

**VILLAGE OF WINDSOR
VILLAGE BOARD RESOLUTION 2023-11**

**APPROVAL OF THE PHASE 7 AMENDMENT TO THE DEVELOPMENT AGREEMENT FOR BEAR
TREE FARMS**

WHEREAS, Bear Tree Farms, Inc. (the “Petitioner”) has requested approval of the Phase 7 Amendment to the Development Agreement for Bear Tree Farms Lots 156-170, 199-216, 219-227 & 400-406 (the “Subject Property”).

WHEREAS, the Village Staff and Consultants have reviewed the Petitioner’s request and prepared a Staff Report dated February 09, 2023 (the “Staff Report”) recommending approval, subject to certain conditions specified in the Staff Report; and

WHEREAS, following review of information presented at the Village Board meeting and the Staff Report, the Village Board approves the Phase 7 Amendment to the Development Agreement for Bear Tree Farms Lots 156-170, 199-216, 219-227 & 400-406, subject to the conditions specified in the Staff Report and as set forth herein.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Windsor as follows:

The Village of Windsor Village Board approves the Phase 7 Amendment to the Development Agreement for Bear Tree Farms Lots 156-170, 199-216, 219-227 & 400-406 subject to the following conditions:

- A. The Petitioner shall address the Staff Comments set forth in the Staff Report to the satisfaction of the Community Development Director.
- B. The Petitioner shall comply with the requirements of Sec. 52-64, R-2, Single Family Residential District of the Windsor Code of Ordinances.
- C. The Petitioner shall construct the Phase 7 as illustrated on the following executed Plan Sheets:
 - 1. Bear Tree Farms Phase 7 Construction Plans (dated 2022.11.07)
- D. The Petitioner shall present to the Community Development Director the following executed documents:
 - 1. Development Agreement, in a form approved by the Village Attorney, identifying the installation of public improvements including a financial surety for the public improvements in an amount and form required by law.
 - 2. Construction Plans and Specifications for all public improvements, in accordance with the Development Agreement.
 - 3. Declaration of Covenants, Restrictions, Conditions, and Easements, in a form approved by the Village Attorney, ensuring the quality of the development and representations made to the Village.
 - 4. Stormwater Management Plan, in a form approved by the Community Development Director, identifying the installation of public stormwater management systems.
 - 5. Stormwater Management Agreement, in a form approved by the Village Attorney, identifying the restrictions and maintenance requirements for the public stormwater management systems,

as set forth in the Declaration of Restrictions and Maintenance Requirements for Stormwater Management Measures and Waiver of Right to Contest Special Assessments and Charges for the Plat of Bear Tree Farms as recorded in the office of the Dane County Register of Deeds on December 17, 2015 as Document #5204220, and the First Amendment thereto recorded on October 19, 2018 as Document #5449059.

6. Path Maintenance Agreement, in a form approved by the Village Attorney, identifying the restrictions and maintenance requirements for the multi-use path systems as set forth in the Requirement for Path Maintenance and Waiver of Right to Contest Special Assessments and Charges for the Plat of Bear Tree Farms as recorded in the office of the Dane County Register of Deeds on December 17, 2015 as Document #5204221.
 7. Phase 6 Replat, satisfying all conditions of approval by the Village and any other approving authorities and thereafter promptly recorded with the Dane County Register of Deeds.
 8. Deed Restriction for Lots 407-416 and 441-448 of Phase 8, in a form approved by the Village Attorney, identifying the restriction of the lots connecting to municipal sanitary sewer and water service until Madison Metropolitan Sewerage District connection fees are paid.
- E. The Petitioner shall promptly reimburse the Village for all costs and expenses incurred by the Village in connection with the review and approval of the matters herein, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services.
- F. The Plan Commission's recommendation and Village Board's approval of the matters herein expires one hundred-eighty (180) days from the date of adoption of this Resolution (or in the case of the Village Board, from the date of adoption of a resolution by that body) unless the Petitioner has satisfied all conditions of approval stated herein. Time is of the essence. If the Petitioner encounters an unforeseen development delay, as determined by the Community Development Director, the Community Development Director is authorized to extend the one hundred-eighty (180) day expiration, one time, up to an additional one hundred-twenty (120) days. If the Village Board is unable to or does not act on the Plan Commission's recommendation prior to expiration, then this matter shall be re-referred to the Plan Commission prior to further action by the Village Board.

The above and foregoing Resolution was duly adopted at a meeting of the Village Board of the Village of Windsor held on February 16, 2023, by a vote of 4 in favor and 0 opposed.

VILLAGE OF WINDSOR

Robert E. Wipperfurth

Robert E. Wipperfurth, President

Attested by:

Christine Capstran

Christine Capstran, Clerk

Incorporated by Reference:

Staff Report

Petitioner Application

Agreement for Public Improvements and Development Matters of the Plat of Bear Tree Farms



STAFF REPORT

To: Village Board
Cc: Robert Wipperfurth, Tina Butteris, & William Cole
From: Shaun Mularkey & Jamie Rybarczyk
Submtl Date: January 17, 2023
Rpt Date: February 09, 2023
Decision Date: April 17, 2023
Mtg Date for PC: N/A
Mtg Date for VB: February 16, 2023
Re: Bear Tree Farms – Phase 7 Request

BACKGROUND:

Petitioner: Bear Tree Farms, Inc.
Property Owner: Bear Tree Farms, Inc.
Address: Lots 156-170, 199-216, 219-227 & 400-406
Taxkey: N/A
Area: 23.7 acres (approx.)
Existing Zoning: R-2, Single Family Residential District
Proposed Zoning: N/A
Future Land Use: Transition Residential

REQUEST:

The Petitioner is requesting approval of Phase 7 of the Bear Tree Farms Subdivision.

See Exhibit A for additional information regarding the Development Review Application.

OVERVIEW:

The Agreement for Public Improvements and Development Matters for the Bear Tree Farms Plat (Development Agreement) requires Village Board approval of an amendment for each new phase. The Petitioner is requesting approval of the Phase 7 Amendment. The Village previously approved a Replat of a portion of Bear Tree Farms to create additional stormwater management for Phase 6, which due to the location of stormwater management impacts portions of Phase 7 and Phase 8.

The Phase 7 Amendment includes 49-lots as illustrated in the:

- Phasing Plan
- Bear Tree Farms Phase 7 Construction Plans
- Amendment to Agreement for Public Improvements and Development Matters for Phase 7
- Stormwater Management & Erosion Control Plan Bear Tree Farms (March 1, 2021)
- Bear Tree Farms Replat

STAFF COMMENTS – COMMUNITY DEVELOPMENT:

The Community Development Department provides the following comments:

A. Comprehensive Plan: 2035

The Petitioner’s request is consistent with the goals, objectives and policies of the Village of Windsor Comprehensive Plan: 2035.

B. Ch. 52: Zoning Districts

The Petitioner’s request is consistent with the requirements of Sec. 52-64, R-2, Single Family Residential District of the Windsor Code of Ordinances.

STAFF COMMENTS – PUBLIC WORKS:

The Public Works Department provides the following comments:

A. Plat Document

1. The lot sizes and dimensions appear to meet the requirements of Chapter 52 and Division 4 of Chapter 38 of the Windsor Code of Ordinances for the R-2, Single Family Residential District. A 75-foot lot width at the building setback is required. This should be confirmed by the Petitioner or added to the plans on wedge shaped lots.
2. There are several backlot corners that are very near to others, which can result in confusion by future landowners. We suggest that the corners for the following lots be adjusted to be co-located: 440/439/441/442, 436/435/446/445, and 449/450/431.
3. Section 38-194 of the Windsor Code of Ordinances requires a final developer’s agreement as part of plat approvals. We assume that an agreement already exists for the current plat, but the Village may want to amend that agreement to reflect current conditions.
4. Section 38-194 of the Windsor Code of Ordinances requires review of construction plans as part of plat approvals. Phase 7 of the development includes the northern portion of the Phase 6 Replat. These plans have been submitted, but are being reviewed under separate cover. Any plat approvals should be contingent upon Village approval of the construction plans for the Phase 6 Replat.
5. In addition to the above two prior approvals, we recommend that covenants and deed restrictions and the lot grading & drainage plan be submitted and approved prior to Final Plat approval. The Plat should include minimum building opening elevations on Lots adjacent to stormwater management areas. In addition, we recommend that the plat show drainage easements along each lot line (actually on each parcel) and that drainage arrows be shown along each lot line on the final lot grading and drainage plan, as described in 38-195. This will help assure that during home construction a builder/lot owner will not create blockages to drainage from adjacent lots.
6. Section 38-195 also requires that the building envelope be shown on each parcel of the Plat.
7. The Village may wish to require that the vision corner areas called out in Section 52-32 should be shown on lots at the intersections of streets.
8. Several Outlots are shown. The ownership and purpose of the dedications should be shown on the Plat. We note that for Outlots and easements intended for sidewalk and/or trail uses clarification is needed regarding the future maintenance responsibility. We recommend that the deed restrictions for the development clearly establish that mowing of the grass adjacent to the paved portions of the sidewalks/trails is the responsibility of the adjacent lot owners. (There is

often an argument whether such sidewalks and bike trails should be on easements or on Outlots. Building setbacks start at the edge of Outlots. Consequently, outlots create greater space between adjacent structures and the paved edges of sidewalks/bike trails than do easements, but raise the question of future maintenance of adjacent grassed areas as described above, and for snow removal from the sidewalks/bike trails.)

9. We note that the subdivision is proposed to have two traffic lanes, no on-street parking, and drainage swales along both sides in the right-of-way (a multi-use path along one side is proposed in an easement). The swales will require driveway culverts. Plat notes should call out who is responsible for maintenance and future replacement of culverts (the Village or individual property owners). In addition, sizing calculations should be submitted to confirm the 18-inch proposed size is adequate.
10. Plat Note #5 references Outlots 401 and 402. These should be updated to reflect the appropriate outlot number.

B. Construction Plans

1. While not actually part of this construction phase, there are future phases that will create a number of parcels that are only served by a single water main. This may cause issues with future outages. We suggest a water main loop be constructed, either connecting existing 6-inch line in Community Park to Whistle Rock Circle in a future phase (via directional drill), or inserting the necessary fittings in Phase 7 to allow for a loop along the back sides of Lots 156-159.
2. Sheet C 201: A water main note states that all new mains must be installed a minimum of 4 feet from the flag of the curb. Given the severity of the curves, this may be difficult to achieve.
3. Sheet C 204: Ditch slopes should have a max of 3:1.
4. Sheet C 403: Additional grading may occur in Phase 8 to maximize sanitary sewer discharging to sanitary manhole located at station 293+00.
5. Sheet C 404: Construct erosion protection in the ditch lines at the existing westerly connection with Royal View Drive.
6. Sheet C 503: Pipe SAP-1 and SAP-23 shall be constructed at DNR minimum of 0.4% to accommodate future sanitary sewer constructed in Phase 8.
7. Sheet C 504: A temporary tee-turnaround is suggested at the dead-ends of Whistle Rock Circle for large-vehicles to turn around. The watermain profile should be modified to construct the high point at the hydrant located at station 284+42. An 8" gate valve should be constructed east of the watermain tee to properly isolate water main.
8. Sheet C 505: Sanitary sewer exceeding 15' of cover shall be constructed with SDR 26 pipe and shall be noted on the plans.
9. Sheet C 507: We recommend that the water main offset shown near STA 236+00 be eliminated in favor of a gradual lowering of the water main. The offset near STA 238+00 appears to be unavoidable. An 8" gate valve should be constructed east of the watermain cross to properly isolate water main.
10. Sheet C 508: Main line valves are shown near hydrant tees, which is a good idea. We recommend these be put on the uphill side of each hydrant to allow for better elimination of future air collecting. This note applies to all hydrants on the plan set.
11. Sheet C 509: One side of the water main offset at STA 44+25 should be eliminated, and existing pipe joints be used to aim for the next offset at STA 46+25.

12. Sheet C 510: The cluster mailbox at STA 51+50 is shown in the middle of a future ROW. We suggest the mailbox be moved to be adjacent to the nearby hydrant. This will eliminate the need to potentially relocate the boxes in the future and facilitate easier snow removal for both the hydrant and mailboxes. On a similar note, the path extending down Sunny Vale Drive ROW should connect to the street to allow for snow plows to more easily access the path.
13. Sheet C 703: Add note the water service below the ditch should have a minimum of 5 feet of cover.

STAFF RECOMMENDED CONDITIONS:

Staff recommends any approval be subject to the following conditions:

- A. The Petitioner shall address the Staff Comments set forth in the Staff Report to the satisfaction of the Community Development Director.
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LOCATION MAP:

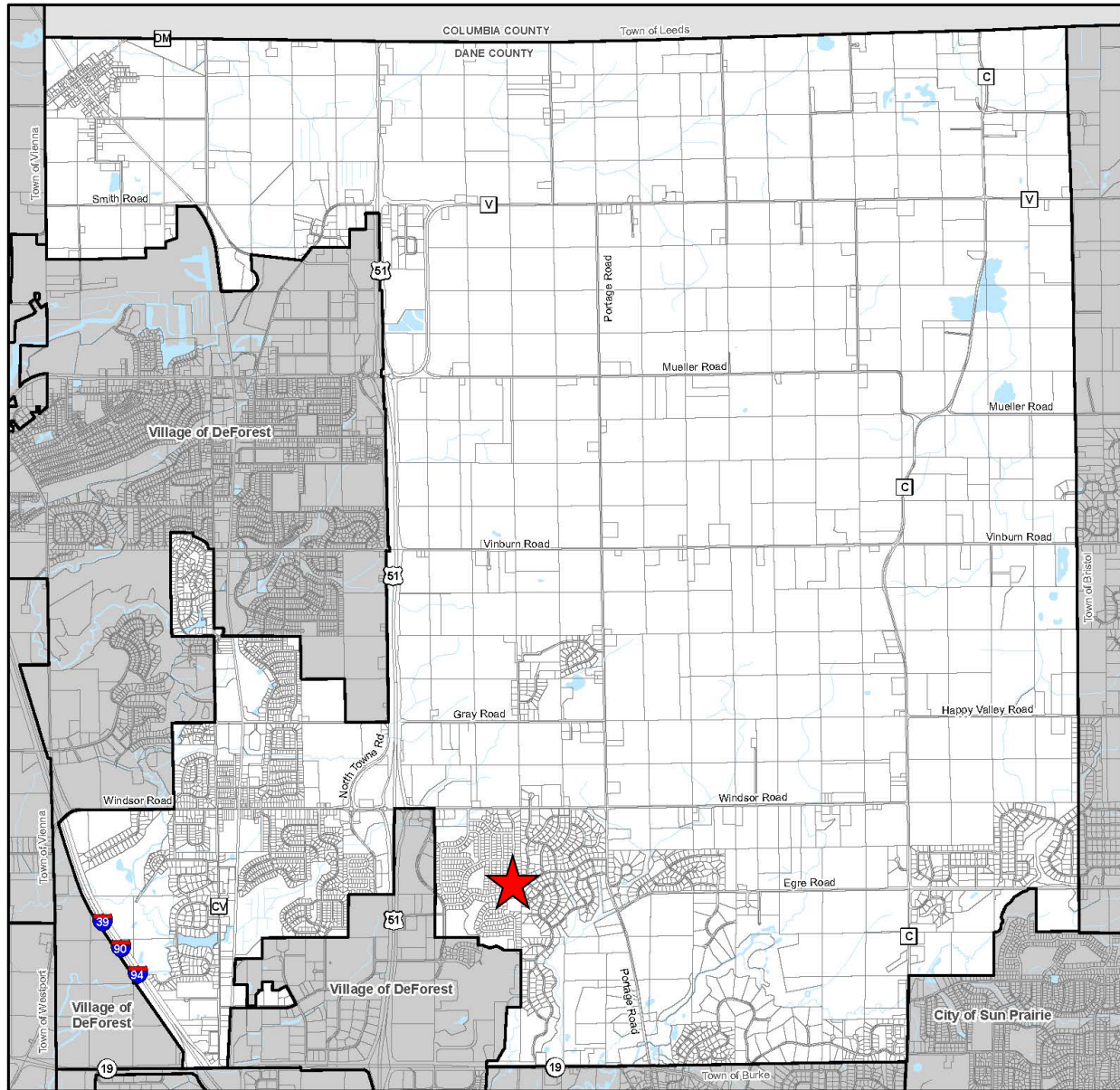


EXHIBIT:

A. Development Review Application



Windsor

Growing Forward

Development Review Application

Acknowledgement of Understanding

The Petitioner, Property Owner, and Agent have reviewed and understand the Village of Windsor Code of Ordinances as it relates to the Development Review Application, Supplemental Information, and Technical Specifications required for the Development Review Request.

