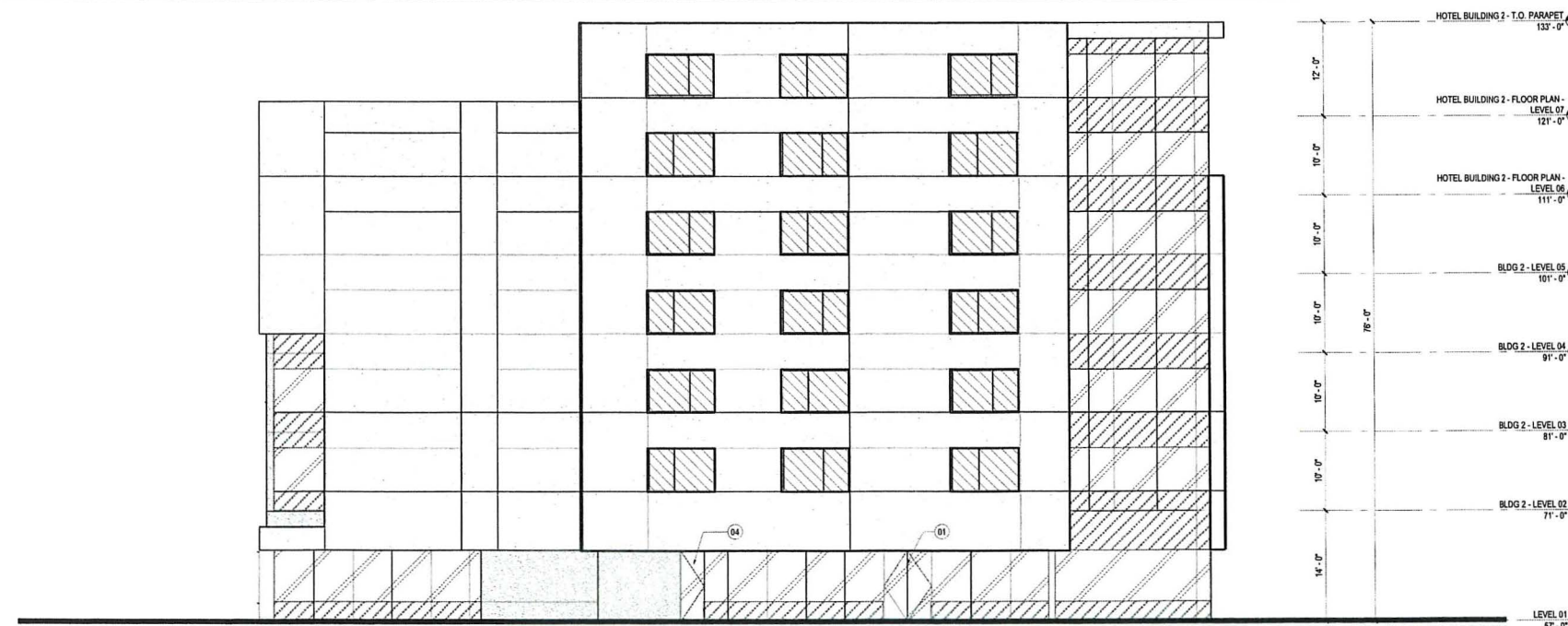
NOT FOR CONSTRUCTION

REFERENCE:
FTS 400127

SHEET:



1 HOTEL BLDG 2 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 HOTEL BLDG 2 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

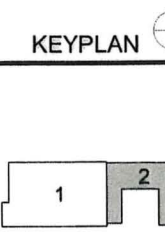
1. SEE CIVIL FOR EXIST VS. PROPOSED GRADE

LEGEND

	GL-1 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE		PL-1 WHITE PLASTER
	GL-1 BP 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACK PAN		PL-2 DARK GREY PLASTER
	GL-2 1" INSULATED GLASS SOLARBAN 70XL		
	GL-2 BP 1" INSULATED GLASS SOLARBAN 70XL W/ BACK PAN		

01	FRAMLESS GLASS DOORS
04	NARROW STILE EXIT DOOR
08	LOUVERED MECHANICAL EQUIPMENT

KEYNOTES



PREPARED BY:
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PROJECT NAME:
COSTA AZUL CARMEL VALLEY
MIXED USE DEVELOPMENT

SHEET TITLE:
A4.03 HOTEL BLDG 2 EXT. ELEVATIONS

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	2020-03-23
REVISION 3:	2018-09-30
REVISION 2:	2018-07-02
REVISION 1:	2018-04-02
ORIGINAL DATE:	2017-09-28
SHEET 12 OF 30	_____
DEPI	_____

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PROJECT NO.: 55.7604.000

**COSTA AZUL
 CARMEL VALLEY**

San Diego, California

**NOT FOR
 CONSTRUCTION**

REFERENCE:
 PTS 400127
 SHEET:



1 HOTEL BLDG 2 - WEST ELEVATION
 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. SEE CIVIL FOR EXIST VS. PROPOSED GRADE

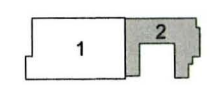
LEGEND

	GL-1 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE		PL-1 WHITE PLASTER
	GL-1 BP 1" INSULATED GLASS SOLARBAN Z75 OPTIBLUE W/ BACKPAN		PL-2 DARK GREY PLASTER
	GL-2 1" INSULATED GLASS SOLARBAN 70XL		
	GL-2 BP 1" INSULATED GLASS SOLARBAN 70XL W/ BACKPAN		

KEYNOTES

09 LOUVERED MECHANICAL EQUIPMENT

KEYPLAN



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 SAN DIEGO, CA 92120

PROJECT NAME:
 COSTA AZUL, CARMEL VALLEY
 MIXED USE DEVELOPMENT

SHEET TITLE:
**A4.04 HOTEL BLDG 2
 EXT. ELEVATIONS**

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	2020-03-23
REVISION 3:	2019-08-30
REVISION 2:	2018-07-02
REVISION 1:	2018-04-02
ORIGINAL DATE:	2017-09-28
SHEET 13 OF 30	
DEP#	_____

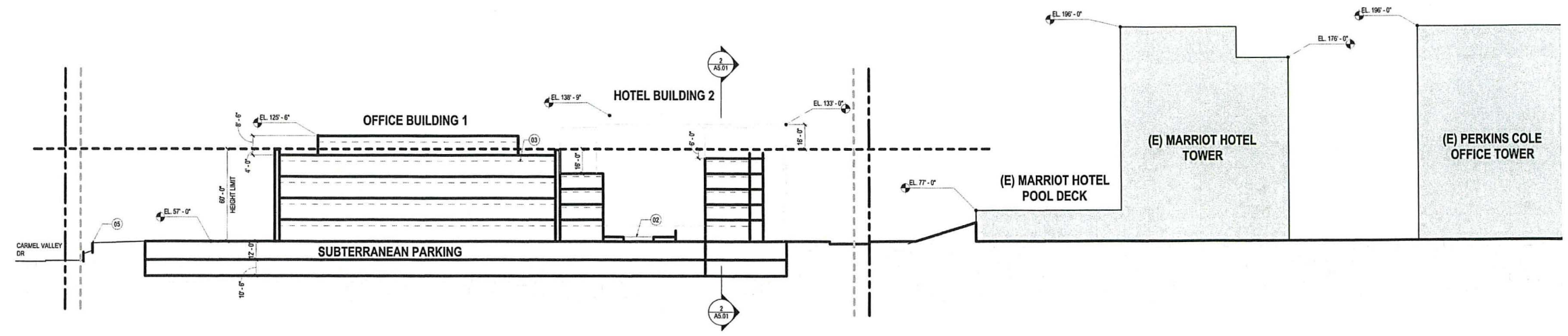


PROJECT NO. 55.7604.000

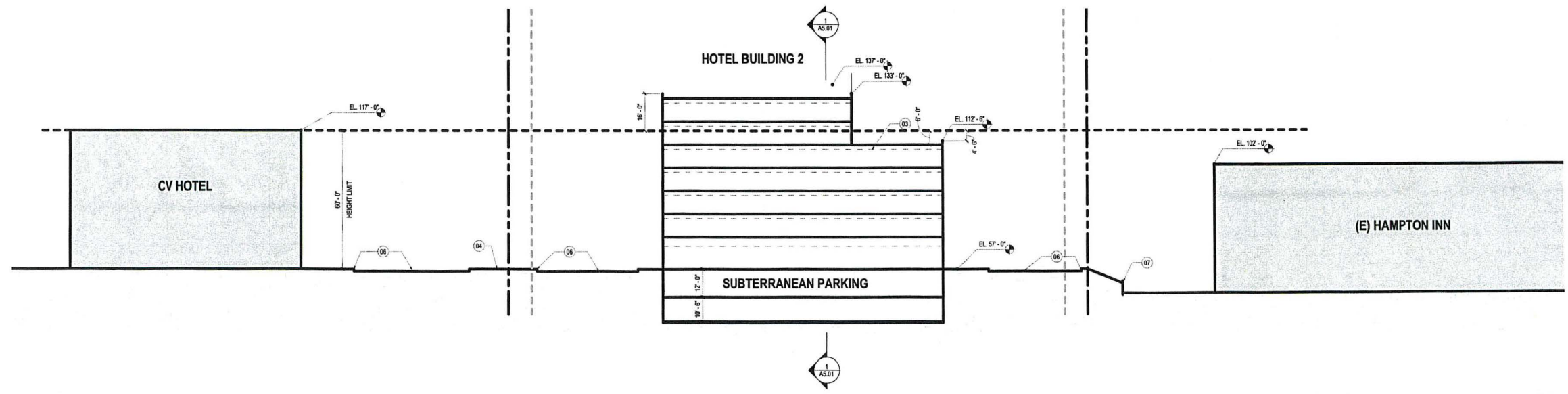
**COSTA AZUL
 CARMEL VALLEY**
 San Diego, California

**NOT FOR
 CONSTRUCTION**

REFERENCE: P15 400127
 SHEET:



1 CONTEXT SECTION 1 - NORTH/SOUTH
 SCALE: 1" = 30'-0"



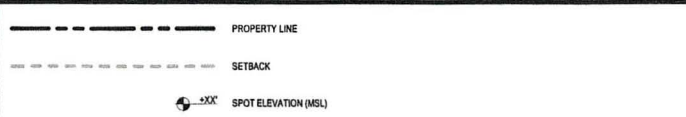
2 CONTEXT SECTION 2 - EAST/WEST
 SCALE: 1" = 20'-0"

GENERAL NOTES

1. SEE CIVIL FOR ADDITIONAL SITE INFORMATION

HEIGHT LIMIT TABULATION		
	GSF	%
ABOVE HEIGHT LIMIT	23,540	14
BELOW HEIGHT LIMIT	150,152	86
TOTAL	173,692 GSF	100

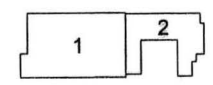
LEGEND



- 02 POOL
- 03 CEILING
- 04 PEDESTRIAN / BICYCLE PATH
- 05 WHERE OCCURS, SEE CIVIL
- 06 DRIVE AISLE
- 07 (E) RETAINING WALLS

KEYNOTES

KEYPLAN



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PROJECT ADDRESS:
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 SAN DIEGO, CA 92120

PROJECT NAME:
 COSTA AZUL, CARMEL VALLEY
 MIXED USE DEVELOPMENT

SHEET TITLE:
A5.01 SITE SECTIONS

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	2020-03-23
REVISION 3:	2018-08-30
REVISION 2:	2018-07-02
REVISION 1:	2018-04-02
ORIGINAL DATE:	2017-09-28
SHEET	14 OF 30
DEF#	_____

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PROJECT NO: 55.7604.000

COSTA AZUL CARMEL VALLEY

San Diego, California

NOT FOR CONSTRUCTION

REFERENCE: P15 40127

SHEET:

Recommended Parking Ratios					
Spaces required per unit land use					
Land Use	Weekday		Weekend		Unit
	Visitor	Employee	Visitor	Employee	
Community Shopping Center (450 ksf)	2.90	0.70	3.20	0.90	ksf G.A.
Regional Shopping Center (400 to 600 ksf)	Linear 2.9<w<3.2				ksf G.A.
Super Regional Shopping Center (>600 ksf)	3.40	0.80	3.60	0.90	ksf G.A.
Fine/Casual Dining Restaurant	15.25	2.75	17.00	3.00	ksf G.A.
Family Restaurant	9.80	1.50	12.75	2.25	ksf G.A.
Fast Food Restaurant	12.75	2.25	12.00	2.00	ksf G.A.
Nightclub	15.25	1.25	17.50	1.50	ksf G.A.
Cinplex	0.19	0.01	0.26	0.01	seat
Performing Arts Theater	0.30	0.07	0.33	0.07	seat
Arena	0.27	0.03	0.30	0.03	seat
Pro Football Stadium	0.29	0.01	0.31	0.01	seat
Pro Baseball Stadium	0.31	0.01	0.34	0.01	seat
Health Club	6.40	0.40	6.90	0.25	ksf G.A.
Convention Center	5.50	0.50	5.50	0.50	ksf G.A.
Hotel-Business	1.00	0.25	0.60	0.18	room
Hotel-Leisure	0.90	0.25	1.20	0.18	room
Restaurant/Lounge	10.00		10.00		ksf G.A.
Conference Ctr/Barquet (20 to 50 sq request room)	30.00		30.00		ksf G.A.
Convention Space (>50 sq request room)	20.00		10.00		ksf G.A.
Residential, Rental, Shared Spaces*	0.15	1.00	0.15	1.50	unit
Residential, Owned, Shared Spaces*	0.15	1.7	0.15	1.7	unit
Office <25 ksf	0.30	1.5	0.31	0.35	unit
Office 25 to 100 ksf	Linear 0.3<w<0.25				ksf G.A.
Office 100 to 500 ksf	Linear 0.25<w<0.2				ksf G.A.
Office >500 ksf	0.20	2.0	0.02	0.20	ksf G.A.
Data Processing Office	0.25	5.75	0.03	0.35	ksf G.A.
Medical/Dental Office	3.00	1.50	3.00	1.50	ksf G.A.
Bank (Branch) with Drive In	3.00	1.00	3.00	1.50	ksf G.A.

* 1.0 space reserved for residents' sole use; remainder may be shared

Project Name	Square Feet	Wkday		Weekend		Total
		Visitor	Employee	Visitor	Employee	
Community Shopping Center (450 ksf)	450,000	1,305	315	1,440	405	2,465
Regional Shopping Center (400 to 600 ksf)	400,000	1,160	280	1,280	360	1,800
Super Regional Shopping Center (>600 ksf)	600,000	2,040	504	2,160	600	2,760
Fine/Casual Dining Restaurant	15,250	231	40	255	45	281
Family Restaurant	9,800	147	23	188	34	184
Fast Food Restaurant	12,750	181	34	174	30	185
Nightclub	15,250	229	19	258	23	260
Cinplex	1,900	36	2	48	1	49
Performing Arts Theater	3,000	90	21	99	21	120
Arena	3,000	81	10	90	10	101
Pro Football Stadium	3,000	87	3	90	3	93
Pro Baseball Stadium	3,000	93	3	96	3	99
Health Club	6,400	424	26	474	17	491
Convention Center	5,500	55	55	55	55	110
Hotel-Business	1,000	100	25	60	18	103
Hotel-Leisure	900	81	25	108	18	109
Restaurant/Lounge	10,000	1,000		1,000		2,000
Conference Ctr/Barquet (20 to 50 sq request room)	30,000	3,000		3,000		6,000
Convention Space (>50 sq request room)	20,000	2,000		1,000		3,000
Residential, Rental, Shared Spaces*	1,150	172	1,150	1,650	1,150	3,972
Residential, Owned, Shared Spaces*	1,150	1,875	1,150	1,875	1,150	4,075
Office <25 ksf	1,150	345	1,150	368	1,150	868
Office 25 to 100 ksf	1,150	345	1,150	368	1,150	868
Office 100 to 500 ksf	1,150	230	1,150	23	1,150	383
Office >500 ksf	1,150	23	1,150	23	1,150	276
Data Processing Office	1,150	289	6,638	45	45	7,017
Medical/Dental Office	3,000	900	450	450	3,000	2,800
Bank (Branch) with Drive In	3,000	900	300	450	3,000	2,650

0 0 0 0 0

Monthly Adjustments for Gaslight/Water Park												
Month	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Community Shopping Center	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Regional Shopping Center	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Super Regional Shopping Center	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Fine/Casual Dining Restaurant	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Family Restaurant	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Fast Food Restaurant	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Nightclub	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Cinplex	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Performing Arts Theater	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Arena	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Pro Football Stadium	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Pro Baseball Stadium	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Health Club	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Convention Center	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Hotel-Business	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Hotel-Leisure	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Restaurant/Lounge	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Conference Ctr/Barquet (20 to 50 sq request room)	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Convention Space (>50 sq request room)	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Residential, Rental, Shared Spaces*	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Residential, Owned, Shared Spaces*	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Office <25 ksf	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Office 25 to 100 ksf	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Office 100 to 500 ksf	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Office >500 ksf	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Data Processing Office	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Medical/Dental Office	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Bank (Branch) with Drive In	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%

Monthly Adjustments for Pro/Resident Parking												
Month	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Community Shopping Center	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Regional Shopping Center	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Super Regional Shopping Center	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Fine/Casual Dining Restaurant	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Family Restaurant	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Fast Food Restaurant	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Nightclub	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Cinplex	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Performing Arts Theater	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Arena	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Pro Football Stadium	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Pro Baseball Stadium	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Health Club	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Convention Center	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Hotel-Business	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Hotel-Leisure	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Restaurant/Lounge	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Conference Ctr/Barquet (20 to 50 sq request room)	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Convention Space (>50 sq request room)	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Residential, Rental, Shared Spaces*	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Residential, Owned, Shared Spaces*	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Office <25 ksf	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Office 25 to 100 ksf	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Office 100 to 500 ksf	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Office >500 ksf	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Data Processing Office	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Medical/Dental Office	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Bank (Branch) with Drive In	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%

Month	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Community Shopping Center	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Regional Shopping Center	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Super Regional Shopping Center	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Fine/Casual Dining Restaurant	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Family Restaurant	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%	14%
Fast Food Restaurant	14%	14%										



PROJECT NO. 55.7604.000

COSTA AZUL CARMEL VALLEY

San Diego, California

NOT FOR CONSTRUCTION

REFERENCE: PIS 403/17

SHEET:

STORMWATER REQUIREMENTS

City of San Diego Storm Water Requirements Applicability Checklist FORM DS-560 October 2018. Project Address: 3515 Valley Center Drive, San Diego, CA. SECTION 1: Construction Storm Water BMP Requirements. PART A: Determine Construction Phase Storm Water Requirements.

City of San Diego Storm Water Requirements Applicability Checklist Page 3 of 4. PART D: POP Exempt Requirements. PART E: Determine if Project is a Priority Development Project (PDP). If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project".

STORMWATER REQUIREMENTS

City of San Diego Development Services Storm Water Requirements Applicability Checklist Page 4 of 4. PART B: Determine Construction Site Priority. SECTION 2: Permanent Storm Water BMP Requirements. PART C: Determine if Not Subject to Permanent Storm Water Requirements.

City of San Diego Development Services Storm Water Requirements Applicability Checklist Page 4 of 4. PART F: Select the appropriate category based on the outcomes of PART C through PART E. Carl Fiorica Project Engineer Title: 03-29-2018 Date.

FIRE DEPARTMENT NOTES

- 2018 CALIFORNIA FIRE CODE - TITLE 24 PART 9: SAN DIEGO MUNICIPAL ORDINANCES. 1. CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH CURRENT CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THE FIRE CODE (CFC 105.4.1).

ENERGY EFFICIENCY STANDARDS

- 2018 CALIFORNIA ENERGY CODE - TITLE 14 PART 6. 1. ANY FENESTRATION PRODUCT OR EXTERIOR COVER, OTHER THAN FIELD-FABRICATED PRODUCTS, SHALL BE CERTIFIED AND LABELED TO MEET THE FOLLOWING REQUIREMENTS PER E.E.S. SEC 110.8: AIR LEAKAGE - 0.2 CFM/FS.

