

Modification Report

Fairvale High School
SSD 8677

February 2021



Education

Document Control

Version no.	Description	Prepared by	Reviewed by	Date
01	DRAFT	Xavier Garofali	Helen Mulcahy	21/01/2021
02	Amended per comments	Xavier Garofali	Helen Mulcahy	02/02/2021

Contents

1	Introduction	2
1.1	Submission to NSW Department of Planning, Industry and Environment for Approval	2
1.2	Project Overview	2
2	Details of Proposed Modification	3
3	Section 4.55(1A) Assessment	14
3.1	Minimal Environmental Impact	14
3.2	Substantially the Same Development	14
4	Section 4.15 Assessment	15
4.1	Any Environmental Planning Instrument	15
4.2	Any Draft Environmental Planning Instrument	15
4.3	Any Development Control Plan	15
4.4	Any Matters Prescribed by the Regulations	15
4.5	Likely Impacts of the Development	16
4.6	The Suitability of the Site	16
4.7	Any Submissions	16
4.8	The Public Interest	16
5	Conclusion	17
	Appendix A	18
	Appendix B	19
	Appendix C	20
	Appendix D	21

1 Introduction

1.1 Submission to NSW Department of Planning, Industry and Environment for Approval

This Modification Report has been prepared by Johnstaff Projects on behalf of the NSW Department of Education (DoE) for Fairvale High School (SSD 8677). This Report has been prepared in accordance with the conditions of the State Significant Development Approval SSD 8677.

This Report accompanies a Section 4.55(1A) modification to State Significant Development Approval SSD-8574 to modify the finish of the external windows at Fairvale High School. The date of submission of this letter is 02 February 2021.

1.2 Project Overview

The NSW Government is investing \$6.7 billion over the next four years to deliver more than 190 new and upgraded schools to support communities across NSW. In addition, a record \$1.3 billion is being spent on school maintenance over five years. This is the largest investment in public education infrastructure in the history of NSW.

The Fairvale High School redevelopment project aims to replace existing demountables with 30 new teaching spaces accommodating up to 600 students. This will produce a net gain of 10 teaching spaces taking the total capacity up to 1,560 students, which represents an increase of 200 students. The project will also upgrade the core facilities to 9 stream standard, remove and replace the bini dome structure with a gym. The scope of work developed comprised the following proposed works:

- New covered outdoor learning area (COLA)
- 30 new permanent teaching spaces (Block K) and removal of 18 demountable teaching spaces
- Upgrade of administration facilities (Block A)
- New multi-purpose hall and gymnasium (Block J)
- Demolition of Bini Dome

1.2.1 Date of Construction Commencement

Construction commenced in March 2020.

1.2.2 Submission to Planning Secretary for Approval.

This letter accompanies a Section 4.55(1A) modification to State Significant Development Approval SSD-8677 to allow the finish for aluminium frames to all external aluminium windows and doors to be modified from that specified on the approved (stamped) drawing SSD81 Revision 2.

2 Details of Proposed Modification

2.1.1 Modification Proposal

As per stamped drawing SSD81 revision 2 'External Finishes Schedule' the frames to all aluminium doors and windows have the colour noted as 'Natural Anodised'. This modification proposal is for the change of the colour to be 'Zeus Silver Grey Matt from the Dulux Duratec Range. Please refer to **Appendix A** for copy of the stamped SSD81 drawing.

This is applicable for all external facing windows and doors located in the new Block K (Academic building), Block J (new multipurpose hall) and Block A (ground floor level to refurbished staff study areas).

Primary reason for the change is that the finish, as specified on the approved SSD81 External Finishes Schedule, does not match the other internal framing elements (door frames for example) located within the Block K, Block J and Block A buildings.

Figures 1 to 17 included below depict both Plan View and Elevation with the Modification highlighted. **Appendix B** includes a full set of the amended architectural drawings.