The Petitioner, Property Owner, and Agent understand that an Administrative Fee and Escrow Fee will be charged for review of the Development Review Request by the Village staff and professional consultants, and payment must be submitted with the Development Review Request.

Property Information	
Location / Address:	Bear Tree Farms
Taxkey Number:	Lots156-170, 199-216, 219-227, 400-406
Area:	

Petitioner	
Name:	Bear Tree Farms, Inc.
Address:	6658 Royal View Drive
City, State, Zip Code:	DeForest, WI 53532
Phone:	608-846-2800
	Residence / Business / Cell
Email:	dbzig64@gmail.com
Signature:	<i>DBZIG, President</i>

Property Owner	
Name:	Bear Tree Farms, Inc.
Address:	6658 Royal View Drive
City, State, Zip Code:	DeForest, WI 53532
Phone:	608-846-2800
	Residence / Business / Cell
Email:	dbzig64@gmail.com
Signature:	<i>DBZIG, President</i>

Agent	
Name:	Dwight Ziegler
Address:	6658 Royal View Drive
City, State, Zip Code:	DeForest, WI 53532
Phone:	608-846-2800
	Residence / Business / Cell
Email:	dbzig64@gmail.com
Signature:	<i>DBZIG</i>

Development Review Application

Development Review Request

The Petitioner must submit one electronic file (PDF format) of the Development Review Application and Supplemental Application Information to the Director of Planning/Zoning Administrator at amy@windsorwi.gov no less than thirty (30) days prior to the Village of Windsor meeting. The Village Plan Commission typically meets the second Thursday of every month, the Village Board typically meets the first Thursday of every month, both at 5:00 p.m. at the Village Municipal Building, 4084 Mueller Road, DeForest, WI 53532.

Development Review Request	Application		
	Fee	Escrow (Min)	Escrow (Max)
<input type="checkbox"/> Comprehensive Plan Amendment	\$300	\$1,000	N/A
<input type="checkbox"/> Buildings and Building Regulations			
<input type="checkbox"/> Standard Site Plan Review	\$300	\$2,500	N/A
<input type="checkbox"/> Limited Site Plan Review	\$150	N/A	N/A
<input type="checkbox"/> Planning and Development			
<input type="checkbox"/> Concept Plan	\$150	N/A	N/A
<input type="checkbox"/> Preliminary Plat	\$300	\$1,000/lot	\$10,000/lot
<input type="checkbox"/> Final Plat	\$300	\$1,000/lot	\$10,000/lot
<input type="checkbox"/> Replat	\$300	\$1,000/lot	\$10,000/lot
<input type="checkbox"/> Certified Survey Map	\$150	\$1,000/lot	\$5,000/lot
<input type="checkbox"/> Condominium Plat	\$300	\$1,000/lot	\$10,000/lot
<input type="checkbox"/> Zoning Districts			
<input type="checkbox"/> Zoning Map and/or Ordinance Amendment	\$150	\$1,000	N/A
<input type="checkbox"/> Conditional Use Permit	\$150	\$1,000	N/A
<input type="checkbox"/> Planned Unit Development	\$300	\$2,500	N/A
<input type="checkbox"/> Sign	\$100	N/A	N/A
<input type="checkbox"/> Zoning Variance	\$150	\$1,000	N/A
<input type="checkbox"/> Nonmetallic Mining Operations			
<input type="checkbox"/> Processing Facility License	\$250	\$5,000	N/A
<input type="checkbox"/> Mining Registration License	\$250	\$500	N/A
<input type="checkbox"/> Mining Operator's License	\$250	\$5,000	\$10,000
<input type="checkbox"/> Other	\$150	T.B.D.	T.B.D.

Development Review Application

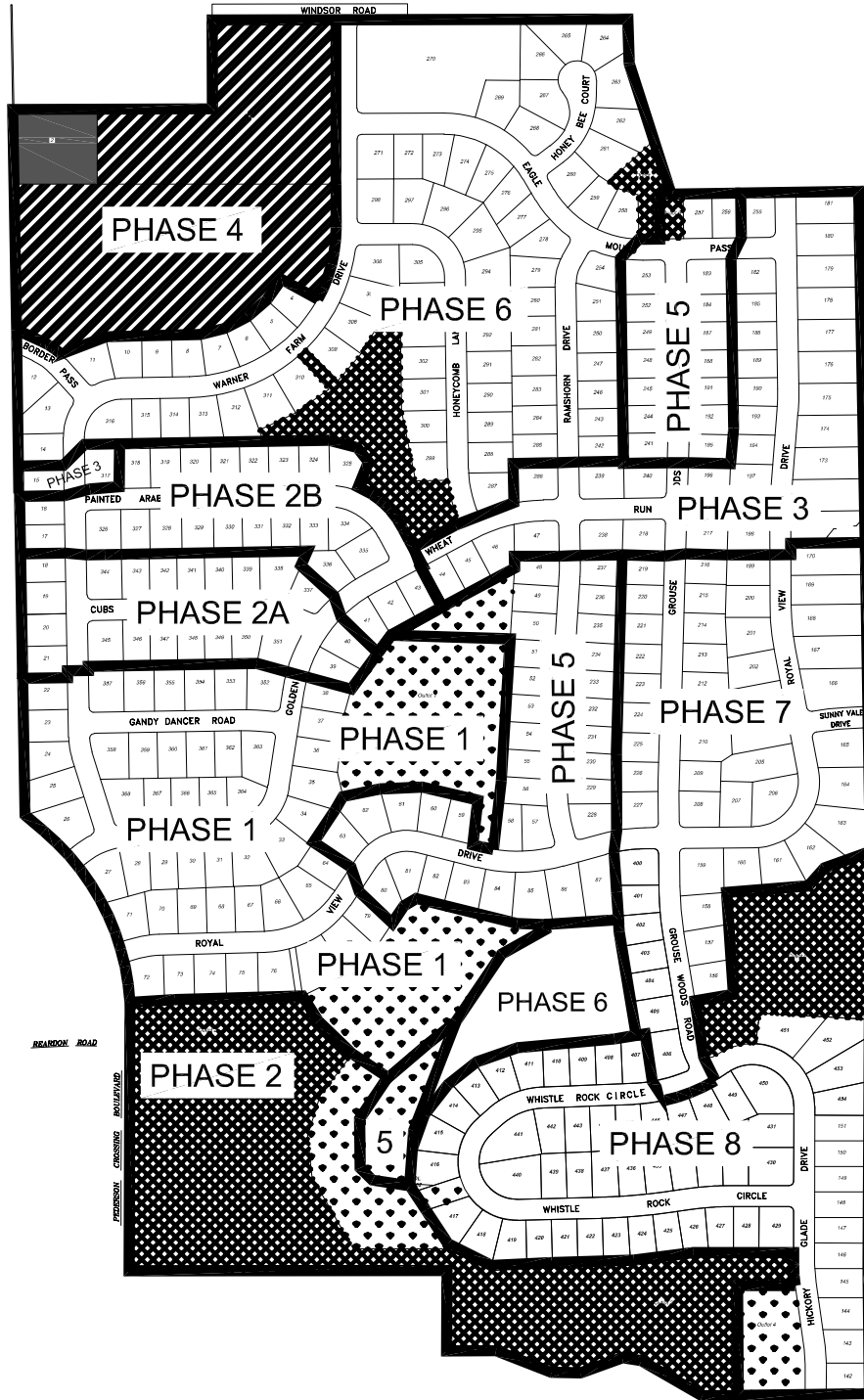
Supplemental Application Information

The Petitioner must submit one electronic file (PDF format) of the Supplemental Application Information per the below stated requirements. All questions regarding the Supplemental Application Information shall be directed to the Director of Planning/Zoning Administrator at amy@windsorwi.gov or (608) 888-0066.

The Windsor Code of Ordinances is located at www.windsorwi.gov/ordinances.

Development Review Request	Supplemental Application Information
<input type="checkbox"/> Comprehensive Plan Amendment	<input type="checkbox"/> Refer to Windsor Comprehensive Plan: 2035 <input type="checkbox"/> Refer to Wis. Stats. 66.1001
<input type="checkbox"/> Buildings and Building Regulations	
<input type="checkbox"/> Standard Site Plan Review	<input type="checkbox"/> Refer to Ch 10, Art IX <input type="checkbox"/> Refer to Ch 52, Sec 52-101(3)
<input type="checkbox"/> Limited Site Plan Review	<input type="checkbox"/> Refer to Ch 10, Art IX <input type="checkbox"/> Refer to Ch 52, Sec 52-101(3)
<input type="checkbox"/> Planning and Development	
<input type="checkbox"/> Concept Plan	<input type="checkbox"/> Refer to Ch 38, Art IV, Div 2, Sec 38-128
<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Refer to Ch 38, Art IV, Div 3
<input type="checkbox"/> Final Plat	<input type="checkbox"/> Refer to Ch 38, Art IV, Div 4
<input type="checkbox"/> Replat	<input type="checkbox"/> Refer to Ch 38, Art IV, Div 5
<input type="checkbox"/> Certified Survey Map	<input type="checkbox"/> Refer to Ch 38, Art IV, Div 6
<input type="checkbox"/> Condominium Plat	<input type="checkbox"/> Refer to Ch 38, Art IV, Div 10
<input type="checkbox"/> Zoning Districts	
<input type="checkbox"/> Zoning Map and/or Ordinance Amendment	<input type="checkbox"/> Refer to Ch 52, Art V, Sec 52-101(4)
<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Refer to Ch 52, Art V, Sec 52-101(5)
<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Refer to Ch 52, Art V, Sec 52-101(6)
<input type="checkbox"/> Sign	<input type="checkbox"/> Refer to Ch 52, Art V, Sec 52-101(7)
<input type="checkbox"/> Zoning Variance	<input type="checkbox"/> Refer to Ch 52, Art V, Sec 52-101(8)
<input type="checkbox"/> Nonmetallic Mining Operations	
<input type="checkbox"/> Processing Facility License	<input type="checkbox"/> Refer to Ch 52, Sec 52-75 & Ch 55, Sec 55-4(2)
<input type="checkbox"/> Mining Registration License	<input type="checkbox"/> Refer to Ch 52, Sec 52-75 & Ch 55, Sec 55-4(3)
<input type="checkbox"/> Mining Operator's License	<input type="checkbox"/> Refer to Ch 52, Sec 52-75 & Ch 55, Sec 55-4(4)

PHASING PLAN



R-2 (SINGLE FAMILY)



MF-3 (MULTI-FAMILY)



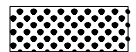
C-1 (LIMITED COMMERCIAL)



RE-1 (RECREATIONAL)



CO-1 (CONSERVANCY)



ESTIMATED TIMELINE

- PHASE 1 2015
- PHASE 2 2018
- PHASE 3 2020
- PHASE 5 2021
- PHASE 6 2022
- PHASE 7 2023
- PHASE 8 2024

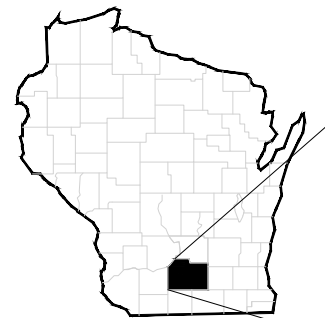
BEAR TREE FARMS PHASING PLAN 11/01/2022



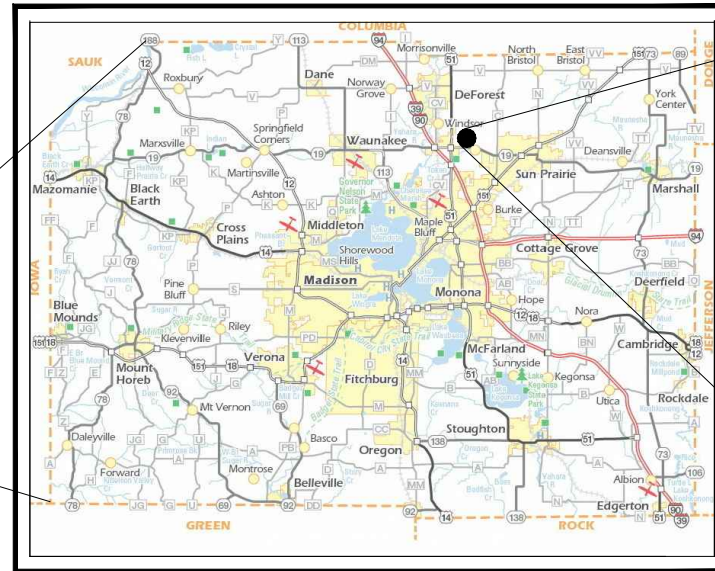
PHASING SUBJECT TO CHANGE
BASED ON MARKET CONDITIONS

BEAR TREE FARMS PHASE 7 CONSTRUCTION PLANS

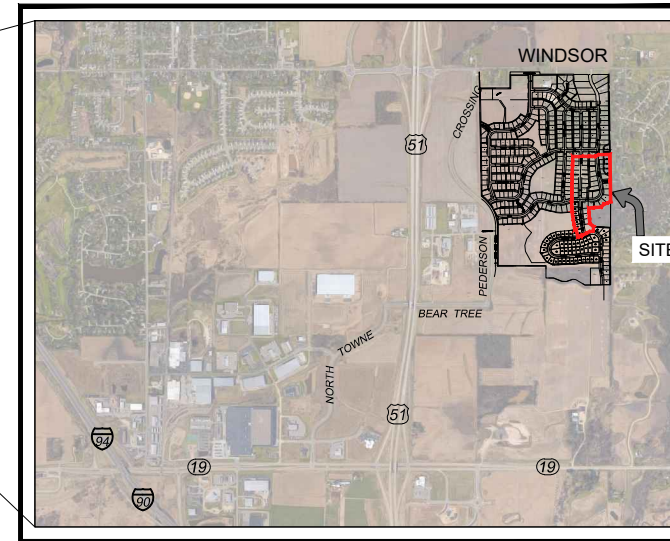
VILLAGE OF WINDSOR
SECTION 28 & 33, TOWNSHIP 9N, RANGE 10E