CALGREEN NOTES

- 2018 CALIFORNIA GREEN BUILDING STANDARDS - TITLE 14 PART 11. THE NON-RESIDENTIAL REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE APPLIES TO ALL NEW NON-RESIDENTIAL CONSTRUCTION INCLUDING HIGH RISE BUILDINGS, ADDITIONS OF 1,000 SQUARE FEET OR GREATER, AND/OR BUILDING ALTERATIONS WITH A PERMIT VALUATION OF \$200,000 OR ABOVE. NON-RESIDENTIAL BUILDING INCLUDES ALL OCCUPANCIES THAT ARE WITHIN THE AUTHORITY OF THE CALIFORNIA BUILDING STANDARDS COMMISSION.

DEFIBRILLATORS (AED'S)

- 1. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR APPROVAL OF FINAL INSPECTION, AEDS SHALL BE PLACED IN ALL NEWLY CONSTRUCTED BUILDINGS IN THE OCCUPANCY GROUPS AND WITH OCCUPANT LOADS IN EXCESS OF THAT SHOWN IN TABLE 405.010. THE OCCUPANT LOAD SHALL BE DETERMINED BASED ON THE OCCUPANT LOAD FACTORS IN THE CALIFORNIA BUILDING CODE.

PREPARED BY: NAME: Gensler 225 Broadway Suite 100 San Diego, CA 92101 United States PHONE #: 619.557.2500 PROJECT ADDRESS: 3515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120 PROJECT NAME: COSTA AZUL CARMEL VALLEY USED DEVELOPMENT SHEET TITLE: A6.02 GENERAL NOTES SAN DIEGO

Table with 2 columns: REVISION NO. and REVISION DATE. Rows include REVISION 14 (2017-09-28), REVISION 13 (2018-09-30), REVISION 12 (2018-07-02), REVISION 11 (2018-04-02), REVISION 10 (2017-09-28), REVISION 9, REVISION 8, REVISION 7, REVISION 6, REVISION 5, REVISION 4, REVISION 3, REVISION 2, REVISION 1.



PROJECT NO.: 121401100

EXISTING SITE CONDITIONS

COSTA AZUL CARMEL VALLEY

San Diego, California

REFERENCE:
PTS 400127

SHEET:

LEGEND:

PROPERTY LINE/RIGHT OF WAY	.....	R/R/W
RELINQUISHED ACCESS RIGHTS	.....
EXISTING DRAIN	.....
EXISTING FIRE HYDRANT	.....
EXISTING WATER METER	.....
EXISTING MANHOLE	.....
EXISTING VALVE OR AS NOTED	.....
EXISTING SIGN	.....
EXISTING STREET LIGHT OR AS NOTED	.....
EXISTING TIEN NO. IN TILE REPORT	.....
EXISTING RADIAL BEARING	.....
EXISTING FLAG POLE	.....
EXISTING UTILITY BOX	.....
EXISTING STORM PIPE	.....
EXISTING CONTROL POINT	.....
EXISTING STORM DRAIN	.....
EXISTING POWER POLE	.....
EXISTING WIRE ANCHOR	.....
EXISTING WATER VALVE	.....
EXISTING UNIDENTIFIED WALK	.....
EXISTING STORM DRAIN	.....
CENTER LINE	.....
EASEMENT LINE	.....
LOT LINE	.....
EXISTING BUILDING	.....

NOTES:

1. CALCULATED AREA OF SITE 3.053 ACRES
2. ZONING-CUPD-VIC
3. SUBJECT PROPERTY LIES OUTSIDE ZONE X (AREA DETERMINED TO BE OUTSIDE 500 FEET FLOOD PLAN) PER F.A.M. COMMUNITY PANEL NO. 0507301336 DATED 5/9/2012.
4. UNDERGROUND UTILITIES PLOTTED FROM EXISTING PUBLIC RECORDS WERE AVAILABLE OR SURFACE EVIDENCE. TRUE LOCATIONS MAY DIFFER FROM THOSE SHOWN HEREON.
5. NO REPRESENTATION OR WARRANTY IS MADE HEREON IN REGARD TO COMPLIANCE WITH ZONING REGULATIONS OR ADEQUACY OF UTILITY SERVICES EXCEPT AS EXPRESSLY DELINEATED OR NOTED.
6. NO STRUCTURES WERE LOCATED BY FIELD SURVEY WHICH ARE MORE THAN 50 FEET FROM THE PROPERTY LINES EXCEPT AS SHOWN.
7. NO MONUMENTS WERE SET IN THE PREPARATION OF THIS SURVEY.
8. BASE MAP PREPARED BY RICK ENGINEERING PHOTOGRAMMETRY DIVISION JULY 30, 2004.
9. ATTENTION IS DIRECTED TO THE REFERENCED DOCUMENT FOR EASEMENT DIMENSIONS.
10. FOR EXACT LOCATIONS OF UNDERGROUND FACILITIES, INTERESTED PARTIES SHOULD CONTACT A LOCATION SERVICE.
11. MONUMENTATION IS ACCORDING TO PARDEE VISITOR CENTER AS SHOWN ON THE MAP THEREOF NO. 11478.
12. ASSESSOR PARCEL NOS. 307-240-03 & 04
13. SUBJECT PROPERTY MAY BE ENCUMBERED BY MATTERS OF RECORD NOT ADDRESSED ON THIS DRAWING INCLUDING BUT NOT LIMITED TO TAXES, LIENS, AGREEMENTS, COA'S, ASSESSMENTS, ETC. ATTENTION IS DIRECTED TO THE ABOVE-MENTIONED TITLE REPORT CONCERNING THESE MATTERS.

PRELIMINARY MAPPING ITEMS:

REFERENCE IS MADE TO CHICAGO TITLE COMPANY'S COMMITMENT FOR TITLE INSURANCE, DATED JUNE 23, 2004, UNDER ORDER NO. 43040880-050 THE FOLLOWING ARE EXCEPTIONS DISCLOSED IN SAID REPORT:

ITEM NO.	RECORDING DATE	DOCUMENT NO.	DESCRIPTION	REMARKS
1			PROPERTY TAXES	SEE TITLE REPORT
2			SUPPLEMENTAL TAXES	SEE TITLE REPORT
3	4-19-2004	2004-033808	NOTICE OF ASSESSMENT	SEE DOCUMENT
4			LAND LIES WITH CARMEL VALLEY FACILITIES BENEFIT DISTRICT	SEE TITLE REPORT
5	10-08-1983	83-359578	DEVELOPMENT AGREEMENT	SEE DOCUMENT
6	MAP 11478		DRAINAGE FACILITIES	PLOTTED
7	8-05-1985	85-280431	LAGOON ENHANCEMENT AGREEMENT	SEE DOCUMENT
8	8-05-1985	85-280432	C.C.& R'S	SEE DOCUMENT
9	MAP 11478		WATER FACILITIES	PLOTTED
10	2-18-1983	83-054132	C.C.& R'S	SEE DOCUMENT
11	4-18-1988	88-150235	EXTENDED C.C.& R'S	SEE DOCUMENT
12	8-04-1986	86-225035	MODIFIED C.C.& R'S	SEE DOCUMENT
13	10-23-1985	85-393883	WATER, SEWER, DRAINAGE	PLOTTED
14	MAP 11478		RELINQUISHED RIGHTS OF ACCESS TO AND FROM CARMEL VALLEY ROAD	PLOTTED
15	6-17-1986	86-243093	SD&E EASEMENT	PLOTTED
16	7-28-1988	88-315072	CABLE AGREEMENT	SEE DOCUMENT
17	9-18-1991	1991-082445	DECLARATION OF COVENANTS	SEE DOCUMENT
18	12-10-1991	1991-086587	C.C.& R'S	SEE DOCUMENT
19	9-15-1999	1999-083283	MODIFIED C.C.& R'S	SEE DOCUMENT
20	1-09-1992	1992-0012287	ENCROACHMENT REMOVAL	APPROX. LOCATION PLOTTED, SEE DOCUMENT
21	3-03-1992	1992-0116309	ENCROACHMENT REMOVAL	APPROX. LOCATION PLOTTED, SEE DOCUMENT
22	3-04-1992	1992-0119585	SD&E EASEMENT	NO EXACT LOCATION GIVEN, SEE DOCUMENT
23	3-08-1993	1993-0142504	PACIFIC BELL EASEMENT	NO EXACT LOCATION GIVEN, SEE DOCUMENT
24	6-13-1997	1997-277732	ENCROACHMENT REMOVAL	APPROX. LOCATION PLOTTED, SEE DOCUMENT

BENCHMARK:

NEEP ON TOP OF INLET AT THE INTERSECTION OF EL CAMINO REAL AND CARMEL VALLEY ROAD, CITY OF SAN DIEGO, ELEV 53.346, DATUM MSL.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS MAP IS A PORTION OF THE EASTERLY LINE OF LOT 3 OF MAP NO. 11478 I.E. N121°43'E

TOPOGRAPHY SOURCE

A.L.T.A. LAND TITLE SURVEY OF LOTS 3 AND 4 OF PARDEE VISITOR CENTER, MAP NO. 11478 BY RICK ENGINEERING, DATE: 6/16/04

LEGAL DESCRIPTION:

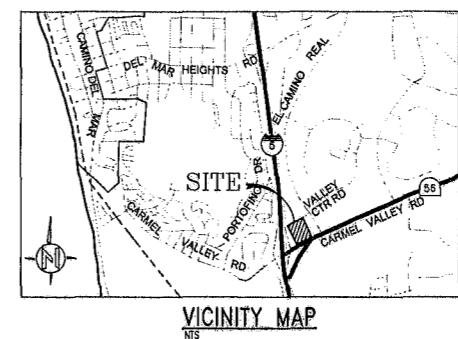
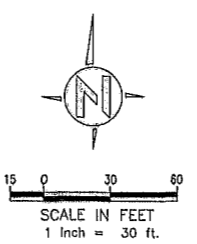
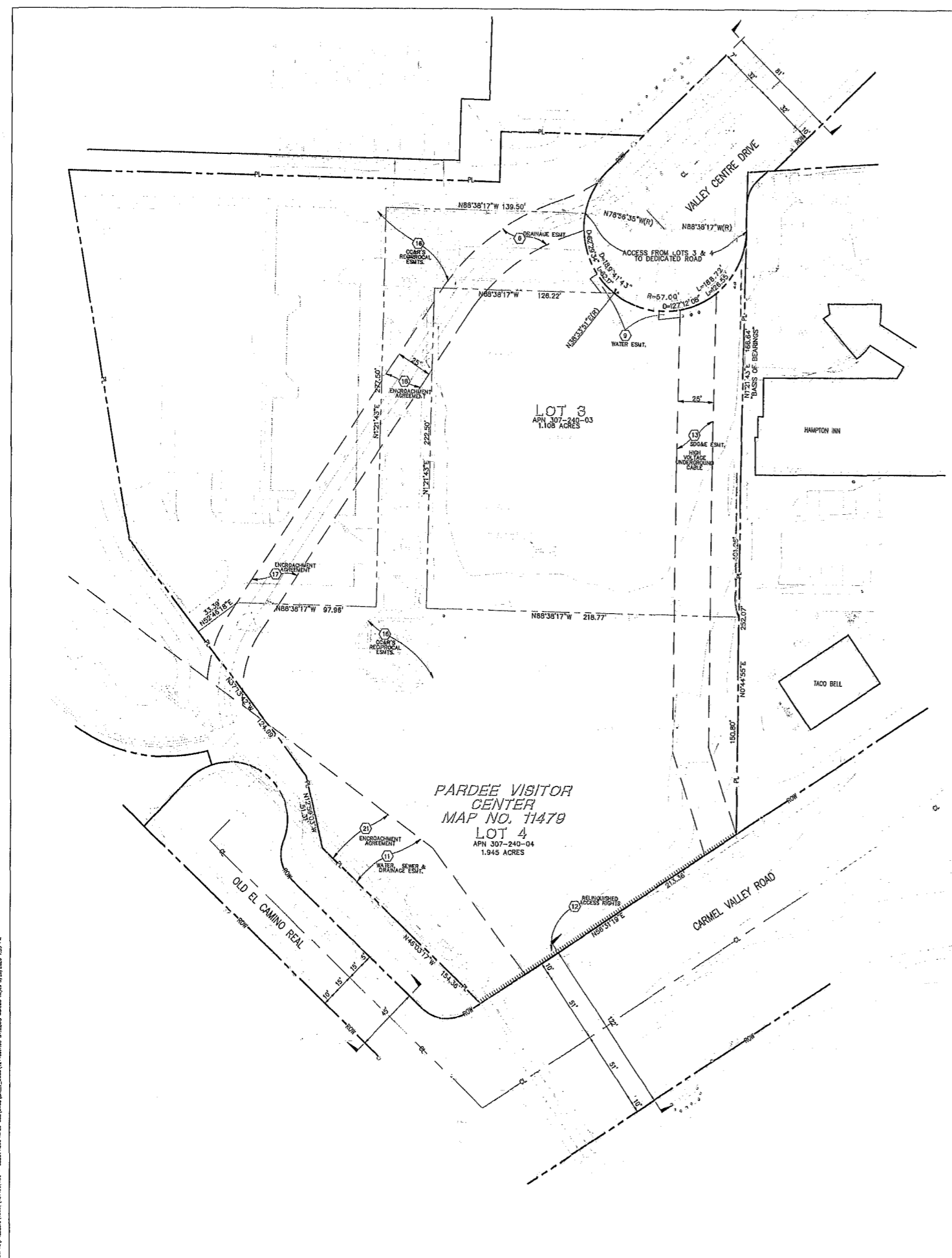
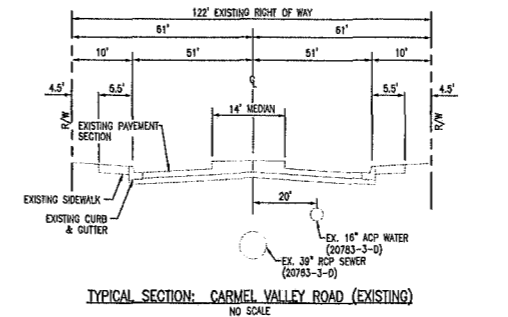
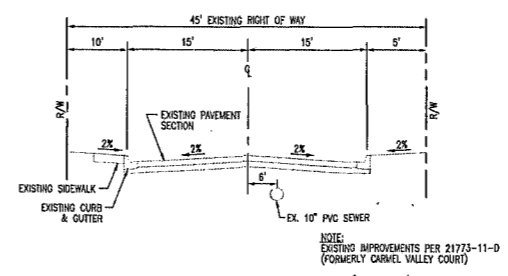
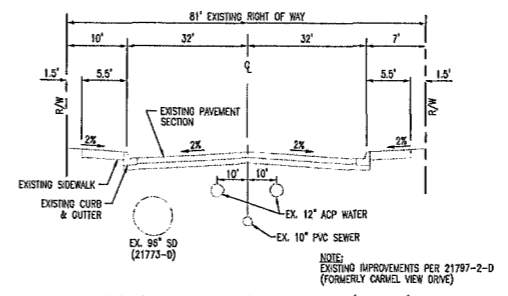
LOTS 3 AND 4 OF PARDEE VISITOR CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 11478, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 2, 1985.

APPLICANT:

CARMEL VALLEY CENTER DRIVE LLC
7989 ENGINEER ROAD #108
SAN DIEGO, CA 92111

OWNER:

CARMEL VALLEY CENTER DRIVE LLC
7989 ENGINEER ROAD #108
SAN DIEGO, CA 92111



PREPARED BY:
NAME: BWE
9419 BALBOA AVE, #270
SAN DIEGO, CA 92113
PHONE #: 619-299-5550

PROJECT ADDRESS:
3515 VALLEY CENTER DRIVE
SAN DIEGO, CA 92120

PROJECT NAME:
COSTA AZUL CARMEL VALLEY
MIXED USE DEVELOPMENT

SHEET TITLE:
C1.0 EXISTING SITE
CONDITIONS

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	2020-03-23
REVISION 3:	2018-08-30
REVISION 2:	2018-07-02
REVISION 1:	2018-04-02
ORIGINAL DATE:	2017-09-28
SHEET 18 OF 30	
DEPJ	

PLOT: W:\PROJECTS\2020\121401100 - COSTA AZUL CARMEL VALLEY CENTER\121401100_C1.0_BWL.dwg Date: 3/22/2020 7:59 PM



PROJECT NO.: 121401.00

COSTA AZUL CARMEL VALLEY San Diego, California

REFERENCE: PTS 400127

SHEET:

UTILITY NOTE:

THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON VISUAL OBSERVATIONS OF ABOVE GROUND UTILITIES/STRUCTURES AND RESEARCH OF RECORD UTILITIES. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THE TOPOGRAPHIC SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. THE ACTUAL LOCATION OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.

LEGEND:

- NEW BUILDING FOOTPRINT
ASPHALT CONCRETE PAVEMENT
HEAVY VEHICLE ASPHALT CONCRETE PAVEMENT
CONCRETE PAVEMENT
FLOW-THROUGH PLANTER
NEW CONTOUR ELEVATION
NEW SPOT ELEVATION
NEW STORM DRAIN CLEANOUT TYPE A
NEW SENEY TYPE CLEANOUT
NEW STORM DRAIN
NEW RETAINING WALL
NEW SLOPE
NEW 6" CURB
NEW 0" CURB
SAWCUT LINE
LIMITS OF GRADING

KEY NOTES:

- CONNECT TO EXISTING STORM DRAIN
PRECAST CATCH BASIN PER DETAIL THIS SHEET
LIMITS OF PARKING BASEMENT
FLOW THROUGH PLANTER BMP PER DETAIL 3 THIS SHEET
STORM DRAIN CLEANOUT TYPE A PER SORSO D-9
UNDERGROUND STORM WATER STORAGE SYSTEM, DETAIL 1
MODULAR WETLAND SYSTEM TREATMENT UNIT PER DETAIL 4 THIS SHEET
CATCH BASIN PER DETAIL 2 THIS SHEET

TOTAL DISTURBED AREA:

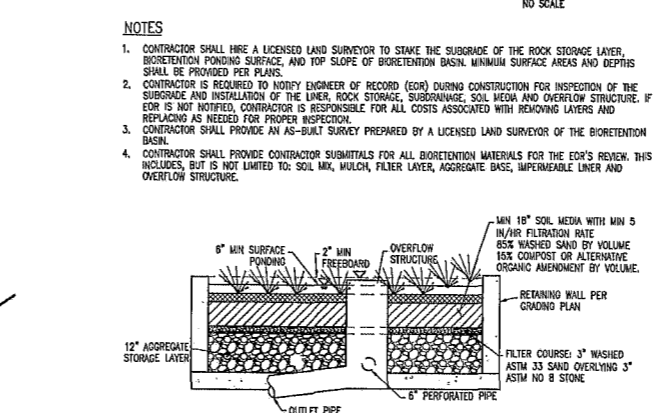
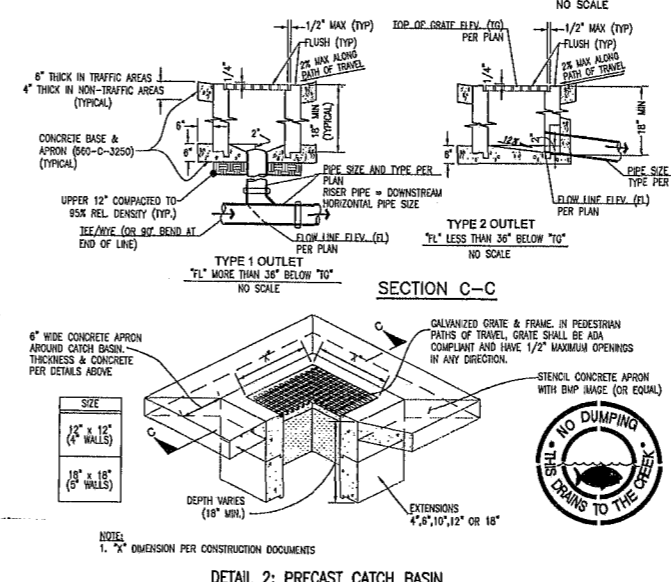
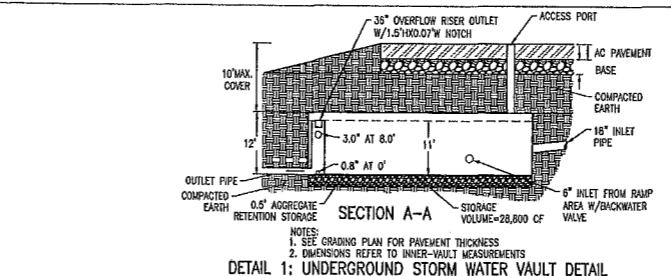
2.75 ACRES
CROPPED AREA 2.75 [ACRES]
CUT QUANTITIES 50,000 [CY]
FILL QUANTITIES 1,000 [CY]
EXPORT 49,000 [CY]

MAX. CUT DEPTH 25 [FT]
MAX. CUT SLOPE RATIO (2:1) MAX 1/4
MAX. FILL DEPTH N/A [FT]
MAX. FILL SLOPE RATIO (2:1) MAX 1/4

THE PROJECT PROPOSES TO EXPORT 49,000 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.
EARTHWORK QUANTITIES SHOWN ARE FOR GRADING AND PERMIT PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY WITH SLOPE, LOSSES DUE TO CLEARING OPERATIONS, REMOVAL & RECOMPACTION, SETTLEMENT, ETC. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO BEGINNING.