Figure 1 Plan View with Modification Highlighted – Block J

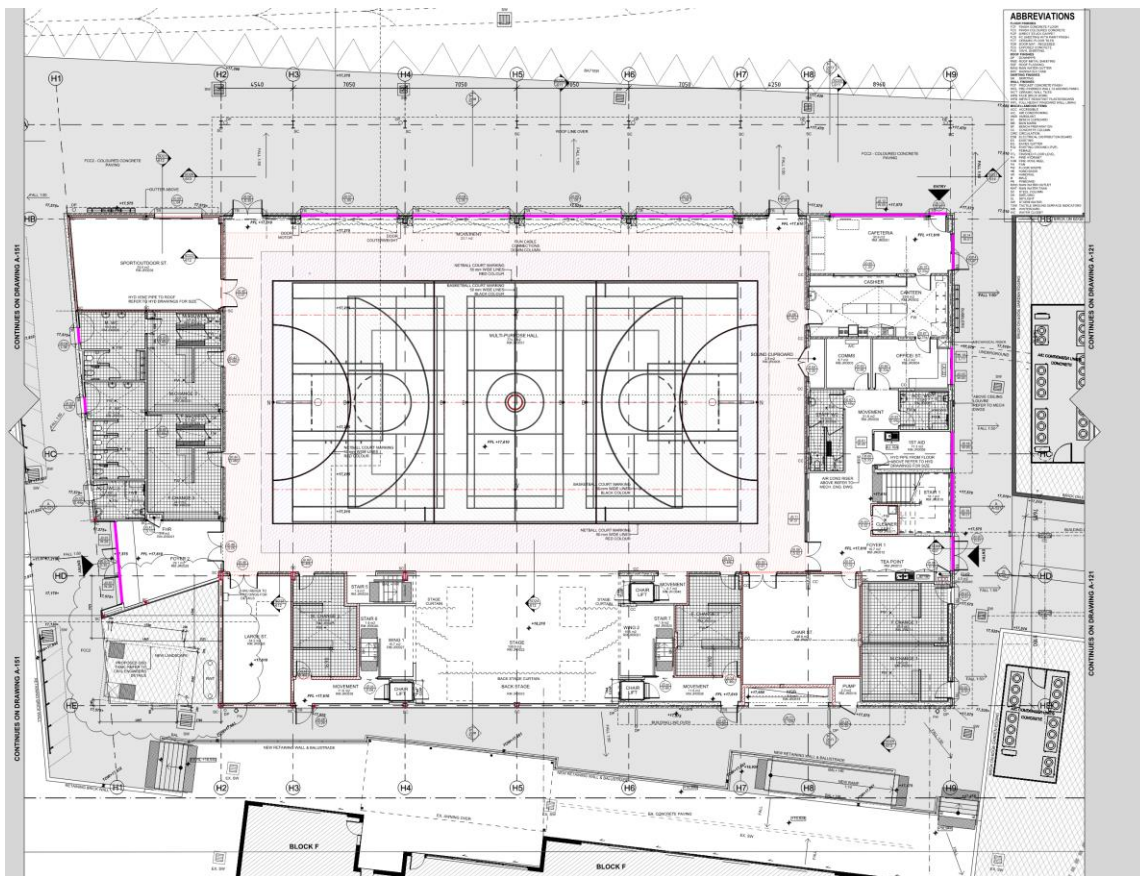


Figure 2 Plan View with Modification Highlighted – Block J

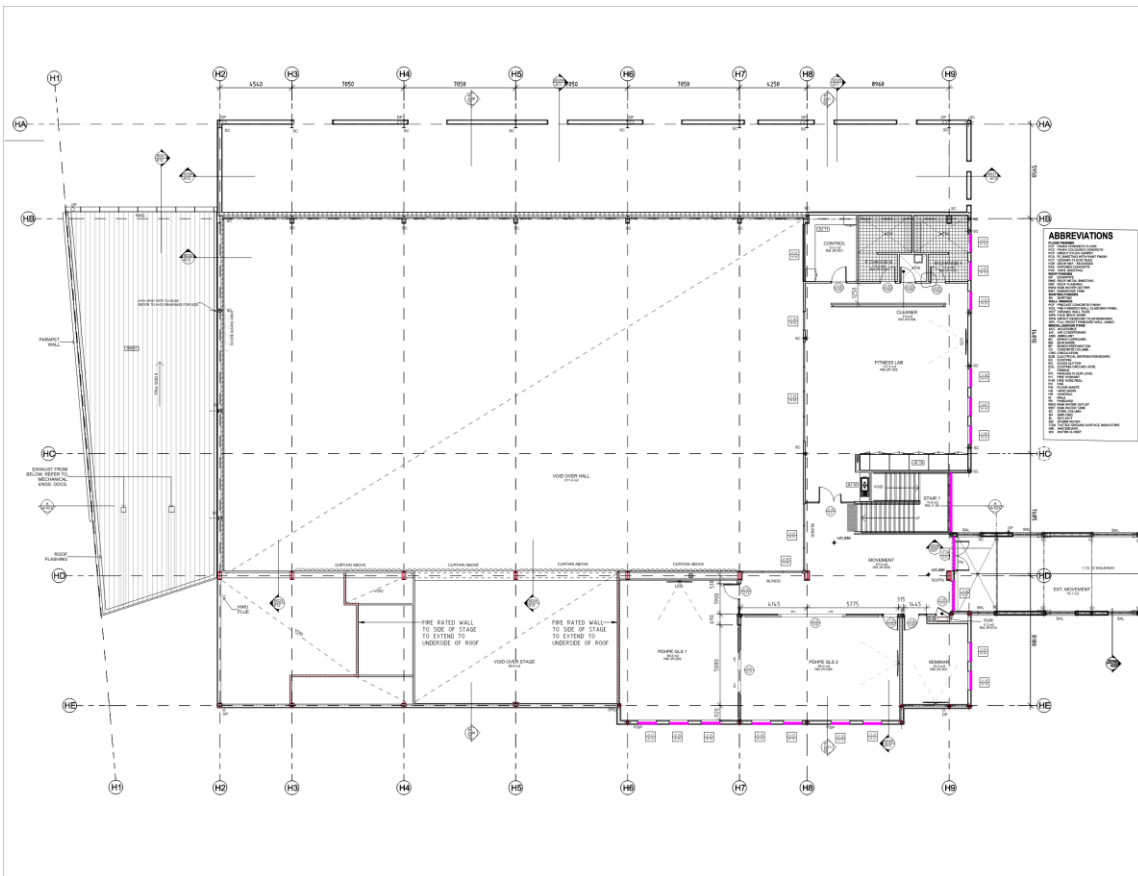


Figure 3 Plan View with Modification Highlighted – Block J

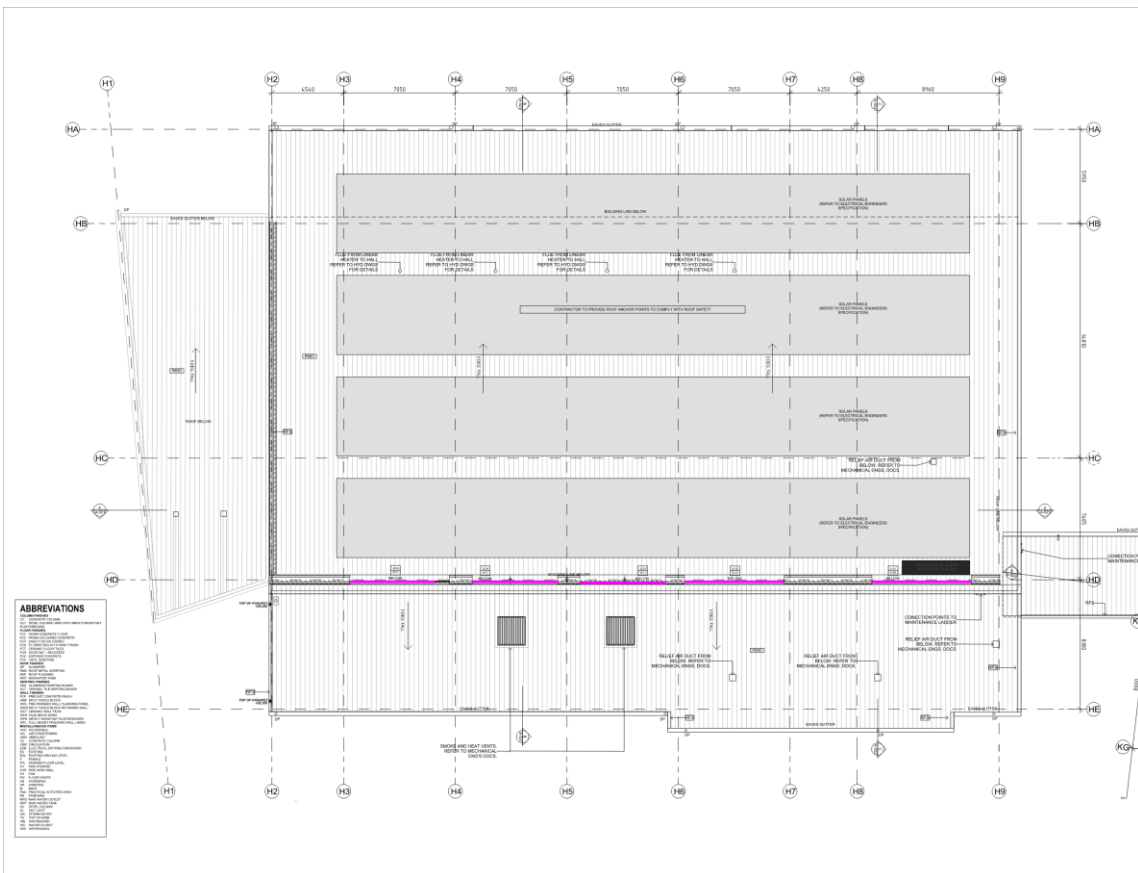


Figure 4 Plan View with Modification Highlighted – Block K

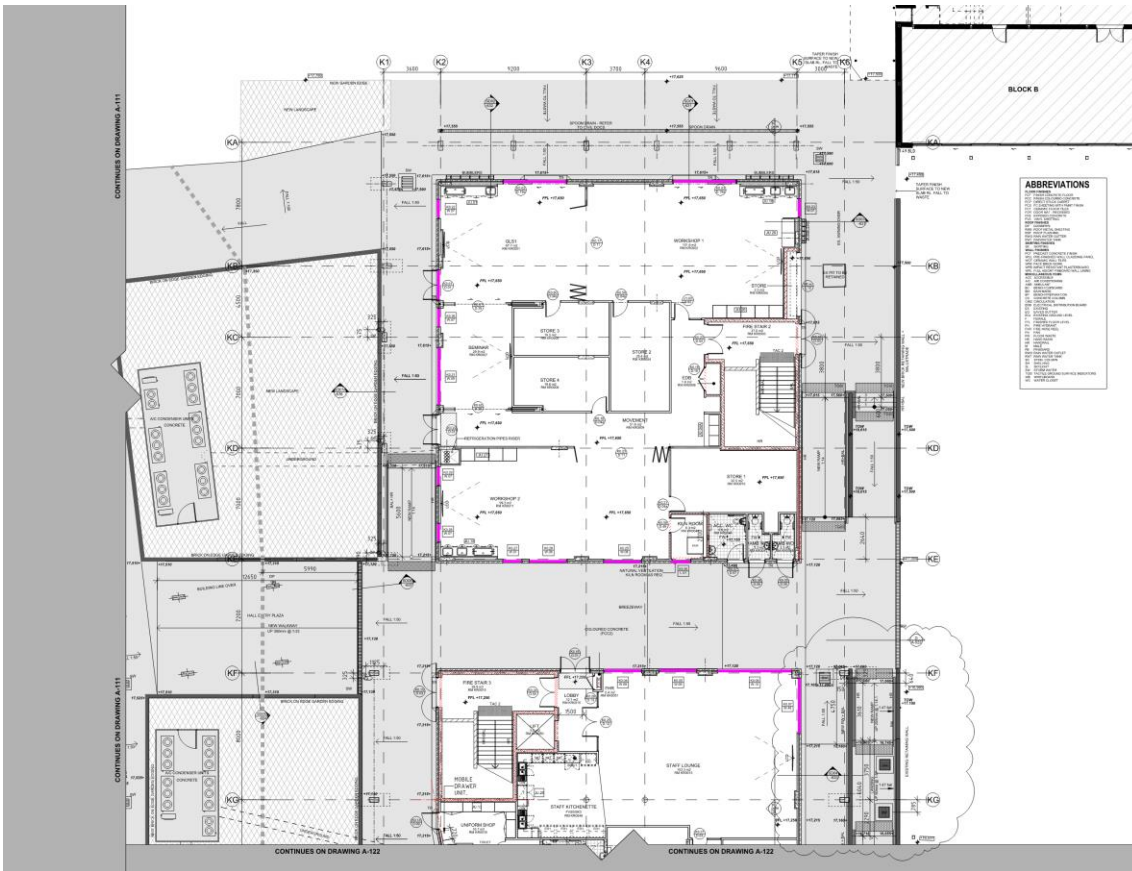


Figure 5 Plan View with Modification Highlighted – Block K

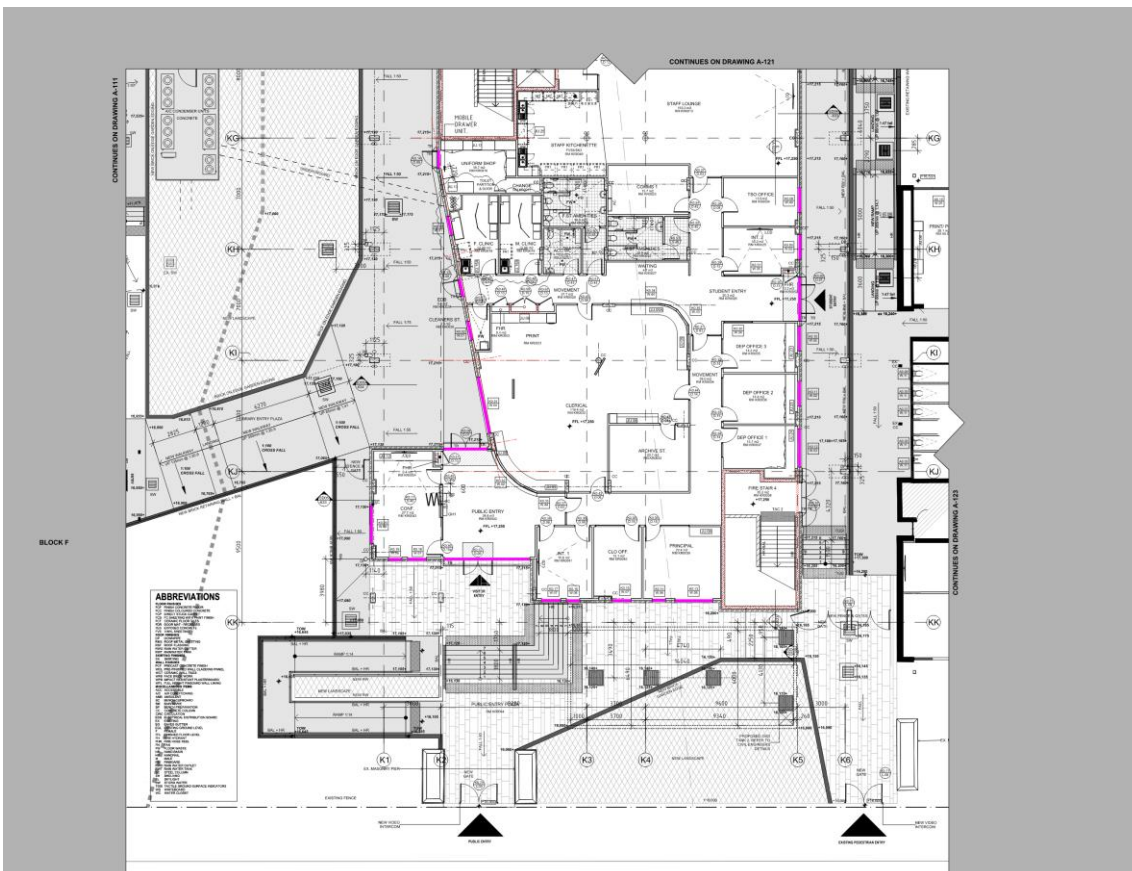


Figure 8 Plan View with Modification Highlighted – Block K

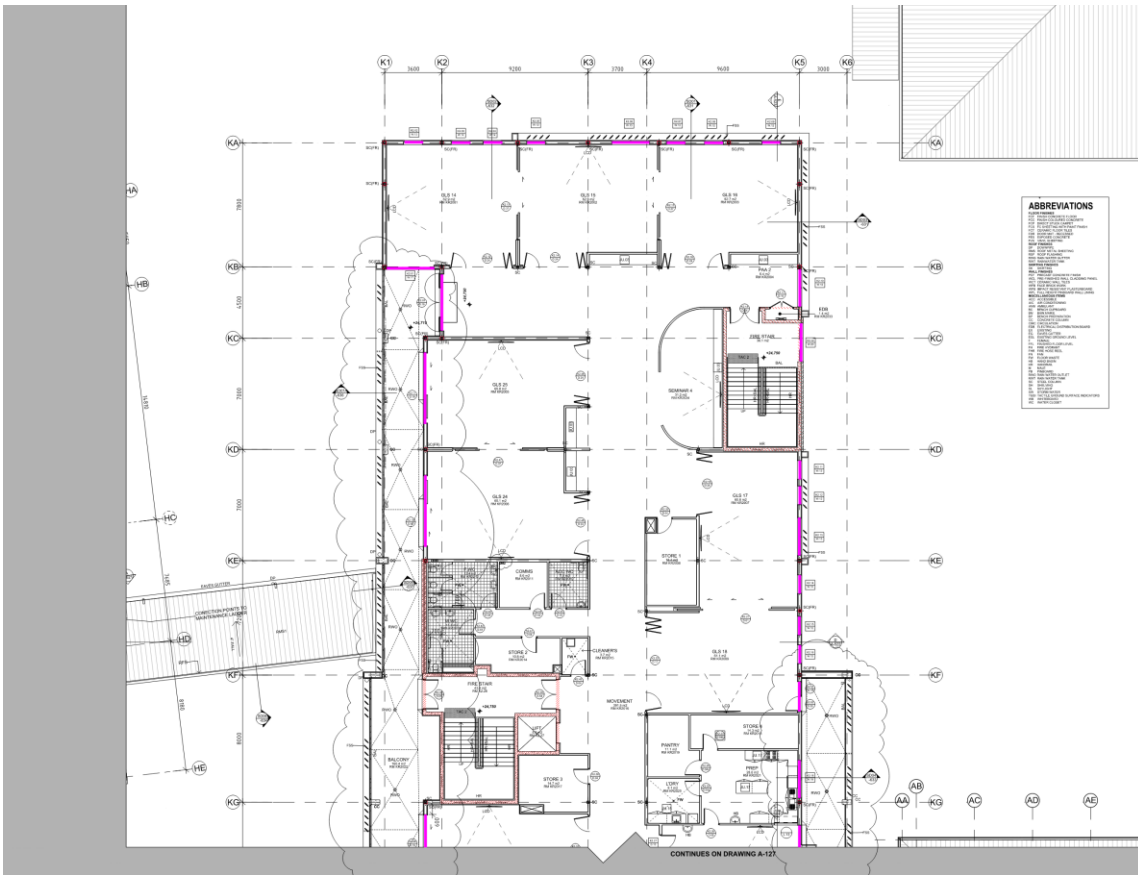


Figure 9 Plan View with Modification Highlighted – Block K

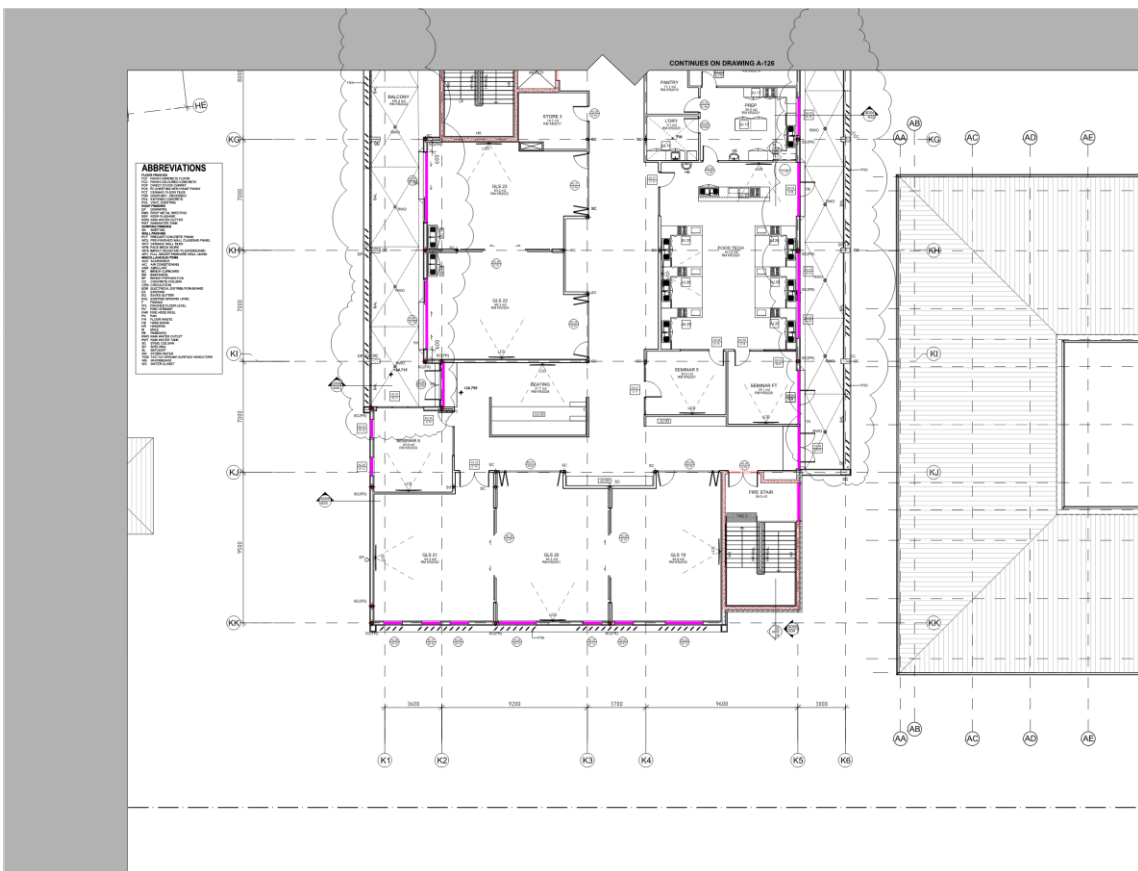


Figure 10 Plan View with Modification Highlighted – Block A

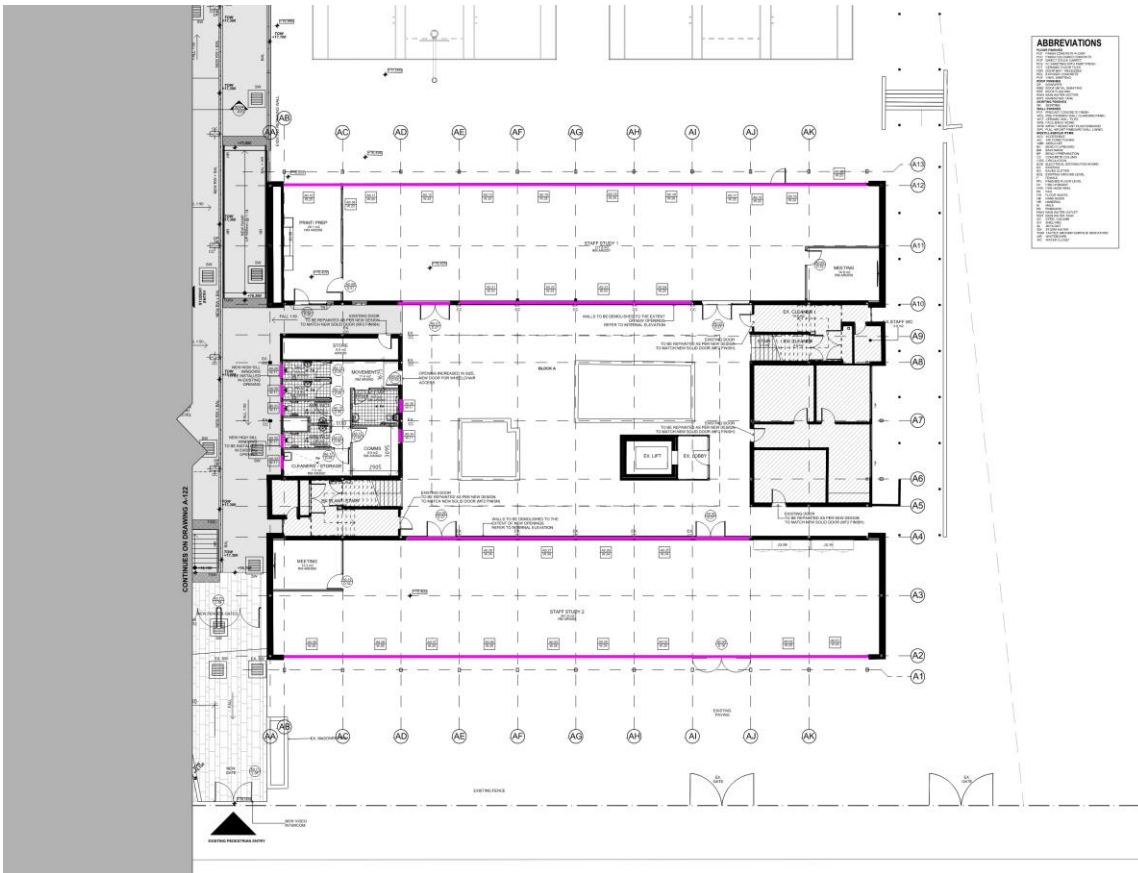


Figure 11 Elevation with Modification Highlighted – Block J



Figure 12 Elevation with Modification Highlighted – Block J



Figure 13 Elevation with Modification Highlighted – Block K



Figure 14 Elevation with Modification Highlighted – Block K

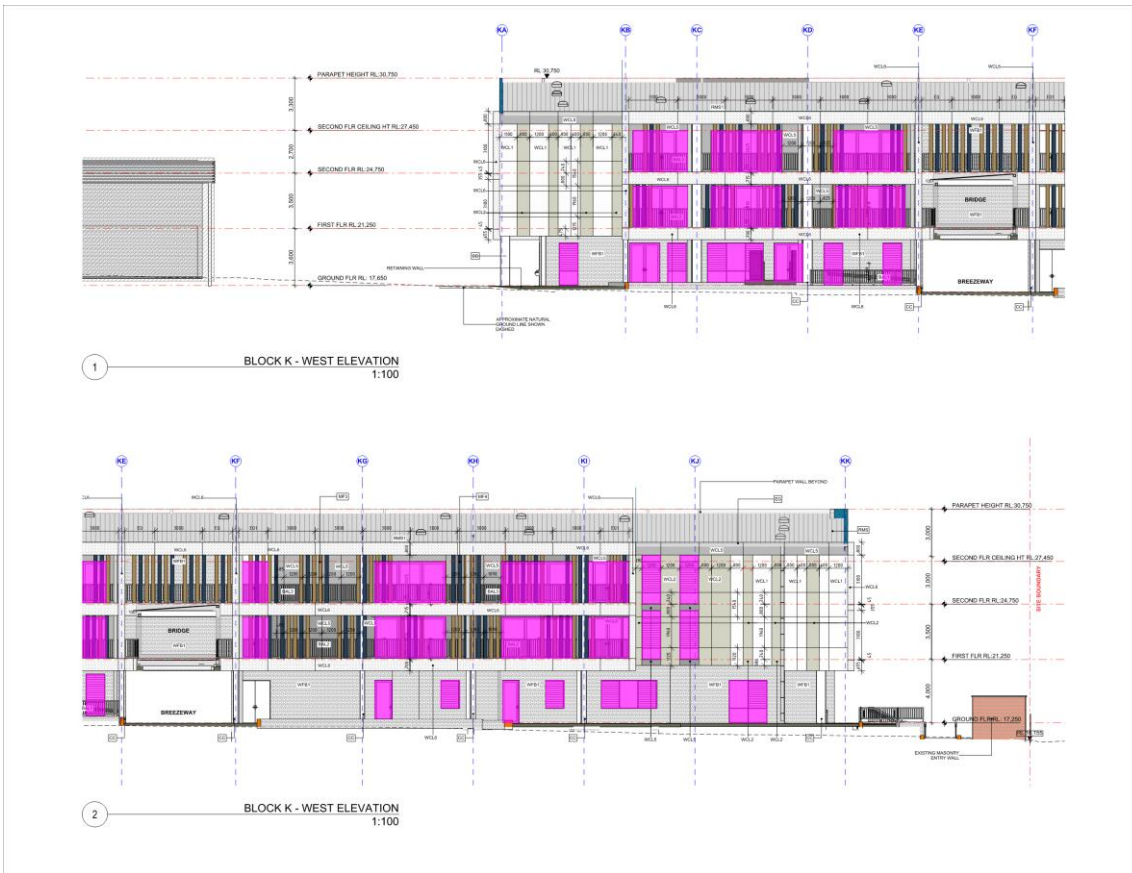


Figure 15 Elevation with Modification Highlighted – Block K

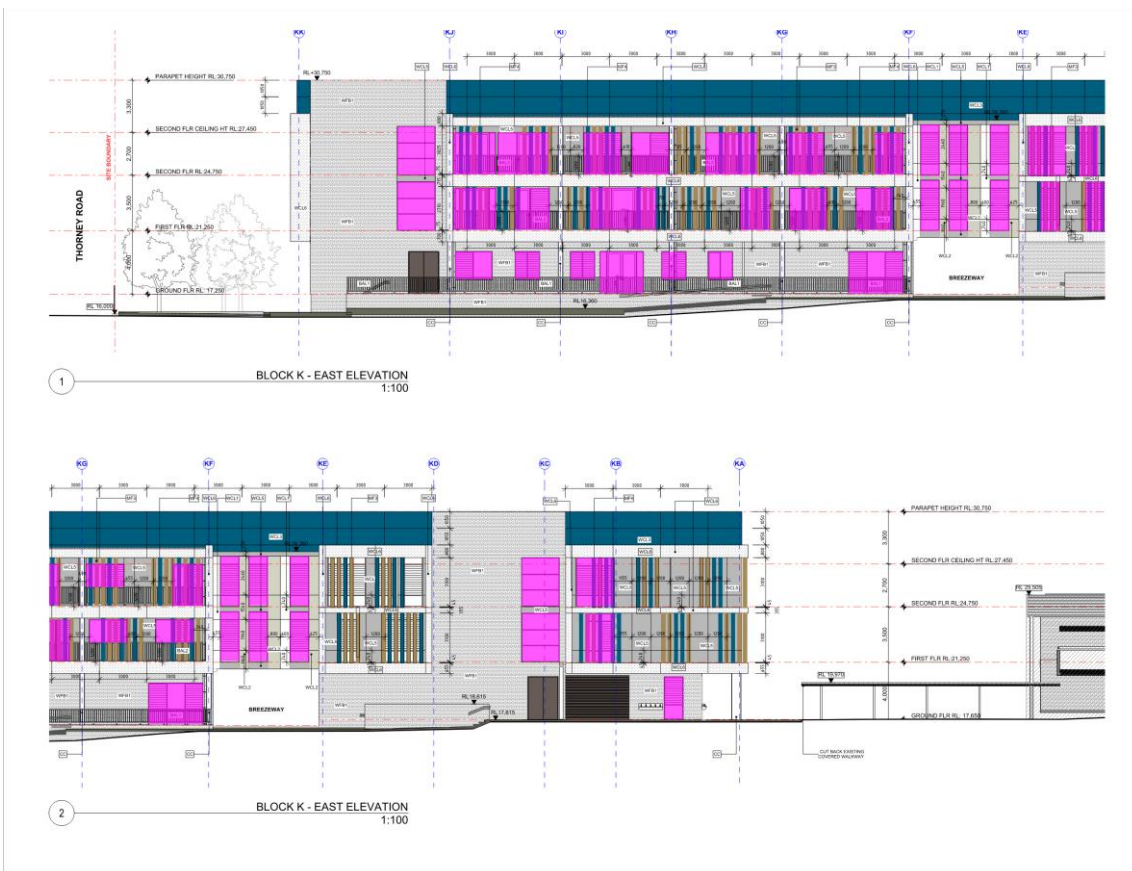


Figure 16 Elevation with Modification Highlighted – Block A

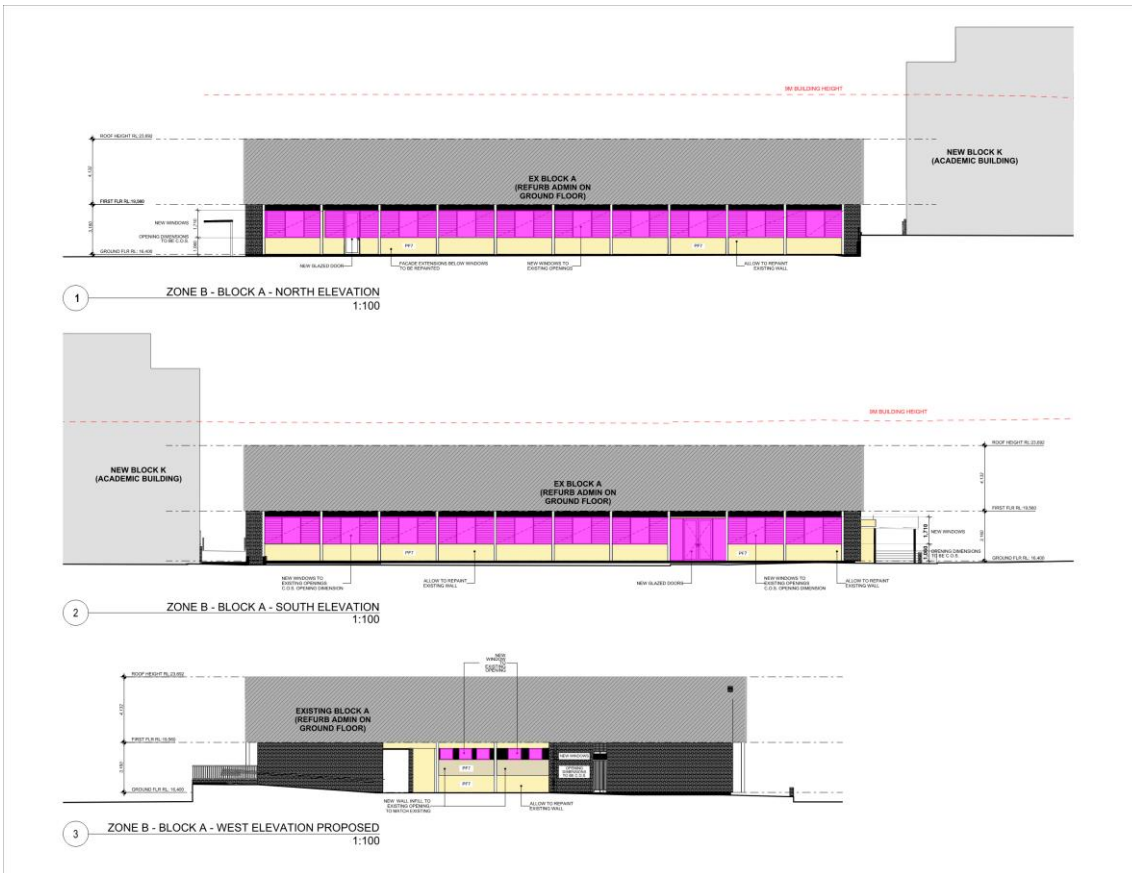
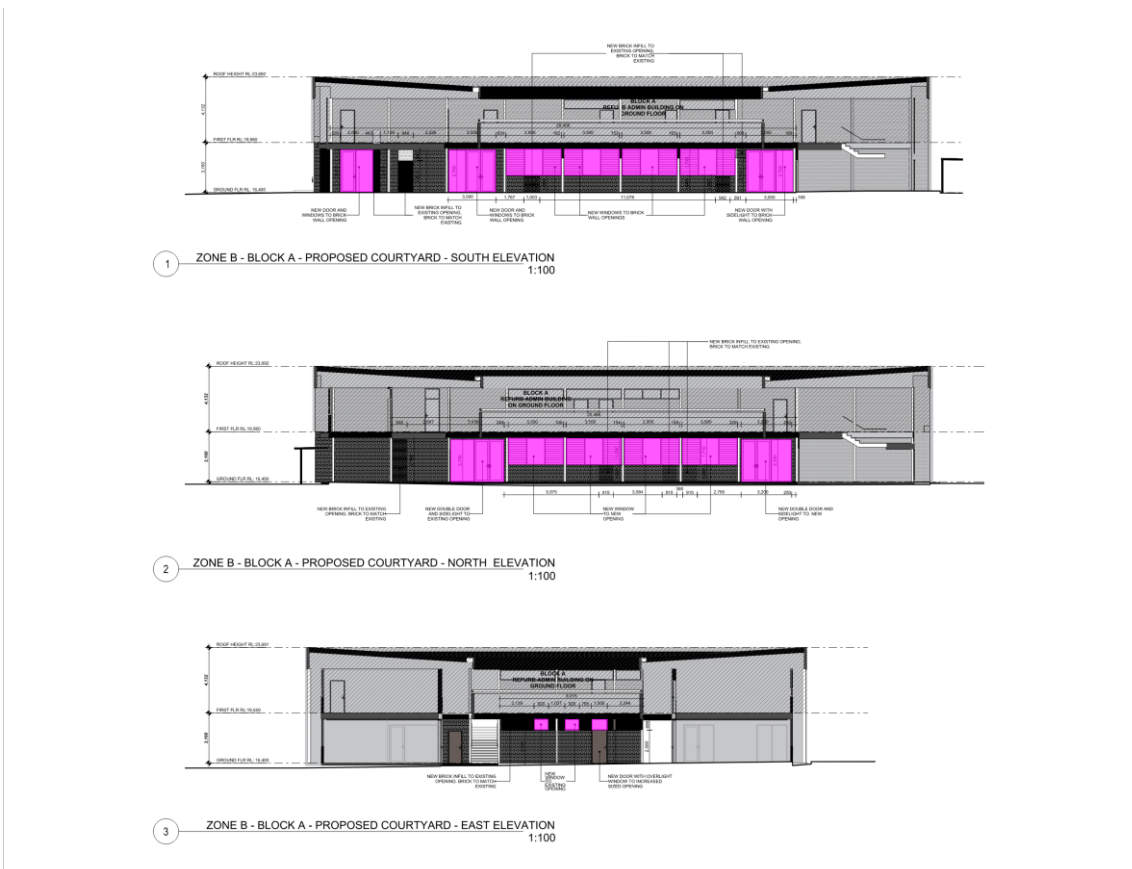


Figure 17 Elevation with Modification Highlighted – Block J



2.1.2 Finishes Schedules

The project finishes schedule has been updated to reflect the following:

- All aluminium windows and doors – generally aluminium frame as noted by code 'MF1' equal to 'Zeus Silver Grey Matt 90051272– Dulux Duratec Range'.

Refer attached Page 32 of A-S03 Internal / External Finishes Schedule developed by Collard Maxwell Architects in **Appendix C**.

2.1.3 Justification for the Proposed Amendments

The proposed change to the colour of the metal external window and door frames will ensure a consistency in colour and appearance between internal and external finishes and also is consistent with the key stakeholders' expectations.

2.1.4 Amendment to Condition A2

The proposed modification to Condition A2 is outlined below by the insertion of **bold** words and deletion of ~~struck-out~~ words, as follows:

Architectural Drawings prepared by JDH Architects and CM+A (in BOLD)			
Dwg No.	Rev	Name of Plan	Date
SSD02	01	Demolition Site Plan	20-Nov-17
SSD03	01	Demolition Plan – Block A	20-Nov-17
SSD04	01	Tree Management Plan	20-Nov-17
SSD11	01	Proposed Site Plan	20-Nov-17
SSD12	01	Proposed Site Analysis Plan	20-Nov-17
SSD13	01	Waste Management Plan	20-Nov-17
A-101	B	Ground Floor Plan Zone A	18-May-18
A-111	11	Ground Floor Plan – Zone A	30-Oct-20
A-102	B	First Floor Plan Zone A	18-May-18
A-112	9	First Floor Plan – Zone A	20-Nov-20
A-103	B	Roof Plan Zone A	18-May-18
A-113	2	Roof Plan – Zone A	20-Mar-20
A-104	C	Ground Floor Plan Zone B & Block A	18-May-18
A-121	17	Ground Floor Plan – Zone B Sheet 1	25-Sep-20
A-122	16	Ground Floor Plan – Zone B Sheet 2	30-Sep-20
A-123	6	Ground Floor Plan – Zone B Block A	28-May-20
A-105	C	First Floor Plan Zone B	18-May-18
A-124	11	First Floor Plan – Zone B Sheet 1	30-Oct-20
A-125	12	First Floor Plan – Zone B Sheet 2	30-Oct-20

A-106	C	Second Floor Plan Zone B	18-May-18
A-126	9	Second Floor Plan – Zone B Sheet 1	15-Sep-20
A-127	10	Second Floor Plan – Zone B Sheet 2	15-Sep-20
A-107	B	Roof Plan Zone B	18-May-18
SSD35	02	Proposed COLA Floor Plan	20-Nov-17
SSD36	02	Proposed COLA Roof Plan	17-Nov-17
A-501	B	Elevations Zone A Sheet 1	18-May-18
A-512	6	Elevation Zone A – Block J – Sheet 1	28-Aug-20
A-513	4	Elevation Zone A – Block J – Sheet 2	28-Aug-20
A-502	B	Elevations Zone B Sheet 1	18-May-18
A-503	B	Elevations Zone B Sheet 2	18-May-18
A-514	6	Elevation Zone B – Block K – Sheet 1	14-Aug-20
A-515	5	Elevation Zone B – Block K – Sheet 2	14-Aug-20
A-516	5	Elevation Zone B – Block K – Sheet 3	14-Aug-20
A-517	2	Elevation Zone B – Block A – Sheet 1	20-Mar-20
A-518	2	Elevation Zone B – Block A – Sheet 2	20-Mar-20
SSD81	02	Colour and Finishes Schedule	17-Nov-17
A-S03	7	Internal / External Finishes Schedule	01-Dec-20
SSD91	01	Signage Plan	20-Nov-17
Landscape Drawings prepared by <i>Space Landscape Design</i>			
Dwg No.	Rev	Name of Plan	Date
L01	D	Landscape Plan	17/102017
L02	D	Landscape Plan	17/10/2017
Stormwater Management Plans prepared by <i>Jones Nicholson Consulting Engineers</i>			
Dwg No.	Rev	Name of Plan	Date
C050 2	2	Civil Design Typical Details Sheet 1	31.10.17
C051 2	2	Civil Design Typical Details Sheet 2	31.10.17
C100 2	2	Civil Design External Stormwater Plan 1	31.10.17
C200 2	2	Civil Design External Stormwater Plan 1	31.10.17

3 Section 4.55(1A) Assessment

It is considered that the modification can be assessed under section 4.55(1A) of the EP&A Act as it involves substantially the same development and would have minimal environmental impact. A response to Part 6, Division 12, clause 115 of the Environmental Planning and Assessment Regulation 2000 has been included at **Attachment D**.

3.1 Minimal Environmental Impact

In accordance with Section 4.55(1A)(a) the proposed modification is of minor environmental impact as it:

- Will not alter the approved development in terms of its use, bulk, scale or the nature of the development.
- Will not result in any additional impacts on local landowners or residents and the development remains suitable for the site as approved.
- Remains consistent with the relevant environmental planning instruments and provisions as detailed in the original application.
- Results in negligible additional environmental impacts relative to the development as approved.
- The proposed change to the colour of the external window and door frames is minor and will not be discernible from the public domain.

3.2 Substantially the Same Development

In accordance with Section 4.55(A)(b) the proposed modification will not substantially alter the nature of the proposed development with consideration to the following:

- The proposal retains the uses under the approved development consent.
- The proposal does not alter the approved gross floor area.
- The proposal will not alter the intensity of the development, as approved.
- The modifications will not result in any substantial environmental, economic or social impacts.
- The development remains suitable for the site as approved.

4 Section 4.15 Assessment

In accordance with Section 4.55(3) of the EP&A Act, the consent authority must take into consideration the matters referred to in Section 4.15(1) that are relevant to this application. The Section 4.15 Assessment is provided in the following sections.

4.1 Any Environmental Planning Instrument

The proposal remains consistent with the provisions of the following:

- *State Environmental Planning Policy (State & Regional Development) 2011 (SRD SEPP)*
- *State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017 (Education SEPP)*
- *State Environmental Planning Policy (Infrastructure) 2007 (ISEPP)*
- *State Environmental Planning Policy No. 55 – Remediation of Land (SEPP 55)*
- *State Environmental Planning Policy No. 64 – Advertising Structures and Signage (SEPP 64)*
- *Fairfield Local Environmental Plan 2013 (FLEP).*

A comprehensive assessment of the project against the provisions of the abovementioned environmental planning instruments was undertaken as part of the original assessment under SSD 8677. The proposed modification will not alter the proposal's compliance with the relevant objectives and controls contained in these environmental planning instruments.

4.2 Any Draft Environmental Planning Instrument

The applicable draft environmental planning instruments applying to the site are:

- *Draft State Environmental Planning Policy (Remediation of Land) (Draft Remediation SEPP)*
- *Draft State Environmental Planning Policy (Environment) (Draft Environment SEPP)*

The proposed modification will not result in any changes to the proposal's compliance with the relevant objectives and controls contained in the relevant draft environmental planning instruments.