REGIONAL MAP



DANE COUNTY
DANE COUNTY, WISCONSIN



SITE LOCATION MAP
VILLAGE OF WINDSOR,
DANE COUNTY, WISCONSIN

Sheet List Table

Sheet Number	Sheet Title
C 100	TITLE PAGE
C 200	NOTES
C 201	NOTES
C 203	PHASING PLAN
C 204	TYPICAL SECTIONS
C 205	TYPICAL SECTIONS
C 400	GRADING PLAN - PHASES 7 & 8
C 401	GRADING PLAN - PHASES 7 & 8
C 402	GRADING PLAN - PHASE 7
C 403	GRADING PLAN - PHASE 7
C 404	EROSION CONTROL - PHASE 7
C 405	EROSION CONTROL - PHASE 7
C 500	UTILITY PLAN
C 501	UTILITY TABLES - STORM & SANITARY
C 502	UTILITY TABLES - WATER MAIN
C 503	OUTLOT 3 - PLAN & PROFILE
C 504	WHISTLE ROCK CIRCLE - PLAN & PROFILE
C 505	WHISTLE ROCK CIRCLE - PLAN & PROFILE
C 506	GROUSE WOODS ROAD - PLAN & PROFILE
C 507	GROUSE WOODS ROAD - PLAN & PROFILE
C 508	GROUSE WOODS ROAD - PLAN & PROFILE
C 509	ROYAL VIEW DRIVE - PLAN & PROFILE
C 510	ROYAL VIEW DRIVE - PLAN & PROFILE
C 511	ROYAL VIEW DRIVE - PLAN & PROFILE
C 512	SUNNY VALE DRIVE - PLAN & PROFILE
C 513	STORM CENTRAL - PLAN & PROFILE
C 514	STORM WEST - PLAN & PROFILE
C 515	STORM EAST - PLAN & PROFILE
C 516	STORM EAST - PLAN & PROFILE
C 700	EROSION CONTROL DETAILS
C 701	EROSION CONTROL DETAILS
C 702	UTILITY DETAILS - WATER
C 703	UTILITY DETAILS - SANITARY SEWER
C 704	UTILITY DETAILS - STORM SEWER
C 705	UTILITY DETAILS - STORM SEWER
C 706	MISC. DETAILS

BENCHMARK #1

PK NAIL IN PAVEMENT ±7' FROM THE END OF THE PAVEMENT ON WARNER FARM DRIVE
ELEVATION = 964.14

BENCHMARK #2

PK NAIL IN PAVEMENT ±50' FROM THE END OF THE PAVEMENT ON GOLDEN WHEAT RUN
ELEVATION = 949.12

CAUTION:

CERTAIN UNDERGROUND UTILITIES HAVE BEEN LOCATED ON THE PLANS. THESE LOCATIONS SHALL NOT BE TAKEN AS CONCLUSIVE. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER SHOWN ON THE DRAWING OR NOT, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. FOR EXACT LOCATION CONTACT DIGGERS HOTLINE 1-800-242-8511


 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

BEAR TREE FARMS - PHASE 7

TITLE PAGE

VILLAGE OF WINDSOR, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC.



Project No: 122.1386.30

Sheet C 100

MARK	REVISION	DATE	BY
Engineer: ZLR	Checked By: MLC	Scale: 1" = ##'	
Technician: GCB	Date: 11-07-2022	T-R-S: TTN-RRW-SS	
Project No: 122.1386.30			Sheet C 100

U:\proweb\10221122\1386\30\CD\1221386_Plan_400_Zach_Role_TITL PAGE_20221107_09:45AM_4.NBI.PLT, B LEED B (17.29 X 11.00 INCHES)

CONSTRUCTION SEQUENCE

- 1. INSTALL AND MAINTAIN THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT'S AS DESCRIBED IN THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL.
2. INSTALL EROSION AND SEDIMENT CONTROL BARRIERS (SILT FENCE) IMMEDIATELY DOWNSLOPE OF AREAS TO BE DISTURBED DURING CONSTRUCTION AS SHOWN ON THE APPROVED GRADING PLAN.
3. SEDIMENT BASIN SHALL BE CONSTRUCTED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES AND SHALL BE RESTORED AT THE TIME OF SITE STABILIZATION.
4. STRIP TOPSOIL FROM THE AREAS OF THE SITE THAT WILL BE GRADED WITHIN 48 HOURS. ANY AREAS THAT WILL NOT BE IMMEDIATELY GRADED MUST NOT BE STRIPPED OF TOPSOIL UNTIL THE PRECEDING AREAS ARE TOPSOILED.
5. GRADING WILL BE PHASED TO THE EXTENT PRACTICABLE TO LIMIT THE AMOUNT OF THE EXPOSED SOIL AT ANY ONE TIME AND TO PROVIDE A BUFFER BETWEEN THE GRADED AREAS AND THE RECEIVING WATERS.
6. TOPSOIL, SEED AND MULCH ALL AREAS WHICH ARE AT FINAL GRADE AND WHICH WILL NOT BE DISTURBED DURING SUBSEQUENT PHASES OF CONSTRUCTION.
7. INSTALL SANITARY SEWER, WATER MAIN, & STORM SEWER.
8. COMPLETE FINAL GRADING FOR ROADWAY AND STABILIZE WITH GRAVEL.
9. COMPLETE FINAL GRADE OF THE SITE.
10. UTILITY TRENCHES SHALL BE FILLED WITH SUITABLE BACKFILL MATERIAL AND COMPACTED AS NEEDED.
11. WITHIN 7 DAYS OF THE COMPLETION OF FINAL GRADING, A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE REPLACED ON ALL DISTURBED SURFACES THAT ARE TO BE REVEGETATED.
12. FERTILIZE ALL AREAS TO BE SEEDED OR SODDED WITH 500LBS. PER ACRE OF 16-8-8 (MINIMUM).

THE OWNER RESERVES THE RIGHT TO REVISE THE SEEDING MIXTURE SUBJECT TO APPROVAL BY THE VILLAGE OF WINDSOR.

SOD MAY BE SUBSTITUTED FOR SEEDING ON ALL AREAS TO BE SEEDED AND IS RECOMMENDED FOR ALL AREAS WITH SLOPES OF 5:1 OR STEEPER.

MULCH ALL SEEDED AREAS WITH 1.5 TONS PER ACRE OF CLEAN STRAW. STRAW SHALL BE ANCHORED IN PLACE WITH SUITABLE EQUIPMENT OR STAKING WITH TWINE.

FOR AREAS ON WHICH GRADING IS COMPLETED AFTER SEPTEMBER 30. TEMPORARY SEED SHALL INCLUDE A SOIL STABILIZING POLYMER AND COVER CROP OF WINTER RYE (AT A RATE OF 75#/ACRE) AND MUST BE APPLIED AS SOON AS THESE AREAS REACH THEIR FINAL GRADE.

13. WHENEVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION. TO PREVENT ROOT DAMAGE, DO NOT GRADE, PLACE SOIL PILES, OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION.

14. SILT FENCE MAINTENANCE: EROSION CONTROL BARRIERS (SILT FENCE) MUST BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OF 0.5-INCHES OR MORE, AND DAILY DURING PERIODS OF PROLONGED RAINFALL.

15. GRAVEL TRACKING PAD MAINTENANCE: ADDITIONAL STONE IS REQUIRED IF EXISTING STONE BECOMES BURIED OR IF SEDIMENT IS NOT BEING REMOVED EFFECTIVELY FROM TIRES. SEDIMENT THAT IS TRACKED ONTO THE ROADWAY MUST BE REMOVED IMMEDIATELY.

AGENCIES

- EMERGENCY FIRE, RESCUE, AMBULANCE, POLICE DIAL 911
DEFOREST FIRE DEPARTMENT
DEFOREST, WI 53532
608-846-4364 NON-EMERGENCY
DEFOREST POLICE DEPARTMENT
306 DEFOREST ST.
DEFOREST, WI 53532
608-846-6755 NON-EMERGENCY
UNITED STATES POST OFFICE
619 S. MAIN STREET
DEFOREST, WI 53532
608-846-5910

UTILITIES

- WINDSOR UTILITIES (WATER AND SANITARY SEWER)
6716 PARK ST.
WINDSOR, WI 53598
ATTN: JON CLAAS - (608) 888-0011
VILLAGE OF WINDSOR - PUBLIC WORKS
4084 MUELLER ROAD
DEFOREST, WI 53532
ATTN: DAVIS CLARK, DPW - (608) 235-1196
CENTURY TELEPHONE
201 STARK ST.
RANDOLPH, WI 53956
ATTN: MARK MURN
(608) 842-1705 / (608) 963-8594
ALLIANT ENERGY (ELECTRIC)
6462 BLANCHAR'S CROSSING
WINDSOR, WI 53598
ATTN: BRAND SMITH
(608) 842-1705
(608) 575-3616 CELL
CHARTER COMMUNICATIONS (CABLE)
2701 DANIELS ST
MADISON, WI 53718
ATTN: KIRK UPPERMAN
DESK: (608) 274-3822 EXT 6741
CELL: (608) 209-3206
MG&E (GAS)
133 S. BLAIR ST.
MADISON, WI 53703
ATTN: JOHN WICHERN
(608) 252-7224

EROSION CONTROL NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS, INCLUDING WISDNR WPDES DISCHARGE PERMIT (IF APPLICABLE), COUNTY AND LOCAL EROSION CONTROL PERMIT.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.
3. ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD.
4. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH ALL APPLICABLE PERMITS ISSUED FOR THE PROJECT.
5. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD.
6. TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED IN 7 DAYS.
7. TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WISDOT STANDARD SPECIFICATIONS
8. DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM)
9. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT, MEASURED BELOW THE NORMAL WATER ELEVATION.
10. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE.
11. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION.
12. TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE LOCAL MUNICIPALITY.
13. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1068.
14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL EROSION CONTROL FACILITIES AND MEASURES NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT THE PROJECT SITE.
15. ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY THE CONTRACTOR.
16. AFTER FINAL VEGETATION IS ESTABLISHED, REMOVE ALL EROSION CONTROL FACILITIES.
17. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
18. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION.
19. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS)
20. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES USE CLASS I, TYPE B EROSION CONTROL MATTING.
21. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II, TYPE B EROSION CONTROL MATTING.
22. ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE COVERED WITH A BIO-DEGRADABLE EROSION MAT INCLUDING BIO-DEGRADABLE STAPLES.
23. ALL BIO-DEGRADABLE EROSION MAT SHALL BE CURLEX NET FREE OR APPROVED EQUAL.
24. WATERING OF NEW SEEDING SHALL BE OF A DURATION AND FREQUENCY ADEQUATE TO ENSURE PROPER ESTABLISHMENT OF NEW SEEDING.
25. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

GRADING

- 1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LA TEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
3. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY.
4. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING, CUT AND FILL CALCULATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL.
5. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE.
6. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE ENGINEER BEFORE ANY MATERIAL IS PLACED.
7. ALL SPOT GRADES SHOWN ON PLAN ARE EDGE OF PAVEMENT OR FINISHED GROUND UNLESS OTHERWISE NOTED.

GENERAL CONDITIONS

- 1. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY TWO WORKING DAYS (48 HOURS) PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC. FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE FIELD CONDITIONS WITH DRAWINGS.
7. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK.
8. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION.
9. CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
10. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
11. ACCESS TO THE CONSTRUCTION SITE SHALL BE LIMITED TO THE STONE ENTRANCE PADS SHOWN ON THE PLANS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION.
13. CONTRACTOR IS RESPONSIBLE FOR FACILITATING ESSENTIAL SERVICES SUCH AS EMERGENCY ACCESS, GARBAGE, MAIL, ETC. TEMPORARY PROVISIONS SHALL BE PROVIDED AS NECESSARY.
14. CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED.
15. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SANITARY SEWER, WATER MAIN AND STORM SEWER PRIOR TO CONSTRUCTION.

PAVING

- 1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
2. PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS, INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP.
3. AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE (1.25-INCH) DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS.
4. THE CONSTRUCTED BASE COURSE SHALL PASS A PROOF ROLL PRIOR TO PLACEMENT OF ASPHALT PAVING.
5. GEO-TEXTILE FABRIC SHALL BE PLACED FOLLOWING A PROOF ROLL IF CONDITIONS WARRANT AS DETERMINED BY THE PUBLIC SERVICE DIRECTOR.
6. HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE LT 58-28 S IN ACCORDANCE WITH SECTION 460 OF THE STANDARD SPECIFICATIONS.
7. ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE STANDARD SPECIFICATIONS.
8. AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS.
9. TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS.
10. CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS.
11. CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS:
12. ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS.
13. PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS.
14. CONTRACTOR SHALL PROVIDE ASPHALTIC RAMP TRANSITION WEDGING AT RIBBON CURB AND OTHER OBSTRUCTIONS IN ROADWAY IF ROADWAY WILL BE SNOW PLOWED BY VILLAGE OF WINDSOR BEFORE FINAL LIFT OF ASPHALT CAN BE INSTALLED.

STREET SIGNS

- 1. ALL STREET SIGNS MUST MEET ALL MUTCD STANDARDS.
2. ALL STREET SIGNS SHALL MEET THE MINIMUM RETRO REFLECTIVITY GUIDELINES ACCORDING TO THE MUTCD.
3. STREET SIGN POSTS SHALL BE 2" SQUARE GALVANIZED METAL WITH BREAK-AWAY (V-LOCK BREAKAWAYS ACCEPTABLE).
4. STREET NAME SIGNS SHALL BE WHITE LETTERING ON GREEN BACKGROUND.
5. ALL SIGNS SHALL BE APPROVED BY THE DIRECTOR OF PUBLIC SERVICES.

Table with 4 columns: MARK, REVISION, Checked By, Date. Row 1: MARK, REVISION, MLC, 11-07-2022. Row 2: Engineer: ZLR, Technician: GCB

BEAR TREE FARMS - PHASE 7
VILLAGE OF WINDSOR, DANE COUNTY, WI
NOTES
5010 VOGES ROAD
MADISON, WISCONSIN 53718
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SNYDER & ASSOCIATES, INC.
Sheet C 200

Project No: 122.1386.30
Sheet C 200
SNYDER & ASSOCIATES

V:\2024\10\22\122.1386.30\CADD\122.1386.PLAN.dwg ZACH BOLE NOTES: 20241007 10:45 AM AINSIE BILL BLUED 17.20 X 11.00 INCHES

Project No.:	122.1386.30
Sheet:	C 203
Scale:	1" = 100'
Checked By:	M.L.C.
Engineer:	Z.L.R.
Technician:	G.C.B.
Date:	11-07-2022
T-R-S:	TIN+RRW
SS-WM-SS	
MARK	
REVISION	
DATE	
AB	

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608.838-0444 | www.snyder-associates.com