ENGINEERING NOTES:

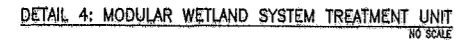
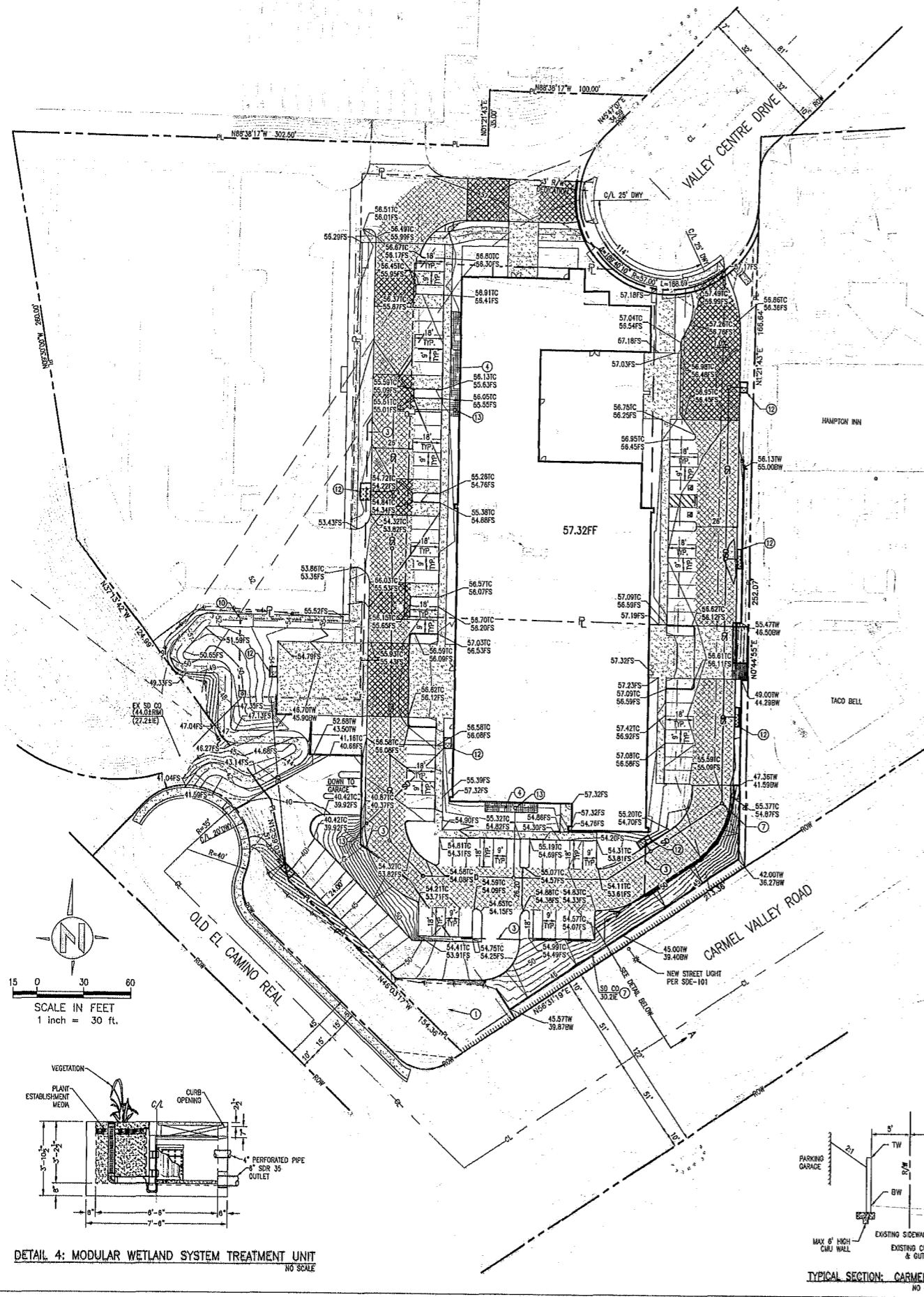
- MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN
NO ADDITIONAL RUNOFF IS PROPOSED FOR THE DISCHARGE LOCATIONS
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE SATISFACTORY TO THE CITY ENGINEER
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2 DIVISION 1 (GRADING REQUIREMENTS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS AND SPECIFICATIONS
DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF STATE WATER RESOURCES CONTROL BOARD (SWRCB) ORDER NO. 2009-009 DWRQ AND THE SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) ORDER NO. RW-2007-001, WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY. IN ACCORDANCE WITH SAID PERMIT, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND MONITORING PROGRAM PLAN SHALL BE IMPLEMENTED CONCURRENTLY WITH COMMENCEMENT OF GRADING ACTIVITIES AND A NOTICE OF INTENT (NOI) SHALL BE FILED WITH THE SWRCB. IN ADDITION THE OWNER(S) AND SUBSEQUENT OWNERS OF ANY PORTION OF THE PROPERTY COVERED BY THIS GRADING PERMIT AND BY SWRCB ORDER NO. 2009-009 DWRQ AND ANY SUBSEQUENT AMENDMENTS THEREOF, SHALL COMPLY WITH SPECIAL PROVISIONS AS SET FORTH IN SWRCB ORDER NO. 2009-009 DWRQ.
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE AND SHOW THE TYPE AND LOCATION OF ALL POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) ON THE FINAL CONSTRUCTION DRAWINGS CONSISTENT WITH THE WATER QUALITY TECHNICAL REPORT



STREET LIGHT NOTES
1. ALL STREET LIGHT LUMINAIRES SHALL CONFORM TO THE CITY OF SAN DIEGO:
a. STREET DESIGN MANUAL, MARCH 2017
b. STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2016
c. APPROVED MATERIALS LIST, JUNE 2016
2. ALL STREET LIGHTING SHALL BE BROAD SPECTRUM LIGHT SOURCES NO GREATER THAN 4000K CORRELATED COLOR TEMPERATURE (CCT), EXCEPT FOR AREAS WITHIN A .35 MILE RADIUS OF MT. PALOMAR OBSERVATORY, WHICH ARE DESIGNATED FOR A MAXIMUM OF 3000K CCT PER COUNCIL RESOLUTION 306251.
3. STREET LIGHTING SHALL BE EQUIPPED WITH ADAPTIVE CONTROL NODES WHEREVER POSSIBLE.
4. MID-BLOCK STREET LIGHTING WITH FULLY SHIELDED LUMINAIRES SHALL BE PROVIDED AT INTERVALS SET FORTH IN THE STREET DESIGN MANUAL.
5. NON-SIGNALIZED INTERSECTION STREET LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH TABLE 4-1 OF THE STREET DESIGN MANUAL.
6. STREET LIGHT SCHEDULE

Table with columns: STREET LIGHT #, STREET NAME, LOCATION REFERENCE**, OWNED/ STREET SIDE, TYPE OF WORK LUMINAIRE ITEM #, FILE TYPE/ ITEM #. Row 1: 1, CARMEL VALLEY ROAD, OLD CAMINO REAL 182', NW, (U), IS.

- LOCATION REFERENCE FOR MID-BLOCK STREET LIGHTS: DISTANCE TO CENTERLINE OF NEAREST CROSS STREET.
TYPE OF WORK: NEW (N), UPGRADE (U), AND RELOCATE (R).
TYPE OF WORK: NEW (N), UPGRADE (U), AND RELOCATE (R).
NATIONAL ELECTRICAL CODE (NEC) WIRE COLOR CODING SHALL BE USED FOR ALL ELECTRICAL WORK.
IMPROVEMENT PLANS SHALL SHOW AND LABEL ALL EXISTING AND PROPOSED STREET LIGHTS, PULL BOXES, AND SERVICE POINTS IN THE PROJECT VICINITY.
ALL NEW STREET LIGHTS SHALL HAVE A PULL BOX ADJACENT TO THE POLE.
THE CONTRACTOR SHALL INSTALL THE STREET LIGHTING DISTRIBUTION SYSTEM. THE CONTRACTOR SHALL NOTIFY THE CITY FIELD ENGINEER AT (858) 627-3200 A MINIMUM OF THREE (3) DAYS PRIOR TO STARTING WORK. ALSO, A PRE-CONSTRUCTION MEETING WILL BE REQUIRED WITH THE CITY ELECTRICAL INSPECTOR (RE) TO REVIEW THE LIGHTING REQUIREMENTS.
THE CONTRACTOR SHALL REPAIR AND/OR REPAINT EXISTING STREET LIGHTS IN THE CITY CENTRE TO THE SATISFACTION OF THE CITY ENGINEER.
THE CITY ELECTRICAL INSPECTOR (RE) SHALL VERIFY ALL STREET LIGHTS ARE FUNCTIONAL BEFORE SIGNING THE PERMIT OFF.
SUPPLEMENTAL AND SPECIAL ORNAMENTAL STREET LIGHTING SHALL BE INCLUDED IN A SPECIAL STREET LIGHTING ASSESSMENT DISTRICT OR MAINTENANCE ASSESSMENT DISTRICT (MAD), AND SHALL BE DESIGNATED WITH AN ASTERISK NEXT TO THE STREET LIGHT NUMBER. THE DEVELOPER/APPLICANT SHALL ESTABLISH A MAD FUND PRIOR TO APPROVAL OF IMPROVEMENT PLANS. INQUIRIES CAN BE DIRECTED TO THE PARK & RECREATION DEPARTMENT, OPEN SPACE DIVISION AT (619) 685-1350.
ALL PRIVATE STREET LIGHTS SHALL HAVE A SEPARATE SERVICE POINT AND SHALL NOT BE CONNECTED TO CITY CIRCUITS.
PRIVATE STREET LIGHTS SHOWN ON THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. PROPOSED PRIVATE STREET LIGHTS SHALL BE PERMITTED AND INSPECTED UNDER A SEPARATE ELECTRICAL PERMIT.



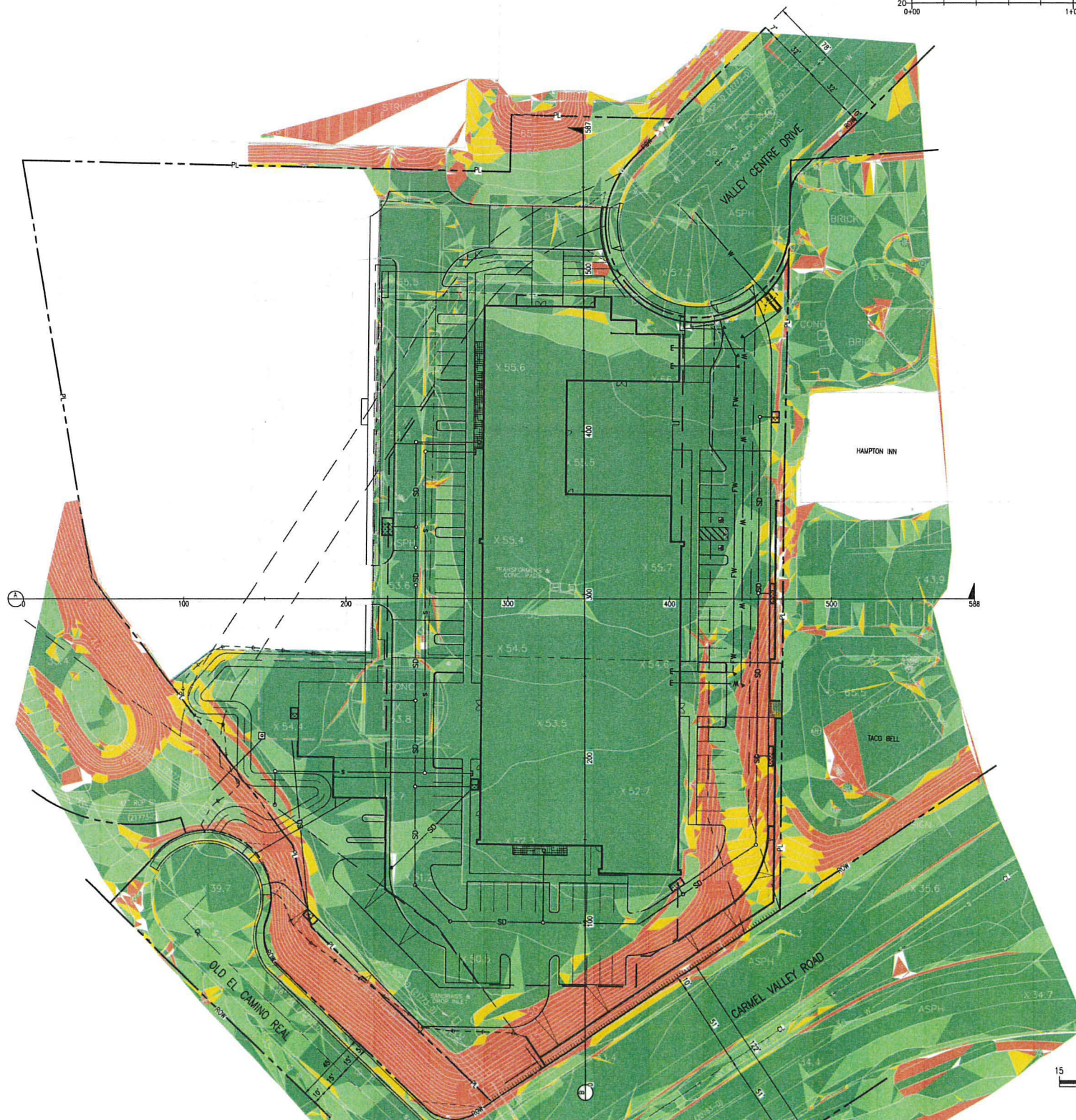
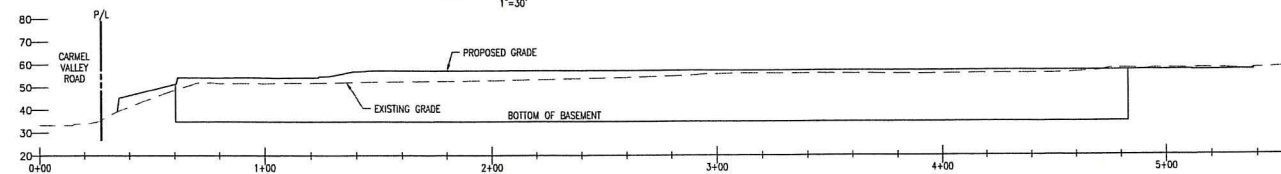
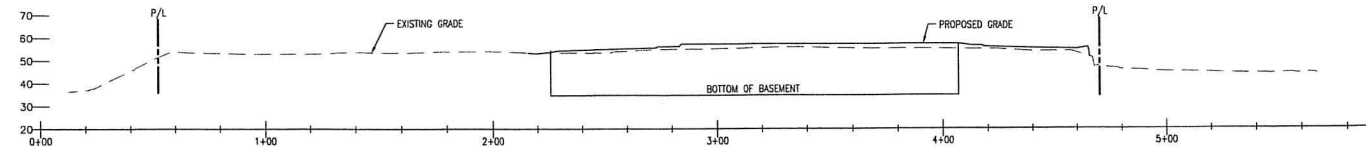
FILE: \\PROJECTS\2017\121401\DWG\121401-00-C2.0-GRADING\121401-00-C2.0-GRADING.dwg Date Plotted: 7/27/2018 10:00 AM



PROJECT NO.: 12140U1.00

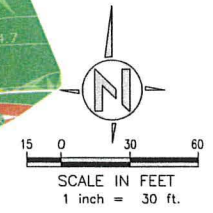
COSTA AZUL CARMEL VALLEY
San Diego, California

REFERENCE:
PTS 400127
SHEET:



SLOPES TABLE				
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	AREA	COLOR
1	0.00%	4.99%	227641.12	Green
2	5.00%	14.99%	59059.70	Light Green
3	15.00%	24.99%	12394.61	Yellow
4*	25.00%	100.00%	34292.50	Red

* - ALL SLOPES IN THIS RANGE ARE MAN MADE



PLOT IN PROGRESS (1/14/20) 1:00 - COSTA AZUL MIXED USE DEVELOPMENT (SHEET) (1/14/20) 1:00 - C:\3196 - 3196.dwg - 3/22/2020 8:07 PM

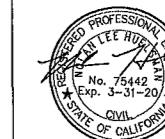
PREPARED BY:
 NAME: BWE
 9449 BALBOA AVE, #270
 SAN DIEGO, CA 92113
 PHONE #: 619-299-5550

PROJECT ADDRESS:
 3515 VALLEY CENTER DRIVE
 SAN DIEGO, CA 92120

PROJECT NAME:
 COSTA AZUL CARMEL VALLEY
 MIXED USE DEVELOPMENT

SHEET TITLE:
C3.0 SLOPE ANALYSIS

REVISION 14: _____
 REVISION 13: _____
 REVISION 12: _____
 REVISION 11: _____
 REVISION 10: _____
 REVISION 9: _____
 REVISION 8: _____
 REVISION 7: _____
 REVISION 6: _____
 REVISION 5: _____
 REVISION 4: 2020-03-23
 REVISION 3: 2018-08-30
 REVISION 2: 2018-07-02
 REVISION 1: 2018-04-02
 ORIGINAL DATE: 2017-09-28
 SHEET 20 OF 30
 DEP# _____



PROJECT NO.: 12140U1.00

COSTA AZUL CARMEL VALLEY

San Diego, California

LEGEND SYMBOL

- OUTER BASIN BOUNDARY
- MINOR BASIN BOUNDARY
- EXISTING STORM DRAIN
- NEW STORM DRAIN
- EXISTING CONTOUR
- NEW CONTOUR
- POINT OF COMPLIANCE (POC)
- DRAINAGE MANAGEMENT AREA MARKER AREA (DMA)
- BIOFILTRATION
- BMP LOCATION AT NODE
- PERVIOUS AREA
- IMPERVIOUS AREA
- LANDSCAPE/DIRT AREA
- CONCRETE/ASPHALT DRIVEWAY
- BUILDING ROOF

- NOTES**
1. SOIL UNDERLYING THE SITE IS HYDROLOGIC SOIL GROUP D.
 2. DEPTH TO GROUNDWATER IS UNKNOWN.
 3. NO NATURAL HYDROLOGIC FEATURES EXIST ON SITE.
 4. NO CRITICAL COARSE SEDIMENT YIELD AREAS (CCSAs) ARE LOCATED ON THE PROJECT SITE.