4.3 Any Development Control Plan

In accordance with clause 11 of the SRD SEPP, Development Control Plans (DCP) do not apply to SSD.

4.4 Any Matters Prescribed by the Regulations

There are none relevant to the proposed modification.

4.5 Likely Impacts of the Development

As described above, the environmental impacts arising from the proposed modifications to the approved development are negligible. Furthermore, there will be no additional social or economic impacts as a result of the proposed modifications beyond those previously assessed as part of the approved development under SSD - 8677.

4.6 The Suitability of the Site

The proposed modification does not alter the existing consent to such a degree that the development as approved would no longer be suitable. As such, the site remains suitable for the proposed development, as modified.

4.7 Any Submissions

Section 117(3B) of EP&A Regulation specifies that the notification requirements of the EP&A Regulation do not apply to State significant development.

In the event DPIE deems public notification to be necessary, any submissions received will be taken into consideration by the Proponent and responded to where required.

4.8 The Public Interest

It is considered that the proposed modifications are minor in nature and do not contravene the public interest as the development will facilitate the construction of a new school that will benefit the wider community.

5 Conclusion








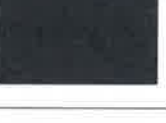



This Section 4.55(1A) modification seeks approval to change the colour of the metal external window and door frames to the Block K, Block J and Block A buildings.

The proposed modification is minor in nature, will not alter the fundamental design principles of the approved development and results in substantially the same development as that for which consent was originally granted.

The minor modifications proposed under this Application are considered acceptable for approval pursuant to the provisions of Section 4.55(1A) of the EP&A Act.

Appendix A

**EXTERNAL FINISHES SCHEDULE
REVISION B**


CODE	LOCATION	MATERIAL	COLOUR	MANUFACTURER	IMAGE
AL	ALL ALUMINIUM WINDOWS AND DOORS	ALUMINIUM FRAME	NATURAL ANODISED		
BAL	BALUSTRADES	HOT DIP GALVANISED			
CC	EXTERNAL COLUMNS	CONCRETE	NATURAL - EXTERNAL SUN GUARD PAINT		
WPC	PRECAST WALL	PRECAST CONCRETE	INTEGRAL COLOUR		
FCC1	CONCRETE PAVING - FEATURE	INTEGRAL COLOURED CONCRETE	HAMLET: ASH	AUSTRAL BRICKS	
FCC2	CONCRETE PAVING	INTEGRAL COLOURED CONCRETE	SMOKEY BLUE	CONCRETE COLOUR SYSTEMS	
PF1	ALUMINIUM LOUVRES (FINS)	OCEAN SERIES ELLIPTICAL LOUVRE 300MM	INTERPON: PRECIS PURE GOLD MATT	LOUVRECLAD	
PF2	ALUMINIUM LOUVRES (FINS)	OCEAN SERIES ELLIPTICAL LOUVRE 300MM	INTERPON: CANON MATT	LOUVRECLAD	
PF3	EXTERNAL SOLID DOORS	PAINT FINISH	COLOUR: COLORBOND WOODSLOPE GR CODE: C23	DULUX	
			COLOUR: SUMMER CLOUD WATT CODE: SW103	DULUX	
			COLOUR: MONUMENT WATT CODE: 9008189	DULUX POWDERCOAT	


CODE	LOCATION	MATERIAL	COLOUR	MANUFACTURER	IMAGE
RMS	ROOF METAL SHEETING	ROOF METAL SHEETING SUITABLE FOR 3 DEGREE ROOF EQUAL TO KLIPLOK/ AROMAX	SURFMIST	LYSAGHT	
RSF1	ROOF FLASHING, FASCIA, RAINWATER GUTTER	COLORBOND STEEL	SURFMIST	LYSAGHT	
RSF2	BARGE CAPPING	COLORBOND STEEL	DEEP OCEAN	LYSAGHT	
RWP	RAIN WATER PIPE	UPVC ROUND DOWNPIPES	TO MATCH COLORBOND	LYSAGHT	
SIGN	OUTDOOR DIMENSIONAL LETTER SIGNS	ALUMINIUM	POWDERCOAT	NATIONAL SIGN BUILD	
WFB1	EXTERNAL WALLS	FACE BRICK WORK	DRY PRESSED: BLACK BEAUTY	PGH BRICKS	
WCL1	PREFINISHED FIBRE CEMENT WALL CLADDING	8MM EQUITONE FIXED TO METAL SUPPORT FRAME	TECTIVA TE90	EQUITONE	
WCL2	PREFINISHED FIBRE CEMENT WALL CLADDING	8MM EQUITONE FIXED TO METAL SUPPORT FRAME	TECTIVA TE10	EQUITONE	
WCL3	PREFINISHED FIBRE CEMENT WALL CLADDING	8MM EQUITONE FIXED TO METAL SUPPORT FRAME	PICTURA PG444	EQUITONE	
WCL4	SHEET CLADDING	METAL SHEETING EQUAL TO LYSAGHT CUSTOM ORB	DEEP OCEAN	COLORBOND	
WCL5	PREFINISHED FIBRE CEMENT WALL CLADDING	8MM EQUITONE FIXED TO METAL SUPPORT FRAME	NATURA N892	EQUITONE	


Planning & Environment
 Issued under the Environmental Planning and Assessment Act 1979
 Approved Application No. SSD 8677
 granted on the 31/01/2019
 Signed [Signature]
 Sheet No. 19 of 26

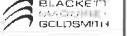
© COPYRIGHT JDH ARCHITECTS PTY LTD
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT USE FIGURATIVE DIMENSIONS DO NOT SCALE THE DRAWINGS DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION


Rev	Date	By	Issue Name	LC
01	21 Oct 17	AT, FT	ISSUED FOR BID SUBMISSION	AC
02	17 Nov 17	AT, FT	ISSUED FOR BID SUBMISSION	AC

Planning 


Landscape 

Project Manager 

Building Certifier 

Mechanical, Electrical, Hydraulic, Structural & Civil Engineering Consultant 

Architect **JDH architects**
 JDH ARCHITECTS PTY LTD
 44/100 Oxford Street
 Darlinghurst, NSW 2010
 ABN 77 110 928 802
 ACR 110 928 802
 NOMINATED ARCHITECT
 JANE HANCOCK (PRACT)

Client 
 NSW Education
 NSW Department of Education
 5 Bridge Street, Sydney

Project Name
FAIRVALE HIGH SCHOOL
 FAIRVALE HIGH SCHOOL
 THORNEY ROAD
 FAIRFIELD WEST

Drawing Title
COLOUR & FINISHES SCHEDULE

Scale: @A1 Date: 17-Nov-17
 Drawn: AT Checked: AC

Project No	Drawing No	Rev
994	SSD81	02

QUALITY CERTIFIED ISO 9001
 INSTALLING THE DRAWING AND THE CHECK BOXES CONFIRMS THAT THIS DRAWING HAS BEEN PREPARED IN CONFORMANCE WITH AN ARCHITECT'S QMS PROCEDURES

Status: DEVELOPMENT APPLICATION

Appendix B

PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY. DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE. IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
1	CONSTRUCTION ISSUE	20-03-2020
2	FLOOR WASTES & FALLS UPDATED	26-03-2020
3	ACCESS UPDATES	21-04-2020
4	OVERLAND FLOW & ACCESS UPDATE	26-05-2020
5	ROOM NUMBERS UPDATE	28-05-2020
6	ROOM AREAS UPDATED	18-06-2020
7	ROLLER SHUTTER WIDTH	28-07-2020
8	MECHANICAL RISER INCREASED	21-09-2020
9	CHAIR LIFTS UPDATED	08-10-2020
10	OSD TANK RELOCATED	30-10-2020
11		

Legend

FLOOR PLAN LEGEND

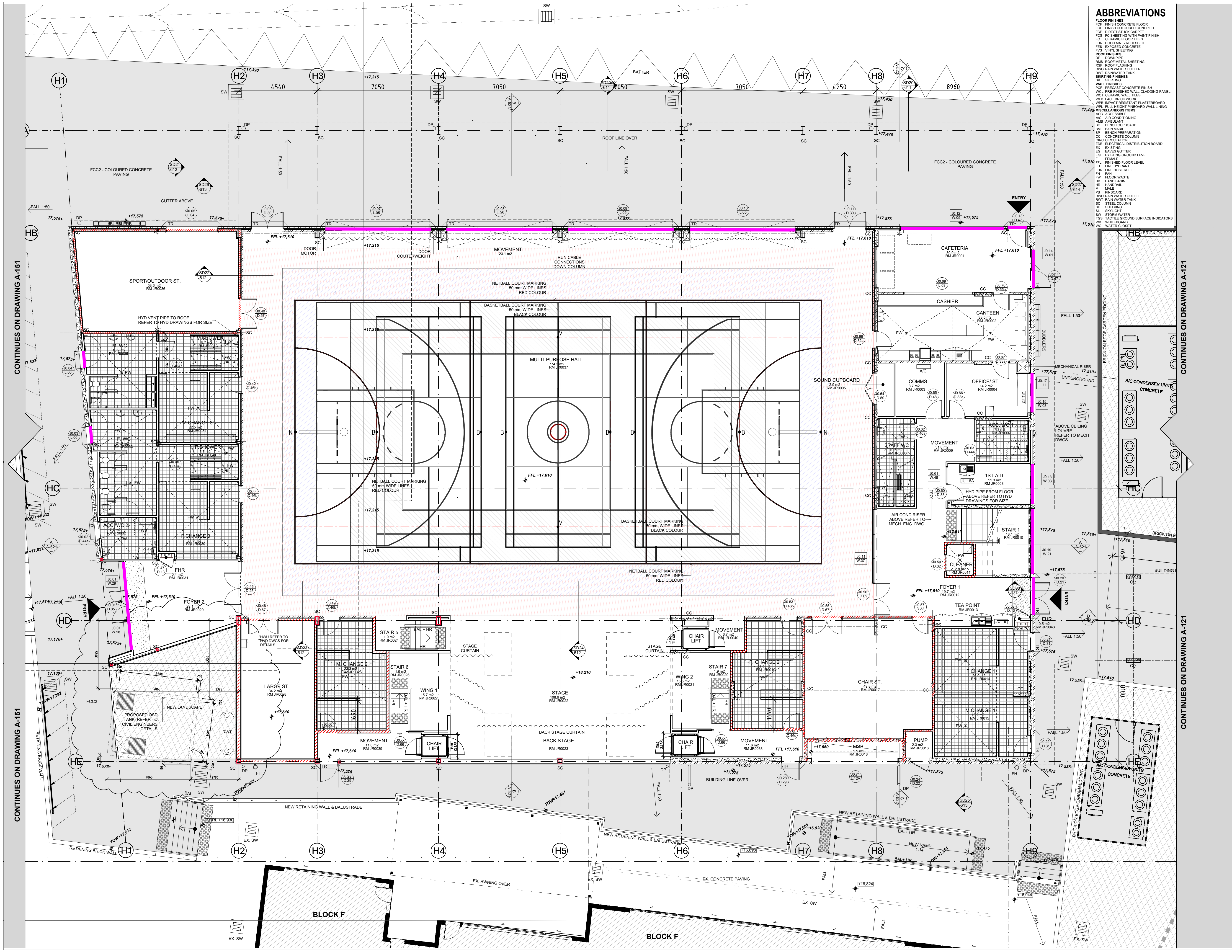
- EXISTING BUILDING RETAINED
- EXISTING COVERED WALKWAYS / COLA
- CONCRETE PAVING
- NEW SOFT LANDSCAPE
- NEW HARDSCAPE
- SOFTFALL
- EXTENT OF FIRE RATED WALL
- EXISTING WALL
- SITE BOUNDARY
- INTERNAL LOT BOUNDARY
- NEIGHBOURING BOUNDARY
- TREE PROTECTION ZONE (TPZ)
- EXISTING TREE
- NEW TREE
- BUILDING ENTRY
- EXISTING RL
- PROPOSED RL



Project
FAIRVALE HIGH SCHOOL
THORNEY ROAD
FAIRFIELD WEST

Drawing
GROUND FLOOR PLAN - ZONE A

Scale	North
1:100 @ A1	
1:200 @ A3	
Date	Project No.
Oct 30, 2020 7:59 AM	3212
Issue	
11	A-111



ABBREVIATIONS

FLOOR FINISHES
 FC2 FRESH CONCRETE FLOOR
 FCC FINISH COLOURED CONCRETE
 FCS DIRECT STICK CARPET
 FCS2 SHEETING WITH PAINT FINISH
 FCS3 CERAMIC WALL TILES
 FCS4 CERAMIC FLOOR TILES
 FCS5 POLYURETHANE FLOURED
 FCS6 EXPOSED CONCRETE
 FCS7 POLYURETHANE SHEETING

ROOF FINISHES
 DP DOWNPIPE
 RMS ROOF METAL SHEETING
 RSP ROOF FLASHING
 RWG RAIN WATER GUTTER
 RWT RAIN WATER TANK
 SKRT SKIRTING FINISHES
 SK SKIRTING

WALL FINISHES
 WCL PRE-FINISHED WALL CLADDING PANEL
 WCL2 CERAMIC WALL TILES
 WFB FACE BRICK WORK
 WFB2 IMPACT RESISTANT PLASTERBOARD
 WFL FULL HEIGHT PLYBOARD WALL LINING

MISCELLANEOUS ITEMS
 ACC ACCESSIBLE
 A/C AIR CONDITIONING
 AMB AMBULANT
 AC AC
 BM BAN MARE
 BP BENCH PREPARATION
 CC CONCRETE COLUMN
 CDB ELECTRICAL DISTRIBUTION BOARD
 EX EXISTING
 EG EXISTING GUTTER
 EGG EXISTING GROUND LEVEL
 FFL FINISHED FLOOR LEVEL
 FHR FIRE HOSE REEL
 FH FIRE HOSE
 FW FLOOR WASTE
 HW HAND WASH
 HR HANDRAIL
 M MALE
 PB PARABARD
 RWO RAIN WATER OUTLET
 RWT RAIN WATER TANK
 SC STEEL COLUMN
 SH SHELVE
 SW STORM WATER
 TOS TOWEL DRYING TANK
 WB WHITEBOARD
 WTR WATER

CONTINUES ON DRAWING A-151

CONTINUES ON DRAWING A-121

CONTINUES ON DRAWING A-121

CONTINUES ON DRAWING A-151

BLOCK F

BLOCK F

PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY, DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE. IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
1	SSD ISSUE	13-02-2020
2	CONSTRUCTION ISSUE	20-03-2020
3	ACCESS AMENDMENTS	21-04-2020
4	ROOM NUMBERS UPDATED	28-05-2020
5	1 X SCOREBOARD REMOVED	18-06-2020
6	ROOM AREAS UPDATED	18-06-2020
7	BRIDGE UPDATED	31-07-2020
8	WALL TYPES UPDATED	11-11-2020
9	SERVICES RISER DELETED	20-11-2020

Legend

FLOOR PLAN LEGEND

- EXISTING BUILDING RETAINED
- EXISTING COVERED WALKWAYS / COLA
- CONCRETE PAVING
- NEW SOFT LANDSCAPE
- NEW HARDSCAPE
- SOFTFALL
- EXTENT OF FIRE RATED WALL
- EXISTING WALL
- SITE BOUNDARY
- INTERNAL LOT BOUNDARY
- NEIGHBOURING BOUNDARY
- TREE PROTECTION ZONE (TPZ)
- EXISTING TREE
- NEW TREE
- BUILDING ENTRY
- EXISTING RL
- PROPOSED RL

Builder
ICON

Client
NSW GOVERNMENT Education

Project
FAIRVALE HIGH SCHOOL THORNEY ROAD FAIRFIELD WEST

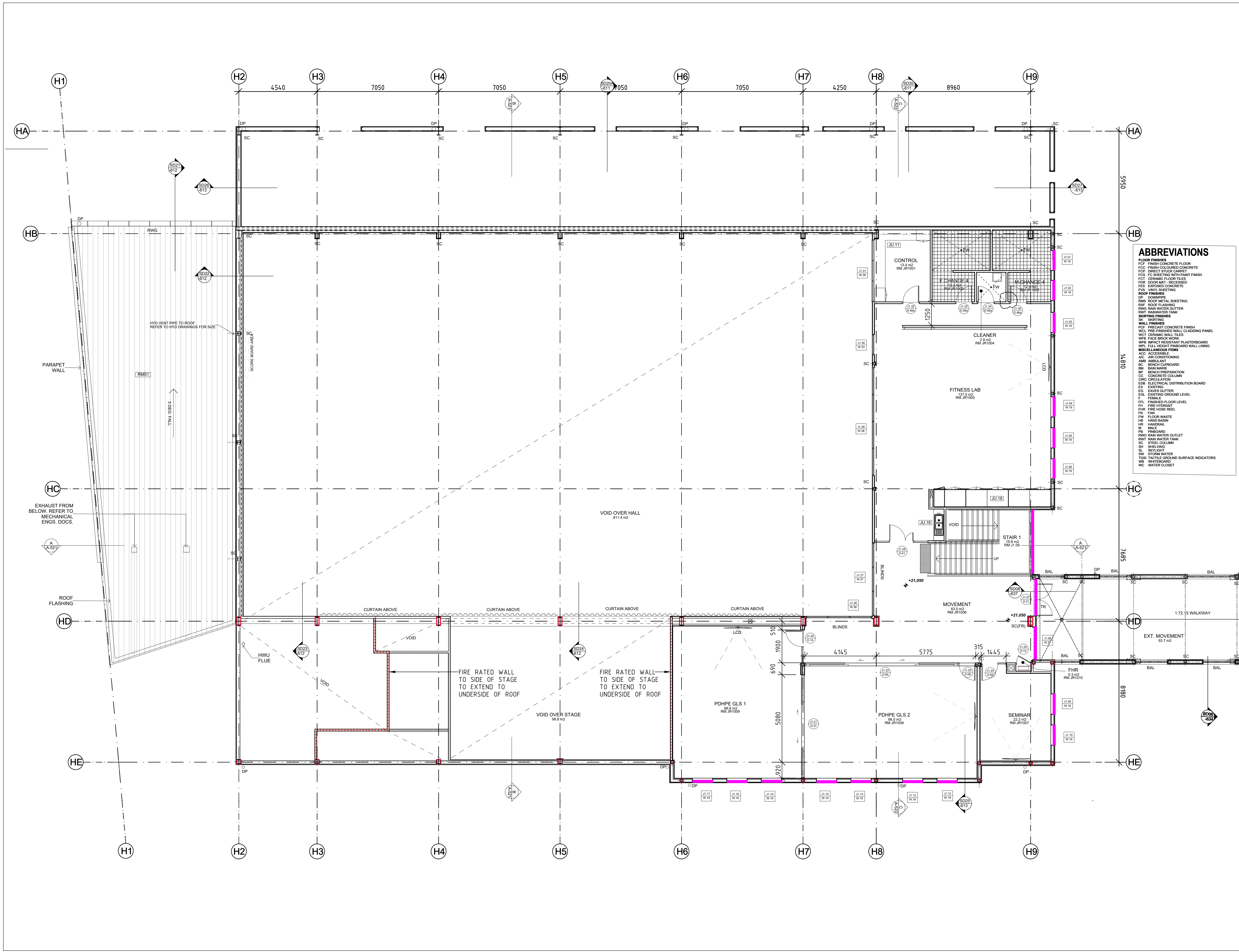
Drawing
FIRST FLOOR PLAN - ZONE A

Scale
1:100 @ A1
1:200 @ A3

Date
Nov 20, 2020 6:54AM

Issue
9

A-112



PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY, DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE. IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
1	SSD ISSUE	13-02-2020
2	CONSTRUCTION ISSUE	20-03-2020

Legend

ROOF LEGEND

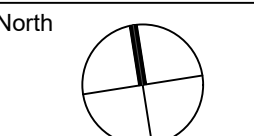
- EXISTING BUILDING RETAINED
- METAL ROOF SHEETING
- SITE BOUNDARY
- INTERNAL LOT BOUNDARY
- NEIGHBOURING BOUNDARY
- EXISTING TREE
- NEW TREE
- SKY LIGHT



Project
FAIRVALE HIGH SCHOOL
THORNEY ROAD
FAIRFIELD WEST

Drawing
ROOF PLAN - ZONE A

Scale
1:100 @ A1
1:200 @ A3

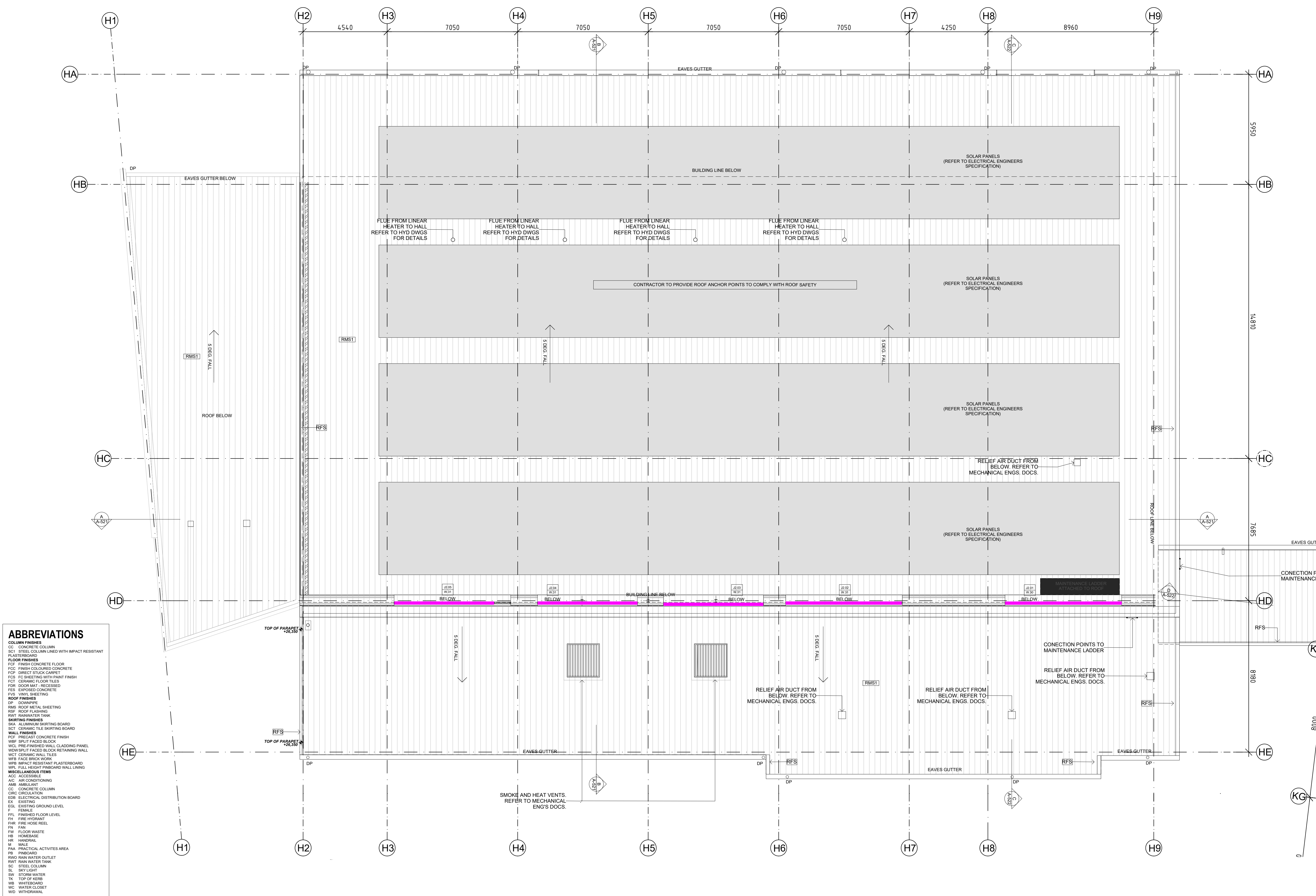


Date
Mar 20, 2020
9:49 AM

Project No.
3212

Issue
2

A-113



ABBREVIATIONS

COLUMN FINISHES
CC CONCRETE COLUMN
SC1 STEEL COLUMN LINED WITH IMPACT RESISTANT PLASTERBOARD

FLOOR FINISHES
FC1 FINISH CONCRETE FLOOR
FCC FINISH COLOURED CONCRETE
FCD DIRECT STYCK CARPET
FCS FC SHEETING WITH PAINT FINISH
FCT CERAMIC FLOOR TILES
FDR DOOR MAT - RECESSED
FES EXPRESSED CONCRETE
FVS VINYL SHEETING