VILLAGE OF WINDSOR, DANE COUNTY, WI

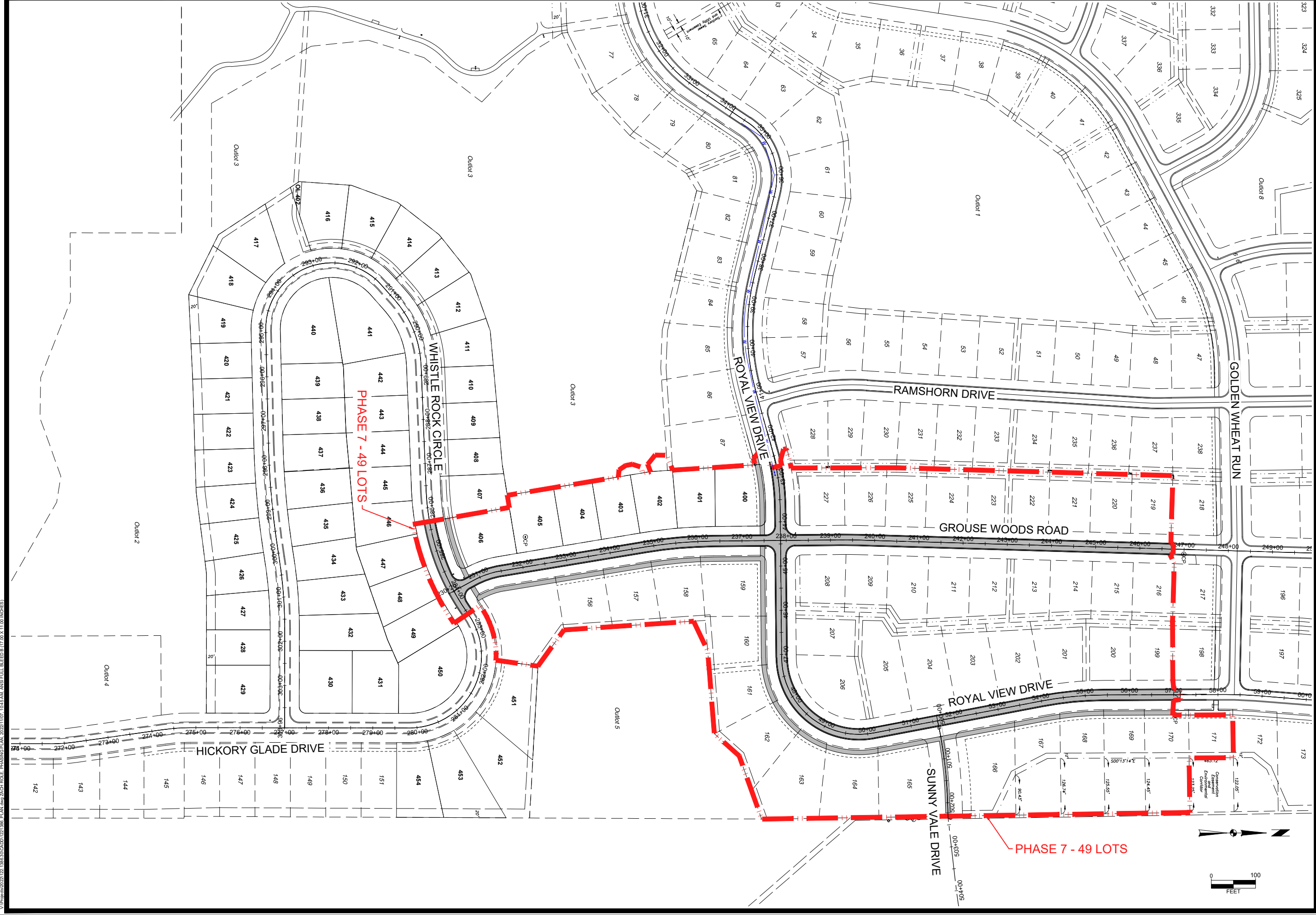
BEAR TREE FARMS - PHASE 7

PHASING PLAN

SNYDER & ASSOCIATES, INC.

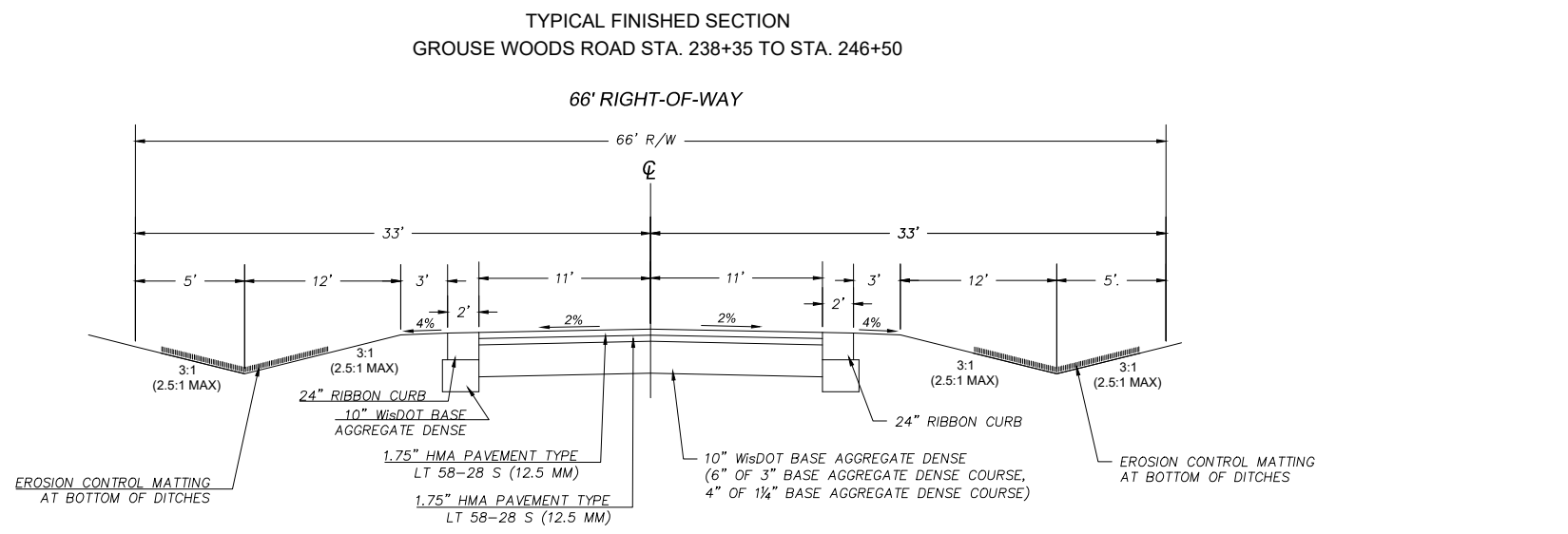
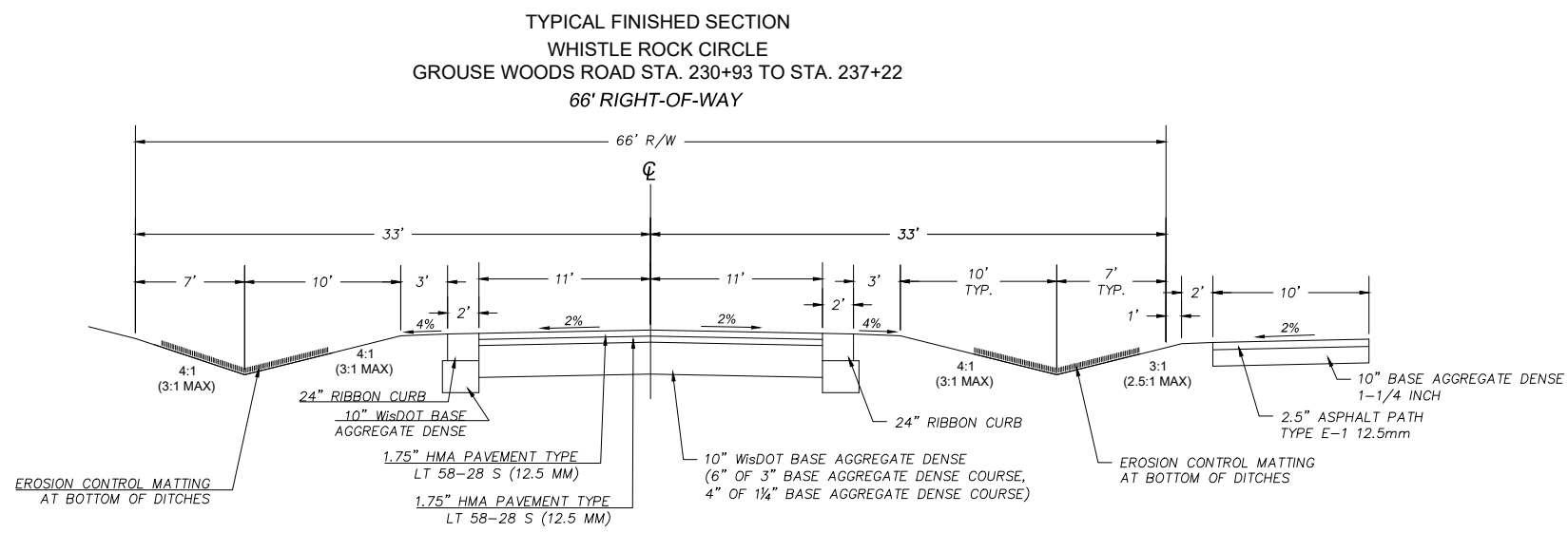
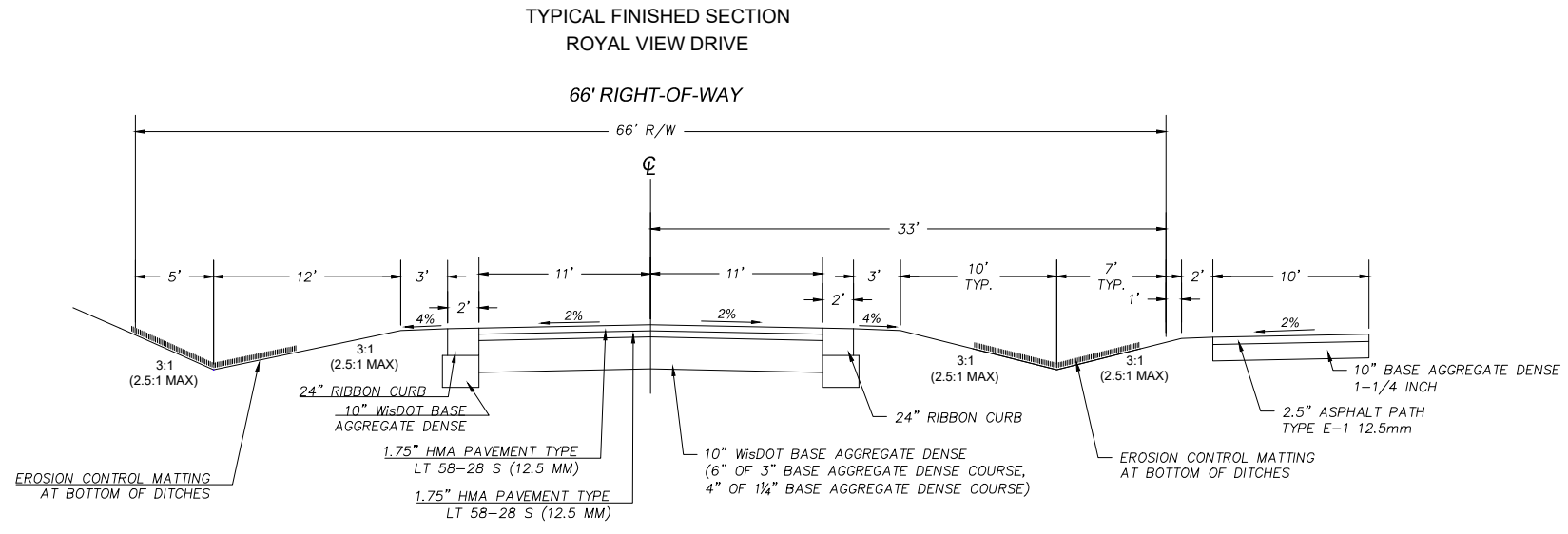


Project No: 122.1386.30
Sheet C 203



DATE PLOTTED: 11/07/2022 10:54 AM PANSI FULL BLEED B 17.00 X 11.00 INCHES


P:\proweb\10221022\122.1386.00\000122.1386.PLAN.dwg ZACH ROE, TYPICAL SECTIONS 20221107, 04:45 AM, ANSI FULL BLEED B (17.00 x 11.00 INCHES)



MARK	REVISION	DATE	BY
Engineer: ZLR	Checked By: MLC	Scale: 1" = ##'	
Technician: GCB	Date: 11-07-2022	T-R-S: TTN+RRW-SS	
Project No.: 122.1386.30			Sheet C 204

BEAR TREE FARMS - PHASE 7
 TYPICAL SECTIONS
 VILLAGE OF WINDSOR, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.

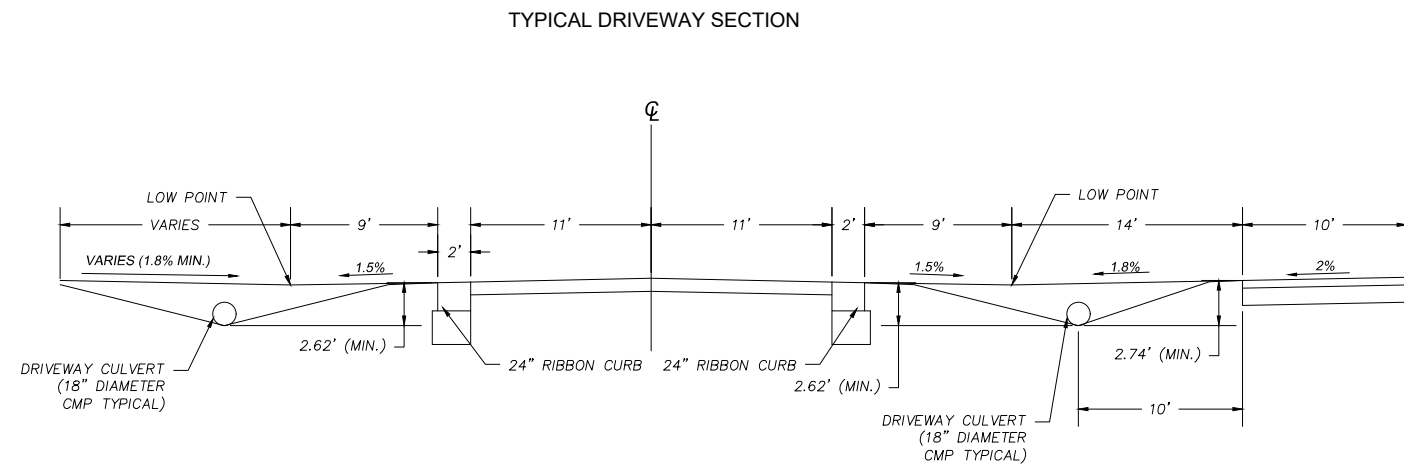
5010 VOGES ROAD
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 608-835-0444 | www.snyder-associates.com



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Project No: 122.1386.30
 Sheet C 204