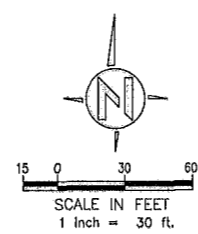
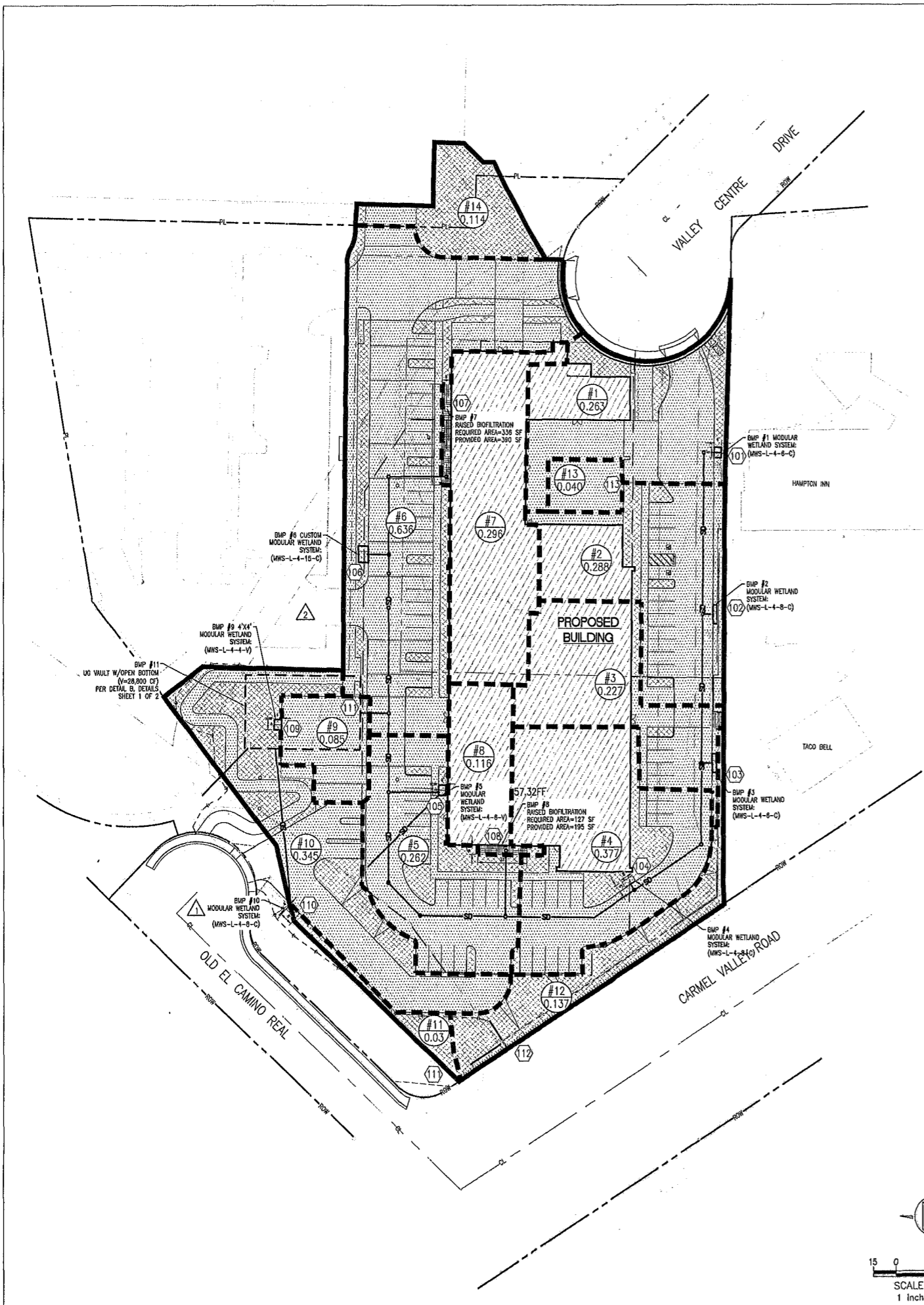
BMP Retention Summary

BMP #	Required/Target Retention Volume (CF)	Provided Retention Volume (CF)
1	35	0
2	41	0
3	35	0
4	58	0
5	38	0
6	92	0
7	47	0
8	19	0
9	14	0
10	38	0
11*	0	480
Total	415	480

Note: Target Retention Volumes are calculated in Worksheet B-5-2.
*Retention is provided in 0.5' of gravel storage below the BMP.

DMA/BMP FLOW ROUTING SUMMARY TABLE

DMA Unique Identifier	% Impervious	Runoff from DMA Drains to		
		Node #	Pollutant Control BMP #	NMP Control BMP #
#1	80.2%	101	BMP #1	BMP #11
#2	84.7%	102	BMP #2	BMP #11
#3	92.5%	103	BMP #3	BMP #11
#4	90.7%	104	BMP #4	BMP #11
#5	85.5%	105	BMP #5	BMP #11
#6	85.5%	106	BMP #6	BMP #11
#7	92.9%	107	BMP #7	BMP #11
#8	92.2%	108	BMP #8	BMP #11
#9	100.0%	109	BMP #9	BMP #11
#10	57.4%	110	BMP #10	BMP #11
#11	0.0%	111	Self-Mitigating Area	N/A
#12	0.0%	112	Self-Mitigating Area	N/A
#13	100.0%	113	N/A (Drains to Sewer)	N/A
#14	0.0%	114	N/A (Offsite DMA)	N/A



REFERENCE: PTS 400127
SHEET:

PREPARED BY: BWE
 NAME: 9449 BALBOA AVE, #270
 SAN DIEGO, CA 9213
 PHONE #: 619-299-5550

PROJECT ADDRESS:
 3815 VALLEY CENTER DRIVE
 SAN DIEGO, CA 92120

PROJECT NAME:
 COSTA AZUL CARMEL VALLEY
 MIXED USE DEVELOPMENT

SHEET TITLE:
C5.0 BMP PLAN

REVISION 14: _____
 REVISION 13: _____
 REVISION 12: _____
 REVISION 11: _____
 REVISION 10: _____
 REVISION 9: _____
 REVISION 8: _____
 REVISION 7: _____
 REVISION 6: _____
 REVISION 5: _____
 REVISION 4: 2020-03-23
 REVISION 3: 2018-08-30
 REVISION 2: 2018-07-02
 REVISION 1: 2018-04-02

ORIGINAL DATE: 2017-09-28
 SHEET 22 OF 30
 DEP#

PLOT: W:\Projects\2020\12140U1.00 - COSTA AZUL MIXED USE\DWG\BMP\BMP PLAN\BMP PLAN.dwg Date: 2/21/2020 8:04 PM

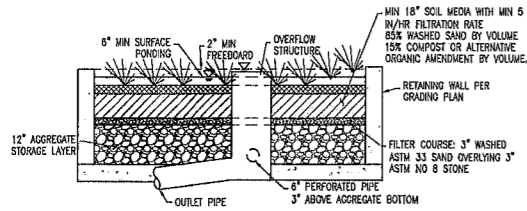


PROJECT NO.: 121401.00

COSTA AZUL CARMEL VALLEY
 San Diego, California

REFERENCE:
 PIS 400127

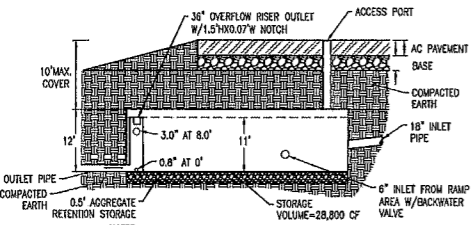
SHEET:



NOTES

- CONTRACTOR SHALL HAVE A LICENSED LAND SURVEYOR TO STAKE THE SUBGRADE OF THE ROCK STORAGE LAYER, BIORETENTION PONDING SURFACE, AND TOP SLOPE OF BIORETENTION BASIN. MINIMUM SURFACE AREAS AND DEPTHS SHALL BE PROVIDED PER PLANS.
- CONTRACTOR IS REQUIRED TO NOTIFY ENGINEER OF RECORD (EOR) DURING CONSTRUCTION FOR INSPECTION OF THE SUBGRADE AND INSTALLATION OF THE LINER, ROCK STORAGE, SUBDRAINAGE, SOIL MEDIA AND OVERFLOW STRUCTURE. IF EOR IS NOT NOTIFIED, CONTRACTOR IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH REMOVING LAYERS AND REPLACING AS NEEDED FOR PROPER INSPECTION.
- CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY PREPARED BY A LICENSED LAND SURVEYOR OF THE BIORETENTION BASIN.
- CONTRACTOR SHALL PROVIDE CONTRACTOR SUBMITTALS FOR ALL BIORETENTION MATERIALS FOR THE EOR'S REVIEW. THIS INCLUDES, BUT IS NOT LIMITED TO: SOIL MIX, MULCH, FILTER LAYER, AGGREGATE BASE, IMPERMEABLE LINER AND OVERFLOW STRUCTURE.

A BMP 8: RAISED BIOFILTRATION PLANTER (BF-1)
 NO SCALE



- NOTES**
- SEE GRADING PLAN FOR PAVEMENT THICKNESS
 - DIMENSIONS REFER TO INNER-VAULT MEASUREMENTS

B BMP 11: UNDERGROUND VAULT
 NO SCALE

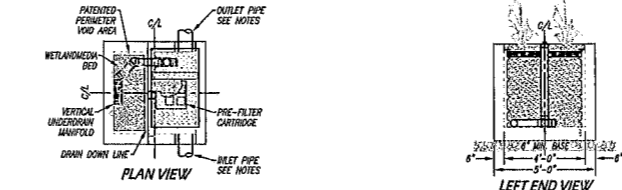
SITE SPECIFIC DATA			
PROJECT NAME			
PROJECT LOCATION			
STRUCTURE ID			
TREATMENT REQUIRED		FLOW BASED (CFS)	
VOLUME BASED (CF)		FLOW BASED (CFS)	
TREATMENT HGL AVAILABLE (FT)			
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE			
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
PRE-TREATMENT	BIOFILTRATION	DISCHARGE	
RIM ELEVATION			
SURFACE LOAD	PARKWAY	OPEN PLANTER	PARKWAY
FRAME & COVER	24" x 42"	N/A	N/A
WETLAND MEDIA VOLUME (CY)			0.83
WETLAND MEDIA DELIVERY METHOD			TBD
ORIFICE SIZE (DIA. INCHES)			#1.03"
MAXIMUM PICK HEIGHT (LBS)			3000

INSTALLATION NOTES

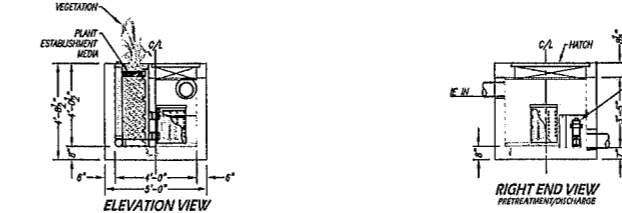
- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
- ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTERFERE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL GAPS AROUND PIPES SHALL BE SEALED WATER TIGHT WITH A NON-SHRINK GROUT PER MANUFACTURER'S STANDING CONNECTION DETAIL AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
- DROP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION.

GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, HEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.



C BMP 9: MODULAR WETLAND SYSTEM (MWS-L-4-4-V)
 NO SCALE



MWS-L-4-4-V STORMWATER BIOFILTRATION SYSTEM STANDARD DETAIL	
TREATMENT FLOW (CFS)	0.032
OPERATING HEAD (FT)	3.4
PRE-TREATMENT LOADING RATE (GPM/SF)	TBD
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0

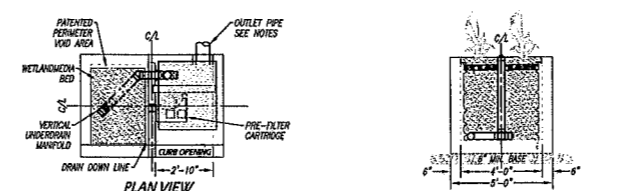
SITE SPECIFIC DATA			
PROJECT NAME			
PROJECT LOCATION			
STRUCTURE ID			
TREATMENT REQUIRED		FLOW BASED (CFS)	
VOLUME BASED (CF)		FLOW BASED (CFS)	
TREATMENT HGL AVAILABLE (FT)			
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE			
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
PRE-TREATMENT	BIOFILTRATION	DISCHARGE	
RIM ELEVATION			
SURFACE LOAD	PARKWAY	OPEN PLANTER	PARKWAY
FRAME & COVER	30" x 36"	N/A	N/A
WETLAND MEDIA VOLUME (CY)			1.48
WETLAND MEDIA DELIVERY METHOD			TBD
ORIFICE SIZE (DIA. INCHES)			#1.22"
MAXIMUM PICK HEIGHT (LBS)			TBD

INSTALLATION NOTES

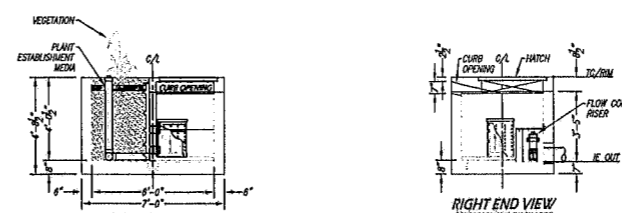
- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
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- ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTERFERE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL GAPS AROUND PIPES SHALL BE SEALED WATER TIGHT WITH A NON-SHRINK GROUT PER MANUFACTURER'S STANDING CONNECTION DETAIL AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES, AND HATCHES. CONTRACTOR TO GROUT ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
- DROP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION.

GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, HEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.



D BMP 1&3: MODULAR WETLAND SYSTEM (MWS-L-4-6-C)
 NO SCALE



MWS-L-4-6-C STORMWATER BIOFILTRATION SYSTEM STANDARD DETAIL	
TREATMENT FLOW (CFS)	0.013
OPERATING HEAD (FT)	3.4
PRE-TREATMENT LOADING RATE (GPM/SF)	TBD
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0

PREPARED BY:	REVISION 14:
NAME: BWE	REVISION 13:
9449 BALBOA AVE, #270	REVISION 12:
SAN DIEGO, CA 9213	REVISION 11:
PHONE #: 619-299-5550	REVISION 10:
	REVISION 9:
	REVISION 8:
	REVISION 7:
	REVISION 6:
	REVISION 5:
	REVISION 4: 2020-03-23
	REVISION 3: 2018-08-30
	REVISION 2: 2018-07-02
	REVISION 1: 2018-04-02
SHEET TITLE: C5.1 BMP DETAILS	ORIGINAL DATE: 2017-09-28
	SHEET 23 OF 30
	DEP



PROJECT NO.: 1214011.00

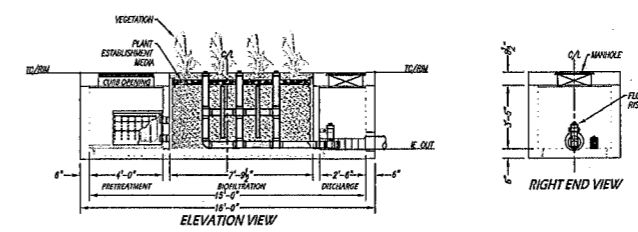
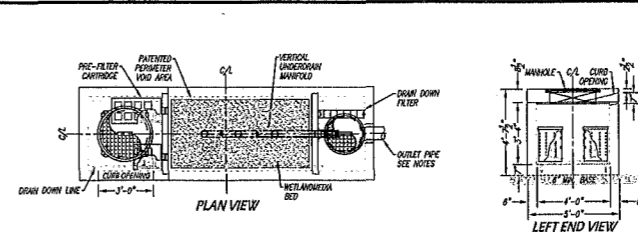
COSTA AZUL CARMEL VALLEY
San Diego, California

REFERENCE:
PTS 400127
SHEET:

TREATMENT REQUIRED	
VOLUME BASED (CF)	FLOW BASED (CFS)

TREATMENT HQL AVAILABLE (FT)			
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE			
PIPE DATA	LC	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			

RM ELEVATION	PARKWAY	OPEN PLANTER	PARKWAY
SURFACE LOAD			
FRAME & COVER	30" X 36"	N/A	N/A
METALMEDIUM VOLUME (CY)			1.48
METALMEDIUM DELIVERY METHOD			TBD
ORIFICE SIZE (DIA INCHES)			#1.82"
MAXIMUM PICK WEIGHT (LBS)			TBD



TREATMENT FLOW (CFS)	0.175
OPERATING HEAD (FT)	3.4
PRETREATMENT LOADING RATE (GPM/SF)	TBD
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0

MWS-L-4-15-C
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

INSTALLATION NOTES

- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND ACCESSORIES REQUIRED TO OBTAIN AND INSTALL THE SYSTEM AND APPEARANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
- UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE TO VERIFY PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
- ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE. (PIPES CANNOT INTERLIE BEYOND FLOOR). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL GAPS AROUND PIPES SHALL BE SEALED WATER TIGHT WITH A NON-SHRINK GROUT PER MANUFACTURER'S STANDARD CONNECTION DETAIL AND SHALL MEET OR EXCEED REGIONAL PIPE CONNECTION STANDARDS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES.
- CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL RISERS, MANHOLES AND HATCHES. CONTRACTOR TO GROUP ALL MANHOLES AND HATCHES TO MATCH FINISHED SURFACE UNLESS SPECIFIED OTHERWISE.
- DROP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION.

GENERAL NOTES

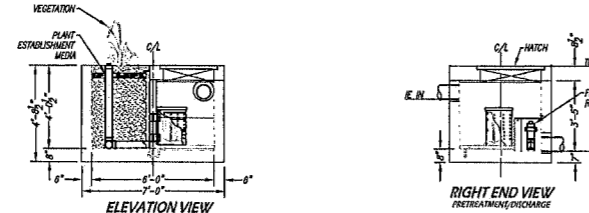
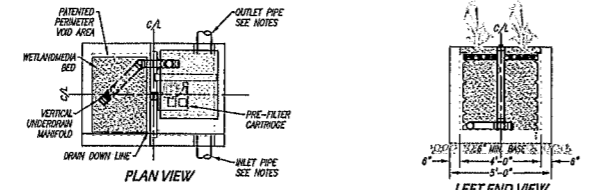
- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.

G BMP 6: MODULAR WETLAND SYSTEM (MWS-L-4-15-C)
NO SCALE

TREATMENT REQUIRED	
VOLUME BASED (CF)	FLOW BASED (CFS)

TREATMENT HQL AVAILABLE (FT)			
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE			
PIPE DATA	LC	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			

RM ELEVATION	PARKWAY	OPEN PLANTER	PARKWAY
SURFACE LOAD			
FRAME & COVER	30" X 36"	N/A	N/A
METALMEDIUM VOLUME (CY)			1.48
METALMEDIUM DELIVERY METHOD			TBD
ORIFICE SIZE (DIA INCHES)			#1.82"
MAXIMUM PICK WEIGHT (LBS)			TBD



E BMP 5: MODULAR WETLAND SYSTEM (MWS-L-4-6-V)
NO SCALE

TREATMENT FLOW (CFS)	0.073
OPERATING HEAD (FT)	3.4
PRETREATMENT LOADING RATE (GPM/SF)	TBD
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0

MWS-L-4-6-V
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

INSTALLATION NOTES

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- DROP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION.

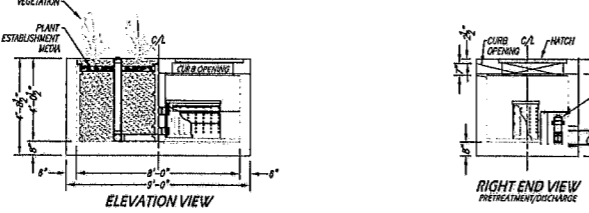
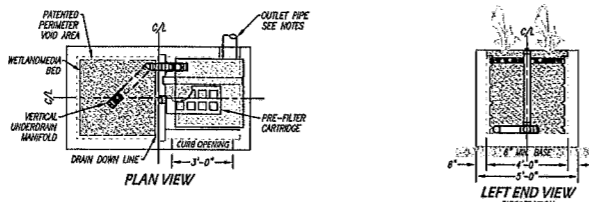
GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.