ROOF FINISHES
DP DOWNPIPE
RMS ROOF METAL SHEETING
RSP ROOF FLASHING
RTM ROOF WATER TANK

SKIRTING FINISHES
SKA ALUMINIUM SKIRTING BOARD
SCT CERAMIC TILE SKIRTING BOARD

WALL FINISHES
PCC PRECAST CONCRETE FINISH
WBF SPLIT FACED BLOCK
WCS PRE-FINISHED WALL CLADDING PANEL
WWSW SPLIT FACED BLOCK RETAINING WALL
WCT CERAMIC WALL TILES
WFB FACE BRICK WORK
WRI IMPACT RESISTANT PLASTERBOARD
WHL FULL HEIGHT PINBOARD WALL LINING

MISCELLANEOUS ITEMS
ACC ACCESSIBLE
A/C AIR CONDITIONING
AMB AMBULANT
CC CONCRETE COLUMN
CIRC CIRCULATION
EDB ELECTRICAL DISTRIBUTION BOARD
EX EXISTING
EGL EXISTING GROUND LEVEL
F FEMALE
FFL FINISHED FLOOR LEVEL
FH FIRE HYDRANT
FNR FIRE NOSE REEL
FN FAN
FLR FLOOR WARE
HB HOMEBASE
HR HANDBASE
M MALE
PAK PRACTICAL ACTIVITIES AREA
RWO RAIN WATER OUTLET
RTM RAIN WATER TANK
SC STEEL COLUMN
SL SKY LIGHT
SW STORM WATER
TK TOP OF KEYS
WB WHITEBOARD
WC WATER CLOSET
WD WITHDRAWAL

PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY. DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE, IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
10	MSB RENAMED AS STORE	16-06-2020
11	ROOM AREAS UPDATED	18-06-2020
12	RISER DIMENSIONS UPDATED	
	WINDOW RELOCATED	09-07-2020
13	COLUMN DELETED	31-07-2020
14	DOWNPIPE SETOUTS INDICATED	06-08-2020
15	SLIDING DOOR THRESHOLD RAMPS AMENDED	12-08-2020
16	PIT LEVELS INDICATED	09-08-2020
17	PIT LOCATIONS & RAMP UPDATED	25-09-2020

Legend

FLOOR PLAN LEGEND	
	EXISTING BUILDING RETAINED
	EXISTING COVERED WALKWAYS / COLA
	CONCRETE PAVING
	NEW SOFT LANDSCAPE
	NEW HARDSCAPE
	SOFTFALL
	EXTENT OF FIRE RATED WALL
	EXISTING WALL
	SITE BOUNDARY
	INTERNAL LOT BOUNDARY
	NEIGHBOURING BOUNDARY
	TREE PROTECTION ZONE (TPZ)
	EXISTING TREE
	NEW TREE
	BUILDING ENTRY
	EXISTING RL
	PROPOSED RL

Builder
ICON

Client
NSW GOVERNMENT Education

Project
FAIRVALE HIGH SCHOOL THORNEY ROAD FAIRFIELD WEST

Drawing
GROUND FLOOR PLAN - ZONE B SHEET 1

Scale
1:100 @ A1
1:200 @ A3

Date
Sep 25, 2020 10:03AM

Issue
17

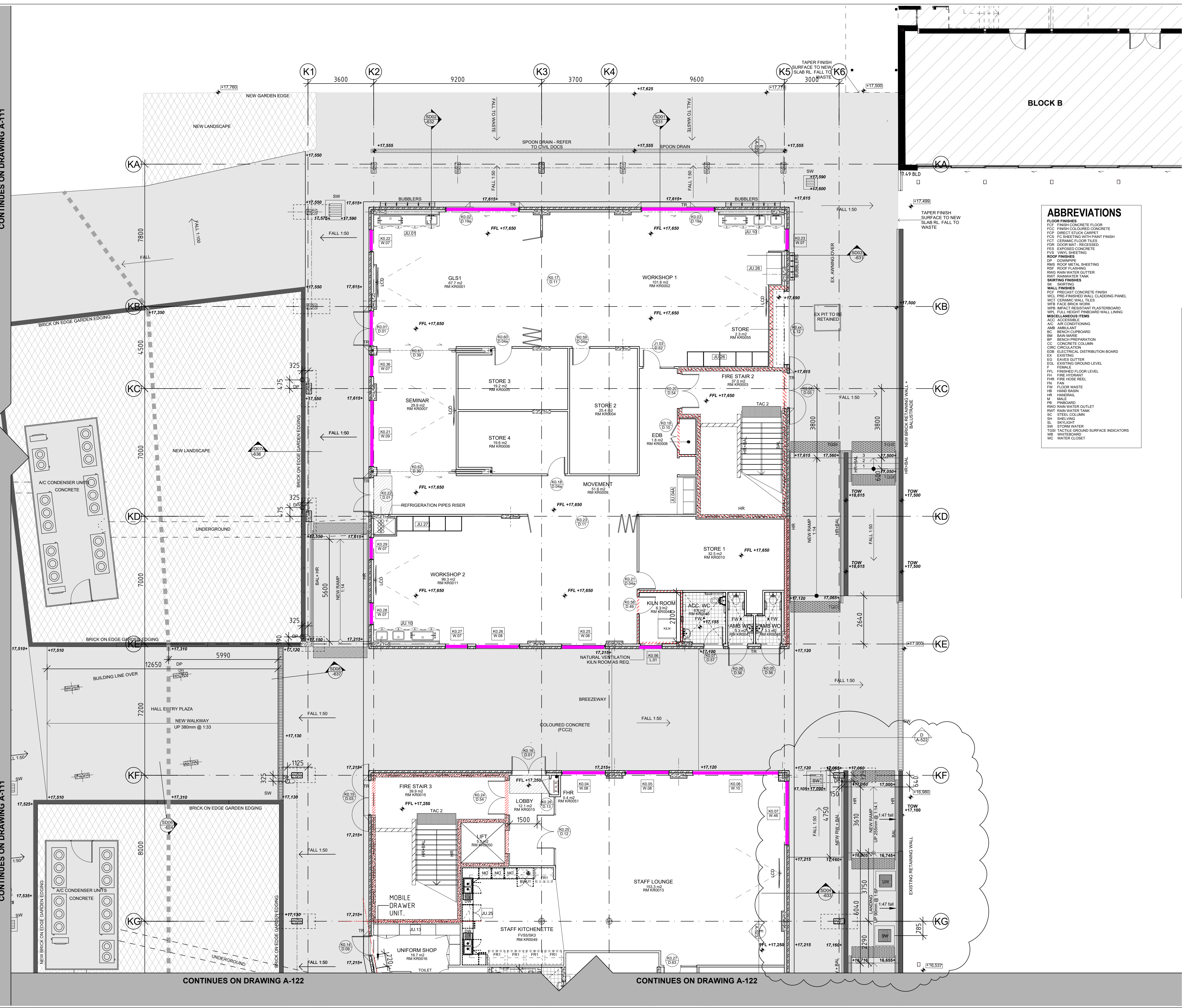
A-121

CONTINUES ON DRAWING A-111

CONTINUES ON DRAWING A-111

CONTINUES ON DRAWING A-122

CONTINUES ON DRAWING A-122



ABBREVIATIONS

FLOOR FINISHES
 FCF FRESH CONCRETE FLOOR
 FCC FINISH COLOURED CONCRETE
 FCT DIRECT STUCK CARPET
 FCS FC SHEETING WITH PAINT FINISH
 FCR CERAMIC FLOOR TILES
 FDR DOOR MAT - RECESSED
 FES EXPOSED CONCRETE
 FVS VINYL SHEETING

ROOF FINISHES
 DP DOWNPIPE
 RMR ROOF METAL SHEETING
 RSF ROOF FLASHING
 RWG RAIN WATER GUTTER
 RWV RAINWATER TANK

SK SKIRTING

WALL FINISHES
 PCT PRECAST CONCRETE FINISH
 WCL PRES-FINISHED WALL CLADDING PANEL
 WFS FACE BRICK WORK
 WFA IMPACT RESISTANT PLASTERBOARD
 WFL FULL HEIGHT FINISH BOARD WALL LINING

MISCELLANEOUS ITEMS
 ACC ACCESSIBLE
 ACB AIR CONDITIONING
 AMB AMBULANT
 BCN BRICK CURBOARD
 BM BARN MARBLE
 BP BRICK PREPARATION
 CC CONCRETE COLUMN
 CIRC CIRCULATION
 EDB ELECTRICAL DISTRIBUTION BOARD
 EX EXISTING
 EG EAVES GUTTER
 EQL EXISTING GROUND LEVEL
 FEMAL FEMALE
 FFL FINISHED FLOOR LEVEL
 FH FIRE HYDRANT
 FHR FIRE HOSE REEL
 FN FAN
 FW FLOOR WASTE
 HB HAND BASIN
 HANZ HANDBALL
 HR PARADE
 IRB RAIN WATER OUTLET
 RWV RAIN WATER TANK
 SH STEEL COLUMN
 SH SHELVING
 ST STAIR
 SW STORM WATER
 TOS TACTILE GROUND SURFACE INDICATORS
 WB WHITEBOARD
 WC WATER CLOSET

PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY. DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE. IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
7	OVERLAND FLOW & ACCESS UPDATE	26-05-2020
8	ROOM NUMBERS UPDATED	28-05-2020
9	STAFF KITCHENETTE UPDATED	01-06-2020
10	ROOM AREAS UPDATED	18-06-2020
11	OSD TANK UPDATED	01-07-2020
12	RISER & OSD TANK UPDATED	27-07-2020
13	DOWNPIPE SETOUTS INDICATED	06-08-2020
14	PIT LEVELS INDICATED	09-08-2020
15	PIT LOCATIONS & RAMP UPDATED	25-09-2020
16	CLINIC PLANS UPDATED	30-09-2020

Legend

FLOOR PLAN LEGEND

	EXISTING BUILDING RETAINED
	EXISTING COVERED WALKWAYS / COLA
	CONCRETE PAVING
	NEW SOFT LANDSCAPE
	NEW HARDSCAPE
	SOFTFALL
	EXTENT OF FIRE RATED WALL
	EXISTING WALL
	SITE BOUNDARY
	INTERNAL LOT BOUNDARY
	NEIGHBOURING BOUNDARY
	TREE PROTECTION ZONE (TPZ)
	EXISTING TREE
	NEW TREE
	BUILDING ENTRY
	EXISTING RL
	PROPOSED RL



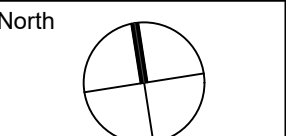
Project **FAIRVALE HIGH SCHOOL**
THORNEY ROAD
FAIRFIELD WEST

Drawing **GROUND FLOOR PLAN - ZONE B SHEET 2**

Scale 1:100 @ A1
1:200 @ A3

Date Sep 30, 2020 7:04AM

Issue 16



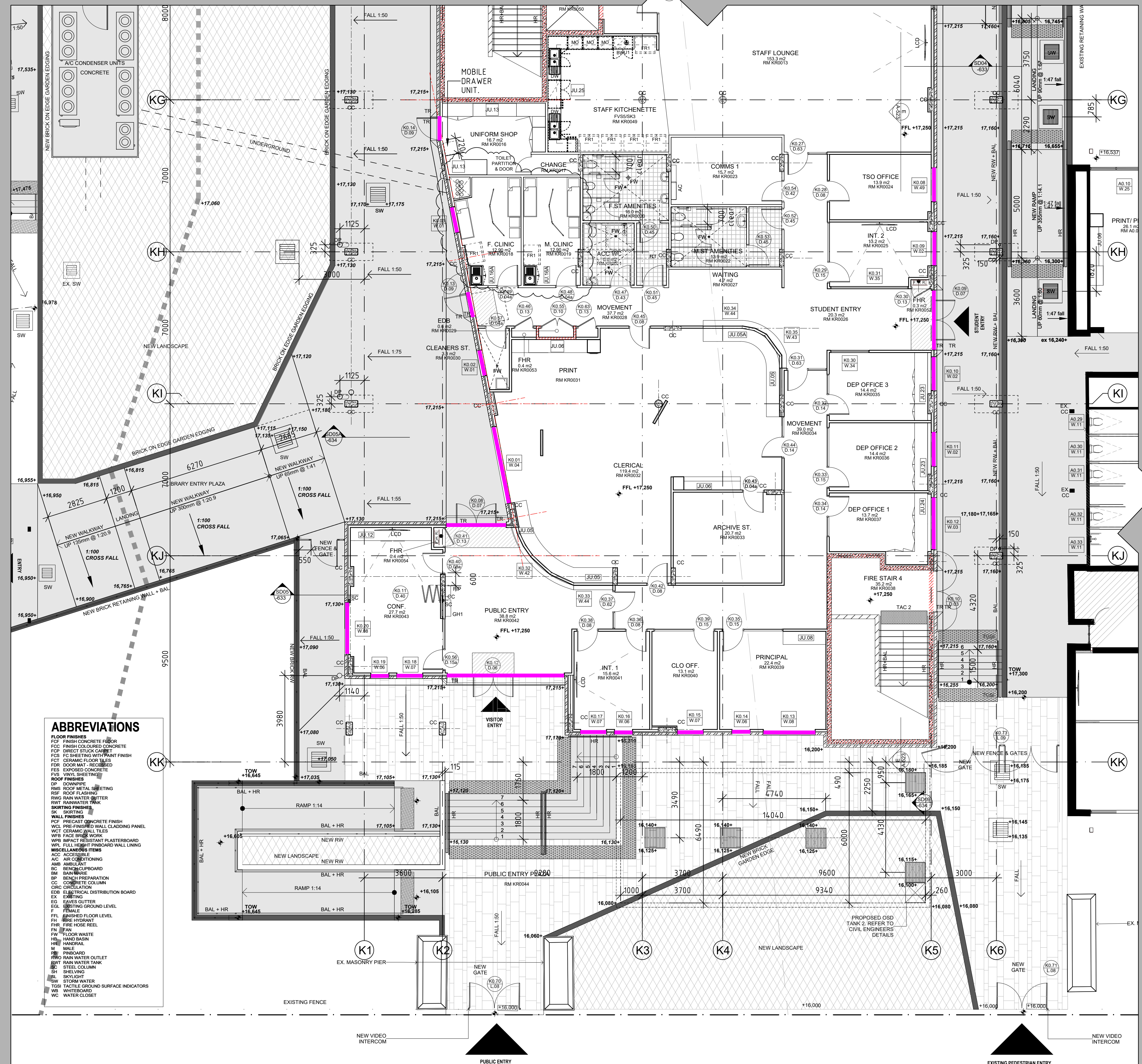
Project No. 3212

A-122

CONTINUES ON DRAWING A-111

CONTINUES ON DRAWING A-121

CONTINUES ON DRAWING A-123



ABBREVIATIONS

FLOOR FINISHES
 FC FINISH COLOURED CONCRETE
 FOC FINISH COLOURED CONCRETE
 FSC FINISH STRUCK CARPET
 FCS FC SHEETING WITH PAINT FINISH
 FFD CERAMIC FLOOR TILES
 FDR DOOR MAT - RECEASED
 FES COLOURED CONCRETE
 FVS VINYL SHEETING
ROOF FINISHES
 DP DOWNPIPE
 RMB ROOF METAL SHEETING
 RRF ROOF FLASHING
 RRD RAIN WATER DRAIN
 RWT RAINWATER TANK
SKIRTING FINISHES
 SW SKIRTING
WALL FINISHES
 PCF PRECAST CONCRETE FINISH
 WCL FIRE FINISHED WALL CLADDING PANEL
 WCT CERAMIC WALL TILES
 WFB FACE BRICK WORK
 WRP IMPACT RESISTANT PLASTERBOARD
 WFL FULL HEIGHT PARTIARD WALL LINING
MISCELLANEOUS ITEMS
 ACC ACCESSIBLE
 AMB AMBULANT
 ACC ACCESSIBLE
 BM BANNING
 BP BENCH PREPARATION
 CC CONCRETE COLUMN
 CIRC CIRCULATION
 EDB ELECTRICAL DISTRIBUTION BOARD
 EX EXISTING
 EG EAVES GUTTER
 EQL EXISTING GROUND LEVEL
 F FEMALE
 FFL FINISHED FLOOR LEVEL
 FH FIRE HYDRANT
 FHR FIRE HOSE REEL
 FN FAN
 FW FLOOR WASTE
 HB HAND BASIN
 HRE HANDRAIL
 M MALE
 PR PRINCIPAL
 RWO RAIN WATER OUTLET
 RWT RAIN WATER TANK
 SC STEEL COLUMN
 SW SWELING
 SLS SLOPE
 SW STORM WATER
 TOW TRUCKLE GROUND SURFACE INDICATORS
 WB WHITEBOARD
 WC WATER CLOSET

BLOCK F

NEW VIDEO INTERCOM

PUBLIC ENTRY

EXISTING PEDESTRIAN ENTRY

NEW VIDEO INTERCOM

PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY, DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE. IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
4	ACCESS AMENDMENTS, INSULATION TO STAIRS & COLUMNS DELETED	21-04-2020
5	ROOM NUMBERS UPDATED	28-05-2020
6	ROOM AREAS UPDATED	12-05-2020
7	PENETRATIONS UPDATED	11-01-2020
8	LOUVRES ADDED TO DOOR TYPE	27-07-2020
9	SLIDING DOOR THRESHOLD RAMPS AMENDED	12-08-2020
10	BALCONY RAIN WATER OUTLETS UPDATED	15-09-2020

Legend

FLOOR PLAN LEGEND

- EXISTING BUILDING RETAINED
- EXISTING COVERED WALKWAYS / COLA
- CONCRETE PAVING
- NEW SOFT LANDSCAPE
- NEW HARDSCAPE
- SOFTFALL
- EXTENT OF FIRE RATED WALL
- EXISTING WALL
- SITE BOUNDARY
- INTERNAL LOT BOUNDARY
- NEIGHBOURING BOUNDARY
- TREE PROTECTION ZONE (TPZ)
- EXISTING TREE
- NEW TREE
- BUILDING ENTRY
- EXISTING RL
- PROPOSED RL

ABBREVIATIONS

FLOOR FINISHES	FCF FINISH COLOURED FLOOR
	FCO FINISH COLOURED CONCRETE
	FCG FINISH COLOURED GROUT
	FCB FC SHEETING WITH PAINT FINISH
	FTC CERAMIC FLOOR TILES
	FDM DOOR MAT - RECESSED
	FES EXPOSED CONCRETE
	FVS VINYL SHEETING
ROOF FINISHES	DP DOWNPIPE
	RMS ROOF METAL SHEETING
	RFL ROOF FLASHING
	RWG RAIN WATER GUTTER
	RWT RAIN WATER TANK
	SK SKIRTING FINISHES
SKIRTING FINISHES	SC SHEETING
WALL FINISHES	PCF PRECAST CONCRETE FINISH
	WCL PREFINISHED WALL CLADDING PANEL
	WCT CERAMIC WALL TILES
	WFB FACE BRICK WORK
	WIR IMPACT RESISTANT PLASTERBOARD
	WPL FULL HEIGHT FINISHBOARD WALL LINING
MISCELLANEOUS ITEMS	ACC ACCESSIBLE
	ACV AIR CONDITIONING
	AMB AMBIANT
	BCB BENCH COUNTERBOARD
	BM BAIN MARRE
	BP BENCH PREPARATION
	CC CONCRETE COLUMN
	CNO CIRCULATION
	EDB ELECTRICAL DISTRIBUTION BOARD
	EX EXISTING
	EGL EAVES GUTTER
	ESL EXISTING GROUND LEVEL
	FFL FINISHED FLOOR LEVEL
	FH FIRE HYDRANT
	FHR FIRE HOSE REEL
	FN FAN
	FW FLOOR WASTE
	HB HANDRAIL
	M MALE
	PB PINBOARD
	RWO RAIN WATER OUTLET
	RWT RAIN WATER TANK
	SC STEEL COLUMN
	SH SHELVING
	SL SLOPE
	SW STORM WATER
	TGR TACTILE GROUND SURFACE INDICATORS
	WB WHITEBOARD
	WC WATER CLOSET



CONTINUES ON DRAWING A-126

Builder
ICON

Client
NSW GOVERNMENT Education

Project
FAIRVALE HIGH SCHOOL THORNEY ROAD FAIRFIELD WEST

Drawing
SECOND FLOOR PLAN - ZONE B SHEET 2

Scale
1:100 @ A1
1:200 @ A3

North

Date
Sep 15, 2020 11:06AM

Project No.
3212

Issue
10

A-127

PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY. DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE. IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
1	First Issue	06-02-2020
2	CONSTRUCTION ISSUE	20-03-2020
3	EXISTING LIFT INDICATED	17-04-2020
4	ACCESS UPDATES	22-04-2020
5	COMMS ROOM AMENDED	22-04-2020
6	ROOM NUMBERS UPDATED	28-05-2020

Legend	Description
[Symbol]	EXISTING BUILDING RETAINED
[Symbol]	EXISTING COVERED WALKWAYS / COLA
[Symbol]	CONCRETE PAVING
[Symbol]	NEW SOFT LANDSCAPE
[Symbol]	NEW HARDSCAPE
[Symbol]	SOFTFALL
[Symbol]	EXTENT OF FIRE RATED WALL
[Symbol]	EXISTING WALL
[Symbol]	SITE BOUNDARY
[Symbol]	INTERNAL LOT BOUNDARY
[Symbol]	NEIGHBOURING BOUNDARY
[Symbol]	TREE PROTECTION ZONE (TPZ)
[Symbol]	EXISTING TREE
[Symbol]	NEW TREE
[Symbol]	BUILDING ENTRY
[Symbol]	EXISTING RL
[Symbol]	PROPOSED RL

FLOOR PLAN LEGEND

Legend	Description
[Symbol]	EXISTING BUILDING RETAINED
[Symbol]	EXISTING COVERED WALKWAYS / COLA
[Symbol]	CONCRETE PAVING
[Symbol]	NEW SOFT LANDSCAPE
[Symbol]	NEW HARDSCAPE
[Symbol]	SOFTFALL
[Symbol]	EXTENT OF FIRE RATED WALL
[Symbol]	EXISTING WALL
[Symbol]	SITE BOUNDARY
[Symbol]	INTERNAL LOT BOUNDARY
[Symbol]	NEIGHBOURING BOUNDARY
[Symbol]	TREE PROTECTION ZONE (TPZ)
[Symbol]	EXISTING TREE
[Symbol]	NEW TREE
[Symbol]	BUILDING ENTRY
[Symbol]	EXISTING RL
[Symbol]	PROPOSED RL

Builder
ICON

Client
NSW GOVERNMENT Education

Project
FAIRVALE HIGH SCHOOL THORNEY ROAD FAIRFIELD WEST

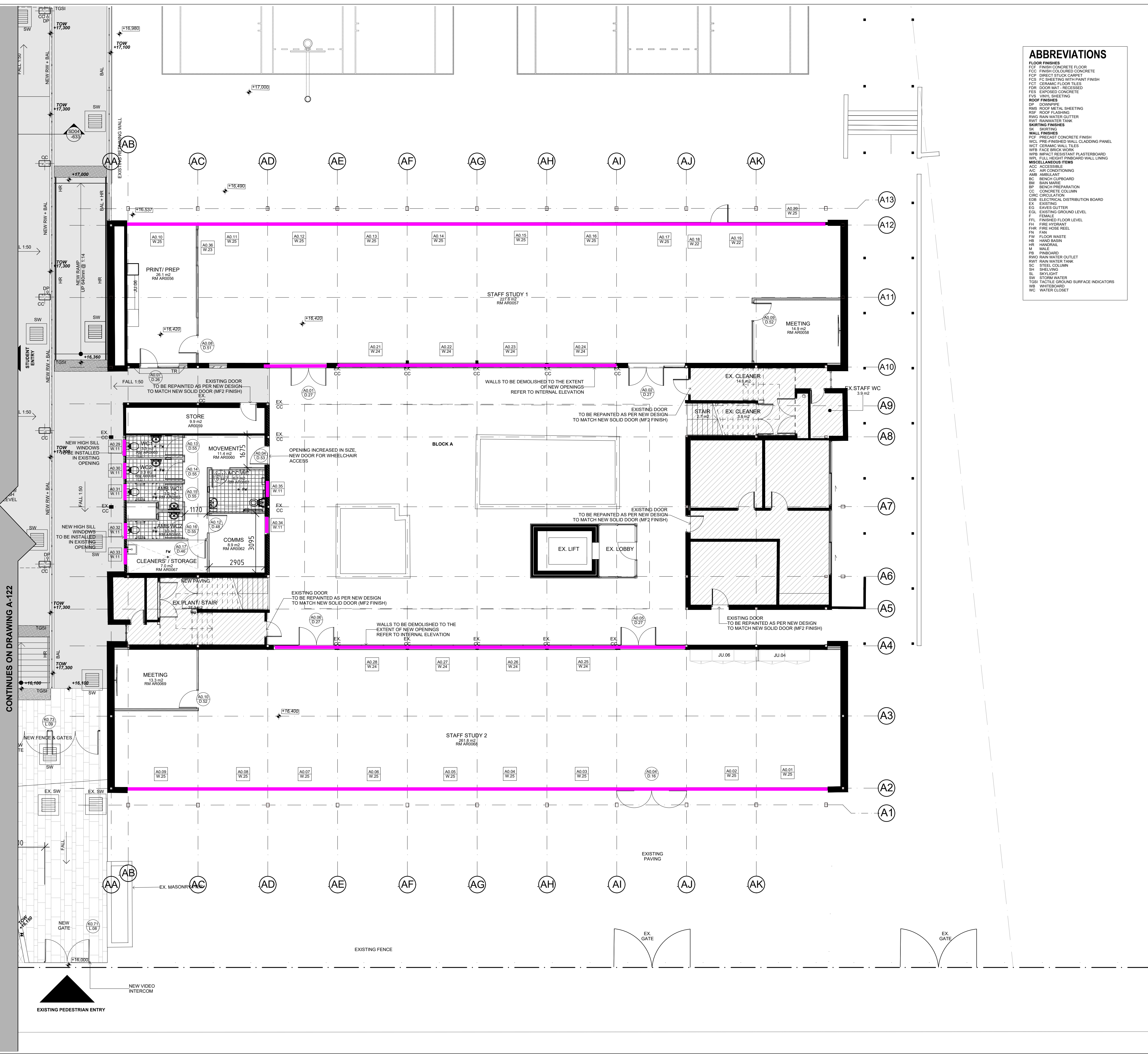
Drawing
GROUND FLOOR PLAN - ZONE B BLOCK A