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BEAR TREE FARMS - PHASE 7

TYPICAL SECTIONS

VILLAGE OF WINDSOR, DANE COUNTY, WI

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Project No: 122.1386.30

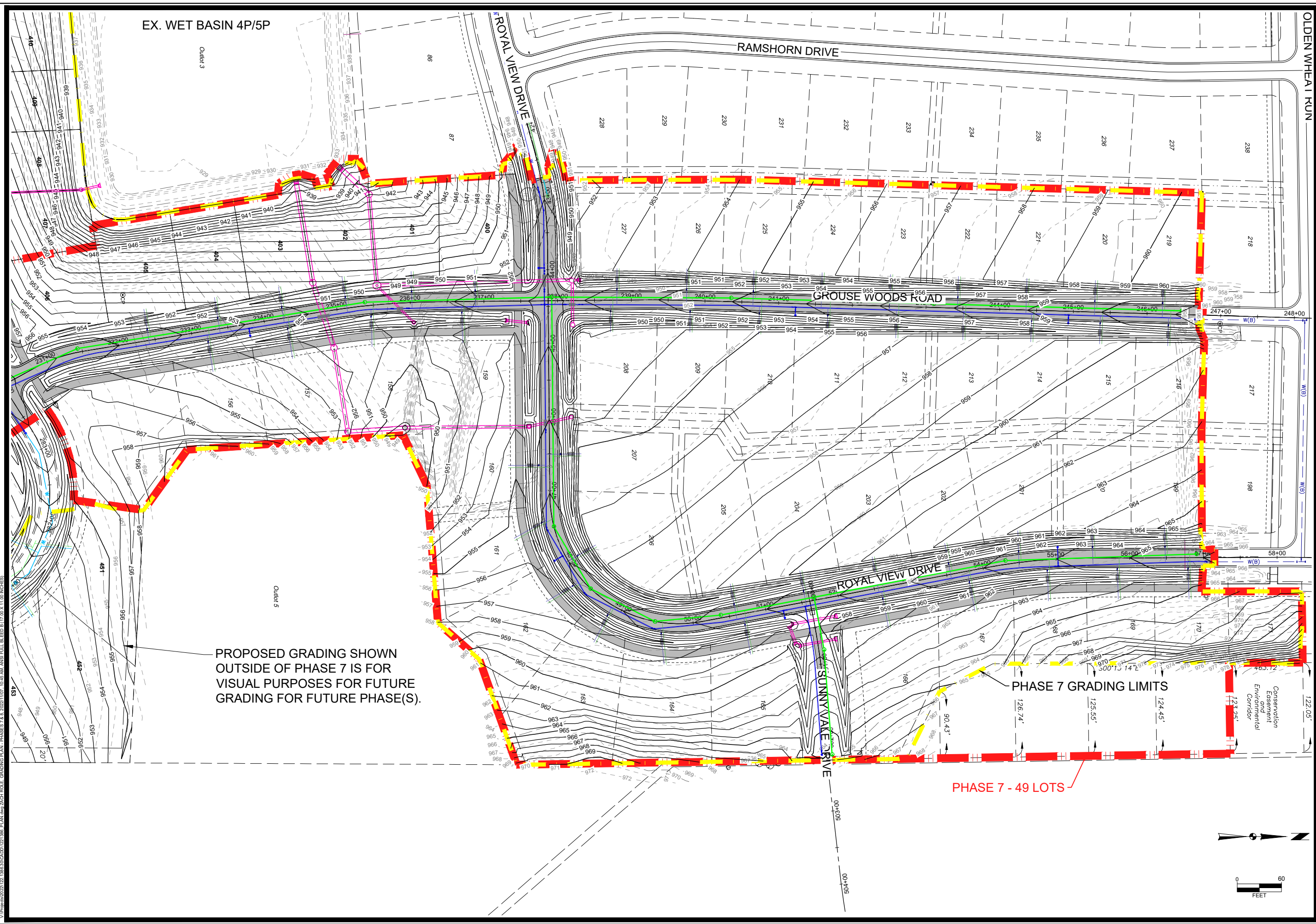
Sheet C 205

MARK	REVISION	DATE	BY

Engineer: ZLR Checked By: MLC Scale: 1" = ##'
Technician: GCB Date: 11-07-2022 T-R-S: TTN+RRW-SS

Project No: 122.1386.30

Sheet C 205



PROPOSED GRADING SHOWN OUTSIDE OF PHASE 7 IS FOR VISUAL PURPOSES FOR FUTURE GRADING FOR FUTURE PHASE(S).

MARK	REVISION	Checked By:	MLC	Scale:	1" = 60'
BY	DATE	Engineer:	ZLR	Date:	11-07-2022
Technician:			GCB	T-R-S:	TIN+RRW-SS
Project No.:					122.1386.30
Sheet:					C 400

BEAR TREE FARMS - PHASE 7
GRADING PLAN - PHASES 7 & 8

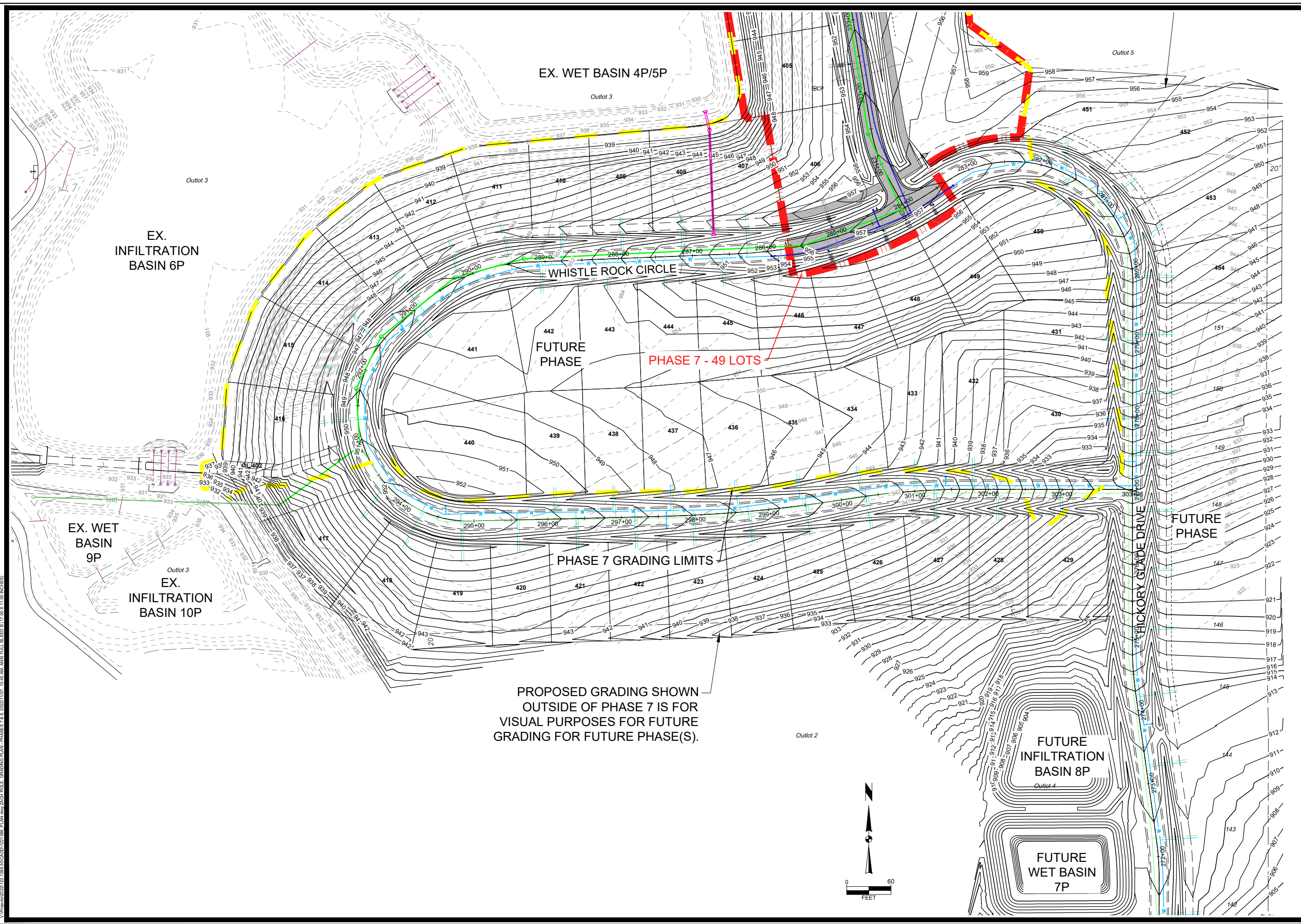
VILLAGE OF WINDSOR, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC.

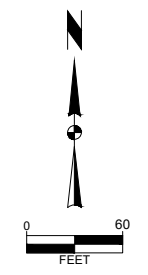
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Project No: 122.1386.30
 Sheet C 400



PROPOSED GRADING SHOWN
OUTSIDE OF PHASE 7 IS FOR
VISUAL PURPOSES FOR FUTURE
GRADING FOR FUTURE PHASE(S).

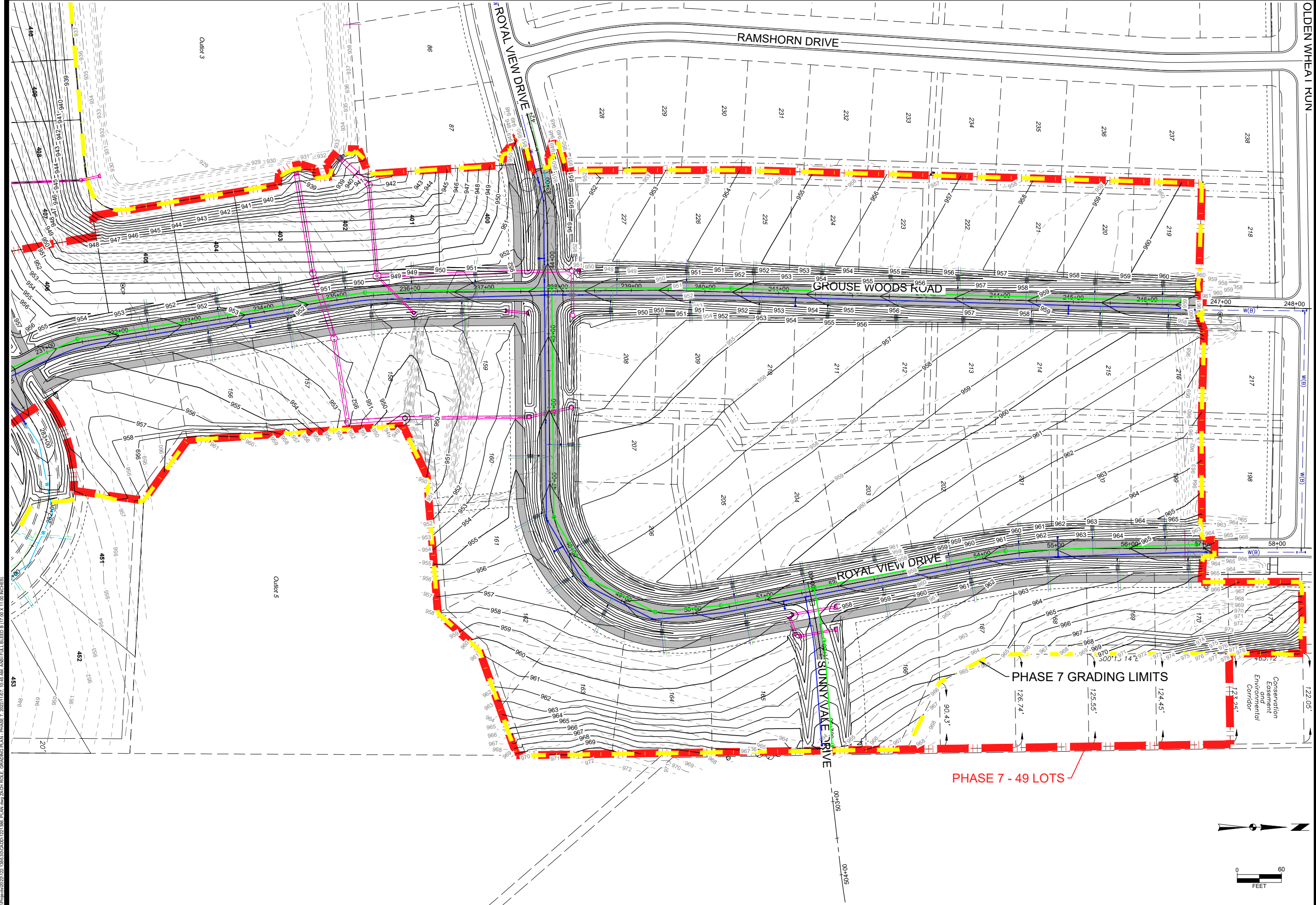


MARK	REVISION	DATE	BY
Engineer: ZLR	Checked By: MLC	Scale: 1" = 60'	
Technician: GCB	Date: 11-07-2022	T-R-S: TTN+RRW-SS	
Project No: 122.1386.30			Sheet C 401

BEAR TREE FARMS - PHASE 7
GRADING PLAN - PHASES 7 & 8
SNYDER & ASSOCIATES, INC.
 VILLAGE OF WINDSOR, DANE COUNTY, WI
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 MADISON, WISCONSIN 53718
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SNYDER & ASSOCIATES
 Project No: 122.1386.30
 Sheet C 401

V:\p\2022\122.1386.30\CD\122.1386.30\PLAN_401_ZACH_ROLE_GROUNDING PLAN PHASES 7 & 8.dwg, 11/07/2022 11:07:10 AM, ANSI BULK BLEED B17.00 X 11.00 (INCHES)



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MARK	REVISION	Checked By:	MLC	Scale:	1" = 60'
BY	DATE	Engineer:	ZLR	Date:	11-07-2022
		Technician:	GCB	T-R-S:	TIN+RRW-SS
					Project No. 122.1386.30
					Sheet C 402

BEAR TREE FARMS - PHASE 7
GRADING PLAN - PHASE 7

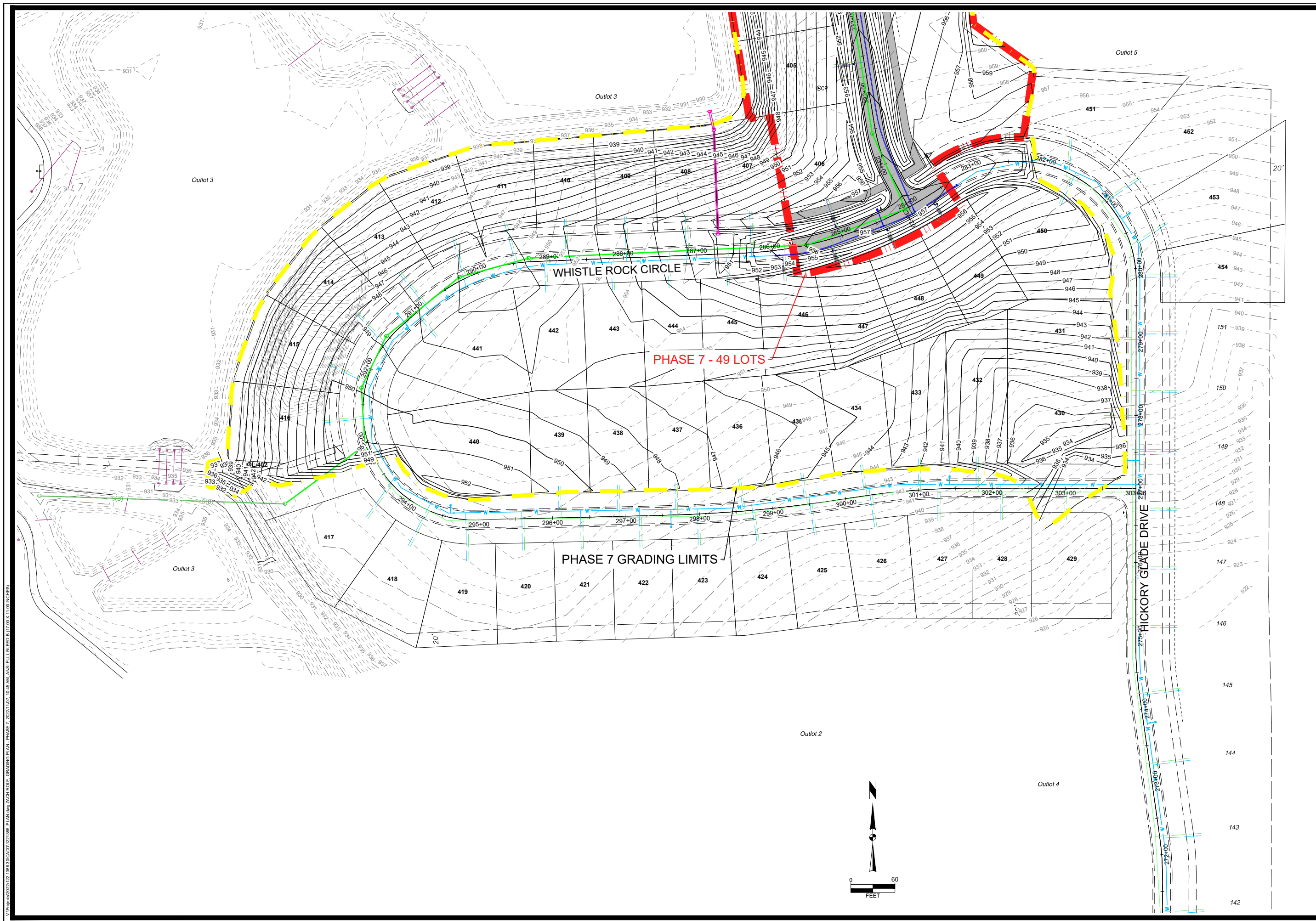
VILLAGE OF WINDSOR, DANE COUNTY, WI

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Project No. 122.1386.30
Sheet C 402