TREATMENT REQUIRED	
VOLUME BASED (CF)	FLOW BASED (CFS)

TREATMENT HQL AVAILABLE (FT)			
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE			
PIPE DATA	LC	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			

RM ELEVATION	PARKWAY	OPEN PLANTER	PARKWAY
SURFACE LOAD			
FRAME & COVER	36" X 36"	N/A	N/A
METALMEDIUM VOLUME (CY)			2.03
METALMEDIUM DELIVERY METHOD			TBD
ORIFICE SIZE (DIA INCHES)			#1.53"
MAXIMUM PICK WEIGHT (LBS)			15000



F BMP 2,4&10: MODULAR WETLAND SYSTEM (MWS-L-4-8-C)
NO SCALE

TREATMENT FLOW (CFS)	0.115
OPERATING HEAD (FT)	3.4
PRETREATMENT LOADING RATE (GPM/SF)	TBD
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0

MWS-L-4-8-C
STORMWATER BIOFILTRATION SYSTEM
STANDARD DETAIL

INSTALLATION NOTES

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- DROP OR SPRAY IRRIGATION REQUIRED ON ALL UNITS WITH VEGETATION.

GENERAL NOTES

- MANUFACTURER TO PROVIDE ALL MATERIALS UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS, ELEVATIONS, SPECIFICATIONS AND CAPACITIES ARE SUBJECT TO CHANGE. FOR PROJECT SPECIFIC DRAWINGS DETAILING EXACT DIMENSIONS, WEIGHTS AND ACCESSORIES PLEASE CONTACT MANUFACTURER.

DATE: 04/10/2018 12:00:00 PM BY: C522/2018 04/10/2018 12:00:00 PM PROJECT: 1214011.00 - COSTA AZUL CARMEL VALLEY (MWS-L-4-15-C) - 2018-03-23 12:00:00 PM

PREPARED BY:
NAME: BWE
9446 BALBOA AVE, #270
SAN DIEGO, CA 92131
PHONE #: 619-299-5550

PROJECT ADDRESS:
3515 VALLEY CENTER DRIVE
SAN DIEGO, CA 92126

PROJECT NAME:
COSTA AZUL CARMEL VALLEY
MIXED USE DEVELOPMENT

SHEET TITLE:
C5.2 BMP DETAILS

REVISION	DATE
REVISION 14:	
REVISION 13:	
REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	
REVISION 4:	2020-03-23
REVISION 3:	2019-08-30
REVISION 2:	2019-07-02
REVISION 1:	2019-04-02
ORIGINAL DATE:	2017-09-28

SHEET 24 of 30
DEPI

AHLES
LANDSCAPE
ARCHITECTURE INC.
P.O. Box 1503
Rancho Santa Fe, California 92067
858.756.8963
CA# 2538

PROJECT NO.: 55.7804.000

COSTA AZUL CARMEL VALLEY

San Diego, California

NOT FOR
CONSTRUCTION

REFERENCE:
PTS 400127

SHEET:

Landscape Plans for: COSTA AZUL CARMEL VALLEY

San Diego, California 92102

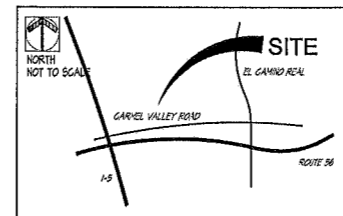
DRAWING INDEX

SHEET	CONTENTS
L-1	TITLE SHEET, CITY CALCULATIONS AND NOTES
L-2	PLANT LEGEND
L-3	LANDSCAPE DEVELOPMENT PLAN
L-4	WATER CONSERVATION PLAN

SITE ADDRESS

SAN DIEGO, CALIFORNIA

VICINITY MAP



CITY STANDARDS NOTES

LANDSCAPE REGULATION CONFORMANCE

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY ORDINANCE LANDSCAPE ARTICLES AND LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

CITY INSPECTION

OBTAIN A FINAL INSPECTION OF THE COMPLETED LANDSCAPE PLANTING AND IRRIGATION INSTALLATION BY CITY LANDSCAPE INSPECTOR, SCHEDULE INSPECTOR AND LANDSCAPE ARCHITECT AT LEAST ONE WEEK IN ADVANCE OF INSPECTION. CITY FEES PROVIDED FOR ONLY ONE INSPECTION, ADDITIONAL INSPECTIONS WILL REQUIRE ADDITIONAL FEES.

EXISTING LANDSCAPE NOTE

EXISTING TREES SHOWN WILL REMAIN. ANY AREAS BARE OR DISTURBED BY CONSTRUCTION WILL BE REPAIRED WITH NEW LANDSCAPING TO MATCH.

CURB NOTE:

ALL LANDSCAPE AREAS ARE SEPARATED FROM VEHICULAR DRIVES AND PARKING BY 6 IN. CONCRETE CURBS- CONSTRUCTED PER SITE IMPROVEMENT PLANS ALL PARKING SPACES FACING LANDSCAPE AREAS 5 FT. OR LESS IN WIDTH SHALL HAVE WHEEL STOPS PROVIDED AT LEAST TWO FEET FROM THE LANDSCAPE AREA

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE	DISTANCE
TRAFFIC SIGNALS (STOP SIGN)	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
UNDERGROUND SEWER LATERALS	10 FEET
ABOVE GROUND UTILITY STRUCTURES- DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)	25 FEET

VERIFY MINIMUM SEPARATION DISTANCE IN FIELD PRIOR TO PLANTING. UPON IDENTIFICATION OF CONFLICT, CONTACT LANDSCAPE ARCHITECT AND ADJUST TREE LOCATION AS DIRECTED.

ROOT BARRIER

NON-BIGGEDRAGABLE ROOT BARRIERS SHALL BE INSTALLED BETWEEN ALL NEW STREET TREES PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED WITHIN 10 FEET OF THE PROPERTY LINE ALONG THAT STREET FRONTAGE (SDMG 142.0409(A)(1)).

DRAINAGE BEST MANAGEMENT PRACTICES

NO IRRIGATION RUN OFF SHALL DRAIN OFF SITE INTO THE PUBLIC RIGHT OF WAY, STREETS, DRIVES OR ALLEYS. NO CONNECTION SHALL BE MADE TO ANY STORM WATER SEWER SYSTEM WITHOUT PROPER PBMPS. ALL ROOF DISCHARGE TO BE TO SURFACE DRAINAGE. REFER TO STORM WATER POLLUTION PREVENTION PLAN

IRRIGATION NOTE

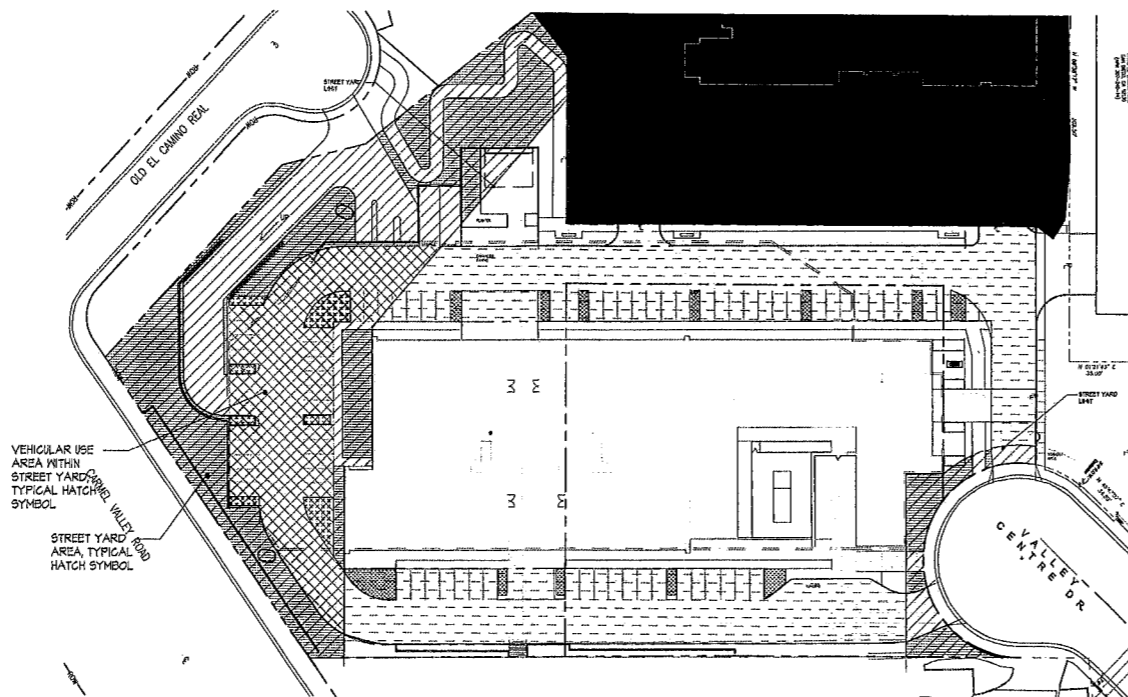
AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC §142.0403(C) FOR PROPER IRRIGATION DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

ROOT ZONE NOTE

A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMG §142.0403(B)(5).

MAINTENANCE NOTE

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.



AREA KEY MAP



	AREA BY PA BY PA
	AREA VIA LANDSCAPE
	AREA VIA SY PA VIA BY LANDSCAPE
	YARD STREET SY
	YARD VEHICULAR VIA
	YARD VEHICULAR ST. YARD VIA SY

CITY OF SAN DIEGO AREA AND POINT CALCULATIONS

STREET YARD- CARMEL VALLEY ROAD	
AREA	POINTS
TOTAL STREET YARD AREA	40,254
REQUIRED LANDSCAPE AREA	10,064
PROVIDED LANDSCAPE AREA	18,038

POINTS	PLANTING AREA	100% (NON-INCLUDED)
REQUIRED POINTS	# 05	2013
REQUIRED TREE POINTS	# 100%	205
PROVIDED TREE POINTS		2840

NOTE: EXCLUDES EXISTING TREES, INCLUDE STREET TREES NOT IN ROW

STREET TREES- VALLEY CENTER DRIVE	
QUANTITY	POINTS
REQUIRED	186 FT. @ 1/50
PROVIDED	9

NOTE: TREE PLANTING IS RESTRICTED BY UTILITY EASEMENTS AND SIGHT VISIBILITY LINES LARGER SPECIES PROPOSED TO MITIGATE QUANTITY

STREET TREES- CARMEL VALLEY ROAD	
QUANTITY	POINTS
REQUIRED	218 FT. @ 1/50
PROVIDED	8

STREET TREES- EL CAMINO REAL	
QUANTITY	POINTS
REQUIRED	174 FT. @ 1/50
PROVIDED	6

VEHICULAR USE AREA- STREET YARD	
AREA	POINTS
TOTAL STREET YARD VIA	12,316
REQUIRED LANDSCAPE AREA	614
PROVIDED LANDSCAPE AREA	1241

POINTS	PLANTING AREA	100%
REQUIRED POINTS	# 05	614
REQUIRED TREE POINTS	# 100%	614
PROVIDED TREE POINTS		100

1 TREE IS REQUIRED (AND PROPOSED PER PLAN) WITHIN 30 FEET OF EACH PARKING SPACE

VEHICULAR USE AREA- NOT IN STREET YARD	
AREA	POINTS
TOTAL YARD AREA	32,451
REQUIRED LANDSCAPE AREA	914
PROVIDED LANDSCAPE AREA	1481

POINTS	PLANTING AREA	100%
REQUIRED POINTS	# 05	914
REQUIRED TREE POINTS		1000

PREPARED BY:
NAME: AHLES LANDSCAPE ARCHITECTURE INC.
PHONE: 858.756.8963

PROJECT ADDRESS:
3516 VALLEY CENTER DRIVE
SAN DIEGO, CA 92120

PROJECT NAME:
COSTA AZUL CARMEL VALLEY
MIXED USE DEVELOPMENT

SHEET TITLE:
L-1 TITLE SHEET CALCULATIONS & NOTES

REVISION 14:	_____
REVISION 13:	_____
REVISION 12:	_____
REVISION 11:	_____
REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
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REVISION 5:	_____
REVISION 4:	2020-03-23
REVISION 3:	2019-08-30
REVISION 2:	2018-07-02
REVISION 1:	2018-04-02
ORIGINAL DATE:	2017-09-28
SHEET	25 OF 30
DATE	_____

AHLES
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CA# 2538

PROJECT NO.: 55.7604.000

**COSTA
AZUL
CARMEL
VALLEY**

San Diego, California

**NOT FOR
CONSTRUCTION**

REFERENCE:
PIS 400127

SHEET:

EXISTING LANDSCAPE

LEG	BOTANICAL NAME	COMMON NAME
(C)	EXISTING TREES CUPANOPSIS	CARROT HOOD TREE
(P)	PINUS HALAPENSIS	ALLEPO PINE
(T)	PINUS TORREYANA	TORREY PINE
(P)	PLATANUS	PLANE TREE
(C)	WASHINGTONIA	MEXICAN FAN PALM

PLANT LEGEND

SPECIES LISTED OR SPECIES WITH SIMILAR CHARACTERISTICS SHALL BE UTILIZED

SYMBOL	PLANT FUNCTION BOTANICAL NAME	COMMON NAME	PLANT FORM	STEM MASSING	APPROX. QUANTITY
(S)	STREET TREE- 30 FT HEIGHT X SPREAD INCLUDES NEAR STREET TREES NEAR OLD EL CAMINO ROAD	TABEBUIA IMPETIGINOSA GELEERA PARVIFLORA RHUS LANCEA	IFE TREE AUSTRALIAN WILLOW AFRICAN SIMAC	100% 100% 100%	36' BOX 48' BOX
(L)	PARKING LOT CANOPY TREE- 30 FT HEIGHT X WIDTH	RHUS LANCEA GIERKIAS ILEX OLEA MISSISSIPPI	AFRICAN SIMAC HOLLY OAK FRUITLESS OLIVE	100% 100% 100%	48' BOX
(D)	PERIMETER PERIMETER ACCENT TREE- 15 FT HEIGHT X 10 FT WIDTH	MANGOLIA LITTLE GEM TABEBUIA IMPETIGINOSA PARKINSONIA SP.	DWARF MANGOLIA IFE TREE PALO VERDE	100% 100% 100%	PER SYMBOL 36' BOX 48' BOX
(S)	PERIMETER SCREENING TREE- 25 FT HEIGHT X 20 FT WIDTH	RHUS LANCEA ACACIA STENOPHYLLA CALLISTEMON CITRINUS	AFRICAN SIMAC ACACIA BOTTLE BRUSH	100% 100% 100%	36' BOX 48' BOX
(V)	PERIMETER VERTICAL ACCENT TREE- 40 FT HEIGHT X 25 FT WIDTH	PINUS TORREYANA TRISTANIA CONFERTA LAURUS NOBILIS	FINE BRISBANE BOX BAY LAUREL	100% 100% 100%	48' BOX
(G)	ACCENT GRASS COVER- 12 TO 24 INCHES HIGH	BEGONIA RICHMONDENSIS LYSISACHIA BENECIO SP.	AFRICAN SIMAC MONEY WORT CHALK FINGERS	100% 100% 100%	FLATS OR 4 IN. POTS
(G)	LIVING GRASS COVER- 12 TO 24 INCHES HIGH	BACCHARIS PIGEON POINT LANTANA SP. MYOPORUM PARVIFOLIUM	DWARF COYOTE BUSH SPREADING LANTANA MYOPORUM	100% 100% 100%	FLATS OR ONE GALLON
(M)	NON-LIVING GRASS COVER	BARK MULCH DECORATIVE GRAVEL OR COBBLE MULCH DECOMPOSED GRANITE			3 IN. MIN. DEPTH

PLANTING NOTE

TREES LOCATED ABOVE THE PARKING GARAGE WILL BE LOCATED WITHIN RAISED PLANTERS PROVIDING MINIMUM REQUIRED ROOT ZONE TO A MINIMUM 36" HIGH SOIL DEPTH

NO EXISTING TREES ARE INCLUDED IN THE PLANT POINT CALCULATIONS

SYMBOL	PLANT FUNCTION BOTANICAL NAME	COMMON NAME	PLANT FORM	STEM MASSING	APPROX. QUANTITY
(S)	FUNCTIONAL VERTICAL SCREENING SHRUB- 6 TO 8 FT. HIGH	PODOPHYLLIS YAKI FIGUS 'GREEN BEAUTY' FRAXINUS 'BRIGHT AND TIGHT' LIGUSTRUM JAPONICUM	YEM PINE COLUMNAR FIG LAUREL CHERRY PRIVET	100% 100% 100% 100%	15 GALLON 4-6 FT. O.G.
(S)	FUNCTIONAL MEDIUM SHRUBS- 2 TO 4 FT. HEIGHT X 4 FT. WIDTH	ROSEMARY 'TUSCAN BLUE' KESTRINGIA SP. LANTANA SP.	ROSEMARY AUSTRALIAN ROSEMARY LANTANA	100% 100% 100%	5 GALLON 4-6 FT. O.G.
(S)	FUNCTIONAL FLORIBUND ACCENT SHRUBS- 3 TO 5 FT HEIGHT X WIDTH	ROSA SP. STREPTILITIA REGINAE FRAXINUS SP.	MULTI FLORA ROSE BIRD OF PARADISE NZ FLAX	100% 100% 100%	5 GALLON 2-4 FT. O.G.
(S)	FUNCTIONAL FLORIBUND ACCENT SHRUBS- 1-3 FT HEIGHT X WIDTH	CARDESSA GREEN CARPET RHAPHIOLEPIS SP. BUNUS JAPONICUM	NATAL PLUM INDIAN HAWTHORNE BOXWOOD	100% 100% 100%	5 GALLON 2-4 FT. O.G.
(S)	FUNCTIONAL LARGE PERIMETER SHRUBS- 4-10 FT HEIGHT X WIDTH	HEVERDIALES ARBUTIFOLIA SALVIA SP. RHUS INTEGRIFOLIA	TOYON SAGE LEMONGRASS BERRY	100% 100% 100%	5 GALLON 2-4 FT. O.G.
(S)	FUNCTIONAL MEDIUM SMALL SHRUBS- 3-5 FT HEIGHT X WIDTH	HESPERALOE PARVIFOLIA MULLENBERGIA RIGENS ENCCELIA CALIFORNICA	ROSE DEER GRASS YELLOW DAIY	100% 100% 100%	5 GALLON 2-4 FT. O.G.
(S)	FUNCTIONAL ACCENT SHRUBS- 1-3 FT HEIGHT X WIDTH	FERNISENUM (NON INVASIVE VARIETY) ALOE SP. CALAMAGROSTIS SP. OTHER SUCCULENTS	FOUNTAIN GRASS ALOE KOREAN GRASS	100% 100% 100%	5 GALLON 2-4 FT. O.G.
(S)	FUNCTIONAL CLIMBING VINES	PARTENOCISSUS TRILOBIPATA FIGUS PUMILA	CLIMBING IVY CREEPING FIG	100% 100%	5 GALLON 4-8 FT. O.G.

PREPARED BY: NAME: JAMES LANDSCAPE ARCHITECTURE INC. PHONE #: 858.756.8963	REVISION 14: _____
PROJECT ADDRESS: 3515 WILLEY CENTER DRIVE SAN DIEGO, CA 92120	REVISION 13: _____
PROJECT NAME: COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT	REVISION 12: _____
SHEET TITLE: L-2 PLANT LEGEND	REVISION 11: _____
	REVISION 10: _____
	REVISION 9: _____
	REVISION 8: _____
	REVISION 7: _____
	REVISION 6: _____
	REVISION 5: _____
	REVISION 4: 2020-03-23
	REVISION 3: 2018-08-30
	REVISION 2: 2018-07-02
	REVISION 1: 2018-04-02
	ORIGINAL DATE: 2017-09-28
	SHEET 28 OF 30
	DEPT

AHLES
LANDSCAPE
ARCHITECTURE INC.