Scale
1:100 @ A1
1:200 @ A3

Date
May 28, 2020 8:30AM

Issue
6

Project No.
3212



ABBREVIATIONS

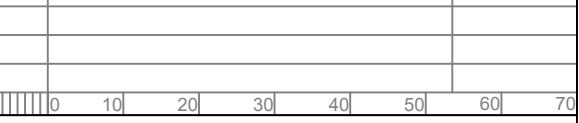
FLOOR FINISHES
FCP FINISH CONCRETE FLOOR
FCF FINISH COLOURED CONCRETE
FCP DIRECT STUCK CARPET
FCF SHEETING WITH PAINT FINISH
FCT CERAMIC FLOOR TILES
FDR DOOR MAT - RECESSED
FES EXPOSED CONCRETE
FVS VINYL SHEETING

ROOF FINISHES
DFP DOWNPIPE
RMS ROOF METAL SHEETING
RFI ROOF FLASHING
RWG RAIN WATER GUTTER
RWT RAIN WATER TANK
SOFB FINISHES
SK SKIRTING
WALL FINISHES
PCF PRECAST CONCRETE FINISH
VCL PRE-FINISHED WALL CLADDING PANEL
VCT CERAMIC WALL TILES
VFB FACE BRICK WORK
VWP IMPACT RESISTANT PLASTERBOARD
VPL FULL HEIGHT FINISHBOARD WALL LINING

MISCELLANEOUS ITEMS
ACC ACCESSIBLE
ACR AIR CONDITIONING
AMB AMBULANT
BIC BENCH CUPBOARD
BM BATHMANS
BP BENCH PREPARATION
CC CONCRETE COLUMN
CIRC CIRCULATION
EDB ELECTRICAL DISTRIBUTION BOARD
EX EXISTING
EGL EXISTING GROUND LEVEL
F FEMALE
FFL FINISHED FLOOR LEVEL
FH FIRE HYDRANT
FHR FIRE HOSE REEL
FN FLOOR FINISH
FM FLOOR MATTE
HB HAND BASIN
HR HAND RAIL
M MALE
PNS PAVEMENT
RWO RAIN WATER OUTLET
RWT RAIN WATER TANK
SC STEEL COLUMN
SH SHEDDING
SL SKYLIGHT
SW STORM WATER
TGS TACTILE GROUND SURFACE INDICATORS
WB WATERBOARD
WC WATER CLOSET

PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY. DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE. IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
1	SSD ISSUE	13-02-2020
2	CLADDING TYPES UPDATED	21-02-2020
3	CONSTRUCTION ISSUE	20-03-2020
4	CLADDING TYPES UPDATED	23-04-2020
5	ROLLER SHUTTER WIDTH	28-07-2020
6	CLADDING PANEL SETOUT ADDED	28-08-2020



Legend

ABBREVIATIONS

- EXTERNAL FINISHES**
 AL ALUMINIUM
 CB COLOURBACK GLAZING
 CC CONCRETE COLUMN
 MF METAL FINISH
 PF PAINT FINISH
 RFA ROOF UNDERSIDE END
 RMB ROOF METAL SHEETING
 RMS ROOF METAL SHEETING
 WFB FACE BRICK WORK
 WCL WALL CLADDING
 WDW SPLIT FACED BLOCK RETAINING WALL

- MISCELLANEOUS ITEMS**
 BAL BALUSTRADE
 CG COLOURBACK GLASS
 EG EAVES GUTTER
 HT HEIGHT
 F FEMALE
 FG FIXED GLAZING
 FLR FLOOR
 LG GLAZED LOUVRES
 RL REDUCED LEVEL
 WC WATER CLOSET

LEGEND

- PREFINISHED FIBRE CEMENT CLADDING
- WALL FACE BRICK
- WALL METAL SHEETING
- ROOF METAL SHEETING

Builder



Client



Project

FAIRVALE HIGH SCHOOL
THORNEY ROAD
FAIRFIELD WEST

Drawing

ELEVATION ZONE A - BLOCK J - SHEET 1

Scale
1:100 @ A1
1:200 @ A3

North

Date

Aug 28, 2020
2:55PM

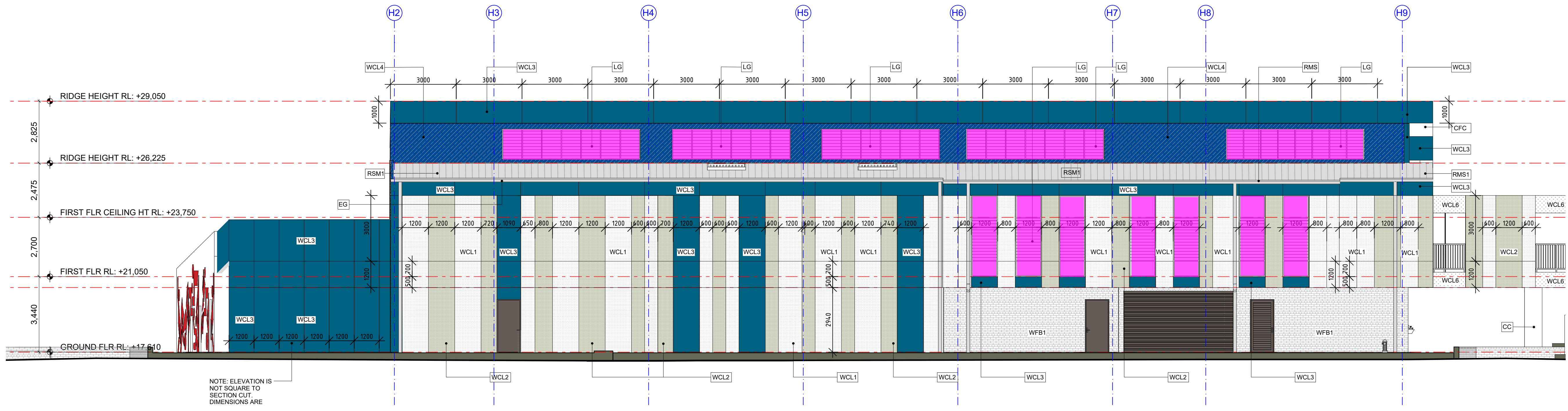
Project No.

3212

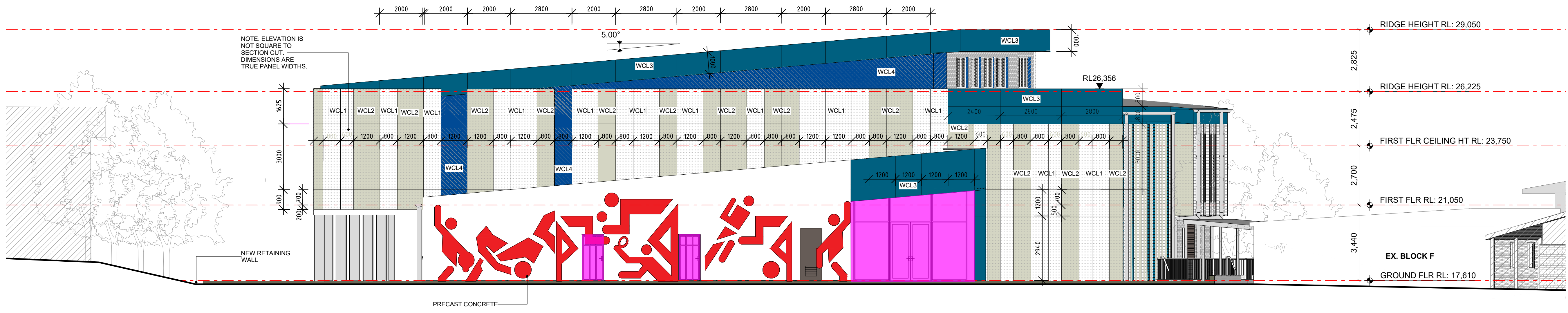
Issue

6

A-512



1 BLOCK J - HALL BUILDING - SOUTH ELEVATION
1:100



2 BLOCK J - HALL BUILDING - WEST ELEVATION
1:100

PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY, DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE. IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
1	SSD ISSUE	13-02-2020
2	CLADDING TYPES UPDATED	21-02-2020
3	CONSTRUCTION ISSUE	20-03-2020
4	CLADDING PANEL SETOUT ADDED	28-08-2020

Legend

ABBREVIATIONS

- EXTERNAL FINISHES**
 AL ALUMINIUM
 CB COLOURBACK GLAZING
 CC CONCRETE COLUMN
 MF METAL FINISH
 PF PAINT FINISH
 RFA ROOF UNDERSIDE END
 RWF ROOF METAL FACIA
 RMS ROOF METAL SHEETING
 WBF WALL FACE BRICK WORK
 WCL WALL CLADDING
 WDW SPLIT FACED BLOCK RETAINING WALL
- MISCELLANEOUS ITEMS**
 BAL BALUSTRADE
 CG COLOURBACK GLASS
 ES EAVES GUTTER
 HT HEIGHT
 F FEMALE
 FG FIXED GLAZING
 FLR FLOOR
 LQ GLAZED LOUVRES
 RL REDUCED LEVEL
 WC WATER CLOSET

LEGEND

- PREFERRED FIBRE CEMENT CLADDING
- WALL FACE BRICK
- WALL METAL SHEETING
- ROOF METAL SHEETING

Builder



Client



Project
FAIRVALE HIGH SCHOOL
THORNEY ROAD
FAIRFIELD WEST

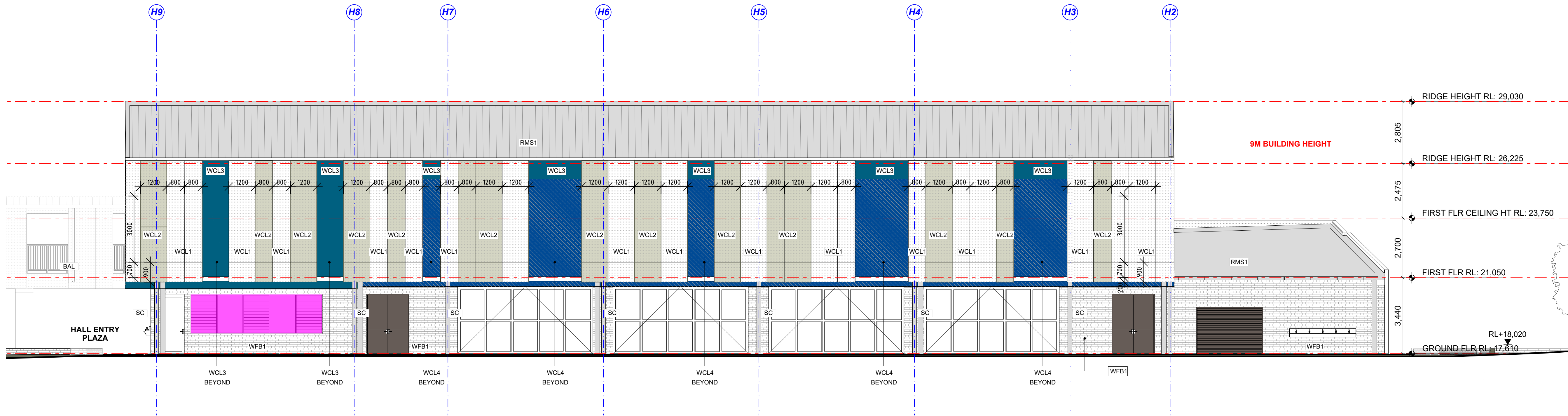
Drawing
ELEVATION ZONE A - BLOCK J - SHEET 2

Scale
1:100 @ A1
1:200 @ A3

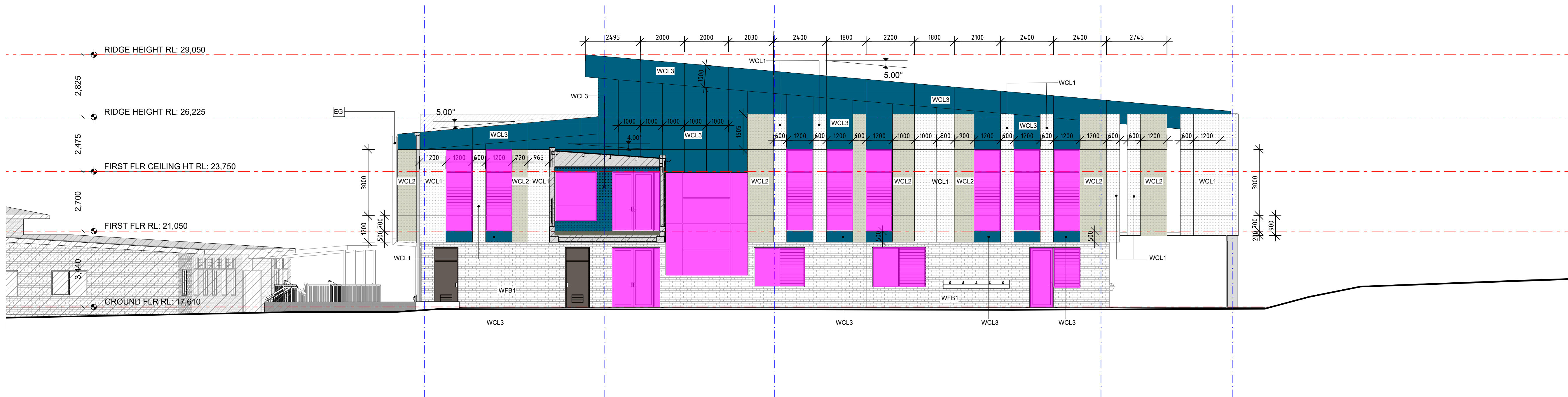
Date
Aug 28, 2020
2:58PM

Issue
4

A-513



1 BLOCK J - HALL BUILDING - NORTH ELEVATION
1:100



2 BLOCK J - HALL BUILDING - EAST ELEVATION
1:100

PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY, DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE. IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
1	SSD ISSUE	13-02-2020
2	CLADDING TYPES UPDATED	21-02-2020
3	LOUVER FEATURE CLADDING	
4	SURROUND CHANGED TO WCL6	17-03-2020
5	CONSTRUCTION ISSUE	20-03-2020
6	CLADDING TYPE UPDATED	23-04-2020
7	CLADDING SETOUT ADDED	14-08-2020

Legend

ABBREVIATIONS

EXTERNAL FINISHES

- AL ALUMINIUM
- CB COLOURBACK GLAZING
- CC CONCRETE COLUMN
- MF METAL FINISH
- PF PAINT FINISH
- RFA ROOF UNDERSIDE END
- RMF ROOF METAL FASCIA
- RMS ROOF METAL SHEETING
- SFB SPLIT FACED BLOCK
- WFB FACE BRICK WORK
- WCL WALL CLADDING
- WWSW SPLIT FACED BLOCK RETAINING WALL

MISCELLANEOUS ITEMS

- BAL BALUSTRADE
- CG COLOURBACK GLASS
- EG EAVES GUTTER
- HT HEIGHT
- F FEMALE
- FG FIXED GLAZING
- FLR FLOOR
- LG GLAZED LOUVRES
- RL REDUCED LEVEL
- WC WATER CLOSET

LEGEND

- PREFINISHED FIBRE CEMENT CLADDING
- WALL FACE BRICK
- WALL METAL SHEETING
- ROOF METAL SHEETING
- WCL6 SOLID ALUMINIUM CASSETTE CLADDING SYSTEM (VITRUALUAL OR EQUAL)

Builder
ICON

Client
NSW GOVERNMENT Education

Project
FAIRVALE HIGH SCHOOL THORNEY ROAD FAIRFIELD WEST

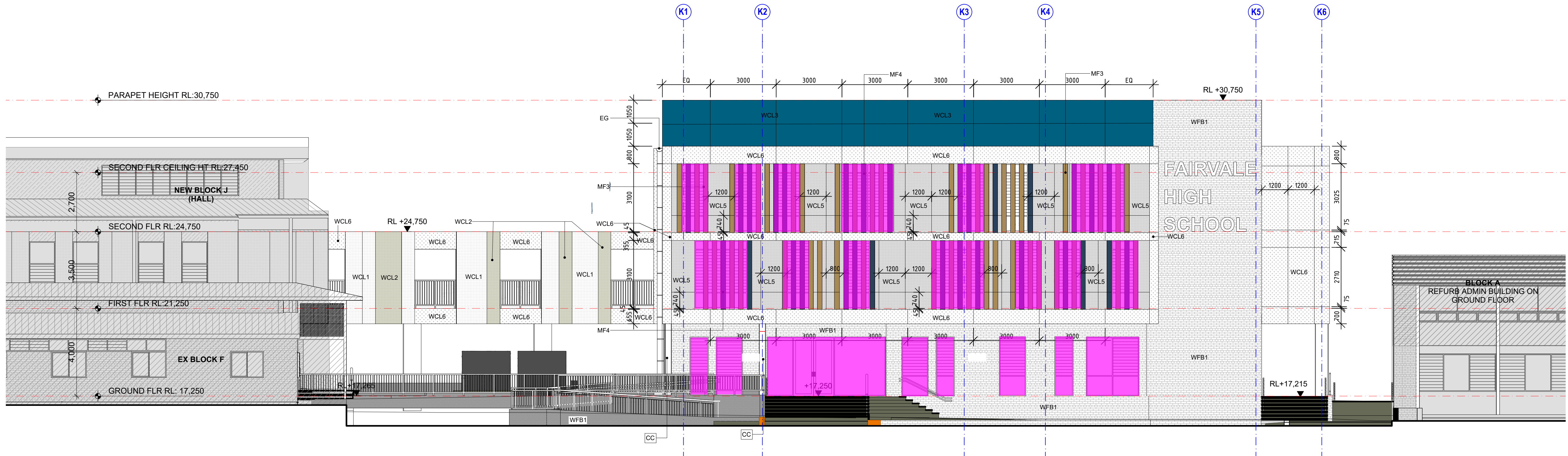
Drawing
ELEVATION ZONE B- BLOCK K - SHEET 1

Scale
1:100 @ A1
1:200 @ A3

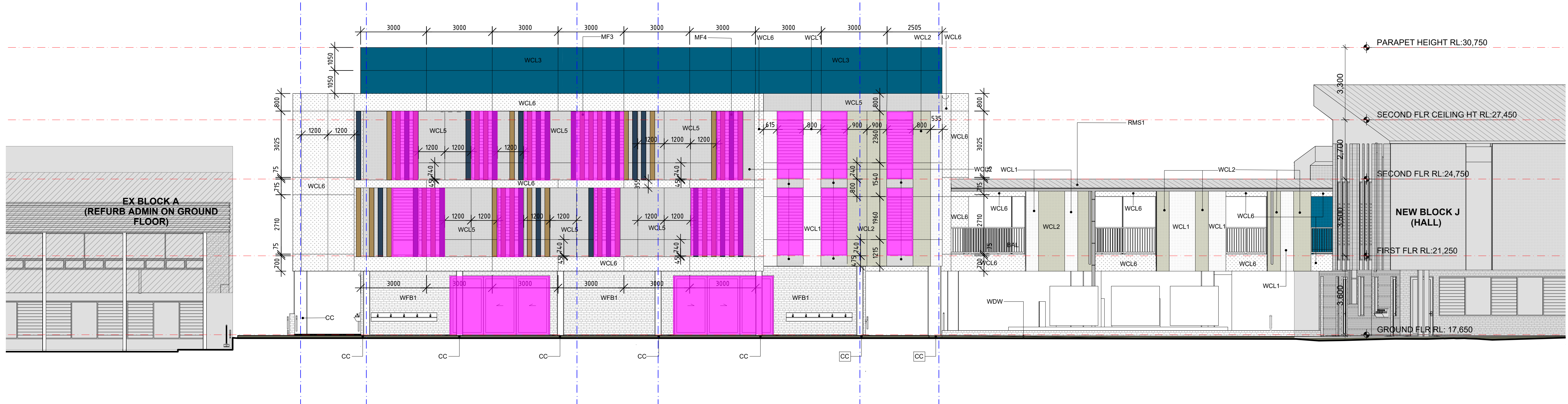
Date
Aug 14, 2020 10:57AM

Issue
6

A-514



1 **BLOCK K - SOUTH ELEVATION**
1:100



2 **BLOCK K - NORTH ELEVATION**
1:100

PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY. DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE. IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
1	SSD ISSUE	13-02-2020
2	CLADDING TYPES UPDATED	21-02-2020
3	LOUVRE FEATURE CLADDING	
4	SURROUND CHANGED TO WCL6	17-03-2020
5	CONSTRUCTION ISSUE	20-03-2020
6	CLADDING SETOUT ADDED	14-08-2020

Legend

ABBREVIATIONS

- EXTERNAL FINISHES**
AL ALUMINIUM
CB COLOURBACK GLAZING
CC CONCRETE COLUMN
MF METAL FINISH
PF PAINT FINISH
RFA ROOF UNDERSIDE END
RMS ROOF METAL SHEETING
WFB SPLIT FACED BLOCK
WFB FACE BRICK WORK
WCL WALL CLADDING
WDS SPLIT FACED BLOCK RETAINING WALL
- MISCELLANEOUS ITEMS**
BAL BALUSTRADE
CC COLOURBACK GLASS
EG EAVES GUTTER
HT HEIGHT
F FEMALE
FG FIXED GLAZING
FLR FLOOR
LG GLAZED LOUVRES
RL REDUCED LEVEL
WC WATER CLOSET

LEGEND

- PREFINISHED FIBRE CEMENT CLADDING
- WALL FACE BRICK
- WALL METAL SHEETING
- ROOF METAL SHEETING
- WCL6 SOLID ALUMINIUM CASSETTE CLADDING SYSTEM (TRIADURAL OR EQUAL)

Builder

Client

Project
FAIRVALE HIGH SCHOOL
THORNEY ROAD
FAIRFIELD WEST

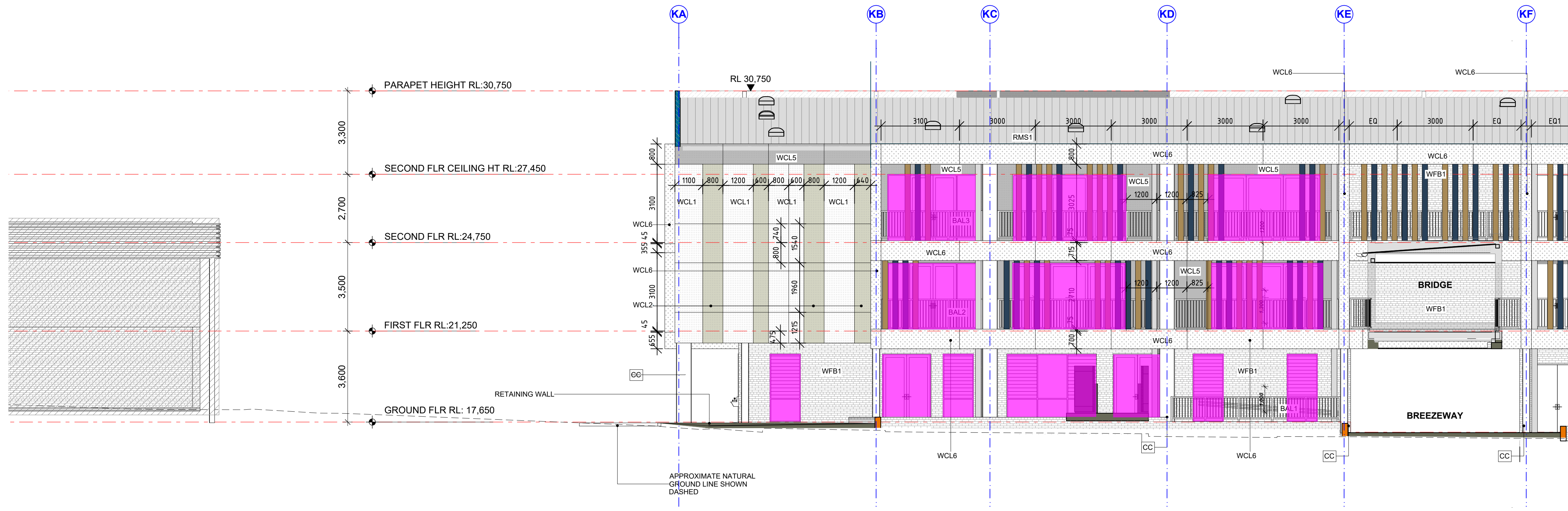
Drawing
**ELEVATION ZONE B-
BLOCK K - SHEET 2**