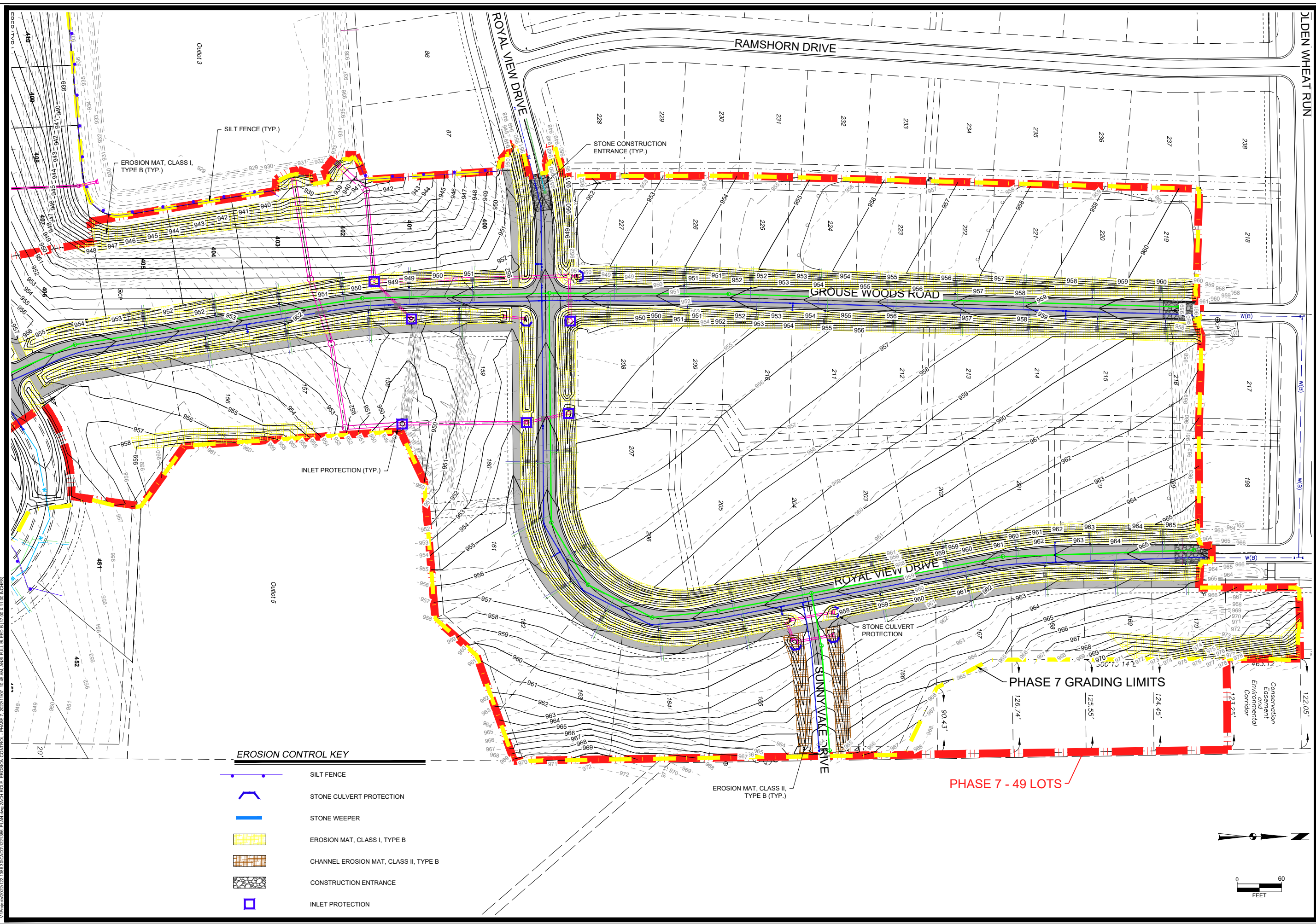


P:\Projects\122.1386\122.1386\122.1386\122.1386\PLAN.dwg ZACH ROE GRADING PLAN PHASE 7 2022.11.07 9:45 AM ANSI (L) BLEED B (17.0 X 11.0) INCHES








	
SNYDER & ASSOCIATES	
VILLAGE OF WINDSOR, DANE COUNTY, WI GRADING PLAN - PHASE 7	
BEAR TREE FARMS - PHASE 7	
SNYDER & ASSOCIATES, INC. 5010 VOGES ROAD MADISON, WISCONSIN 53718 608-838-0444 www.snyder-associates.com	
Project No: 122.1386.30 Sheet C 403	

MARK	REVISION	DATE	BY

Engineer: ZLR	Checked By: MLC	Scale: 1" = 60'
Technician: GCB	Date: 11-07-2022	T-R-S: TTN+RRW-SS
Project No: 122.1386.30		
Sheet C 403		



EROSION CONTROL KEY

-  SILT FENCE
-  STONE CULVERT PROTECTION
-  STONE WEEPER
-  EROSION MAT, CLASS I, TYPE B
-  CHANNEL EROSION MAT, CLASS II, TYPE B
-  CONSTRUCTION ENTRANCE
-  INLET PROTECTION

MARK	REVISION	Checked By:	MLC	Scale:	1" = 60'
BY	DATE	Engineer:	ZLR	Date:	11-07-2022
Technician:			GCB	T-R-S:	TIN-RRW-SS
Project No.:					122.1386.30
Sheet:					C 404


BEAR TREE FARMS - PHASE 7

EROSION CONTROL - PHASE 7

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VILLAGE OF WINDSOR, DANE COUNTY, WI

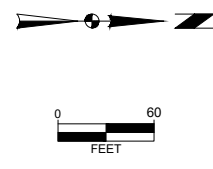
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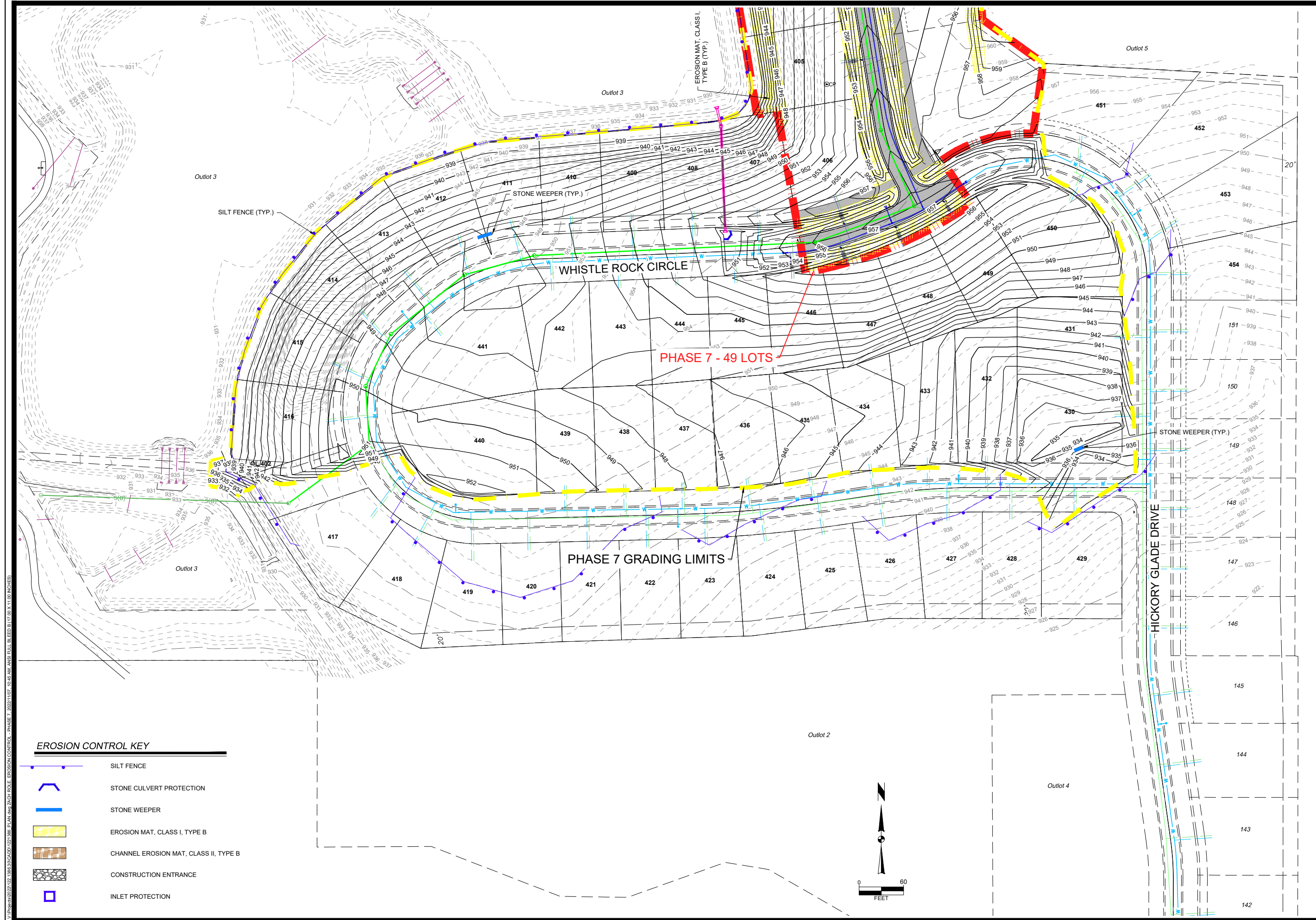
SNYDER & ASSOCIATES

Project No: 122.1386.30








Sheet C 404

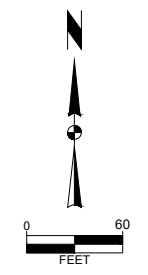


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 PLOT SCALE: 1" = 60'
 PLOT SHEET: 122.1386.30



EROSION CONTROL KEY

-  SILT FENCE
-  STONE CULVERT PROTECTION
-  STONE WEEPER
-  EROSION MAT, CLASS I, TYPE B
-  CHANNEL EROSION MAT, CLASS II, TYPE B
-  CONSTRUCTION ENTRANCE
-  INLET PROTECTION



MARK	REVISION	DATE	BY


BEAR TREE FARMS - PHASE 7

EROSION CONTROL - PHASE 7

VILLAGE OF WINDSOR, DANE COUNTY, WI

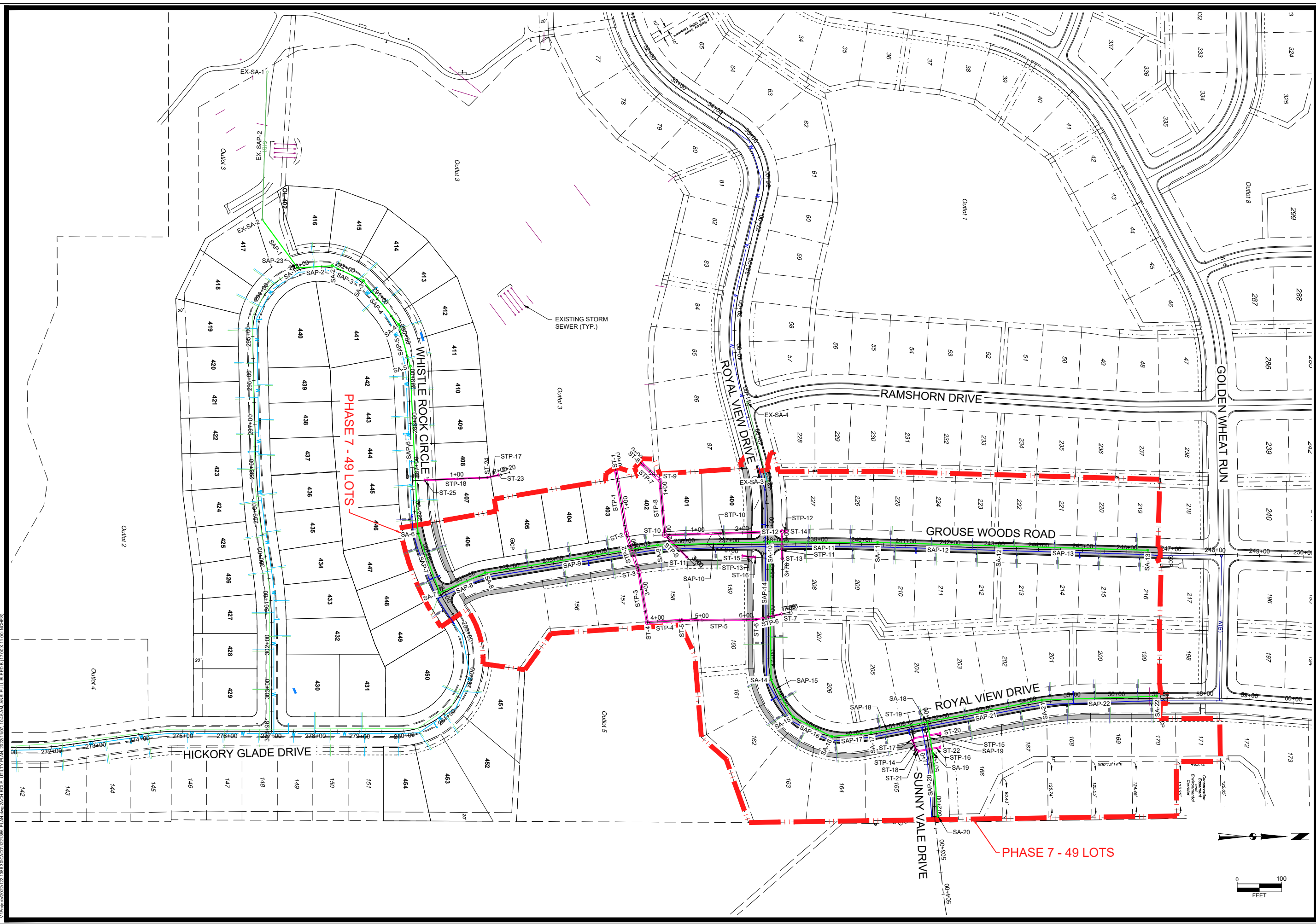
SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com



Project No: 122.1386.30
Sheet C 405

Checked By: MLC
Engineer: ZLR
Technician: GCB
Date: 11-07-2022
T-R-S: TTN+RRW-SS
Scale: 1" = 60'
Project No: 122.1386.30
Sheet C 405



11/11/2022 10:11:31 AM ANS FULL BLEED (11.00 X 17.00 INCHES)

Project No.:	122.1386.30
Sheet:	C 500
Scale:	1" = 100'
Date:	11-07-2022
Checked By:	M.L.C.
Engineer:	Z.L.R.
Technician:	G.C.B.
T-R-S:	TIN+RRW+SS

BEAR TREE FARMS - PHASE 7
 UTILITY PLAN

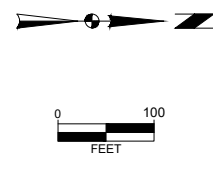
SNYDER & ASSOCIATES, INC.
 VILLAGE OF WINDSOR, DANE COUNTY, WI