P.O. Box 1503
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CA# 2538

PROJECT NO.: 55,7604,000

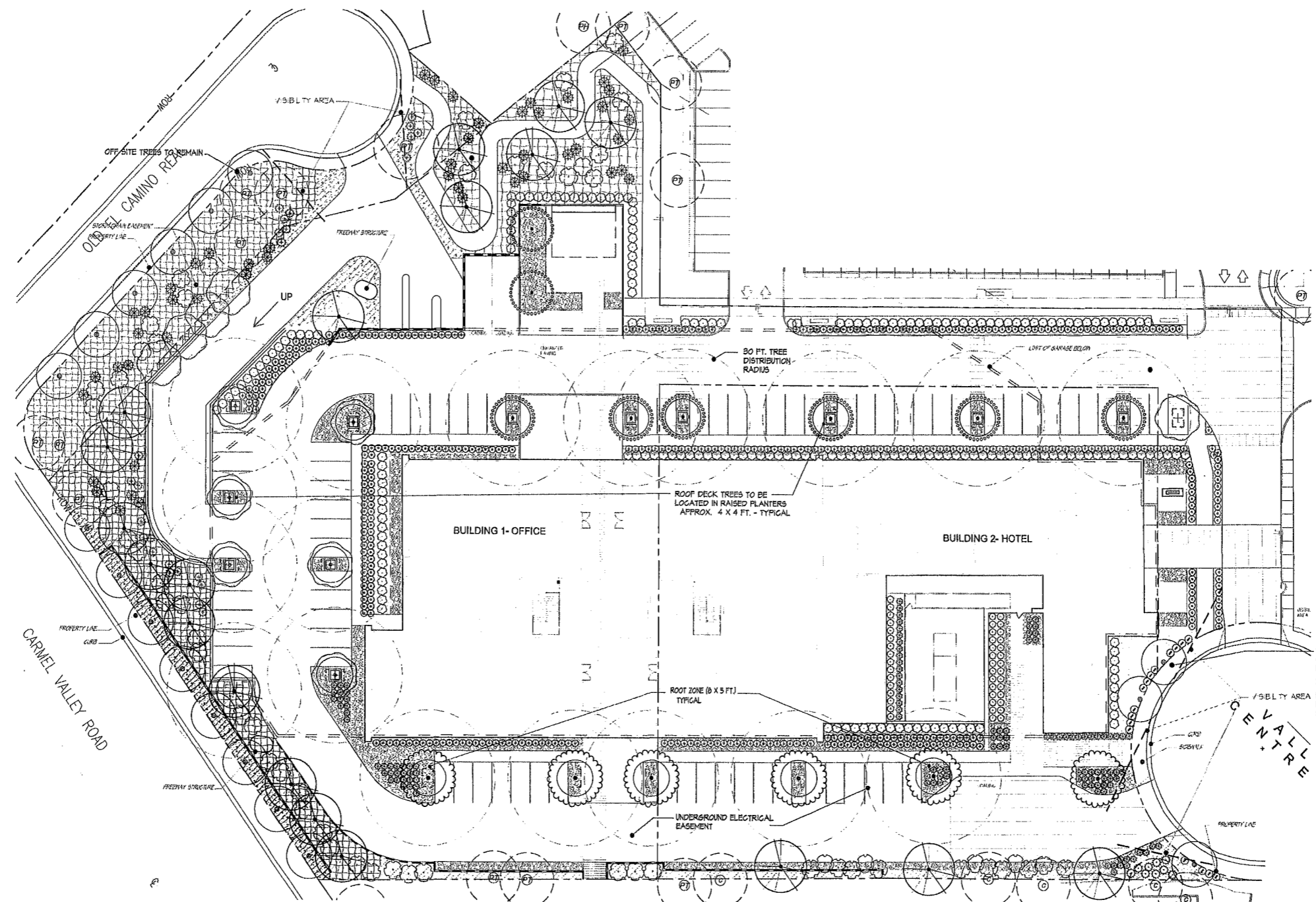
**COSTA
AZUL
CARMEL
VALLEY**

San Diego, California

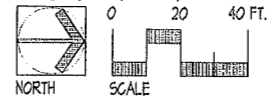
**NOT FOR
CONSTRUCTION**

REFERENCE:
PIS 400127

SHEET:

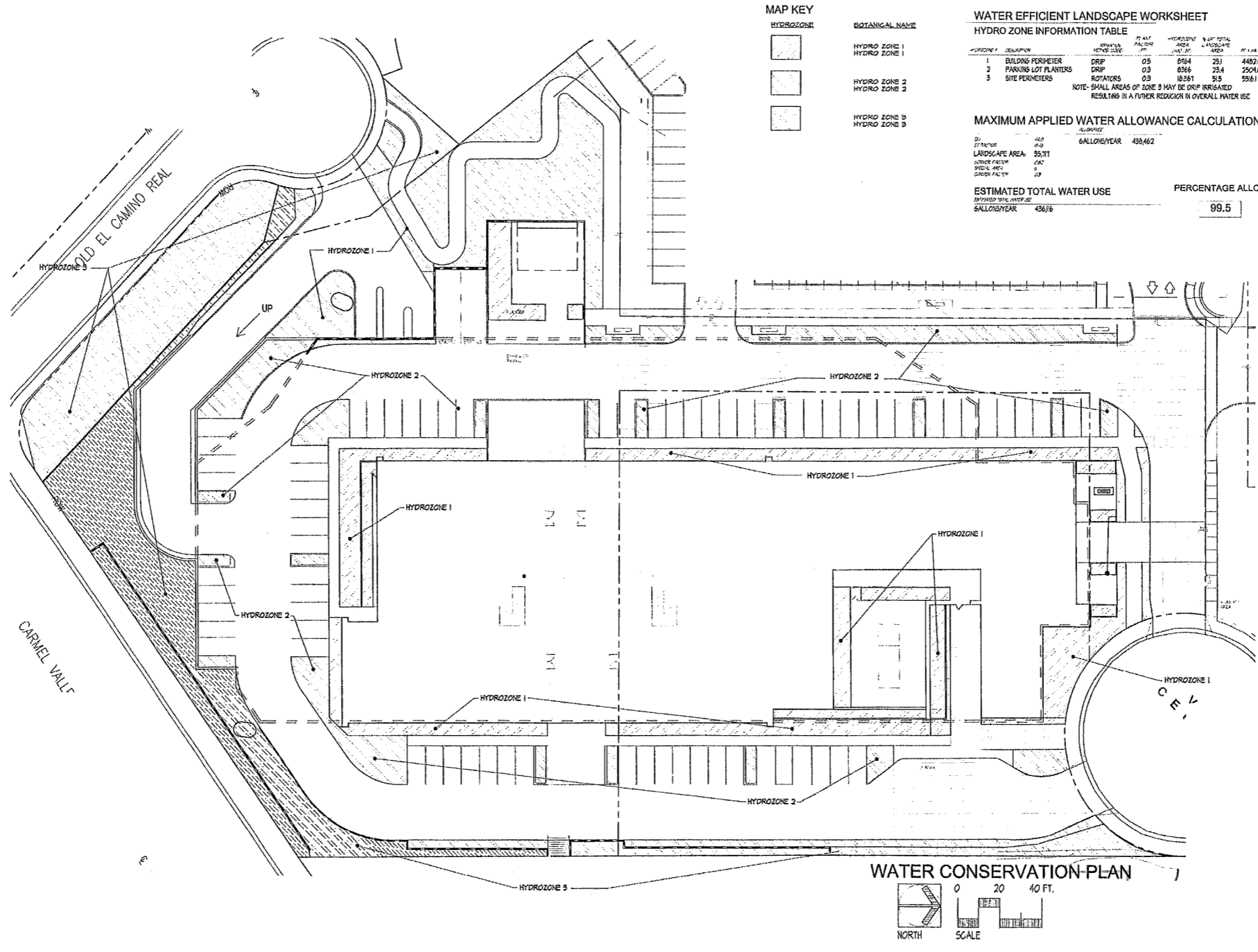


LANDSCAPE DEVELOPMENT PLAN



STREET TREE-UTILITY
CONFLICT NOTE:
PRECISE UTILITY LOCATIONS
ARE UNKNOWN AT THIS TIME.
TREE TREE LOCATIONS MAY
REQUIRE ADJUSTMENT TO
PROVIDE REQUIRED UTILITY
SETBACKS

PREPARED BY: NAME: AHLES LANDSCAPE ARCHITECTURE INC. P.O. Box 1503 Rancho Santa Fe, California 92067 PHONE #: 858.756.8963	REVISION 14: _____ REVISION 13: _____ REVISION 12: _____ REVISION 11: _____ REVISION 10: _____ REVISION 9: _____ REVISION 8: _____ REVISION 7: _____ REVISION 6: _____ REVISION 5: _____ REVISION 4: 2020-03-23 REVISION 3: 2019-09-30 REVISION 2: 2018-07-02 REVISION 1: 2018-04-02
PROJECT ADDRESS: 3515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120	ORIGINAL DATE: 2017-09-28
PROJECT NAME: COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT	SHEET 27 OF 30
SHEET TITLE: L-3 LANDSCAPE DEVELOPMENT PLAN	DATE



MAP KEY

HYDROZONE	BOTANICAL NAME
[Symbol]	HYDRO ZONE 1
[Symbol]	HYDRO ZONE 2
[Symbol]	HYDRO ZONE 3

WATER EFFICIENT LANDSCAPE WORKSHEET

HYDRO ZONE INFORMATION TABLE

HYDROZONE	DESCRIPTION	DRIP	ROTATORS	HYDROZONE AREA (SQ. FT.)	% OF TOTAL LANDSCAPE AREA	EST. WATER USE (GALLONS PER YEAR)
1	BUILDING PERIMETER	0.5	0	8764	25.1	44870
2	PARKING LOT PLANTERS	0.3	0	8366	23.4	25040
3	SITE PERIMETERS	0.3	10.961	10.961	31.5	5961
NOTE: SMALL AREAS OF ZONE 3 MAY BE DRIP IRRIGATED RESULTING IN A FURTHER REDUCTION IN OVERALL WATER USE						12948

MAXIMUM APPLIED WATER ALLOWANCE CALCULATIONS

ESTIMATE	ALLOWANCE	GALLONS PER YEAR
Dr. IRRIGATION	4.0	438,462
STRUCTURE	4.0	
LANDSCAPE AREA	95.31	
ESTIMATE	0.2	
PERCENTAGE	0.2	
ESTIMATE	0.2	

ESTIMATED TOTAL WATER USE PERCENTAGE ALLOWANCE USED
 438,462 GALLONS PER YEAR 99.5

AHLES LANDSCAPE ARCHITECTURE PC
 P.O. Box 1503
 Rancho Santa Fe, California 92067
 858.756.8963
 CAP 2538

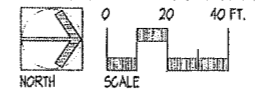
PROJECT NO.: 55,7604,000

COSTA AZUL CARMEL VALLEY
 San Diego, California

NOT FOR CONSTRUCTION

REFERENCE: PIS 400127
 SHEET:

WATER CONSERVATION PLAN

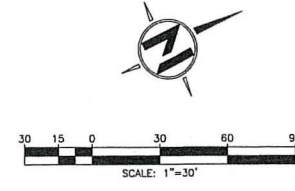


PREPARED BY:	NAME:	PHONE #:	PROJECT ADDRESS:	PROJECT NAME:	SHEET TITLE:	REVISION 14:
	LANDSCAPE ARCHITECTURE	858.756.8963	5515 VALLEY CENTER DRIVE SAN DIEGO, CA 92120	COSTA AZUL CARMEL VALLEY MIXED USE DEVELOPMENT	L-4 WATER CONSERVATION PLAN	
						REVISION 13:
						REVISION 12:
						REVISION 11:
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						REVISION 7:
						REVISION 6:
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						REVISION 1: 2018-04-02
						ORIGINAL DATE: 2017-09-28
						SHEET 28 OF 30
						DEF

VESTING TENTATIVE MAP No. 2330057

EASEMENT VACATION NO. 2362143

PROJECT NO. 400127



SURVEYORS STATEMENT

THE SURVEY WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY PERFORMED IN JULY OF 2015 AND DECEMBER OF 2019. THE FIELD WORK WAS COMPLETED ON DECEMBER 12, 2019.

ADAM E. EISENBERG, L.S. 9096
 DATE: 5/21/2020



ENGINEER OF WORK

NOLAN HUELSMAN RCE 75442
 DATE: 5-21-2020



OWNER/DEVELOPERS

CARMEL VALLEY CENTRE DRIVE, LLC,
 A CALIFORNIA LIMITED LIABILITY COMPANY.
 Andrew Hunter Ollivier
 NAME: Andrew Hunter Ollivier
 TITLE: MANAGING MEMBER
 DATE: 5-26-2020

COGNAC DEL MAR OWNER I, LLC,
 A DELAWARE LIMITED LIABILITY COMPANY.
 Callie O'Connor
 NAME: Callie O'Connor
 TITLE: VP
 DATE: 7/2/20

LEGAL DESCRIPTION

LOTS 3 AND 4 OF THE PARDEE VISITOR CENTER, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 11479, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 2, 1986, TOGETHER WITH PARCEL 1 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO PARCEL MAP NO. 18484, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 2, 2000.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF THE WESTERLY LINE OF LOT 4 AS SHOWN ON MAP NO. 11479.
 LE = N 121°43' E

BENCHMARK

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS A BRASS PLUG AT THE NORTHEAST CURB RETURN OF EL CAMINO REAL AND CARMEL VALLEY ROAD, ON TOP OF A STORM DRAIN INLET, PER THE CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK.
 ELEVATION = 55.345' (M.S.L.)

UTILITY NOTE

THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON VISIBLE ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. THE DEPICTED LOCATIONS, SIZES AND TYPES OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE RECORD DRAWINGS AND/OR ACTUAL AS-BUILT LOCATIONS. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

BWE AND THE UNDERSIGNED LAND SURVEYOR MAKE NO CLAIM AS TO THE ACCURACY OF UNDERGROUND UTILITIES SHOWN HEREON. THE USER OF THIS SURVEY IS RECOMMENDED TO CONDUCT INDEPENDENT PHYSICAL INSPECTION OF EACH UNDERGROUND UTILITY PRIOR TO EXCAVATION OR CONSTRUCTION.

REFERENCE DRAWINGS

THE FOLLOWING IS A LIST OF REFERENCE DRAWINGS USED IN THE PREPARATION OF THIS SURVEY AND ITS DEPICTION OF ANY UNDERGROUND OR SURFACE EVIDENT UTILITY:

1. CITY OF SAN DIEGO WATER AND WASTE WATER DEPARTMENT DRAWING, UNDATED AND UNDATED.
2. SAN DIEGO GAS AND ELECTRIC COMPANY GAS ASSET MAP NO. 15667-11955, DATED JUNE 25, 2019.
3. SAN DIEGO GAS AND ELECTRIC COMPANY ELECTRIC ASSET MAP NO. 15667-11955, DATED JUNE 25, 2019.

ANY USER OF THIS SURVEY IS HEREBY CAUTIONED TO THE FACT THE ABOVE LIST MAY NOT BE A COMPLETE LIST OF ALL AVAILABLE REFERENCE DRAWINGS, RECORD DRAWINGS, UTILITY DRAWINGS OR OTHER SOURCES OF INFORMATION. IN THE EVENT A REFERENCE DRAWING, RECORD DRAWING, UTILITY DRAWING OR OTHER SOURCE OF INFORMATION IS DISCOVERED, PROVIDED OR PRODUCED BY ANY OWNER, ENGINEER, SURVEYOR, CONTRACTOR, OR OTHER USER OF THIS SURVEY PRODUCT, THE UNDERSIGNED SURVEYOR RESERVES THE RIGHT TO PERFORM REVISIONS, CORRECTIONS OR AMENDMENTS TO THIS SURVEY WITHOUT ANY USER OR OWNER LITIGIOUS ACTION.

CONDOMINIUM NOTE

THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. TOTAL NUMBER OF UNITS IS 3 COMMERCIAL UNITS. (ONE OFFICE UNIT, ONE HOTEL UNIT AND PARKING GARAGE UNIT), ALL IN PARCEL 1. THERE ARE NO RESIDENTIAL UNITS PROPOSED.

LEGEND

UTILITIES

- TRAFFIC SIGNAL TS
- LIGHT POLE W/CONC. BASE LP
- STREET LIGHT SL
- ELECTRIC PULL BOX EPB
- ELECTRIC VAULT EV
- ELECTRIC TRANSFORMER ET
- TRAFFIC SIGNAL PULL BOX TSPB
- ELECTRIC LINE E
- STORM DRAIN MANHOLE SDMH
- STORM DRAIN CURB INLET SDCI
- STORM DRAIN CLEAN-OUT SDCO
- STORM DRAIN LINE SD

- WATER METER WM
- WATER SERVICE WS
- WATER VALVE W
- FIRE HYDRANT FH
- FIRE SERVICE FS
- IRRIGATION CONTROL BOX ICB
- BACKFLOW PREVENTER BFP
- WATER LINE W
- SEWER MANHOLE SMH
- SEWER CLEAN OUT SCO
- SEWER LINE S

ABBREVIATIONS

- ASPHALT ASPH
- CONCRETE CONC
- STAND PIPE SP
- FIRE DEPARTMENT CONNECTION FDC
- FLAG POLE FP
- UTILITY BOX UB

PROPERTY DATA

- PROPERTY LINE/VTM BOUNDARY
- OLD LOT LINE
- EASEMENT LINE
- INTERIOR LOT LINE
- ACCESS RIGHTS RELINQUISHED AS INDICATED
- CENTER LINE
- PRELIMINARY TITLE REPORT ITEM NUMBER FOR LOTS 3 AND 4 OF MAP NO. 11479
- PRELIMINARY TITLE REPORT ITEM NUMBER FOR PARCEL 1 OF PARCEL MAP NO. 18337

MONUMENTS

- FOUND LEAD AND DISC STAMPED "LS 821" PER CORNER RECORD NO. 26918, UNLESS OTHERWISE SHOWN
- INDICATES FOUND 3/4" IRON PIPE WITH PLASTIC PLUG STAMPED "LS 4324" PER MAP NO. 11479, UNLESS OTHERWISE SHOWN
- FOUND LEAD AND DISC STAMPED "LS 4324" PER PARCEL MAP NO. 18484
- FOUND 3/4" IRON PIPE WITH CAP STAMPED "LS 4324" PER PARCEL MAP NO. 18484
- INDICATES RECORD DATA PER MAP NO. 11479
- INDICATES RECORD DATA PER PARCEL MAP NO. 18484 (SEE SHEET 2)