Scale
1:100 @ A1
1:200 @ A3

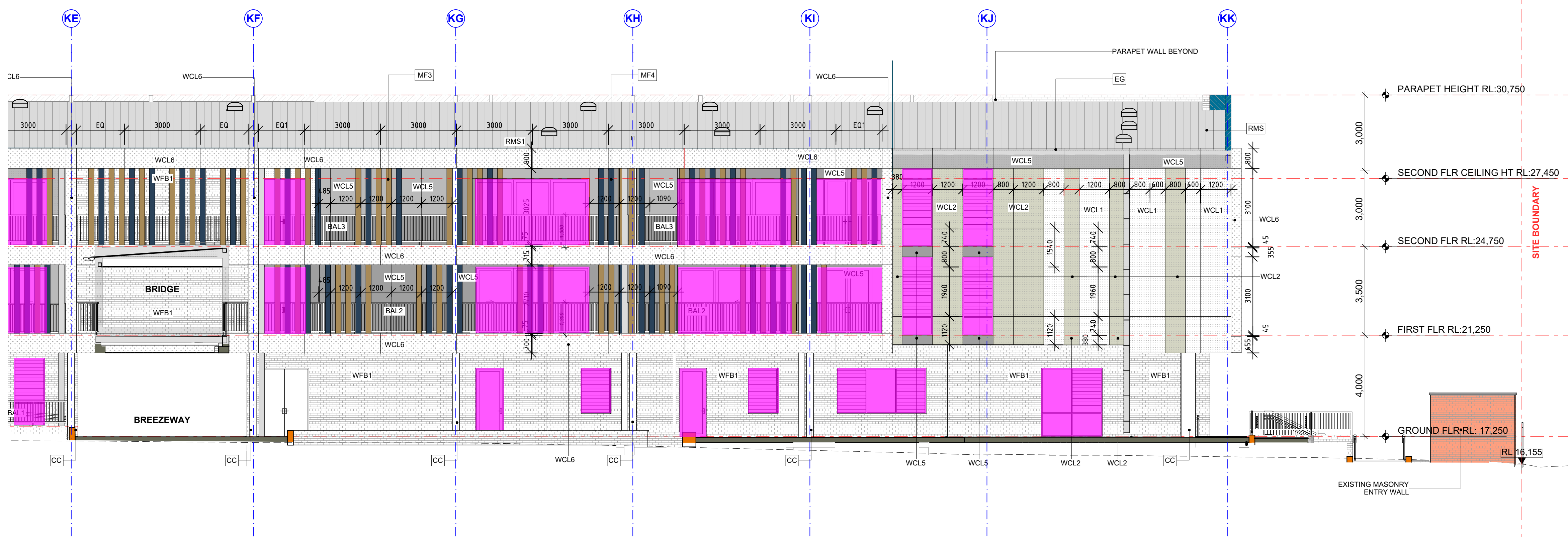
Date
Aug 14, 2020
11:09AM

Issue
5

A-515



1 BLOCK K - WEST ELEVATION
1:100



2 BLOCK K - WEST ELEVATION
1:100

PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY. DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE. IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
1	SSD ISSUE	13-02-2020
2	CLADDING TYPES UPDATED	21-02-2020
3	LOUVRE FEATURE CLADDING	
4	SURROUND CHANGED TO WCL6	17-03-2020
5	CONSTRUCTION ISSUE	20-03-2020
6	CLADDING SETOUT ADDED	14-08-2020

Legend

ABBREVIATIONS

- EXTERNAL FINISHES**
 AL ALUMINIUM
 CB COLOURBACK GLAZING
 CC CONCRETE COLUMN
 MF METAL FINISH
 PF PAINT FINISH
 RFA ROOF UNDERSIDE END
 RMP ROOF METAL PANELS
 RMS ROOF METAL SHEETING
 WBF SPLIT FACED BLOCK
 WFB FACE BRICK WORK
 WCL WALL CLADDING
 WWS SPLIT FACED BLOCK RETAINING WALL
- MISCELLANEOUS ITEMS**
 BAL BALUSTRADE
 CG COLOURBACK GLASS
 EG EAVES GUTTER
 HT HEIGHT
 F FEMALE
 FG FIXED GLAZING
 FLR FLOOR
 LG GLAZED LOUVRES
 RL REDUCED LEVEL
 WC WATER CLOSET

LEGEND

- PREFINISHED FIBRE CEMENT CLADDING
- WALL FACE BRICK
- WALL METAL SHEETING
- ROOF METAL SHEETING
- WCL6 SOLID ALUMINIUM CASSETTE CLADDING SYSTEM (VITRUAL OR EQUAL)

Builder



Client



Project

FAIRVALE HIGH SCHOOL
THORNEY ROAD
FAIRFIELD WEST

Drawing

**ELEVATION ZONE B-
BLOCK K - SHEET 3**

Scale

1:100 @ A1
1:200 @ A3

North

Date

Aug 14, 2020
11:19AM

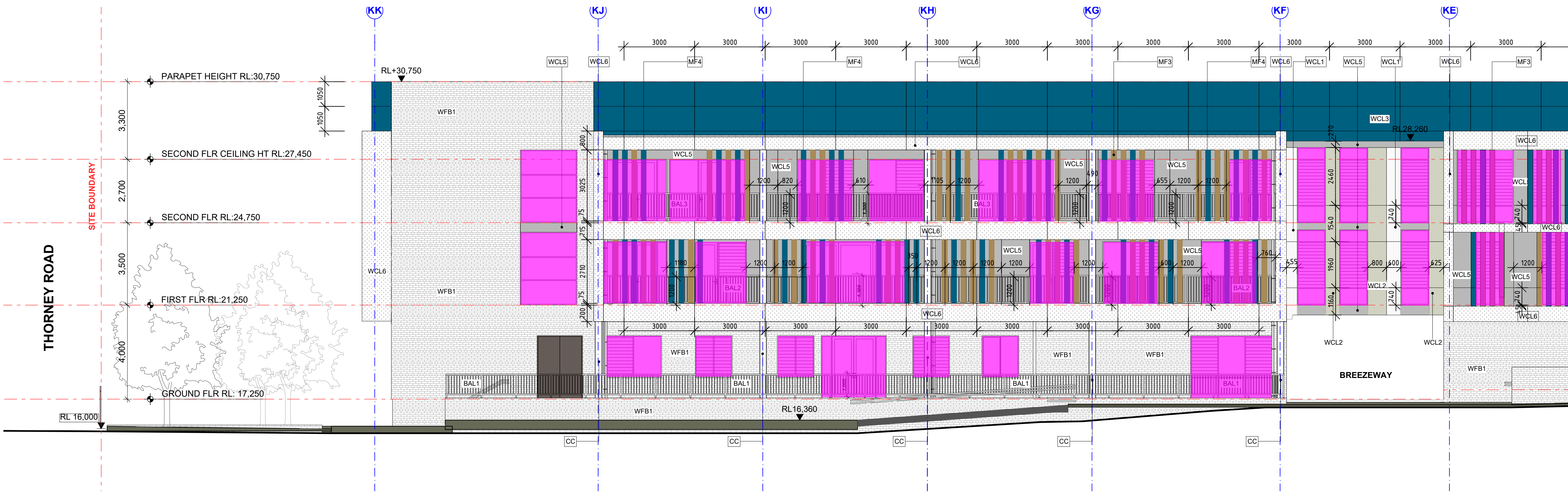
Project No.

3212

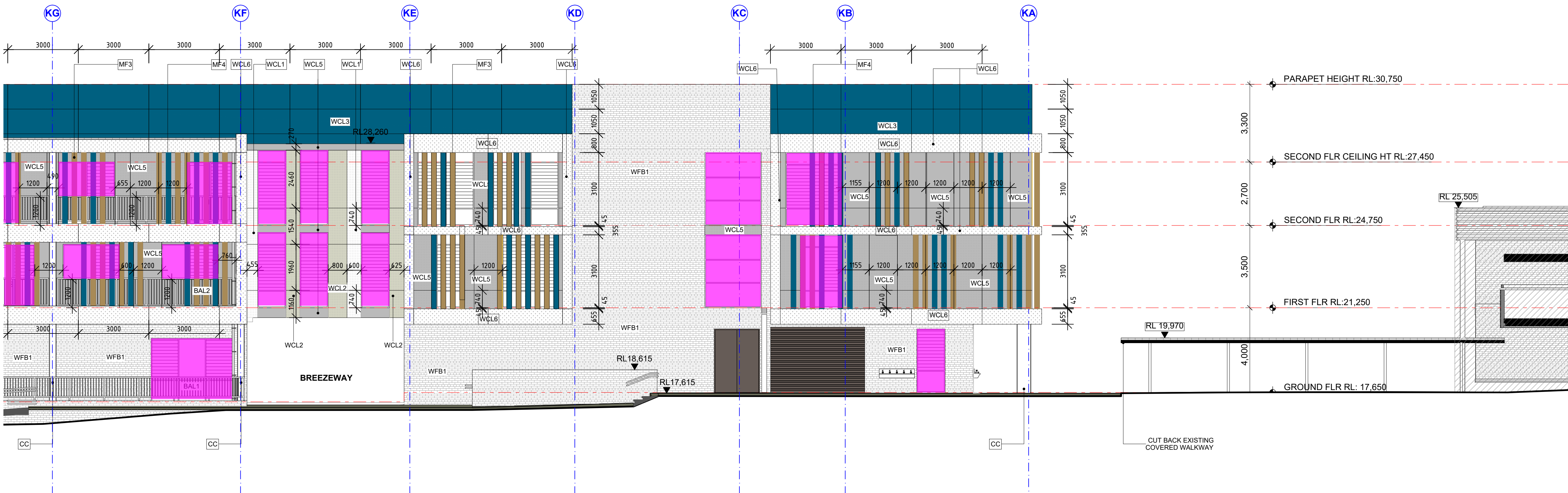
Issue

5

A-516



BLOCK K - EAST ELEVATION
1:100



BLOCK K - EAST ELEVATION
1:100

PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY, DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE. IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
1	SSD ISSUE	13-02-2020
2	CONSTRUCTION ISSUE	20-03-2020

Legend

ABBREVIATIONS

- EXTERNAL FINISHES**
 AL ALUMINIUM
 CB COLOURBACK GLAZING
 CC CONCRETE COLUMN
 MF METAL FINISH
 PF PAINT FINISH
 RFA ROOF UNDERSIDE END
 RNF ROOF METAL FASCIA
 RMS ROOF METAL SHEETING
 WRF SPLIT FACED BRICK
 WFB FACE BRICK WORK
 WCL WALL GLAZING
 WDW SPLIT FACED BLOCK RETAINING WALL
- MISCELLANEOUS ITEMS**
 BAL BALUSTRADE
 CG COLOURBACK GLASS
 EG EAVES GUTTER
 HT HEIGHT
 F FEMALE
 FG FIXED GLAZING
 FLR FLOOR
 LG GLAZED LOUVER
 RL REDUCED LEVEL
 WC WATER CLOSET

LEGEND

- PREFINISHED FIBRE CEMENT GLAZING
- WALL FACE BRICK
- WALL METAL SHEETING
- ROOF METAL SHEETING

Builder



Client



Project

**FAIRVALE
HIGH SCHOOL
THORNEY ROAD
FAIRFIELD WEST**

Drawing

**ELEVATION ZONE B-
BLOCK A - SHEET 1**

Scale

1:100 @ A1
1:200 @ A3

North

Date

Mar 20, 2020
11:13AM

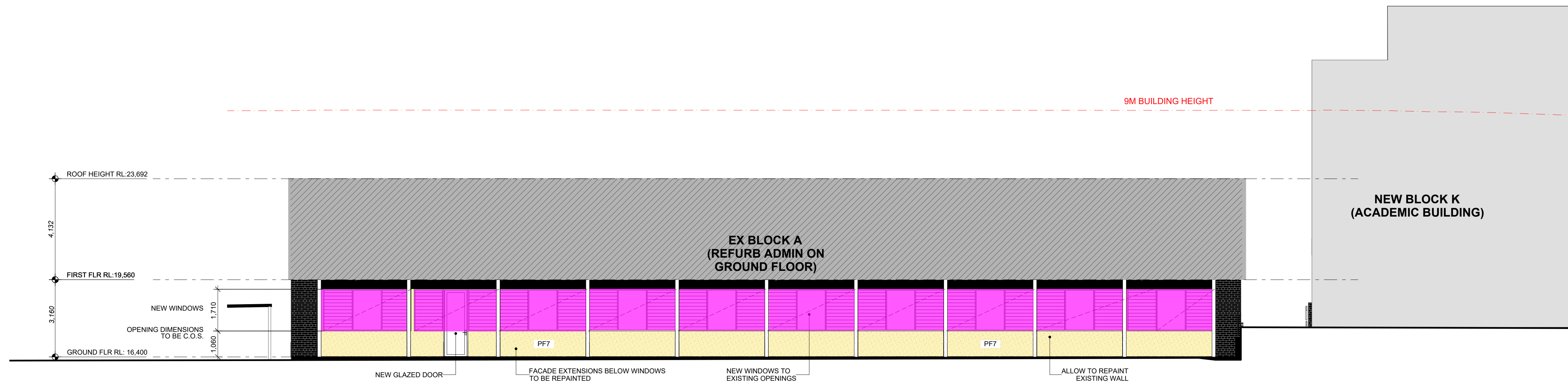
Project No.

3212

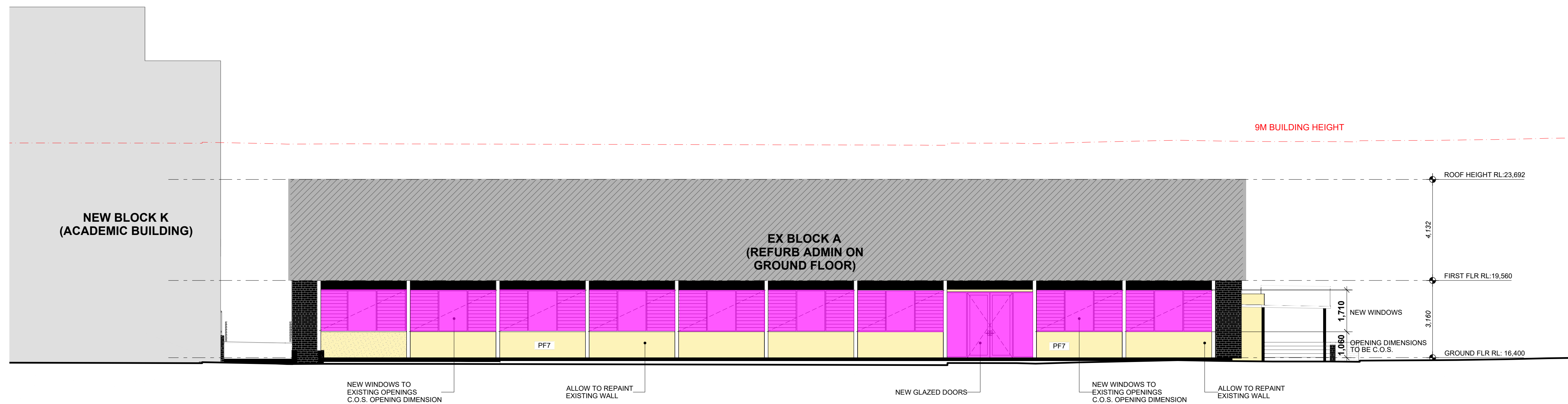
Issue

2

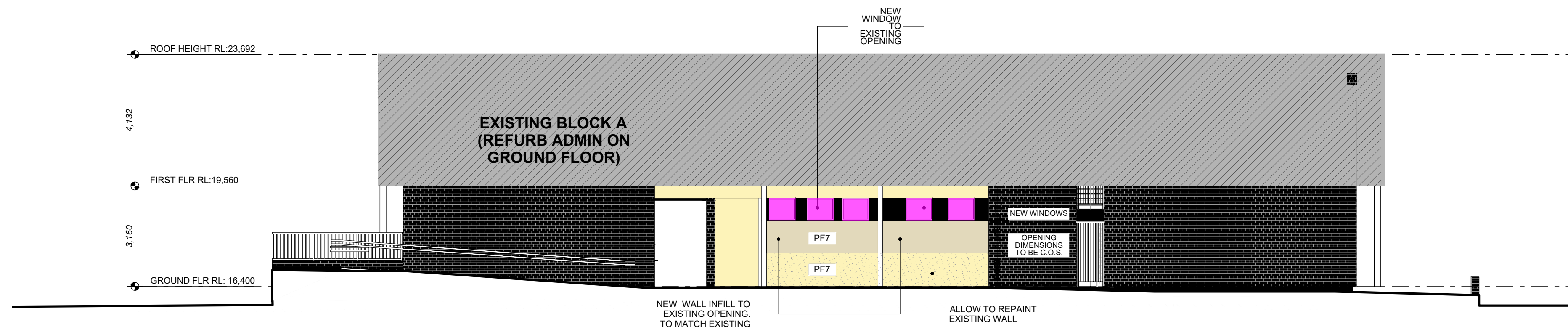
A-517



1 ZONE B - BLOCK A - NORTH ELEVATION
1:100



2 ZONE B - BLOCK A - SOUTH ELEVATION
1:100

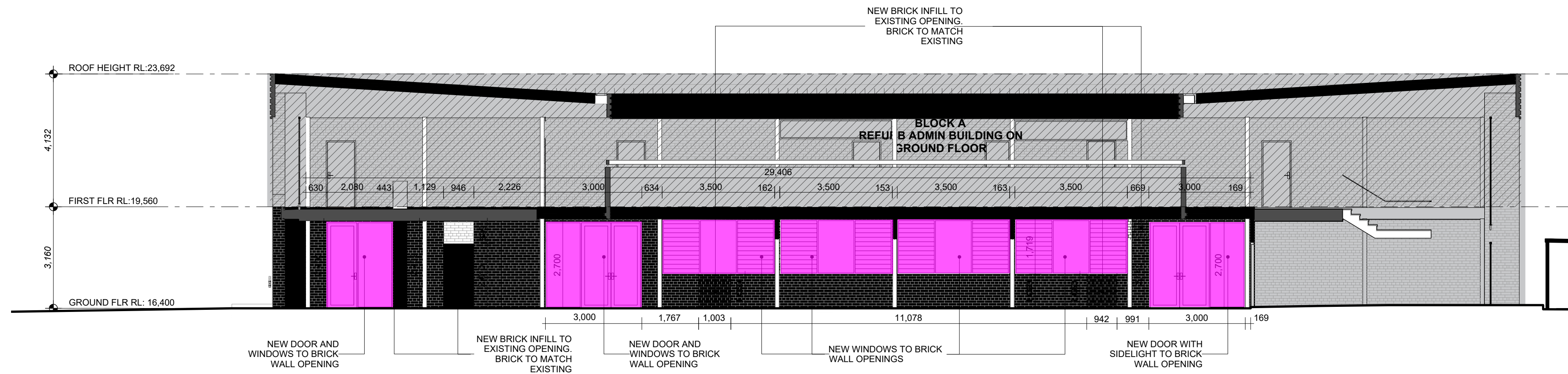


3 ZONE B - BLOCK A - WEST ELEVATION PROPOSED
1:100

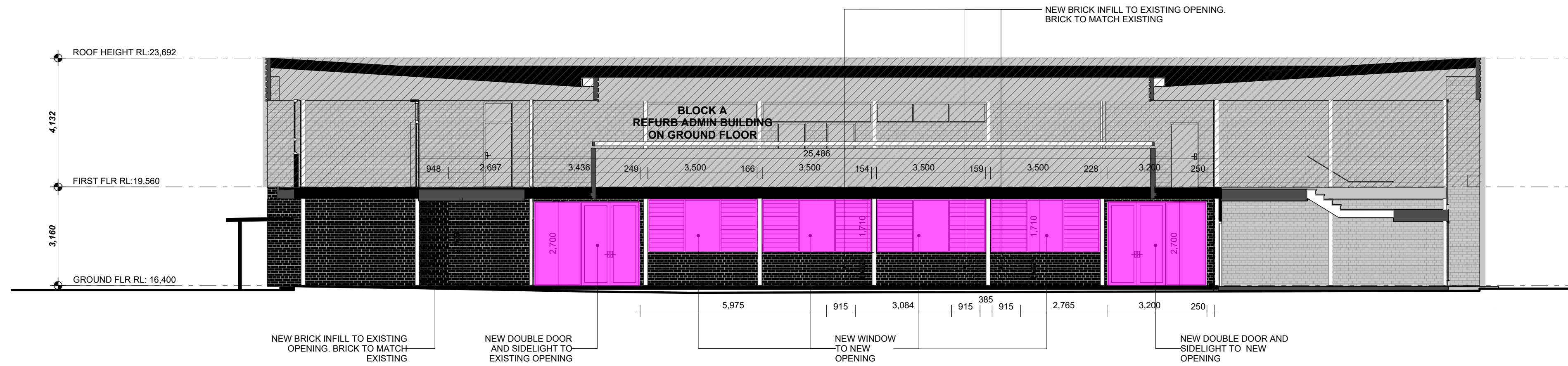
PLEASE NOTE:
DO NOT SCALE DRAWINGS MANUALLY OR ELECTRONICALLY. ALL INFORMATION TO BE CHECKED AND VERIFIED ON SITE BY THE BUILDER. IN THE EVENT OF DISCREPANCIES REFER TO ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. THIS DOCUMENT DESCRIBES THE INTENT OF DESIGN ONLY. DETAILS AND/OR FINISHES, SIZES AND RELATIONSHIPS OF ROOMS, BUILDING ENVELOPE. IT IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, CONSULTANT AND SERVICES DOCUMENTATION. THIS DOCUMENT IS THE COPYRIGHT OF COLLARD MAXWELL ARCHITECTS PTY LIMITED.