1010 VOEGES ROAD
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SNYDER & ASSOCIATES

Project No: 122.1386.30

Sheet C 500



OSWEGO
 Environmental
 Engineering
 Services

\\snyder\00221107\1221107\10-24-24\ANSI BULL B LEED B.17.00.X.1.00 (INCHES)

WHISTLE ROCK CIRCLE WATER MAIN PIPE TABLE

GROUSE WOODS ROAD WATER MAIN PIPE TABLE

GROUSE WOODS ROAD WATER MAIN PIPE TABLE

ROYAL VIEW DRIVE & SUNNY VALE DRIVE WATER MAIN PIPE TABLE

ROYAL VIEW DRIVE & SUNNY VALE DRIVE WATER MAIN PIPE TABLE

WATER MAIN FITTING TABLE

WATER MAIN FITTING TABLE

WATER MAIN FITTING TABLE

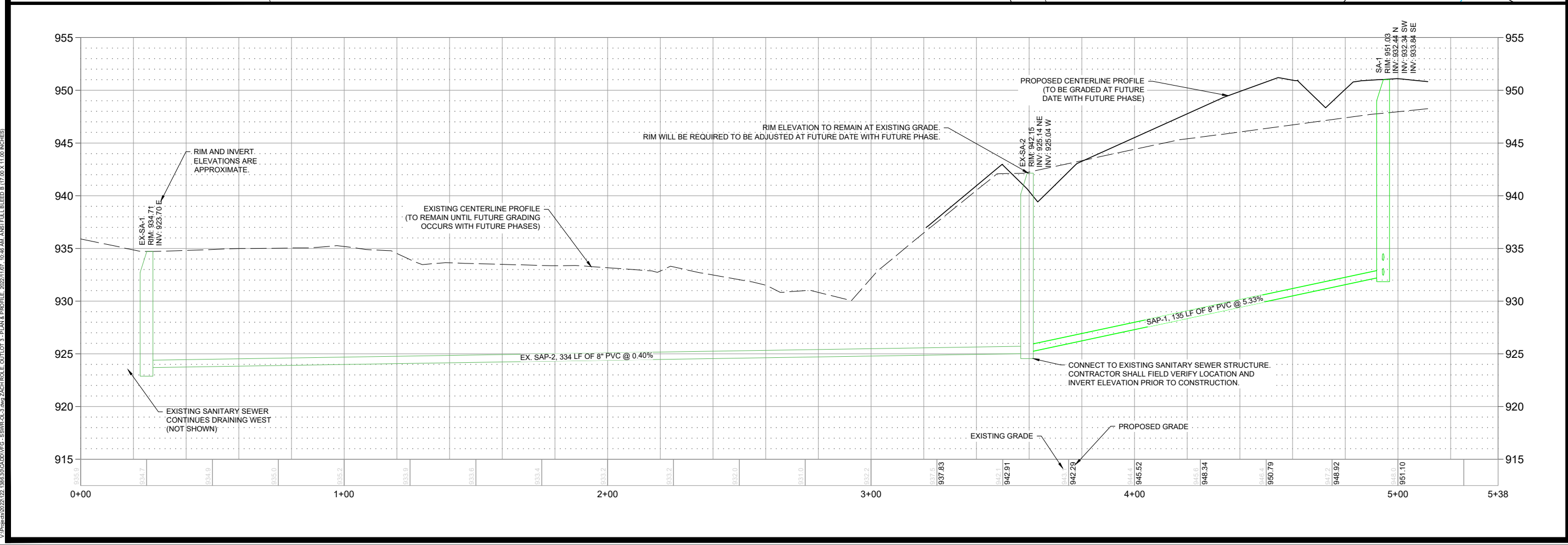
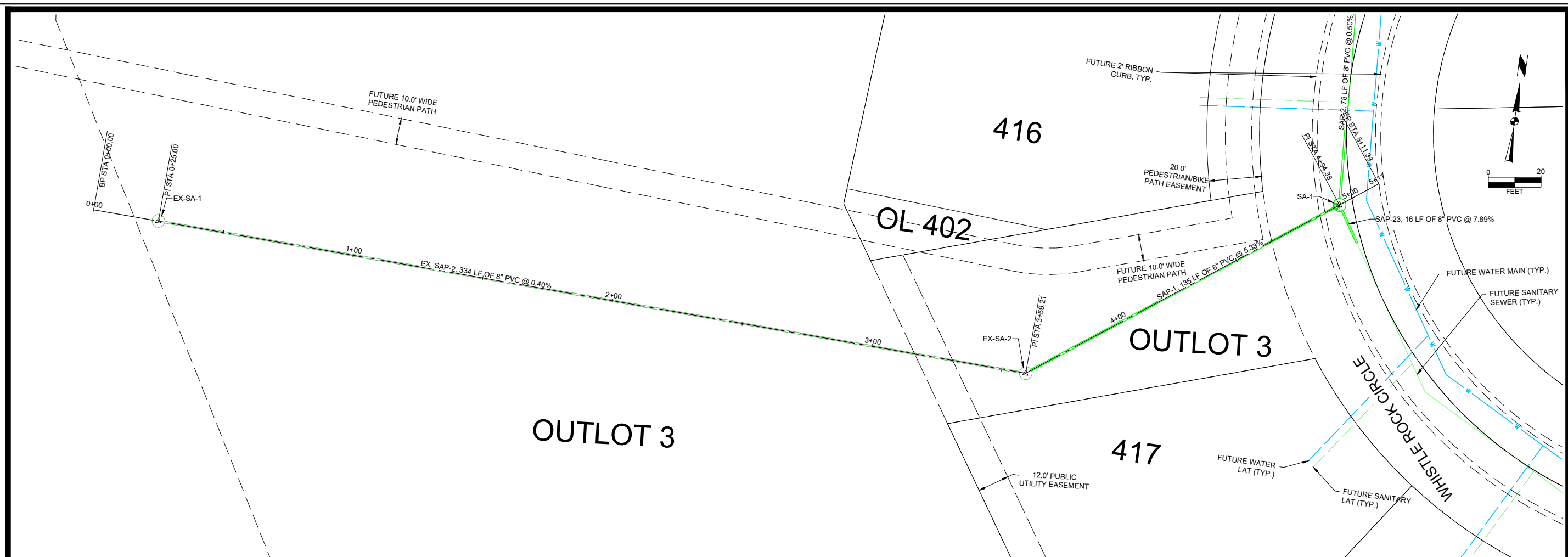
WATER MAIN APPURTENANCE TABLE

WATER MAIN APPURTENANCE TABLE

WATER MAIN APPURTENANCE TABLE

NOTES: 1. SEE PLAN & PROFILE SHEETS FOR ADDITIONAL SANITARY AND STORM INFORMATION. 2. QUANTITIES IN TABLE SHALL BE CONFIRMED WITH QUANTITIES SHOWN IN PLAN AND PROFILE SHEETS.

Project No: 122.1386.30 | SHEET C 502 | SNYDER & ASSOCIATES, INC. | VILLAGE OF WINDSOR, DANE COUNTY, WI | 5010 VOGES ROAD MADISON, WISCONSIN 53718 608-835-0444 | www.snyder-associates.com



MARK	REVISION	DATE	BY

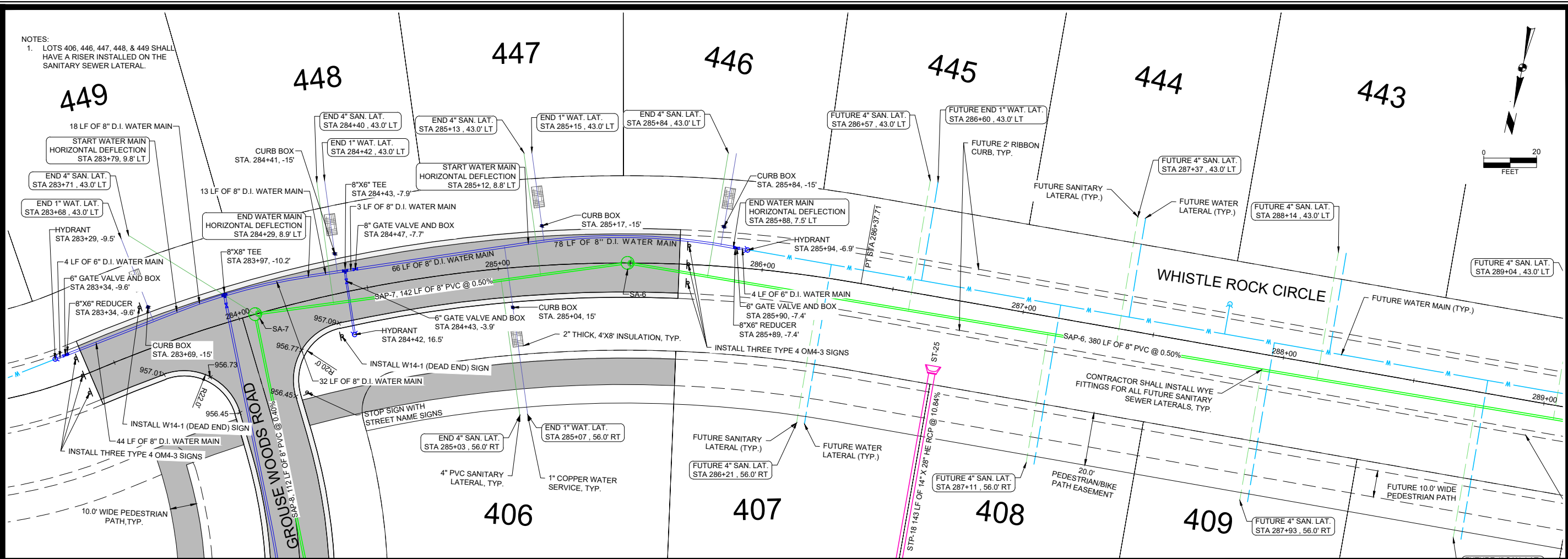
Engineer: ZLR
 Checked By: MLC
 Technician: GCB
 Date: 11-07-2022
 T-R-S: TTN+RRW+SS

BEAR TREE FARMS - PHASE 7
OUTLOT 3 - PLAN & PROFILE
SNYDER & ASSOCIATES, INC.

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Project No: 122.1386.30
 Sheet C 503

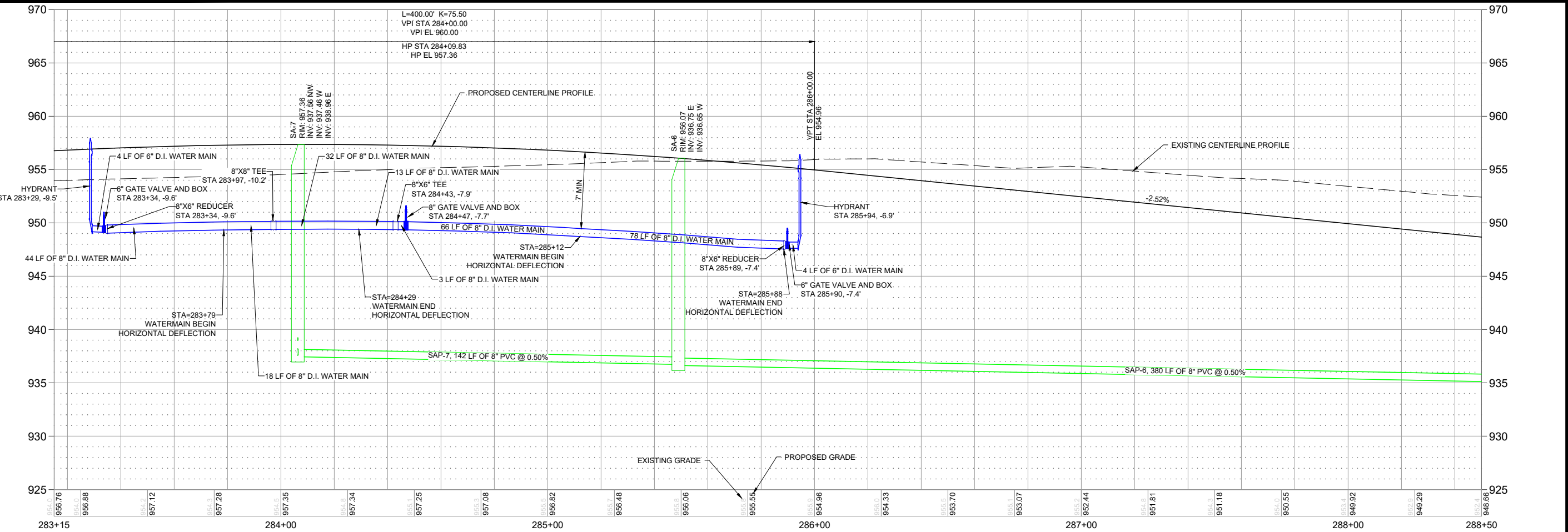
NOTES:
 1. LOTS 406, 446, 447, 448, & 449 SHALL HAVE A RISER INSTALLED ON THE SANITARY SEWER LATERAL.



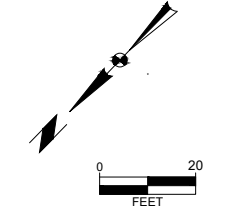
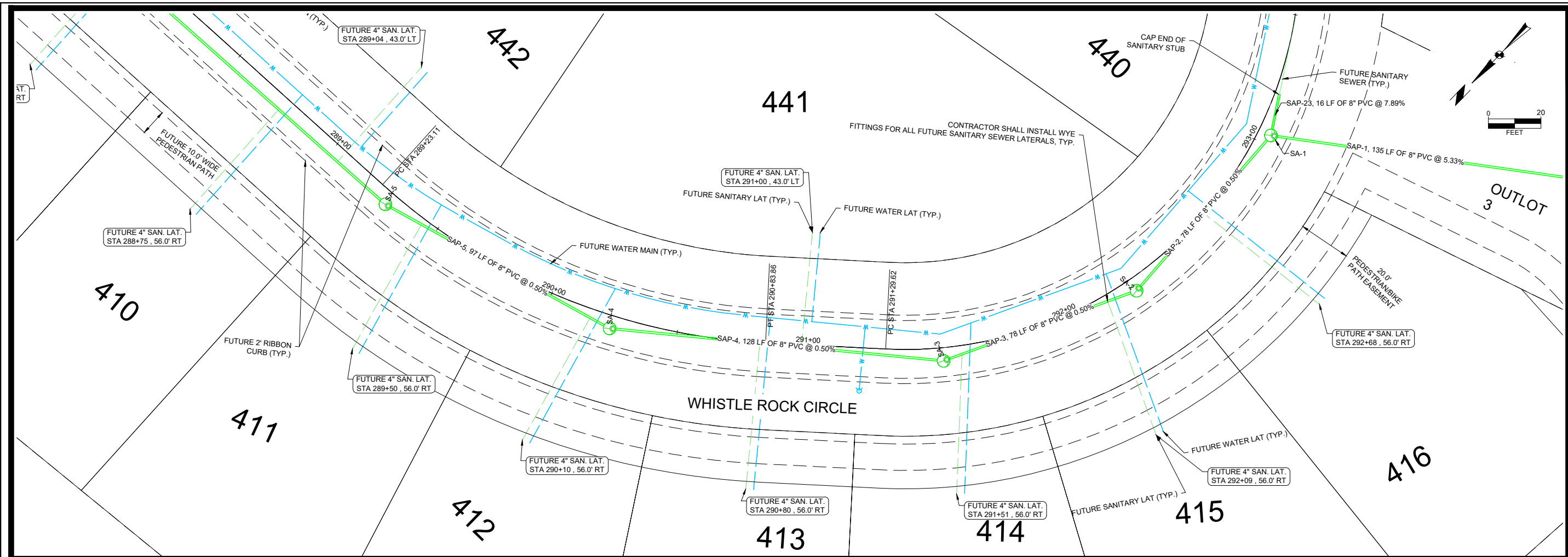
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Engineer: ZLR	Checked By: MLC	Scale: 1" = 48' SHOWN	
Technician: GCB	Date: 11-07-2022	T-R-S: TTN+RRW-SS	
Project No.: 122.1386.30			Sheet C 504

BEAR TREE FARMS - PHASE 7
WHISTLE ROCK CIRCLE - PLAN & PROFILE VILLAGE OF WINDSOR, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.