IMPROVEMENTS

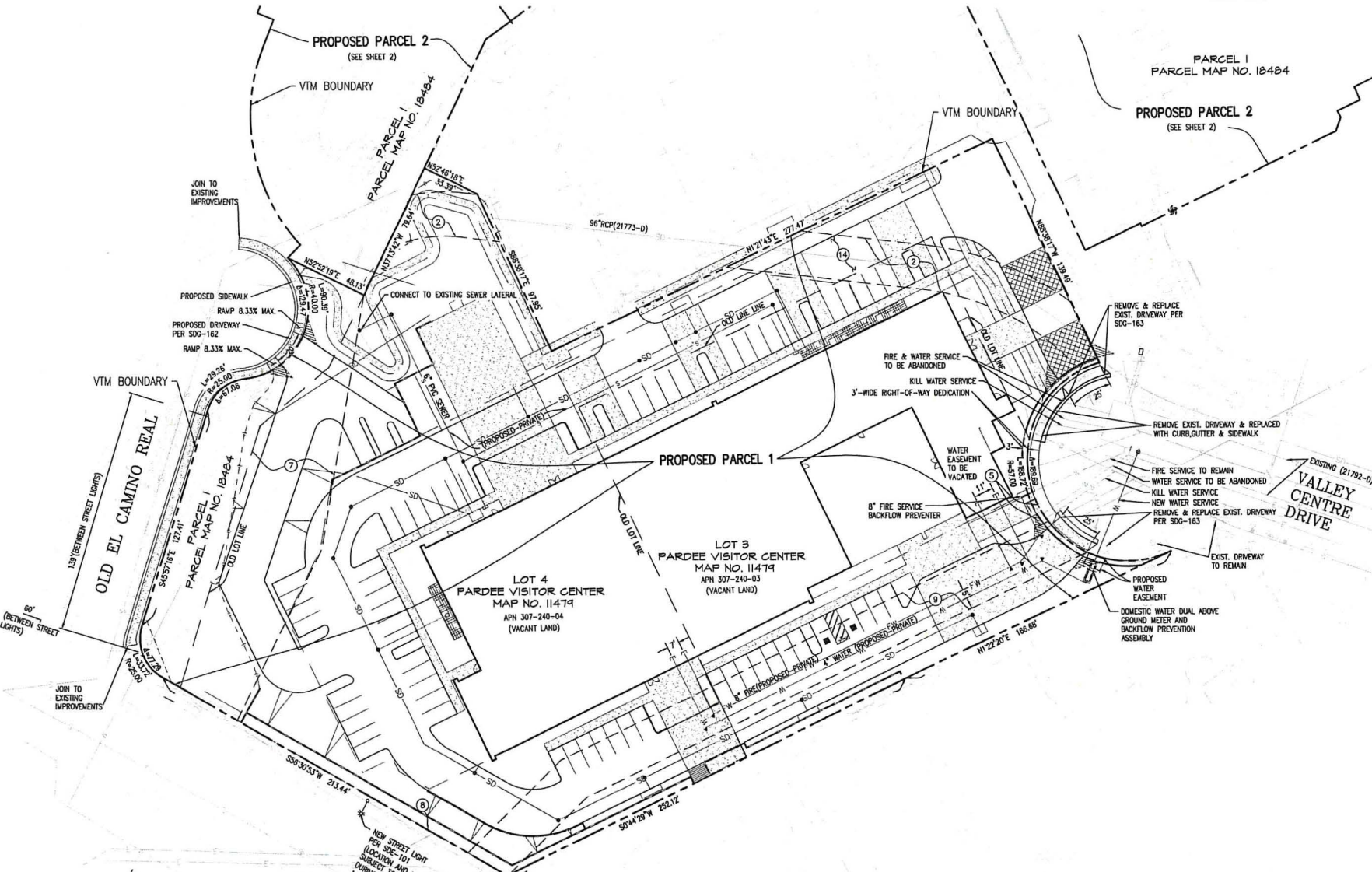
- CHAIN LINK FENCE
- WALL AS INDICATED
- CURB & GUTTER
- GUARD POST GP
- SIGN

UTILITY TABLE

SERVICE	COMPANY	STATUS
TELEPHONE	AT&T	UNDERGROUND
ELECTRICITY	SDG&E	UNDERGROUND
GAS	SDG&E	UNDERGROUND
CABLE	COX	UNDERGROUND
WATER	CITY OF SD	UNDERGROUND
SEWER	CITY OF SD	UNDERGROUND

GENERAL NOTES

1. SEE SHEET 2 FOR TITLE NOTES.
2. ASSESSOR'S PARCEL NUMBERS: 307-240-03, 307-240-04 AND 307-240-14.
3. TOTAL AREA OF PROPERTY = 9.890 ACRES, 430,790 SQUARE FEET.
 AREA OF PROPOSED PARCEL 1 = 3.217 ACRES 140,119 SQUARE FEET.
 AREA OF PROPOSED PARCEL 2 = 6.673 ACRES 290,671 SQUARE FEET.
4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
5. FLOOD ZONE DATA OBTAINED FROM FEMA WEBSITE ON JULY 17, 2015; PANEL NO. 1336 OF 2375, MAP NO. 08073013360, REVISED JULY 17, 2015.
 ZONE "X": AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
6. LAMBERT COORDINATES: 280-1695.
 CCS NAD 83 COORDINATES: 1920-6255.
7. THERE ARE NO EXISTING BUILDINGS WITHIN THE PROPOSED PARCEL 1 OF THE SUBJECT PROPERTY.
8. AT THE TIME OF THE FIELD SURVEY THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
9. ZONING INFORMATION IN ACCORDANCE WITH TABLE A, ITEM 6b HAS NOT BEEN PROVIDED TO THE UNDERSIGNED SURVEYOR BY THE INSURER AT THE TIME OF THIS SURVEY.
10. THERE ARE NO OVERHEAD UTILITY LINES ADJACENT TO THE PROJECT FRONTAGE.
11. SITE CONDITIONS SHOWN ON THIS SURVEY ARE THE RESULT OF A GROUND SURVEY BY: BWE/BURKETT & WONG ENGINEERS ON JULY 15 AND 16 OF 2015, AND DECEMBER 10 AND 12 OF 2019. DATE OF LAST SITE INSPECTION: DECEMBER 12, 2019.
12. BUILDING ADDRESSES: LOTS 3 AND 4 OF MAP 11479 = VACANT LAND, SAN DIEGO, CA.
 PARCEL 1 OF PARCEL MAP NO. 18484 = 11988 EL CAMINO REAL, SAN DIEGO, CA.
13. THE PURPOSE OF THIS TENTATIVE MAP IS TO CONSOLIDATE LOTS 3 AND 4 OF PARDEE VISITOR CENTER, MAP NO. 11479, TOGETHER WITH A PORTION OF PARCEL 1 OF PARCEL MAP NO. 18484 IN TO ONE LOT AND CREATE ONE HOTEL UNIT, ONE OFFICE UNIT AND ONE PARKING GARAGE UNIT, FOR A TOTAL OF THREE CONDOMINIUM UNITS.
14. A PARCEL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE VESTING TENTATIVE MAP (VTM) IF APPROVED. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS WILL BE MARKED WITH DURABLE MONUMENTS.
15. ZONING: CUPD-VC
 EXISTING NUMBER OF LOTS IS 3
 PROPOSED NUMBER OF LOTS IS 2
16. ALL ONSITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
17. IF A 3" OR LARGER METER IS REQUIRED FOR HIS PROJECT, THE OWNER PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.
18. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10 FEET OF ANY WATER AND SEWER FACILITIES.



OFFICE BUILDING 1			HOTEL BUILDING 2		
LEVEL 05 - OFFICE ACCESSORY	LEVEL 07 - HOTEL		LEVEL 07 - HOTEL		
LEVEL 04 - OFFICE	LEVEL 06 - HOTEL		LEVEL 06 - HOTEL		
LEVEL 03 - OFFICE	LEVEL 05 - HOTEL		LEVEL 05 - HOTEL		
LEVEL 02 - OFFICE	LEVEL 04 - HOTEL		LEVEL 04 - HOTEL		
LEVEL 01 - LOBBY, OFFICE, COMM. SERV. LEVEL	LEVEL 03 - HOTEL		LEVEL 03 - HOTEL		
SUBTERRANEAN P1 - PARKING & HOTEL BOH	LEVEL 02 - HOTEL		LEVEL 02 - HOTEL		
SUBTERRANEAN P2 - PARKING & HOTEL BOH	LEVEL 01 - LOBBY, HOTEL AND ACC.		LEVEL 01 - LOBBY, HOTEL AND ACC.		

BUILDING SECTION

BUILDING UNITS DATA

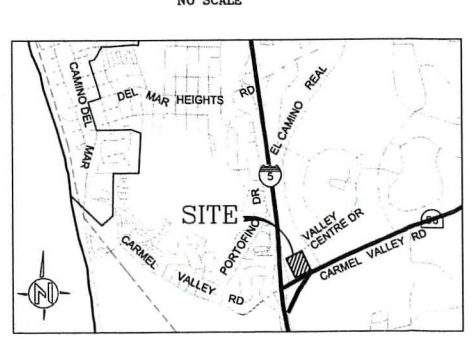
OFFICE - BUILDING 1				HOTEL - BUILDING 2			
LEVEL	OFFICE	COMM. SERVICES	TOTAL	LEVEL	HOTEL	ACCESSORY	TOTAL UNITS/LEVEL
LEVEL 05*	3,840	0	3,840	LEVEL 07	8,652	0	8,652 16
LEVEL 04	23,050	0	23,050	LEVEL 06	10,000	0	10,000 18
LEVEL 03	23,050	0	23,050	LEVEL 05	11,800	0	11,800 21
LEVEL 02	23,050	0	23,050	LEVEL 04	11,800	0	11,800 21
LEVEL 01	11,525	11,525	23,050	LEVEL 03	11,800	0	11,800 21
				LEVEL 02	11,800	0	11,800 21
				LEVEL 01	8,400	3,400	11,800 10
							TOTAL: 76,652 128
			TOTAL: 96,040				

PARKING TABULATIONS

OVERALL PARCEL PARKING TABULATION			SUBTERRANEAN/STRUCT. PARKING SF/CAR TABULATION		
	STANDARD	ACCESSIBLE	TOTAL	TOTAL/SF	SF/CAR
P1- SUBTERRANEAN	177	8	185	69,543 SF	376
P2- SUBTERRANEAN	198	0	198	69,543 SF	351
SURFACE	69	2	71	-	-
TOTAL	444	10	454	139,086 SF	-

REQUIRED PARKING = 454 STALLS PER ULT SHARED PARKING DEMANDS
 PROVIDED PARKING = 454 STALLS/ (168,852 GSF*/1,000) = 2.7
 *EXCLUDES ROOFTOP ACCESSORY
 *6,800 S.F. OF HOTEL B.O.H. IS LOCATED WITHIN THE PARKING STRUCTURE.

VICINITY MAP



Prepared By: BWE
 Name: Structural & Civil Engineers and Surveyors
 Address: 9449 Brillouin Avenue, Suite 270, San Diego, CA, 92123
 Phone #: (619) 299-5550

Project Address: VACANT LAND, SAN DIEGO, CALIFORNIA

Project Name: COSTA AZUL TENTATIVE MAP

Sheet Title: VESTING TENTATIVE MAP

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: _____
 Revision 4: _____
 Revision 3: _____
 Revision 2: _____
 Revision 1: _____

Original Date: MARCH 29, 2020
 Sheet 29 of 30
 DEP# _____

TITLE NOTES FOR LOTS 3 AND 4 OF MAP 11479

TITLE DATA SHOWN ON THIS SURVEY CORRESPOND TO THE FIRST AMENDED PRELIMINARY REPORT PREPARED BY CHICAGO TITLE COMPANY, ORDER NO. 0011642-99-501-874, EFFECTIVE DATE OF FEBRUARY 28, 2020. CIRCLED ITEM NUMBERS ARE PLOTTED ON SHEET 1.

- THE EFFECTS OF AN AGREEMENT ENTITLED "PARDEE NORTH CITY WEST AGREEMENT," DATED SEPTEMBER 12, 1983, BY AND BETWEEN THE CITY OF SAN DIEGO AND PARDEE CONSTRUCTION COMPANY, RECORDED OCTOBER 6, 1983 AS INSTRUMENT NO. 83-359278 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, TERMS AND PROVISIONS FOR THE DEVELOPMENT OF THE SUBJECT PROPERTY FOR RESIDENTIAL, INDUSTRIAL AND COMMERCIAL USES, TOGETHER WITH PUBLIC SERVICES, PUBLIC UTILITIES AND URBAN INFRASTRUCTURE. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF AN EASEMENT FOR A PUBLIC DRAIN OR DRAINS GRANTED TO THE CITY OF SAN DIEGO, RECORDED MAY 9, 1985 AS INSTRUMENT NO. 85-163612 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, A PERMANENT EASEMENT AND RIGHT-OF-WAY TO CONSTRUCT, RECONSTRUCT, MAINTAIN, OPERATE AND REPAIR A PUBLIC DRAIN OR DRAINS INCLUDING ALL APPURTENANCES THERE TO, RESERVING UNTO THE GRANTOR, HEIRS AND ASSIGNS, THE CONTINUED USE OF THE LAND WITHIN SAID EASEMENT AREA, WITH SUBJECT TO THE RESTRICTION OF ERECTING OF BUILDINGS, MASONRY WALLS, MASONRY FENCES AND OTHER STRUCTURES, THE PLANTING AND GROWING OF TREES, THE CHANGING OF THE SURFACE GRADE, AND THE INSTALLATION OF PRIVATELY OWNED PIPELINES IS PROHIBITED, EXCEPT BY WRITTEN PERMISSION OF THE CITY OF SAN DIEGO. SAID EASEMENT AFFECTS THE SUBJECT PROPERTY AND HAS BEEN PLOTTED HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF AN AGREEMENT ENTITLED "LAGOON ENHANCEMENT AND COVENANT" BY AND BETWEEN PARDEE CONSTRUCTION COMPANY AND THE STATE COASTAL CONSERVANCY, DATED JULY 18, 1985, RECORDED AUGUST 5, 1985 AS INSTRUMENT NO. 85-280431 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, TERMS AND PROVISIONS FOR RESIDENTIAL AND NON-RESIDENTIAL DEVELOPMENT, AS WELL AS THE ENHANCEMENT OF THE LOS PENASQUITOS LAGOON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN A DOCUMENT RECORDED AUGUST 5, 1985 AS INSTRUMENT NO. 85-280432 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, TERMS AND PROVISIONS FOR THE CONSTRUCTION AND INSTALLATION OF A DETENTION BASIN FOR THE PURPOSES OF CONTROLLING THE RUN-OFF OF WATER. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF A WATER EASEMENT GRANTED TO THE CITY OF SAN DIEGO PER MAP NO. 11479, RECORDED APRIL 2, 1986, FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING WATER FACILITIES, RESERVING, HOWEVER, TO THE OWNER OF THE FEE OF UNDERLYING SAID EASEMENT, THE CONTINUED USE OF THE SURFACE OF THE LAND WITHIN SAID EASEMENT AREA SUBJECT TO THE FOLLOWING CONDITIONS: THE ERECTING OF BUILDINGS, MASONRY WALLS, MASONRY FENCES, AND OTHER STRUCTURES, OR THE PLANTING OR GROWING OF TREES OR SHRUBS, OR CHANGING OF THE SURFACE GRADE, OR THE INSTALLATION OF PRIVATELY OWNED PIPELINES, SHALL BE PROHIBITED UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE CITY OF SAN DIEGO. SAID EASEMENT AFFECTS THE SUBJECT PROPERTY AND HAS BEEN PLOTTED HEREON. REFERENCE IS MADE TO THE SUBJECT MAP FOR FULL PARTICULARS.
- THE EFFECTS OF COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN A DOCUMENT ENTITLED "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF RETENTION BASIN AREA" RECORDED FEBRUARY 18, 1983 AS INSTRUMENT NO. 83-054132 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, CERTAIN PROVISIONS FOR THE MAINTENANCE OF DETENTION BASINS WITHIN LOT 7, OF MAP 10394 AND LOT 1, MAP 11479. SAID COVENANTS, CONDITIONS, AND RESTRICTIONS WERE EXTENDED TO INCLUDE THE SUBJECT PROPERTY CONTAINED IN A DOCUMENT RECORDED APRIL 18, 1986 AS INSTRUMENT NO. 86-152838 OF OFFICIAL RECORDS, AND MODIFIED BY A DOCUMENT RECORDED JUNE 4, 1986 AS INSTRUMENT NO. 86-223035 OF OFFICIAL RECORDS. THE LOCATION OF SAID DETENTION BASINS HAVE NOT BEEN PLOTTED HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF AN EASEMENT FOR WATER, SEWER, DRAINAGE AND PUBLIC UTILITIES, RESERVED BY THE CITY OF SAN DIEGO, WITHIN THE GRAND DEED RECORDED OCTOBER 23, 1985 AS INSTRUMENT NO. 85-393883 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, THE RESERVATION OF SAID EASEMENT ALONG WITH A PROHIBITION OF THE ERECTING OF BUILDINGS, MASONRY WALLS, MASONRY FENCES AND OTHER STRUCTURES, PLANTING OR GROWING OF TREES, THE CHANGING OF THE SURFACE GRADE AND THE INSTALLATION OF PRIVATELY OWNED PIPELINES, UNLESS APPROVED BY WRITTEN PERMISSION FROM THE GRANTOR. THE LIMITS OF SAID RESERVATION HAVE BEEN PLOTTED HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF ABUTTER'S RIGHTS OF ACCESS IN AND TO CARMEL VALLEY ROAD WAIVED AND RELINQUISHED PER MAP NO. 11479, RECORDED APRIL 2, 1986. THE LIMITS OF SAID RELINQUISHMENT HAVE BEEN PLOTTED HEREON. REFERENCE IS MADE TO THE SUBJECT MAP FOR FULL PARTICULARS.
- THE EFFECTS OF AN EASEMENT AND RIGHT OF WAY FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY, TOGETHER WITH EACH AND EVERY INCIDENTAL RIGHT DESCRIBED WITHIN THE DOCUMENT RECORDED JUNE 17, 1986 AS INSTRUMENT NO. 86-002993 OF OFFICIAL RECORDS. "PARCEL 4" OF SAID EASEMENT DOCUMENT IS BLANKET IN NATURE (AFFECTING LOTS 3 AND 4 OF PARDEE VISITOR CENTER ACCORDING TO MAP NO. 11479), WHILE "PARCEL 1" OF SAID DOCUMENT IS PLOTTABLE AND SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF AN AGREEMENT ENTITLED "AGREEMENT FOR THE EXTENSION OF CABLE TELEVISION FACILITIES" BY AND BETWEEN AMERICAN TELEVISION AND COMMUNICATIONS CORPORATION, DBA SOUTHWESTERN CABLE T.V., AND PARDEE CONSTRUCTION COMPANY, DATED FEBRUARY 14, 1986, RECORDED JULY 29, 1986 AS INSTRUMENT NO. 86-315072 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, THE RIGHT TO ACCESS, CONSTRUCT AND OPERATE CABLE TELEVISION FACILITIES. SAID EASEMENT IS BLANKET IN NATURE AND AFFECTS THE SUBJECT PROPERTY AS SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF A COVENANT AND AGREEMENT EXECUTED BY PARDEE CONSTRUCTION COMPANY IN FAVOR OF THE CITY OF SAN DIEGO, RECORDED SEPTEMBER 19, 1991 AS INSTRUMENT NO. 91-0482445 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN A DOCUMENT ENTITLED "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF THE VISITOR CENTER" RECORDED DECEMBER 19, 1991 AS INSTRUMENT NO. 91-656567 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, THE REGULATION OF OPERATIONS AND USES FOR THE SUBJECT PROPERTY. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF AN AGREEMENT ENTITLED "ENCROACHMENT REMOVAL AGREEMENT," DATED OCTOBER 11, 1991, BY AND BETWEEN THE CITY OF SAN DIEGO AND PARDEE CONSTRUCTION COMPANY, RECORDED JANUARY 9, 1992 AS INSTRUMENT NO. 92-012287 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, PERMISSION TO INSTALL AND MAINTAIN A PRIVATE 18" PVC STORM DRAIN PIPE WITHIN A PUBLIC DRAINAGE EASEMENT. THE APPROXIMATE LOCATION OF THE PERMITTED ENCROACHMENT APPEARS TO BE OUTSIDE OF THE SUBJECT PROPERTY SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF AN AGREEMENT ENTITLED "ENCROACHMENT REMOVAL AGREEMENT," DATED DECEMBER 17, 1991, BY AND BETWEEN THE CITY OF SAN DIEGO AND PARDEE CONSTRUCTION COMPANY, RECORDED MARCH 3, 1992 AS INSTRUMENT NO. 92-018308 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, A PRIVATE 8" PVC FIRE SERVICE, 4" PVC WATER SERVICE, 6" PVC SEWER AND A PRIVATE FROST INDICATOR VALVE AND FIRE DEPARTMENT CONNECTION WITHIN A PUBLIC DRAINAGE EASEMENT. THE APPROXIMATE LOCATION OF THE PERMITTED ENCROACHMENT IS SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF AN EASEMENT FOR UNDERGROUND FACILITIES AND APPURTENANCES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY, PIPELINES AND APPURTENANCES FOR ANY AND ALL PURPOSES AND COMMUNICATION FACILITIES AND APPURTENANCES, GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY RECORDED MARCH 4, 1992 AS DOCUMENT NO. (INSTRUMENT NO.) 1992-019586 OF OFFICIAL RECORDS. EASEMENT IS NON-PLOTTABLE DUE TO THE LACK OF A TRACEABLE LEGAL DESCRIPTION AND HAS NOT BEEN SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF AN EASEMENT GRANTED TO PACIFIC BELL PER DOCUMENT RECORDED MARCH 8, 1993 AS INSTRUMENT NO. 93-0142504 OF OFFICIAL RECORDS. EASEMENT IS NON-PLOTTABLE DUE TO THE LACK OF A TRACEABLE LEGAL DESCRIPTION AND HAS NOT BEEN SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF AN AGREEMENT ENTITLED "ENCROACHMENT REMOVAL AGREEMENT," DATED JUNE 9, 1997, BY AND BETWEEN THE CITY OF SAN DIEGO AND PARDEE CONSTRUCTION COMPANY, RECORDED JUNE 13, 1997 AS DOCUMENT NO. 1997-027772 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, PERMISSION TO INSTALL AND MAINTAIN A STORM DRAIN PIPE WITHIN A GENERAL UTILITY EASEMENT. THE APPROXIMATE LOCATION OF THE PERMITTED ENCROACHMENT APPEARS TO BE OUTSIDE OF THE SUBJECT PROPERTY SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN A DOCUMENT ENTITLED "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS" RECORDED APRIL 29, 2014 AS DOCUMENT NUMBER 2014-071007 OF OFFICIAL RECORDS. SAID DOCUMENT CONTAINS, AMONG OTHER THINGS, PROVISIONS FOR USE AND MAINTENANCE OF THE SUBJECT PROPERTY. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- THE EFFECTS OF MATTER CONTAINED IN A DOCUMENT ENTITLED "EASEMENT AGREEMENT" DATED SEPTEMBER 4, 2015, MADE BY AND BETWEEN COGNAC DEL MAR OWNER L, LLC AND CARMEL VALLEY CENTRE DRIVE, LLC, RECORDED SEPTEMBER 15, 2015 AS DOCUMENT NO. 2015-048566 OF OFFICIAL RECORDS. SAID EASEMENT OF SAID AGREEMENT IS LOCATED OUTSIDE THE SUBJECT PROPERTY AND IS NOT SHOWN HEREON. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.