Rev	Description	Date
1	SSD ISSUE	13-02-2020
2	CONSTRUCTION ISSUE	20-03-2020

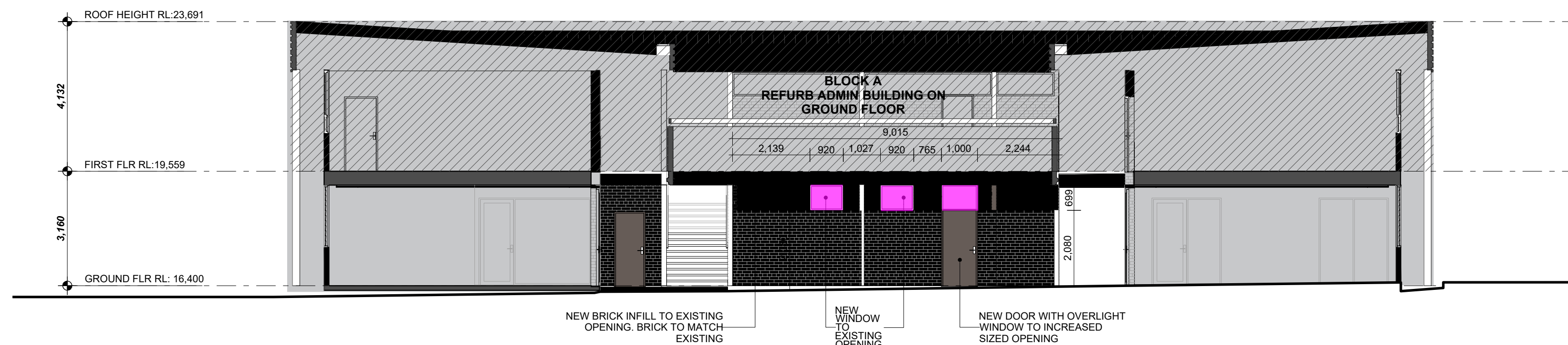
Legend



1 ZONE B - BLOCK A - PROPOSED COURTYARD - SOUTH ELEVATION
1:100



2 ZONE B - BLOCK A - PROPOSED COURTYARD - NORTH ELEVATION
1:100



3 ZONE B - BLOCK A - PROPOSED COURTYARD - EAST ELEVATION
1:100

Builder
ICON

Client
NSW Education
GOVERNMENT

Project
FAIRVALE HIGH SCHOOL
THORNEY ROAD
FAIRFIELD WEST

Drawing
ELEVATION ZONE B - BLOCK A - SHEET 2

Scale
1:100 @ A1
1:200 @ A3

Date
Mar 20, 2020
11:15AM

Project No.
3212

Issue
2

A-518

Appendix C

994 – FAIRVALE HIGH SCHOOL

A-S03 INTERNAL / EXTERNAL FINISHES SCHEDULE

Revision	Date	Approved by
FOR CONSTRUCTION - REVISION 1	24/03/20	DJ
BRICK SELECTION & MORTAR UPDATED – REVISION 2	05/06/20	DJ
COS CEILING AND FLASHINGS ADDED/UPDATED	22/07/20	DJ
EXTERNAL CLADDING TYPES UPDATED REVISION 4	28/09/20	DJ
COLOURS & FINISHES UPDATED AS HIGHLIGHTED REVISION 5	16/10/20	DJ
COLOURS & FINISHES UPDATED AS HIGHLIGHTED REVISION 6	18/11/20	DJ
COMMUNICATIONS ROOM VINYL UPDATED REVISION 7	01/12/20	DJ

NOTE: CONFIRM ALL THE FINISHES WITH ARCHITECTS PRIOR TO ORDER

Company name:

COLLARD MAXWELL ARCHITECTS

Address details:

Level 2, 97 Pacific Highway



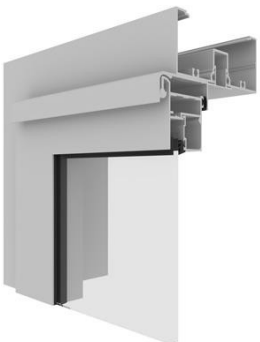
North Sydney NSW 2060


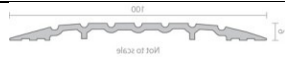
CMA
Level 2, 97 Pacific Highway
North Sydney NSW 2060

Telephone: 02 9955 0637


Contents


DOORS AND WINDOWS.....	3
CAVITY SLIDING DOORS	4
GLASS AND GLAZING.....	8
INSULATION	9
ROOF.....	10
WALL CLADDING	11
WALL LININGS	12
CEILING LININGS	17
FLOOR FINISHES.....	21
COLUMN FINISHES.....	24
METAL FINISHES.....	24
PAINT FINISHES	26
JOINERY FINISHES	28
JOINERY HARDWARE	31
PAVING.....	31
EXTERNAL AND INTERNAL FINISHES.....	32


DOORS AND WINDOWS						
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
	External doors /hinged glass doors	Capral 400 Narrowline series 101.6 x 44mm frame dimensions Inset 225 series doors or equivalent Stiles as 113mm top and bottom rail as 113mm to suit back set locks. <i>Acoustic rating in accordance with acoustic engineer's requirements</i>	Powder coated Refer to metal finishes	Capral Aluminium	1800 258 646	
	External sliding doors / Internal surface sliding doors	Capral 900 series high performance sliding door Top hung sliding door system. Bottom channel or guide to be cast in slab to provide flush transition. In accordance with AS 1428.1 <i>Acoustic rating in accordance with acoustic engineer's requirements</i> <i>First leaf of door to be operable with max 20N in accordance with AS1421.1</i>	Powder coated Refer to metal finishes	Capral	1800 258 646	
	External & Internal windows	Capral 400 Narrowline series 101.6 x 44mm frame dimensions or equivalent. Install sub sills where assemblies sit on slabs without cavities. Provide compression seals to frames at head and stiles adjacent to glazed aluminium door leaves. Awning or casement windows inset within framing as Capral ASG 50 series All operable windows to have integral "Crimsafe" security screens. <i>Acoustic rating in accordance with acoustic engineer's requirements</i>	Powder coated, Refer to metal finishes	Capral		



ACC.	Window Louvers – All louvres in BCA D2.16, as required	<p>Breezway Altair Louvres In Capral 400 Narrowline louvre series 101.6mm x 44mm frame dimensions. All louvre to be integrated with Breezway Strong Hold system. Pull handle to be Breezway standard. Manual operator type.</p> <p>All louvre windows to have integral “Crimsafe” security screens.</p> <p>Louvred windows at high level (where sill is above 2400mm AFFL) to include automatic operators as Breezway “Powerlouvre” automatic operator system.</p> <p><i>Acoustic rating in accordance with acoustic engineer’s requirements</i></p>	Powder coated	Breezway		
	Threshold plates under all doors	<p>Raven RP 116 or equivalent</p> <p>All door thresholds to achieve a flush transition in accordance with AS1428.1</p>	Satin clear	Raven Products Pty Ltd	1800 888 123	

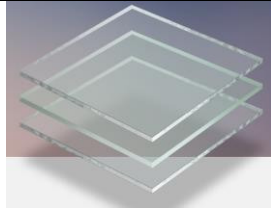
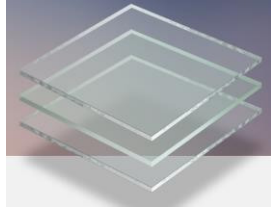
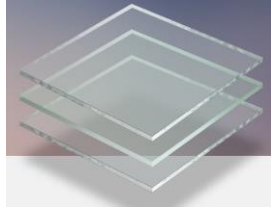
CAVITY SLIDING DOORS






Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
	Internal Cavity Glazed Sliding door	Lotus cavity slider acoustic top hung door. Extruded aluminium frame and track with multiple tracks overtaking pick-up and door guide system. Door to be Lotus Cavity mounted glazed acoustic slider with prefinished matt natural anodised retractable sealed type 2 ceiling mount track with sound stop and manufactured bottom track. It shall consist of a top supported, manually operated sliding panel that forms a sound retardant closure.	Powdercoat, refer metal finishes	Lotus	(02) 9519 9781	

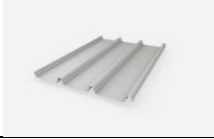




		<p>The slider shall incorporate the Lotus Slider Auto Braking System (SABS) to control the speed of the panel as it approaches either end of its motion. Install integral door buffers and ensure no finger trap hazards.</p> <p>The slider shall incorporate a footbolt in the leading stile of the panel to allow for it to be locked in the open position.</p> <p>Bottom track to provide flush transition in accordance with AS 1428.1</p> <p>Cavity construction to suit manufacturer's requirements and details.</p> <p><i>Acoustic rating in accordance with acoustic engineer's requirements</i></p> <p><i>First leaf of door to be operable with max 20N in accordance with AS1428.1</i></p>				
	Internal Cavity Solid Core Sliding door	<p>Lotus cavity slider acoustic top hung door. Extruded aluminium frame and track with multiple tracks overtaking pick-up and door guide system. Door to be Lotus Cavity mounted solid core acoustic slider with prefinished matt natural anodised retractable sealed type 2 ceiling mount track with sound stop and manufactured bottom track. Both sides of door to be writeable surfaces. It shall consist of a top supported, manually operated sliding panel that forms a sound retardant closure.</p> <p>The slider shall incorporate the Lotus Slider Auto Braking System (SABS) to control the speed of the panel as it approaches either end of its motion.</p>	Powdercoat, refer metal finishes	Lotus	(02) 9519 9781	

		<p>Install integral door buffers and ensure no finger trap hazards.</p> <p>The slider shall incorporate a footbolt in the leading stile of the panel to allow for it to be locked in the open position.</p> <p>Bottom track to provide flush transition in accordance with AS 1428.1</p> <p>Cavity construction to suit manufacturer's requirements and details.</p> <p><i>Acoustic rating in accordance with acoustic engineer's requirements</i></p> <p><i>First leaf of door to be operable with max 20N in accordance with AS1428.1</i></p>				
	Internal bi-fold doors with single swing door	<p>Lotus operable full height jamb door. Extruded aluminium frame and tracks to pick up side track door system. Door to be Lotus Opera Acoustic Glass Operable Wall system and panels shall be OP125 series with prefinished matt natural anodised sweep seals at the top and the bottom will be retractable seals. It shall consist of a top supported, manually operated sliding panel that forms a sound retardant closure.</p> <p>Panels shall be parked in a side stack configuration and suspension will be one or two point according to requirement of stacking system and door length.</p> <p>Door panel closure shall be used where the last panel is a full height door hinged off the fixed jamb for ease of operation.</p> <p><i>Acoustic rating in accordance with acoustic engineer's requirements</i></p>	Powdercoat, refer metal finishes	Lotus	(02) 9519 9781	

		<i>First leaf of door to be operable with max 20N in accordance with AS1428.1</i>				
	External Fold-up Door	<p>Airport Doors to operate within opening. Allowance for thickness of the folded door and working clearance. Door frame to be rectangular hollow steel sections, braced and trussed as required and designed in accordance with AS4100 and to comply with the provisions of AS/NZS 4505:2012 and AS1170 Part 1-2.</p> <p>Typical working clearance of 15mm on each side and at the top of door with typical clearance of 2mm at the bottom of the door. Brush seals to be fitted at the top and to each side of the door and a PVC bulb seal is fitted to the bottom of the door.</p> <p>Electric operated and secured by the motor and its controls.</p> <p>To consist of two hinged panels which fold together as the door is being opened.</p> <p>Provide automatic opening device for 2 doors in case of fire. Automatic doors to be single phase.</p>	Powdercoat, refer metal finishes	Airport Doors	(03) 9971 1444	
	Roller Shutter Doors	<p>Steel curtain material with box section design.</p> <p>Manually operated with bottom rail seals for weather resistance and guide track to suit building construction materials.</p>	Powdercoat, refer metal finishes	Austral Monsoon	(02) 9892 3188	



GLASS AND GLAZING						
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
GL1	All external fixed and operable glass	Minimum laminated Low-E Safety Glass, 10.38mm Final glass selection in accordance with AS 1288 and Section J of NCC	Clear	Viridian	1800 810 403	
GL2	All external Glass Louvres	Minimum laminated Low-E Safety Glass, 10.38mm Final glass selection in accordance with AS 1288 and Section J of NCC	Clear	Viridian	1800 810 403	
GL3	All internal windows, vision panels and doors	Minimum laminated Safety Glass, 10.38mm Final glass selection in accordance with AS 1288 and Section J of NCC	Clear	Viridian	1800 810 403	
GL4	Fixed Colour Back glass panels	SpectraElements Grade A safety glass, heat treated before use. Minimum Colour Back Laminated Low-E Safety Glass, 10.38mm <i>Final glass selection in accordance with AS 1288 and Section J of NCC</i>	Colour Stone Grey	Landson Glass		




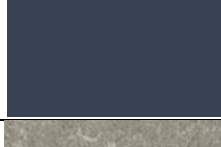

INSULATION						
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
	Acoustic insulation to all internal walls and framing	75mm thick glass wool acoustic insulation with minimum density 11kg/m ³ or equivalent. <i>Insulation system in accordance with acoustic engineers' specification</i>	N/A	Fletcher Insulation	Glenn Abel 0439 432 777	
	Acoustic and thermal Insulation to plasterboard and perforated plasterboard ceilings	Acoustic ceiling insulation to all plasterboard or perforated plasterboard ceilings and bulkheads in accordance with acoustic engineers' specification. <i>Insulation system to roof and ceiling to be selected in accordance with Section J of the NCC</i>	N/A	Fletcher Insulation	Glenn Abel 0439 432 777	
	Thermal Insulation in Roofs	55mm Permastop Building Blanket R1.3. Building blanket bonded to Sislation to all roof areas including COLA, bridge, roof and overhangs. <i>Insulation of roof system in accordance with section J of the NCC. Allow for insulation spacers to all roof areas to suit size of insulation</i>	N/A	Fletcher Insulation	Glenn Abel 0439 432 777	
	Thermal Insulation to all external Walls	Thermal insulation and Sislation to all external walls. <i>Insulation system to be selected in accordance with section J of the NCC</i>	N/A	Fletcher Insulation	Glenn Abel 0439 432 777	
	Vapour barrier – all external walls	Vapour barrier to all external walls <i>Insulation system to be selected in accordance with section J of the NCC Non combustible</i>	N/A			

ROOF						
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
RMS1	Roof Metal Sheeting	Zincalume Trimdek, suitable for 3-5-degree roof pitch Minimum 0.48mm BMT	Colorbond – Shale Grey	Lysaght		
RMS2 NOT USED	Roof Metal Sheeting	Aramax Freespan roof sheeting – clear span of up to 20 metres	Colorbond – Shale Grey	Aramax Freespan	1800 182 255	
RSF	Roof flashing and barge capping	Steel flashing	To match Colorbond – Shale Grey Roof	Lysaght		
RSF	Roof flashing and barge capping	Steel flashing	To match Colorbond – Deep Ocean WCL4 wall cladding WCL3 wall cladding (Parapets)	Lysaght		
RFCF	Fascia	Steel fascia with marine grade plywood substrate stiffener	To match Colorbond – Shale Grey	Lysaght		

CMA


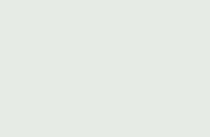
Level 2, 97 Pacific Highway
North Sydney NSW 2060

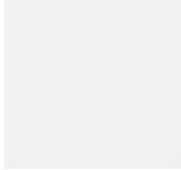



RWG	Rain Water Gutter	Steel half round gutter, size as per hydraulic docs.	To match Colorbond – Shale Grey	Lysaght		
RWP/DP	Rain Water Pipe (Downpipe)	Painted UPVC round down pipes, size as per hydraulic docs.	To match Colorbond - Shale Grey	Lysaght		

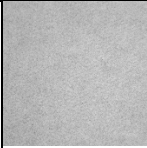





WALL CLADDING						
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
WCL1	Prefinished Fibre Cement Wall Cladding – Refer to drawings	8mm Equitone Tectiva, concealed fixing to metal support frame in strict accordance with manufacturers detail	Tectiva TE90	Equitone	1800 007 175	
WCL2	Prefinished Fibre Cement Wall Cladding – Refer to drawings	8mm Equitone Tectiva concealed fixing to metal support frame in strict accordance with manufacturers detail	Tectiva TE10	Equitone	1800 007 175	
WCL3	Prefinished Fibre Cement Wall Cladding – Refer to drawings	8mm Equitone Pictura concealed fixing to metal support frame in strict accordance with manufacturers detail	Pictura PG444	Equitone	1800 007 175	
WCL4	Wall metal sheeting, parapets Wall cladding and COS Fascias	Corrugated metal sheeting equal to Lysaght Custom Orb	Colorbond Deep Ocean	Lysaght		
WCL5	Prefinished Fibre Cement Wall Cladding – Refer to drawings	8mm Equitone Natura concealed fixing to metal support frame in strict accordance with manufacturers detail	Natura N892	Equitone	1800 007 175	
WCL6	Solid Aluminium Cassette Cladding System	3mm SAP Solid Aluminium Panel cassette fixed cladding system. concealed fixing to metal support frame in strict accordance with manufacturers detail	Traffic White 3mm SAP Solid Aluminium Panel	Aodeli	07 3807 8041	

CMA

Level 2, 97 Pacific Highway
North Sydney NSW 2060


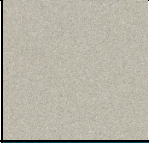

WFB1	Wall Face Brick – all masonry external & internal	Façade brick: Bowral Blue with white sand, grey cement, flush finish joints Matching cant brick sills to windows where required	Bowral Blue Caulking Selection: Japanese Beige	Bowral Bricks	(02) 4861 3031	
WPC	Wall Precast Concrete – Hall western facade	Molded precast concrete panel – Design to be supplied at later date	Integral colour – equal to CCS Snow (Off white cement)			


WALL LININGS						
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
WALL LININGS						
WPB	Impact resistant Plasterboard wall lining generally	Gyprock "Impactchek" 13mm Plasterboard	Refer to Paint finishes	CSR Gyprock		
WFC	Fibre Cement Wall Cladding / access WCs with showers	9mm James Hardie Villaboard, fibre cement sheeting. Install to manufacturers specification	Waterproof finish with tiling over	James Hardie		
WFR	Fire Rated Wall Lining	13mm CSR Gyprock Fyrchek Plasterboard. Note: All wet areas requiring fire rating to be 13mm CSR Gyprock Fyrchek MR. Number of layers and thickness in accordance with LSR Redbook fire rating requirements.	Refer to PAINT FINISHES	Gyprock		
WMR	Moisture resistant plasterboard walls linings – to wet areas generally	Gyprock "Aquachek" 13mm Plasterboard Note: Number of layers and thickness in accordance with LSR Redbook fire rating requirements.	Refer to Paint finishes	James hardie		


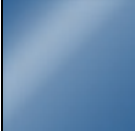


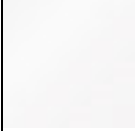
PINBOARD LININGS						
WPL1	Pin Board Wall lining	Autex Veriface Fabric 12mm, installed as per Architectural specification. Factory bonded to 12mm EO MDF mounting board. Edges enclosed with aluminium angle	Generally 70% Myst 30% feature colour as per below	Autex	(02) 9756 3122	
WPL2	Pin Board Wall lining	Autex Composition Acoustic Fabric 12mm, installed as per Architectural specification Edges enclosed with aluminium angle	Octane (WPL2) 30% Ground floor feature colour (Block K Art Studios & Ground & Level 1 Block J	Autex	(02) 9756 3122	
WPL3	Pin Board Wall lining	Autex Composition Acoustic Fabric 12mm, installed as per Architectural specification Edges enclosed with aluminium angle	Stonewash (WPL3) 30% Level 2 feature colour (Block K) 100% to Level 2 JU.03 Niche walls and ceilings 100% to Level 2 JU.02 internal wall	Autex	(02) 9756 3122	
WPL4	Pin Board Wall lining	Autex Composition Acoustic Fabric 12mm, installed as per Architectural specification Edges enclosed with aluminium angle	Lime (WPL4) 30% Level 1 feature colour (Block K) 100% to Level 1 JU.03 Niche walls and ceilings 100% to Level 1 JU.02 internal wall	Autex	(02) 9756 3122	
WPL5	Pin Board Wall lining	Autex Composition Acoustic Fabric 12mm, installed as per Architectural specification Edges enclosed with aluminium angle	Vintage (WPL5) Joinery Feature Colour Refer to joinery drawings	Autex	(02) 9756 3122	
WPL6	Pin Board Wall lining	Autex Composition Acoustic Fabric 12mm, installed as per Architectural specification Edges enclosed with aluminium angle	Spearmint (WPL6) 30% Ground floor feature colour (Block K Admin & Staff Areas)	Autex	(02) 9756 3122	


CMA

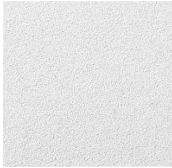
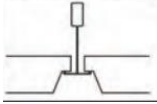
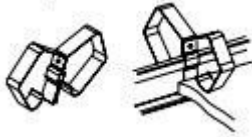
Level 2, 97 Pacific Highway
North Sydney NSW 2060


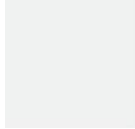
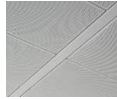
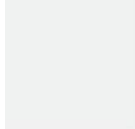
WPL7	Pin Board Wall lining (not used)	Autex Composition Acoustic-Fabric 12mm, installed as per Architectural specification Edges enclosed with aluminium angle	Sanz (WPL7)	Autex	(02) 9756 3122		
WPL8	Pin Board Wall lining	Forbo Bulletin Board	Oyster Shell 70% Food Technology	Forbo			
WPL9	Pinboards Wall lining	Forbo Bulletin Board	Blue Berry 30% Food Technology	Forbo			


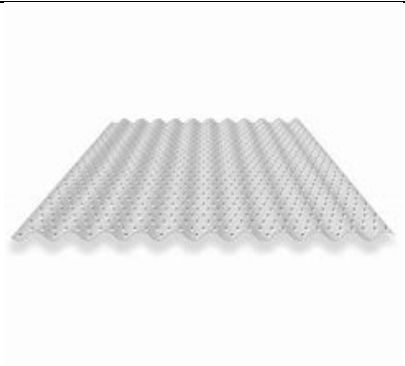

	Pinboard Trim (aluminium angle)	1.5mm thick satin clear finish aluminium angle, dimensions suitable to cover edge of pinboard and mounting board				
WTL	Timber Wall lining	<p>Acoustic wall panels to be SUPACOUSTIC PLK.</p> <p>All acoustic panels to have black acoustic textile factory heat adhesive bonded to full rear of the panel Acoustic textile to have a minimum thickness of 0.3mm and testing to AS1405:1988 to demonstrate an NRC of 0.75 when used with a 12mm perforated board having 10.2% open area and a 400mm air gap. Textile to be 100% polyester fibre with 0 ozone depleting potential and have a low flammability and smoke index, tested to AS 1530.3-0,0,0,3.</p>	Tasmanian Oak SF	Supawood	0427 573 024 1800 002 123	

TILING						
WCT1	Wall Ceramic Tile – Floor to Ceiling	200mm x 100mm ceramic Wall Tiles	70% UK Gloss White 613444,	Johnson Tiles	1800 354 759	
WCT2 Not used	Wall Ceramic Tile – Floor to Ceiling feature	200mm x 100mm ceramic Wall Tiles	Vogue System 100 x 200 Matt	Giada, Turchese, Pomelmo		
SB1	Colour back splash back, Art	Standard colour back glass splash back	Excellence Blue (client to approve colour selection)	Polytech Glass	1300 717 769	
SB2	Ceramic Tile Splashback	200mm x 200mm ceramic wall tiles	UK Gloss White 613444	Johnson Tiles	1800 354 759	
SB3	Colour back splash back, Science	Standard colour back glass splash back	Sunset (client to approve colour selection)	Polytech Glass	1300 717 769	
SB4	Colour back splash back, Staff Kitchen, Tea Point	Standard colour back glass splash back	Briliant White (client to approve colour selection)	Polytech Glass	1300 717 769	

WRITEABLE WALL LININGS						
WWB1	Joinery Whiteboards	EO MDF Substrate, Laminex Substrate thickness to architectural specification	Laminex Writeable Wall	Laminex	(02) 9792 4222	
WWB2	External Whiteboards	Height to match external doors at 2700mm, Trespa 'Lumen' range writeable wall surfaces. Cladding to be mounted on top of external wall lining with aluminium angle trim.	Pure White – Diffuse Finish	Trespa	(02) 9556 6000	
WWB3	Whiteboard / walls	Height as shown in internal elevations Edge LX8000 Powdercoat White Projection Porcelain Install as per architectural 25 year warranty erasability. No aluminium edging between boards to ensure flush finish where required.	Non projection	VisionChart Matthew Lamont 0415 177225 Storm Russo Reno 0414 945 576	Whiteboard / walls	

CEILING LININGS						
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
CEILING LININGS						
CAT-1	Ceiling Tile	600 x 1200, grid face 24 mm, beveled tegular edge SC97282 with suprafine 15 mm exposed tee grid. Armstrong Ultima+ OP high performance acoustic tiles (NRC 0.95), or equivalent. Edge detail shall be Shadowline Tapered [SLT]	White	Armstrong	(02) 9748 1588	
	Steel suspension system	Ceiling tile suspension system as USG DONN Centricitee DXT Acoustical Suspension System	Prefinished white	USG Boral	1800 226 215	Interline Tapered (ILT) 
	Steel ceiling clips	Ceiling tiles to be fixed in place with security clip to prevent access from below the ceiling, such as Armstrong 414AG – Retention Clip, attached to main beams and cross-s behind lay in ceiling, or equivalent approved.		Armstrong	(02) 9748 1588	

CFC	Prefinished Fibre Cement Soffit linings	8mm Equitone Tectiva concealed fixing to metal support frame in strict accordance with manufacturers detail	Tectiva TE90	Equitone	1800 007 175	
CPB	Ceiling Plasterboard with acoustic insulation	Gyprock Standard 13mm Plasterboard, fixed to Rondo 35mm battens where fixed over existing beams. Fix to Rondo Screw Up Suspension System to all other areas	Painted, refer paint finishes	CSR Gyprock	1300 306 556	
CPF	Fire rated impact resistant ceiling lining	CSR Gyprock Fyrchek Plasterboard. Note: Number of layers and thickness in accordance with LSR Redbook fire rating requirements.	Painted, refer paint finish	Gyprock	1300 306 556	
CPM	Perforated Metal Panel Soffit	Custom design aluminium panel, SAS330 system. Perforation code D3022, 22% open area to manufacturers fixing detail. minimum 0.75 NRC Design to later detail	Powder coated white	SAS International	(02) 8823 0000	
CMR	Moisture Resistant Plasterboard	Gyprock Standard 13mm Moisture Resistant Plasterboard, fixed to Rondo Screw Up Suspension System	Painted, refer paint finishes	Gyprock	1300 306 556	