VESTING TENTATIVE MAP No. 2330057

EASEMENT VACATION NO. 2362143

PROJECT NO. 400127

EXISTING EASEMENTS OF PARCEL 1, PARCEL MAP 18484

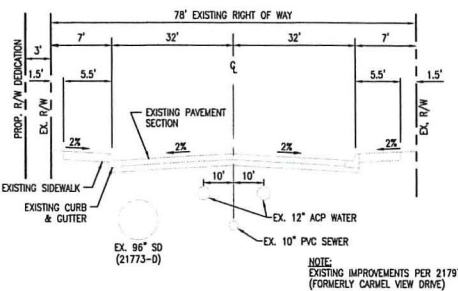
EASEMENTS SHOWN ON THIS SURVEY CORRESPOND TO THE PRELIMINARY REPORT PREPARED BY CHICAGO TITLE COMPANY, ORDER NO. 00121021-993-502-CFU, EFFECTIVE DATE OF NOVEMBER 15, 2019.

- ACCESS RIGHTS WAIVED AND RELINQUISHED PER DOCUMENT RECORDED OCTOBER 3, 1991 AS INSTRUMENT NO. 1991-171608 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- ACCESS RIGHTS WAIVED AND RELINQUISHED PER DOCUMENT RECORDED DECEMBER 4, 1993 AS INSTRUMENT NO. 215601 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- AN EASEMENT FOR PUBLIC DRAINS GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED MAY 9, 1985 AS INSTRUMENT NO. 85-163612 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- AN EASEMENT FOR WATER, SEWER, DRAINAGE, AND PUBLIC UTILITIES WITH RIGHTS OF INGRESS AND EGRESS GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED OCTOBER 23, 1985 AS INSTRUMENT NO. 85-393883 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- EASEMENTS FOR WATER, DRAINAGE, GENERAL UTILITIES AND BUILDING RESTRICTION GRANTED TO THE CITY OF SAN DIEGO PER MAP NO. 11479. REFERENCE IS MADE TO THE SUBJECT MAP FOR FULL PARTICULARS.
- EASEMENT FOR PUBLIC UTILITIES WITH RIGHTS OF INGRESS AND EGRESS GRANTED TO SAN DIEGO GAS AND ELECTRIC PER DOCUMENT RECORDED JUNE 17, 1986 AS INSTRUMENT NO. 86-243093 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- EASEMENT FOR PUBLIC UTILITIES GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED SEPTEMBER 16, 1986 AS INSTRUMENT NO. 86-408212 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- EASEMENT FOR PUBLIC DRAINS WITH RIGHTS OF INGRESS AND EGRESS GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED FEBRUARY 22, 1990 AS INSTRUMENT NO. 90-096166 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- EASEMENT FOR WATER FACILITIES WITH RIGHTS OF INGRESS AND EGRESS GRANTED TO THE CITY OF SAN DIEGO PER DOCUMENT RECORDED AUGUST 12, 1993 AS INSTRUMENT NO. 1993-0525058 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- PRIVATE RECIPROCAL ACCESS EASEMENT RECORDED JUNE 26, 1997 AS INSTRUMENT NO. 1997-030185 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- WATER EASEMENT DEDICATED TO THE CITY OF SAN DIEGO PER PARCEL MAP NO. 18337. REFERENCE IS MADE TO THE SUBJECT MAP FOR FULL PARTICULARS.
- PRIVATE EASEMENT AGREEMENT RECORDED SEPTEMBER 4, 2015 AS INSTRUMENT NO. 2015-048566 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.

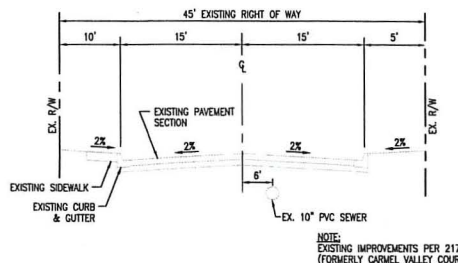
EXISTING NON-PLOTTABLE EASEMENTS OF PARCEL 1, PARCEL MAP 18484

- EASEMENT FOR ELECTRIC FACILITIES GRANTED TO SAN DIEGO GAS AND ELECTRIC PER DOCUMENT RECORDED JUNE 17, 1986 AS INSTRUMENT NO. 86-243093 OF OFFICIAL RECORDS. SAID EASEMENT IS NON-PLOTTABLE DUE TO ITS LACK OF A RETRACEABLE LEGAL DESCRIPTION. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- PRIVATE RECIPROCAL EASEMENT RECORDED JANUARY 14, 2000 AS INSTRUMENT NO. 2000-0024257 OF OFFICIAL RECORDS. SAID EASEMENT IS NON-PLOTTABLE DUE TO ITS LACK OF A RETRACEABLE LEGAL DESCRIPTION. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.

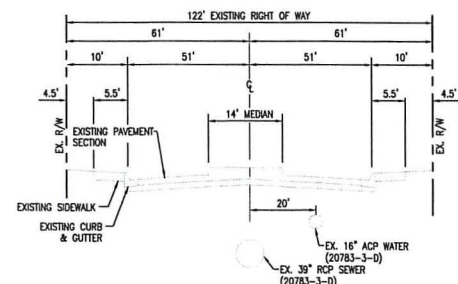
STREET CROSS-SECTIONS



TYPICAL SECTION: VALLEY CENTRE DRIVE (EXISTING)
NO SCALE



TYPICAL SECTION: OLD EL CAMINO REAL (EXISTING)
NO SCALE



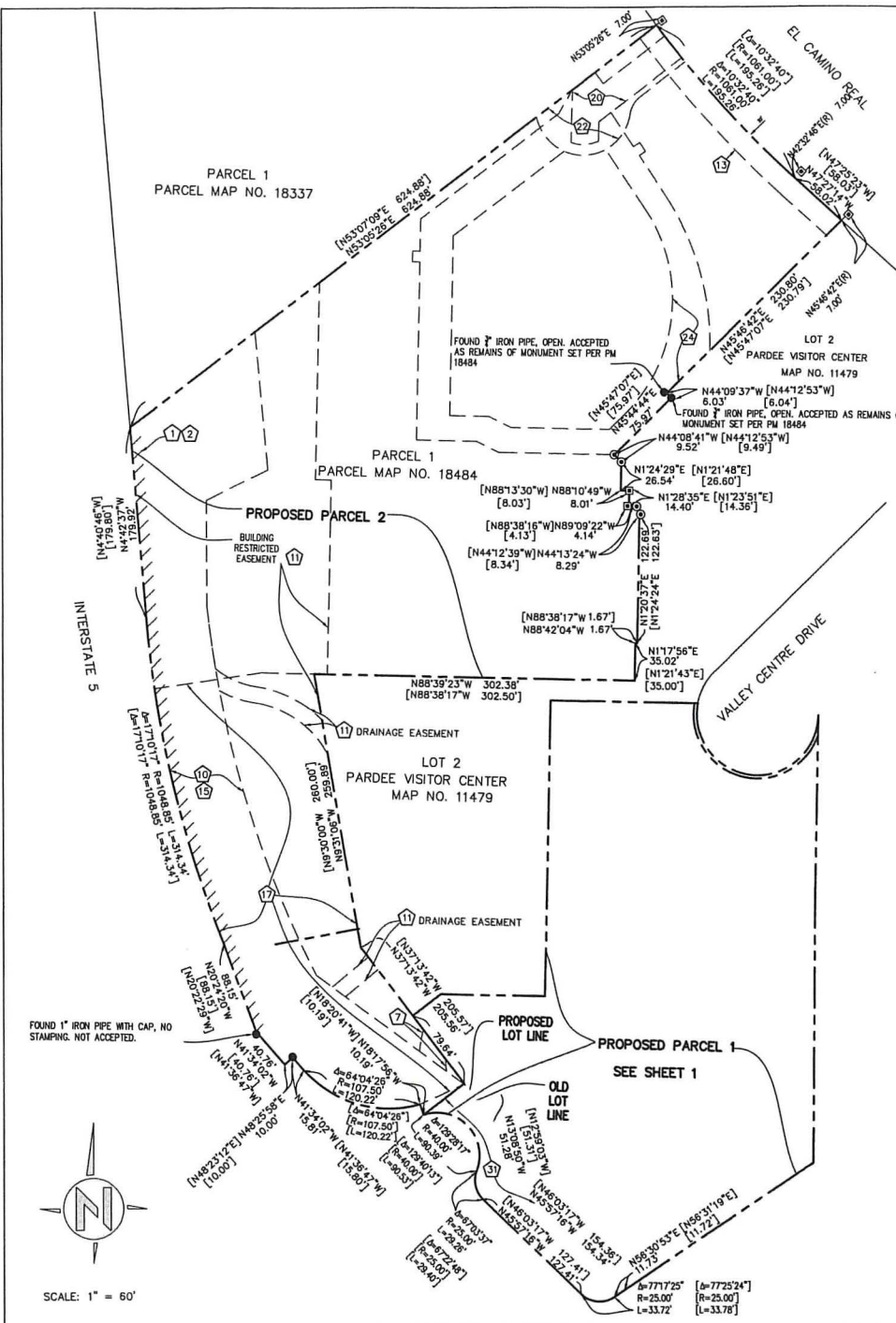
TYPICAL SECTION: CARMEL VALLEY ROAD (EXISTING)
NO SCALE

STREET LIGHT NOTES

- ALL STREET LIGHT LUMINAIRES SHALL CONFORM TO THE CITY OF SAN DIEGO.
 - STREET DESIGN MANUAL, MARCH 2017 (https://www.sandiego.gov/sites/default/files/street_design_manual_march_2017.pdf)
 - STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2016 (https://www.sandiego.gov/sites/default/files/2016_standard_drawings.pdf)
 - APPROVED MATERIALS LIST, JUNE 2016 (https://www.sandiego.gov/sites/default/files/approved_materials_list_lighting.pdf)
- ALL STREET LIGHTING SHALL BE BROAD SPECTRUM LIGHT SOURCES NO GREATER THAN 4000K CORRELATED COLOR TEMPERATURE (CCT), EXCEPT FOR AREAS WITHIN A 35 MILE RADIUS OF Mt. PALOMAR OBSERVATORY, WHICH ARE DESIGNATED FOR A MAXIMUM OF 3000K CCT PER COUNCIL RESOLUTION 306251.
- STREET LIGHTING SHALL BE EQUIPPED WITH ADAPTIVE CONTROL NODES WHEREVER POSSIBLE.
- MD-BLOCK STREET LIGHTING WITH FULLY SHIELDED LUMINAIRES SHALL BE PROVIDED AT INTERVALS SET FORTH IN THE STREET DESIGN MANUAL.
- NON-SIGNALIZED INTERSECTION STREET LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH TABLE 4-1 OF THE STREET DESIGN MANUAL.
- STREET LIGHT SCHEDULE

STREET LIGHT #	STREET NAME	LOCATION REFERENCE**	CORNER/ STREET SIDE	TYPE OF WORK LUMINAIRE ITEM #	POLE TYPE/ ITEM #
1	CARMEL VALLEY ROAD	@ OLD CAMINO REAL 162'	NW	(N)	15

- ** LOCATION REFERENCE FOR MID-BLOCK STREET LIGHTS: DISTANCE TO CENTERLINE OF NEAREST CROSS STREET.
*** TYPE OF WORK: NEW (N), UPGRADE (U), AND RELOCATE (R).
- NATIONAL ELECTRICAL CODE (NEC) WIRE COLOR CODING SHALL BE USED FOR ALL ELECTRICAL WORK.
 - IMPROVEMENT PLANS SHALL SHOW AND LABEL ALL EXISTING AND PROPOSED STREET LIGHTS, PULL BOXES, AND SERVICE POINTS IN THE PROJECT VICINITY.
 - ALL NEW STREET LIGHTS SHALL HAVE A PULL BOX ADJACENT TO THE POLE.
 - THE CONTRACTOR INSTALLING THE STREET LIGHTING DISTRIBUTION SYSTEM SHALL NOTIFY THE CITY FIELD ENGINEER AT (858) 627-3300 A MINIMUM OF THREE (3) DAYS PRIOR TO STARTING WORK. ALSO, A PRE-CONSTRUCTION MEETING WILL BE REQUIRED WITH THE CITY ELECTRICAL INSPECTOR (SE) TO REVIEW THE LIGHTING REQUIREMENTS.
 - THE CONTRACTOR SHALL REPAIR AND/OR REPAINT EXISTING STREET LIGHTS IN THE CITY CENTRE TO THE SATISFACTION OF THE CITY ENGINEER.
 - THE CITY ELECTRICAL INSPECTOR (SE) SHALL VERIFY ALL STREET LIGHTS ARE FUNCTIONAL BEFORE SIGNING THE PERMIT OFF.
 - SUPPLEMENTAL AND SPECIAL ORNAMENTAL STREET LIGHTING SHALL BE INCLUDED IN A SPECIAL STREET LIGHTING ASSESSMENT DISTRICT OR MAINTENANCE ASSESSMENT DISTRICT (MAD), AND SHALL BE DESIGNATED WITH AN ASTERISK NEXT TO THE STREET LIGHT NUMBER. THE DEVELOPER/APPLICANT SHALL ESTABLISH A MAD FUND PRIOR TO APPROVAL OF IMPROVEMENT PLANS. INQUIRIES CAN BE DIRECTED TO THE PARK & RECREATION DEPARTMENT, OPEN SPACE DIVISION AT (619) 688-1350.
 - ALL PRIVATE STREET LIGHTS SHALL HAVE A SEPARATE SERVICE POINT AND SHALL NOT BE CONNECTED TO CITY CIRCUITS.
 - PRIVATE STREET LIGHTS SHOWN ON THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. PROPOSED PRIVATE STREET LIGHTS SHALL BE PERMITTED AND INSPECTED UNDER A SEPARATE ELECTRICAL PERMIT.



PARCEL 1 BOUNDARY AND EASEMENTS

Prepared By: BME
 Name: Structural & Civil Engineers and Surveyors
 Address: 9449 Balboa Avenue, Suite 270
San Diego, CA. 92123
 Phone #: (619) 299-5550

Project Address:
VACANT LAND
SAN DIEGO, CALIFORNIA

Project Name:
COSTA AZUL
TENTATIVE MAP

Sheet Title:
TITLE NOTES AND CROSS-SECTIONS

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: _____
 Revision 4: _____
 Revision 3: _____
 Revision 2: _____
 Revision 1: _____

Original Date: MARCH 18, 2020

Sheet 30 of 30
 DEP# _____

CARMEL VALLEY COMMUNITY PLANNING BOARD

**Attn: Allen Kashani, CVCPB Secretary
13400 Sabre Springs Pkwy, Ste. 200
San Diego CA 92128
858-794-2571 / Fax: 858-794-2599**

April 27, 2018

Glenn Gargas, AICP, Project Manager
CITY OF SAN DIEGO
Development Services Department
1222 First Ave.
San Diego, CA 92101

Re: Costa Azul Mixed Use
Project #: 400127

Dear Glenn:

The Carmel Valley Community Planning Board (CVCPB) reviewed the Costa Azul Mixed Use project on April 26, 2018.

The applicant presented a project that addressed the comments and concerns that the board had submitted in our October 16, 2017 letter. The following points were acceptable to the board:

1. The project addressed our height increase concerns by documenting that they had offset the height increase by reducing in other places. It appears that there is an approximately 50/50 ratio.
2. They had taken our comments and strong concerns about cohesiveness with the adjacent Carmel Valley Hotel. By working with our board and the adjacent developer they have designed a common plaza-like landscaped area, developed pedestrian connectivity and extended landscaping to reduce the impact of parking.
3. They have redesigned the project to mitigate our straightforward concerns of the earlier box-like building and boring elevations lacking building 3-dimensionality.
4. They have addressed our landscaping comments and designed inviting public places and pathways. They have committed to extend the landscaping along Valley Center to El Camino Real if the impacted property owners will allow the landscape enhancements.

Glenn Gargas, AICP, Project Manager
April 27, 2018
pg. 2

The CVCPB considered the abovementioned project as presented responding to our concerns and comments. The board unanimously approved the project by a vote of 10-0 by the following motion:

The CVCPB supports the Costa Azul project as presented with the requirement that wayfinding signage will be provide so that bicyclists and pedestrians will know that the internal pathways connect to public pathways.

Sincerely,
Carmel Valley Community Planning Board

A handwritten signature in blue ink, appearing to be 'Frisco White', is written over a light blue rectangular background.

Frisco White, AIA
Chair



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title Project No. For City Use Only
 COSTA AZUL MIXED USE 400127

Project Address:
 3515 Valley Centre Dr., San Diego, CA 92130

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Project Title: <u>COSTA AZUL MIXED USE</u>	Project No. (For City Use Only) <u>400127</u>
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? CA Corporate Identification No. 46-500 4170
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
CARNEL VALLEY CENTRE DRIVE, LLC

Owner Tenant/Lessee

Street Address:
7969 Engineers Rd, #108

City/State/Zip:
San Diego, CA 92111

Phone No: 858-405 9846 Fax No:

Name of Corporate Officer/Partner (type or print):
ANDREW HUNTER OWNER

Title (type or print):
Andrew Hunter Date: 12/1/14

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____