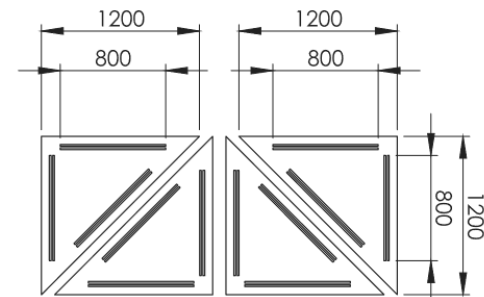
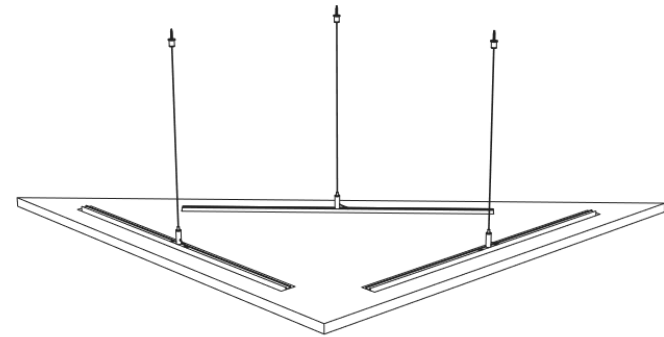
CPP	Ceiling Perforated Plasterboard, with acoustic insulation	Perforated plasterboard as Knauf Stratopanel; minimum 0.8 NRC; fixed to Rondo Screw Up Suspension System. Flush set with adjacent ceiling finish	Refer to PAINT FINISHES	Gyprock	1300 306 556	
CCO	COS Perforated Colourbond with acoustic insulation	Corrugated perforated Customorb Colorbond ceiling suspended from purlins above	Surf mist	Lysaght or equivalent		
CPP2	Ceiling Perforated Timber, with acoustic insulation	<p>Ceiling panels to be SUPACOUSTIC PLK as per extent shown on drawings.</p> <p>All acoustic panels to have black acoustic textile factory heat adhesive bonded to full rear of the panel Acoustic textile to have a minimum thickness of 0.3mm and testing to AS1405:1988 to demonstrate an NRC of 0.75 when used with a 12mm perforated board having 10.2% open</p>	Tasmanian Oak SF	Supawood	0427 573 024 1800 002 123	



		area and a 400mm air gap. Textile to be 100% polyester fibre with 0 ozone depleting potential and have a low flammability and smoke index, tested to AS 1530.3-0,0,0,3.				
--	--	---	--	--	--	--




CEILING FINISHES


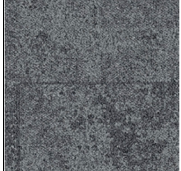
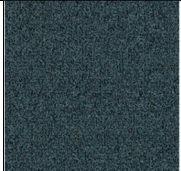
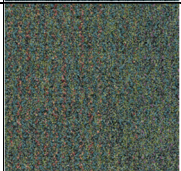


CPL	Pinboard Ceiling Lining	Autex Horizon Floating acoustic feature ceiling Design: Right Angle Triangle Suspended 300mm from ceiling NRC .8	Colours: Lotus Flatiron	Autex	(02) 9756 3122
-----	-------------------------	---	-------------------------------	-------	-------------------

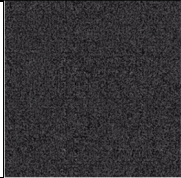
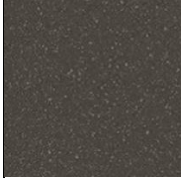
HORIZON™
 DESIGN OPTIONS

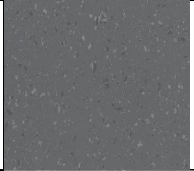




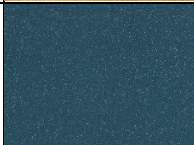


SMB1	Slatted Ceiling System	Supawood: Supatile Slat pre-finished slatted ceiling tile system fitted into a T-Grid for access into ceiling – Option 5	Supafinish – Tasmanian Oak SF	Supawood	0427 573 024 1800 002 123	
SMB2	Slatted Ceiling System	Supawood: Supaslat Slatted Wall & Ceiling Panels	Supafinish – Concept Veneer: Spotted Gum	Supawood	0427 573 024 1800 002 123	

FLOOR FINISHES						
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
FLOOR TILES						
FCT	Fully Vitrified Floor Tile	200mm x 200mm Non-Slip R10 Floor Tiles and matching coving	Waringa Vitrified Grey Micro Rock 711764 Matching Cove 711675	Johnson Tiles	1800 354 759	
RUB	Rubber Flooring	POLYFLOR - SPORT 67 floor	Maple 7516	Gym and Fitness	1800 614 491	
FLOOR BOARDS						
FTB	Timber Flooring – Multi-purpose hall, Stage and Foyer	Juncker's Unobat 62 System with 22mm solid Maple T&G timber flooring (62mm floor height)	Maple	Maxwood Technology	Michael Donnelly 0411 296 831	


CARPET						
EFM	Recessed Matwell entrance flooring with stainless steel edge trim	Ribbed carpet entry top clean basic. Direct stuck to concrete	Black	Statewide Matting	1800 250 704	
FCP1	Carpet tile – GLA's	Modular 500mmx500mm Carpet tile with underlay adhesive fixed to slab; Non-directional pattern	Net Effect Collection Range B603 Colour North Sea	Interface	1800 008 101	
FCP2	Carpet tile – Feature/ Movement/ Seminar	Modular 500mmx500mm Carpet tile with underlay adhesive fixed to slab; Non-directional pattern	Monochrome Colour: Antique Blue	Interface	1800 008 101	
FCP3	Carpet tile – Feature/ Movement/ Seminar	Modular 500mmx500mm Carpet tile with underlay adhesive fixed to slab; Non-directional pattern	Cubic Colour Colour: Parrot	Interface	1800 008 101	
FCP4	Carpet Tile- General Admin	Modular 500mmx500mm Carpet tile with underlay adhesive fixed to slab; Non-directional pattern	Net Effect Collection Range B603 Colour North Sea	Interface	1800 008 101	
FCP5	Carpet Tile Feature Admin	Modular 500mmx500mm Carpet tile with underlay adhesive fixed to slab; Non-directional pattern	Monochrome Colour: Fire Brick	Interface	1800 008 101	



FCP6	Carpet Tile Feature Admin	Modular 500mmx500mm Carpet tile with underlay adhesive fixed to slab; Non- directional pattern	Monochrome Colour: Seal	Interface	1800 008 101		
RESILIENT FINISHES							
FVS1	Vinyl – Cleaner rooms	Safety non-slip R10 – Expona Flow PUR	Taupe - 9843	Polyflor	1800 777 425		

FVS2	Vinyl – Comms areas	Anti-static sheet vinyl R9 – Polyflor Palettone	Pencil Lead - 8608	Polyflor	1800 777 425		
FVS3	Vinyl sheet flooring - Generally	Safety non-slip R10 – Expona Flow PUR	Cool Grey Concrete - 9856	Polyflor	1800 777 425		
FVS4	Vinyl sheet flooring – Science	Safety non-slip R10 – Expona Flow PUR	Cool Grey Concrete - 9856	Polyflor	1800 777 425		
FVS5	Vinyl sheet flooring – Food Technology	Safety non-slip R10 – Expona Flow PUR	Cool Grey Concrete - 9856	Polyflor	1800 777 425		
FVS6	Vinyl sheet flooring – Multi-purpose Hall/ Workshops	Acoustix Forest fx PUR – R10	American Oak 3385	Polyflor	1800 777 425		
FVS7	Vinyl sheet flooring – Food Technology- feature	Safety non-slip R10 – Expona Flow PUR	Steel Blue – 9852	Polyflor			

CMA

Level 2, 97 Pacific Highway
North Sydney NSW 2060

FPR	Resilient Flooring – General	<p>Polyurethane resin based seamless floor finish. <u><i>HYCHEM VIASOL ELASTIC SKY</i></u> Primer: Viasol EP P260 Body Coat: Viasol PU C525 (coloured broadcast with non-slip aggregate). Self Levelling Coating: Viasol PU C500 Sky Steal Coat: Viasol PU 688 N Slip rating R10, minimum thickness to be 3mm. Refer to specification</p>	<p>Non-slip, decorative & elastic Polyurethane system Colour: Steel Grey</p>	<p>Hychem Consturction Resins</p>	<p>0403 348 155 (02) 4646 1660</p>	
SKIRTINGS						
SK1	Skirting generally – Provide levelling topping at skirting to	100mm high with aluminium arrowhead and with high pressure laminate finish	Black			






	ensure no gaps between floor finish and skirting					
SK2	Coved Tile Skirting to Match Floor Tile	Waringa matching coving tile, 200mm x 100mm	Waringa Vitrified Grey Micro Cove – 711674	Johnson Tiles	1800 354 759	
SK3	Coved Vinyl Skirting to match vinyl floor	Vinyl	To match FVS			
SK4	Timber skirting board – Multi-purpose hall	Timber skirting equal to AMC Australia – BN1 at 100mm H	Colour to match Maple timber flooring	Australian Moulding Company	1300 761 838	




COLUMN FINISHES


Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
CC	External columns	Concrete – Provide skim coat over all CC to ensure smooth finish and no holes.	Natural – External sun guard paint			

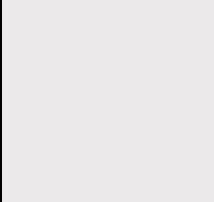

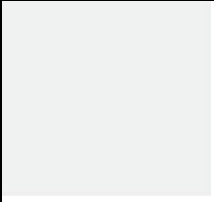
METAL FINISHES


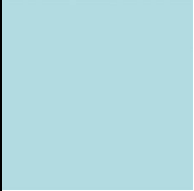

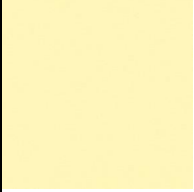
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
------	--------------------	----------	--------	-------------------------	-------	-------

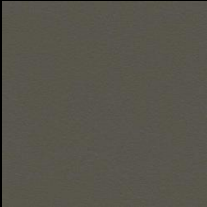
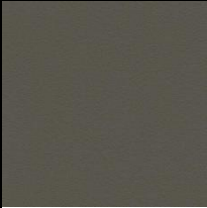

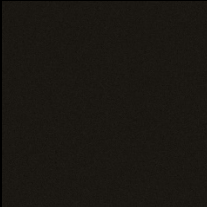
MF1	All aluminium windows and doors - Generally	Aluminium frame 20-year durability warranty, 15 year chalk and colour fade warranty (Zeus and Eternity) and 10 year chalk and colour fade warranty (Intensity) on pre-treated architectural aluminium when applied by a Dulux Registered Applicators	Zeus Silver Grey Matt 90051272– Duratec Range	Dulux Duratec Zeus	13 23 77	
MF2	Solid doors to be steel frame, and Steel tubular gate adjacent to Admin	Steel frame 20-year durability warranty, 15 year chalk and colour fade warranty (Zeus and Eternity) and 10 year chalk and colour fade warranty (Intensity) on pre-treated architectural aluminium when applied by a Dulux Registered Applicators	Zeus Dark Grey Matt – Duratec Range	Dulux Duratec	13 23 77	
MF3	Fixed Sunshade Device	Device to Manufacturers Spec - 15 Years Color Integrity	Interpon - Precis Pure Gold Matt	Interpon		
MF4	Fixed Sunshade Device	Device to Manufacturers Spec - 15 Years Color Integrity	Interpon – Canon Matt	Interpon		
MF5	Paint finish – Roller Door, Female and Male toilet gates (Zone B)	Matt paint finish	Dulux Powdercoat – Monument Matt 9008189	Dulux Powdercoat	13 23 77	
MF6	Paint finish – Female and Male toilet gates (Zone A)	Matt paint finish	Dulux Powdercoat – Duratex Appliance White Satin	Dulux Powdercoat	13 23 77	



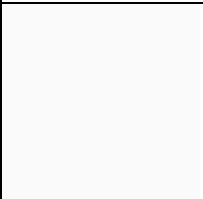
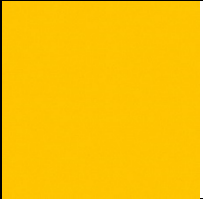


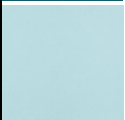
MF7	Cladding to external steel columns	Non-combustile solid aluminium cassette cladding system	Vitradual – charcoal	Vitradual by Fairview	13 23 77	
RWT	Rainwater tank	Steel	Colorbond - Shale Grey	Colorbond		
SIGN	School Sign	Aluminium outdoor dimensional letter signage 100mm thick	Dulux Powdercoat – Duratec Zeus White Gloss 9001110G	National Sign Build	13 23 77	


PAINT FINISHES						
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
PF3	Paint finish – External solid doors	Oil based paint gloss finish Refer to architectural specification for systems	Dulux Colorbond Woodland Grey – C23	Dulux	13 23 77	



PF4	Paint finish – External solid doors	Oil based paint gloss finish Refer to architectural specification for systems	Summer Cloud Half – SW1H3	Dulux	13 23 77	
PF5	Ceilings - generally	Plasterboard, Refer to architectural specification for systems	Dulux, Flat White – 9061200F	Dulux	13 23 77	
PF6	Walls - generally	Plasterboard, Refer to architectural specification for systems	Dulux, Ceiling White	Dulux	13 23 77	
PF7	Walls – Block A exterior walls					
PF-8	MDF capping to bench seat areas	Oil based paint gloss finish Refer to architectural specification for systems	To later selection	Dulux	13 23 77	
PF-9	Walls-Stairs Feature colour	Plasterboard, Refer to architectural specification for systems	To later selection	Dulux	13 23 77	

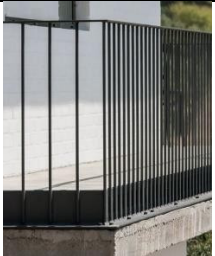
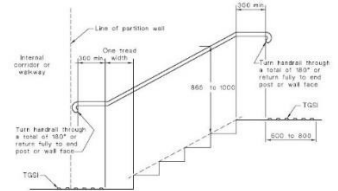
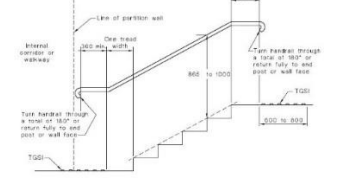

JOINERY FINISHES						
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
JF1	Benchtops – Generally	33mm HMR Laminate, EO MDF substrate. High Pressure Decorative Laminate	Burnished wood	Laminex	0403 367 956	
JF2		EO MDF Substrate, Laminex Substrate thickness to architectural specification	Fresh Spring Natural Finish 216	Laminex	0403 367 956	
JF3		EO MDF Substrate, Laminex Substrate thickness to architectural specification	Eggshell Natural Finish 299	Laminex	0403 367 956	
JF4		EO MDF Substrate, Laminex Substrate thickness to architectural specification	Fresh Sprout Natural Finish 284	Laminex	0403 367 956	

JF5	Joinery carcasses generally. Joinery concealed shelving less than 600mm wide	Melamine Substrate thickness to architectural specification	White			
JF6	Joinery concealed shelving greater than 600mm wide	Melamine Substrate thickness to architectural specification	White			
JF8	Toilet/shower cubicle doors - Female	Laminex multi-purpose compact laminate	Fossil	Laminex	0403 367 956	
JF9	Toilet/shower cubicle doors - Male	Laminex multi-purpose compact laminate	Fossil	Laminex	0403 367 956	
JF10	Toilet/shower partition panels	Laminex multi-purpose compact laminate	Seasoned Oak	Laminex	0403 367 956	
JF11	Science benchtops	Laminex Laboratory compact laminate (chemical resistant)	Black	Laminex	0403 367 956	

JF12	Admin Joinery	EO MDF Substrate, Laminex Substrate thickness to architectural specification	Laminex Silver Ash	Laminex	0403 367 956	
JF13	Joinery as noted	EO MDF Substrate, Laminex Substrate thickness to architectural specification	Fossil Natural Finish	Laminex	0403 367 956	
JF14	Joinery as noted	EO MDF Substrate, Laminex Substrate thickness to architectural specification	Calm White	Laminex	0403 367 956	
JF15	Feature joinery Science Labs	EO MDF Substrate, Laminex Substrate thickness to architectural specification	Olympia yellow	Laminex	0403 367 956	
JUP	Bench Seating upholstery	Vinyl fabric upholstery	Pacifica Standard Colour: A) Spring Bud (with JF4) B) Astral With (JF2) C) Ice Blue (with JF3)	Innova		 Spring Bud  Astral  Ice Blue

JOINERY HARDWARE						
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
DHL1	All below bench cupboards and overhead cupboards.	Hafele "Luxe" Zinc-alloy chrome plated polished handle 106.69.205 Hdl pol.chr. 148x32mm h-l-z-1390	Chrome plated, polished	Hafele	+61 (0)2 4632 4000	
	Hinges and drawers all soft closing					

PAVING						
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
FCC1	External concrete pavers-Feature	Euro Classic 400x400x40mm	Athens	Adbri Masonry	1300 230 633 (02) 9822 6843 Damian King	
FCC2	External coloured Concrete and Stairs – Generally (broom finish)	Integral coloured concrete	Smokey Blue	Concrete Colour Systems	(02) 9677 1056	
FCF	Broom finish natural concrete floor as noted	Natural Concrete (broom finish)	Natural Concrete			

EXTERNAL AND INTERNAL FINISHES						
Code	Element / Location	Material	Colour	Manufacturer / Supplier	Phone	Image
BAL	Balustrades as 1300mm high balustrades, flat bar top and bottom rail, flat bar vertical rails. Size and spacing of all member to structural design. Contractor to allow for design and certification of all balustrades All balustrades chem set into concrete slab, structural engineers to spec.	Hot dip Galvanised				
HR1	External Handrails to all ramps and stairs Handrail extension – return in accordance with AS1428.1	Hot dip Galvanised				
HR2	Internal Handrails to all internal stairs. Handrail extension – return in accordance with AS1428.1 All handrails chem set into concrete slab, structural engineers to spec.	Stainless steel				
HR3 NOT USED	Internal Handrails to all internal stairs. Handrail extension – return in accordance with AS1428.1 All handrails chem set into concrete slab, structural engineers to spec.	Stainless steel posts, glass infills				

CURTAIN	Stage Curtain	Similar to: Infinity Black Wool stage curtain 100%wool Min 500gsm/m2 As per ESG guidelines	Black	Theatre star	0447 794 888	
---------	---------------	--	-------	--------------	--------------	--

Appendix D

Part 6, Division 12, Clause 115

No.	Requirement	Response
(1)	An application for modification of a development consent under section 4.55 (1), (1A) or (2) or 4.56 (1) of the Act must contain the following information:	
(a)	the name and address of the applicant,	NSW Department of Education GPO Box 33, Sydney NSW 2001
(b)	a description of the development to be carried out under the consent (as previously modified),	Alterations and additions to Fairvale High School comprising: <ul style="list-style-type: none"> • Site preparation works including demolition, earthworks and tree removal; • New three storey classroom/administration building; • New two storey multi-purpose hall; • New large concrete sports courts and COLA in the northern sports oval; • Alterations to existing facilities, including: <ul style="list-style-type: none"> o alterations to ground floor of Block A to provide open plan staff study areas and refurbished print/preparation room; o addition of three temporary demountable classrooms for the construction period; o relocation of existing COLA adjacent to new large COLA in the northern sports oval; and o removal of existing demountable classrooms at completion of construction. • • Associated landscaping works, including retention and protection of 63 trees, removal of 23 trees and planting of 17 new trees along with a range of scrubs, clumping plants and ground covers.
(c)	the address, and formal particulars of title, of the land on which the development is to be carried out,	1 Thorney Road, Fairfield West Lot 10 DP502048, Lot 12 DP1779, LOT 13 DP1779 and LOT 14 DP1779
(d)	a description of the proposed modification to the development consent,	Modification of Development Consent condition A2 to reference the amended architectural plans and finishes schedule to reflect the proposed changes to the external facing windows and doors located in the new Block K (Academic building), Block J (new multipurpose hall) and Block A (ground floor level to refurbished staff study areas).
(e)	a statement that indicates either:	
(i)	that the modification is merely intended to correct a minor error, mis-description or miscalculation, or	-
(ii)	that the modification is intended to have some other effect, as specified in the statement,	The modification is intended to allow for to allow the finish for aluminium frames to all external windows and doors to be modified from that specified on the approved (stamped) drawings.

No.	Requirement	Response
(f)	a description of the expected impacts of the modification,	<p>The modification will ensure the external finishes matches the internal framing elements (e.g. door frames) located within Blocks A, J and K.</p> <p>It should be noted that the proposed change from Natural Anodised' as approved, to 'Zeus Silver Grey Matt' will have a negligible visual impact in terms of the appearance of the window and door framing.</p> <p>No other impacts are expected as result of the modification.</p>
(g)	an undertaking to the effect that the development (as to be modified) will remain substantially the same as the development that was originally approved,	The modification will result in the development remaining substantially the same as the development that was originally approved.
(g1)	in the case of an application that is accompanied by a biodiversity development assessment report, the reasonable steps taken to obtain the like-for-like biodiversity credits required to be retired under the report to offset the residual impacts on biodiversity values if different biodiversity credits are proposed to be used as offsets in accordance with the variation rules under the Biodiversity Conservation Act 2016,	Not applicable
(h)	if the applicant is not the owner of the land, a statement signed by the owner of the land to the effect that the owner consents to the making of the application (except where the application for the consent the subject of the modification was made, or could have been made, without the consent of the owner),	Not applicable
(i)	a statement as to whether the application is being made to the Court (under section 4.55) or to the consent authority (under s 4.56), and, if the consent authority so requires, must be in the form approved by that authority.	Not applicable
(2)	The notification requirements of clause 49 apply in respect of an application if the consent of the owner of the land would not be required were the application an application for development consent rather than an application for the modification of such consent.	Not applicable.
(3)	In addition, if an application for the modification of a development consent under section 4.55(2) or section 4.56(1) of the Act relates to residential apartment development and the development application was required	Not applicable.

No.	Requirement	Response
	to be accompanied by a design verification from a qualified designer under clause 50(1A), the application must be accompanied by a statement by a qualified designer.	
(3A)	The statement by the qualified designer must—	
(a)	verify that he or she designed, or directed the design of, the modification of the development and, if applicable, the development for which the development consent was granted, and	Not applicable.
(b)	provide an explanation of how:	
(i)	the design quality principles are addressed in the development, and	Not applicable
(ii)	in terms of the Apartment Design Guide, the objectives of that guide have been achieved in the development, and	Not applicable
(c)	verify that the modifications do not diminish or detract from the design quality, or compromise the design intent, of the development for which the development consent was granted	Not applicable
(3B)	If the qualified designer who gives the design verification under subclause (3) for an application for the modification of development consent (other than in relation to State significant development) does not verify that he or she also designed, or directed the design of, the development for which the consent was granted, the consent authority must refer the application to the relevant design review panel (if any) for advice as to whether the modifications diminish or detract from the design quality, or compromise the design intent, of the development for which the consent was granted.	Not applicable
(4)	If an application referred to in subclause (3) is also accompanied by a BASIX certificate with respect to any building, the design quality principles referred to in that subclause need not be verified to the extent to which they aim:	
(a)	to reduce consumption of mains-supplied potable water, or reduce emissions of greenhouse gases, in the use of the building or in the use of the land on which the building is situated, or	Not applicable
(b)	to improve the thermal performance of the building.	Not applicable

No.	Requirement	Response
(5)	The consent authority may refer the proposed modification to the relevant design review panel but not if the application is for modification of a development consent for State significant development.	Not applicable
(6)	An application for the modification of a development consent under section 4.55 (1A) or (2) of the Act, if it relates to development for which the development application was required to be accompanied by a BASIX certificate or BASIX certificates, or if it relates to BASIX optional development in relation to which a person has made a development application that has been accompanied by a BASIX certificate or BASIX certificates (despite there being no obligation under clause 2A of Schedule 1 for it to be so accompanied), must also be accompanied by the appropriate BASIX certificate or BASIX certificates	Not applicable
(7)	The appropriate BASIX certificate for the purposes of subclause (6) is:	
(a)	if the current BASIX certificate remains consistent with the proposed development, the current BASIX certificate, and	Not applicable
(b)	if the current BASIX certificate is no longer consistent with the proposed development, a new BASIX certificate to replace the current BASIX certificate.	Not applicable
(8)	An application for modification of a development consent under section 4.55 (1), (1A) or (2) or 4.56 (1) of the Act relating to land owned by a Local Aboriginal Land Council may be made only with the consent of the New South Wales Aboriginal Land Council.	Not applicable
(9)	The application must be accompanied by the relevant fee prescribed under Part 15.	\$5,000 for an application made under section 4.55(1A) of the <i>Environmental Planning and Assessment Act 1979</i>
(10)	A development consent may not be modified by the Land and Environment Court under section 4.55 of the Act if an application for modification of the consent has been made to the consent authority under section 4.56 of the Act and has not been withdrawn.	Not applicable