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Project No: 122.1386.30
 Sheet C 504



MARK	REVISION	DATE	BY

Checked By: MLC
Engineer: ZLR
Technician: GCB

Date: 11-07-2022
Scale: 1" = 48' SHOWN
T-R-S: TTN+RRW+SS

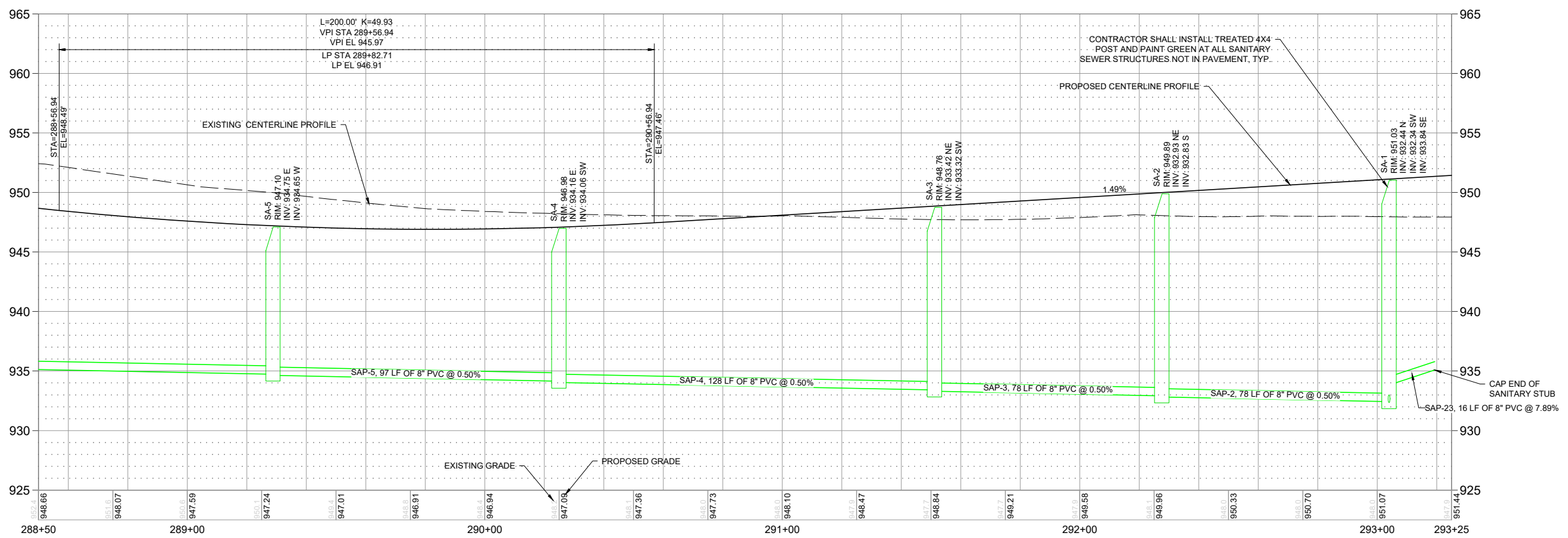
Project No.: 122.1386.30
Sheet C 505

BEAR TREE FARMS - PHASE 7

WHISTLE ROCK CIRCLE- PLAN & PROFILE VILLAGE OF WINDSOR, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC.

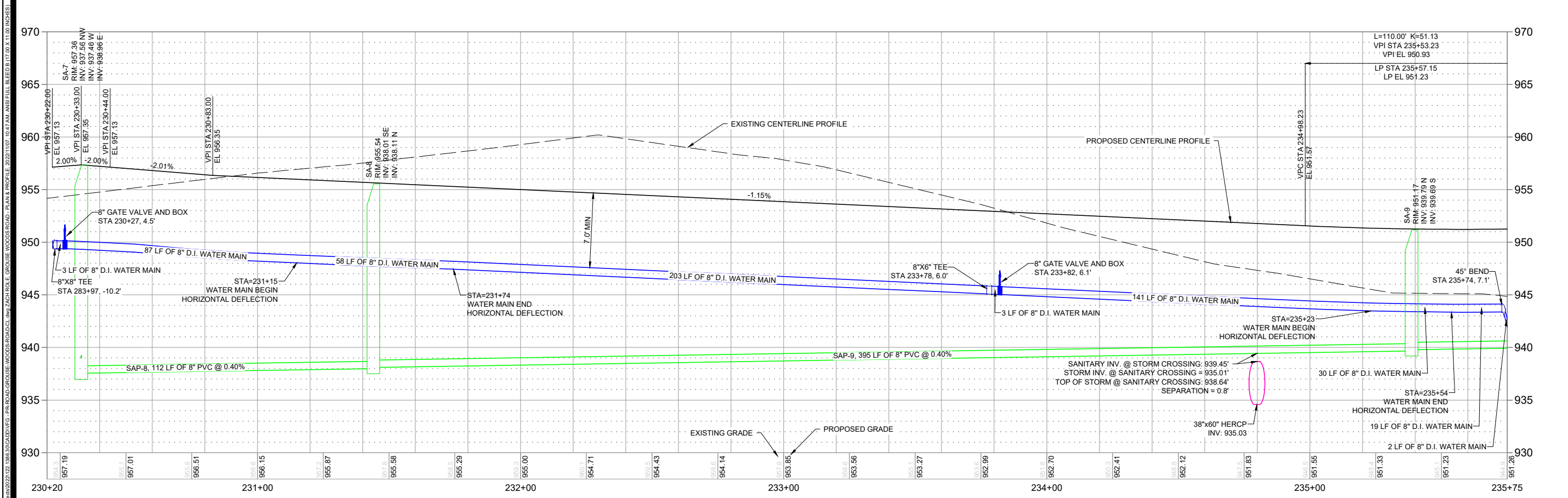
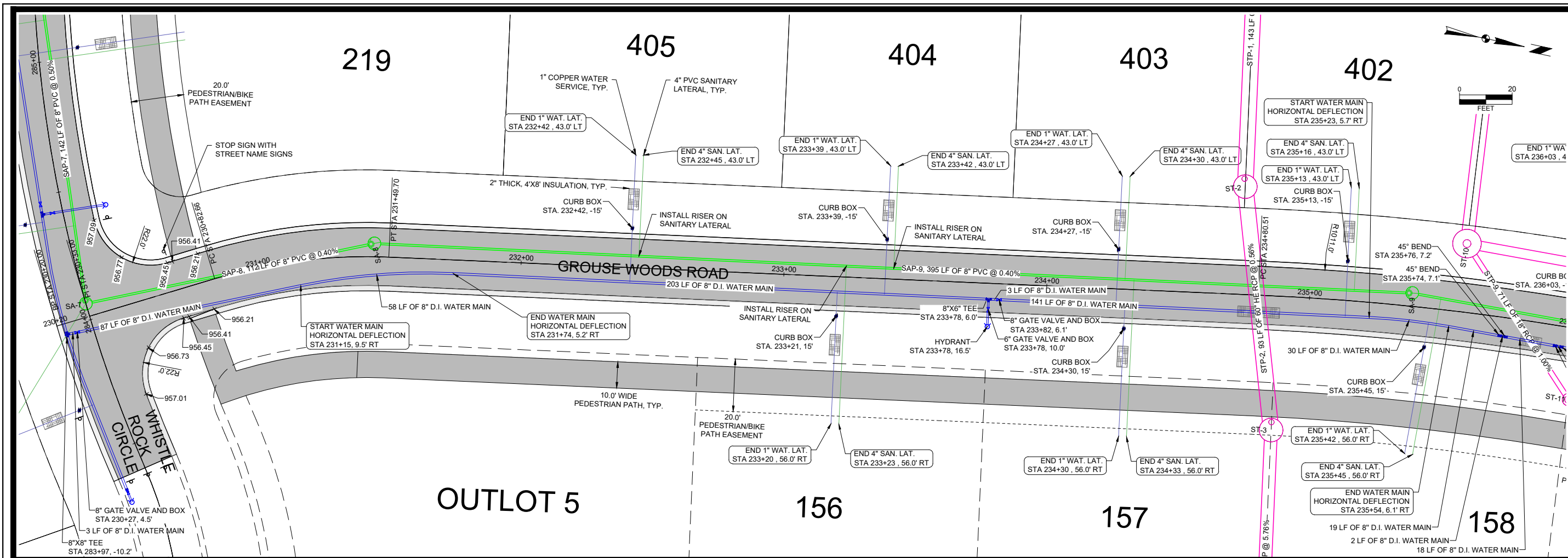
5010 VOGES ROAD
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SNYDER & ASSOCIATES

Project No.: 122.1386.30
Sheet C 505

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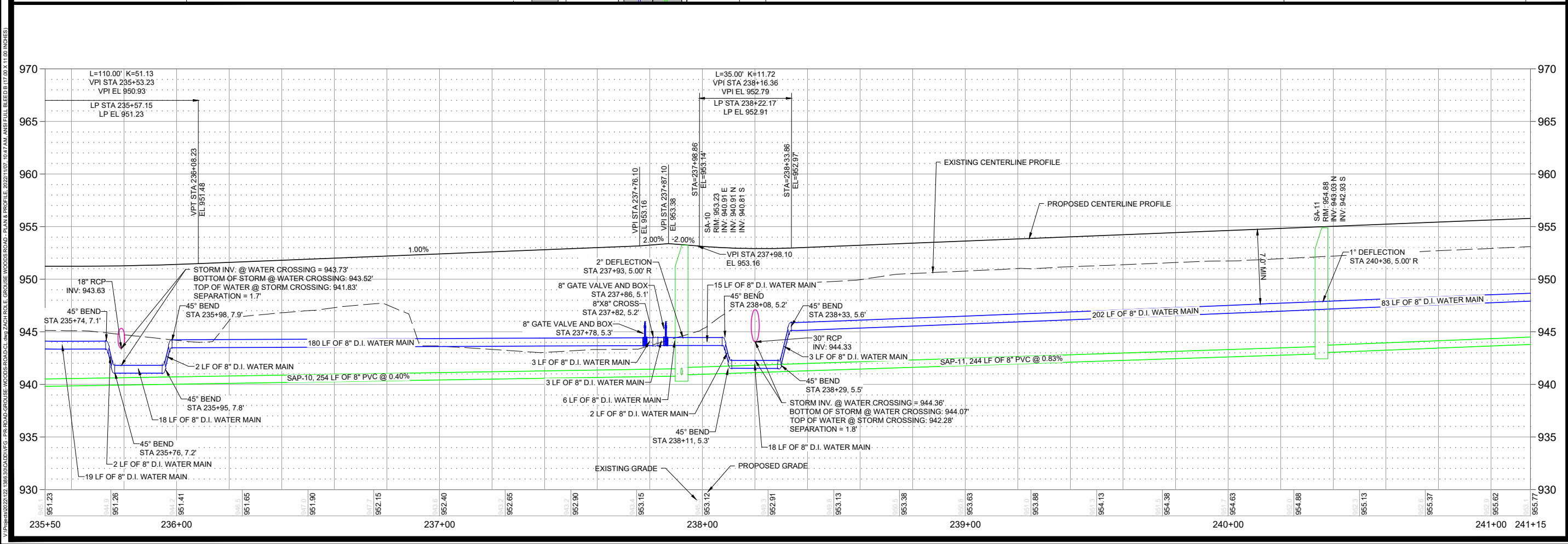
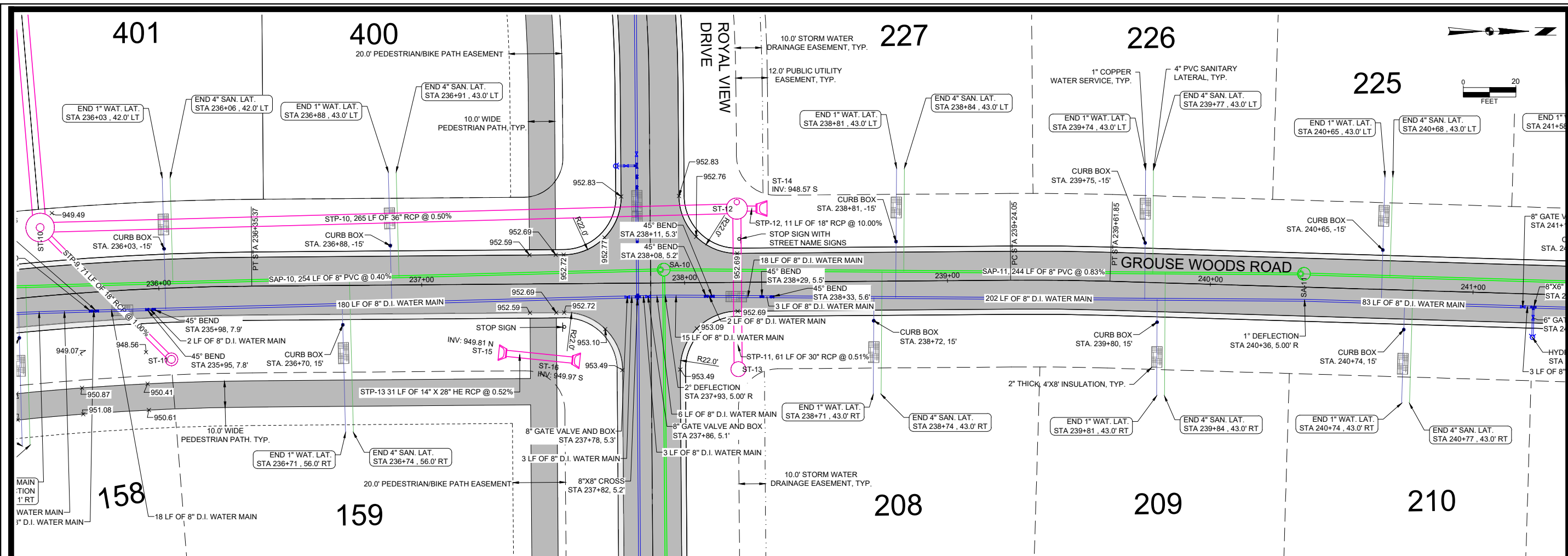


MARK	REVISION	DATE	BY

Engineer: ZLR
 Checked By: MLC
 Date: 11-07-2022
 Technician: GCB
 Project No.: 122.1386.30
 Scale: 1" = AS SHOWN
 T-R-S: TTN-RRW-SS
 Sheet C 506

BEAR TREE FARMS - PHASE 7
GROUSE WOODS ROAD - PLAN & PROFILE VILLAGE OF WINDSOR, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.
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Project No.: 122.1386.30
 Sheet C 506



MARK	REVISION	DATE	BY
Engineer: ZLR	Checked By: MLC	Scale: 1" = 48' SHOWN	
Technician: GCB	Date: 11-07-2022	T-R-S: TTN+RRW+SS	

Project No: 122.1386.30
Sheet C 507

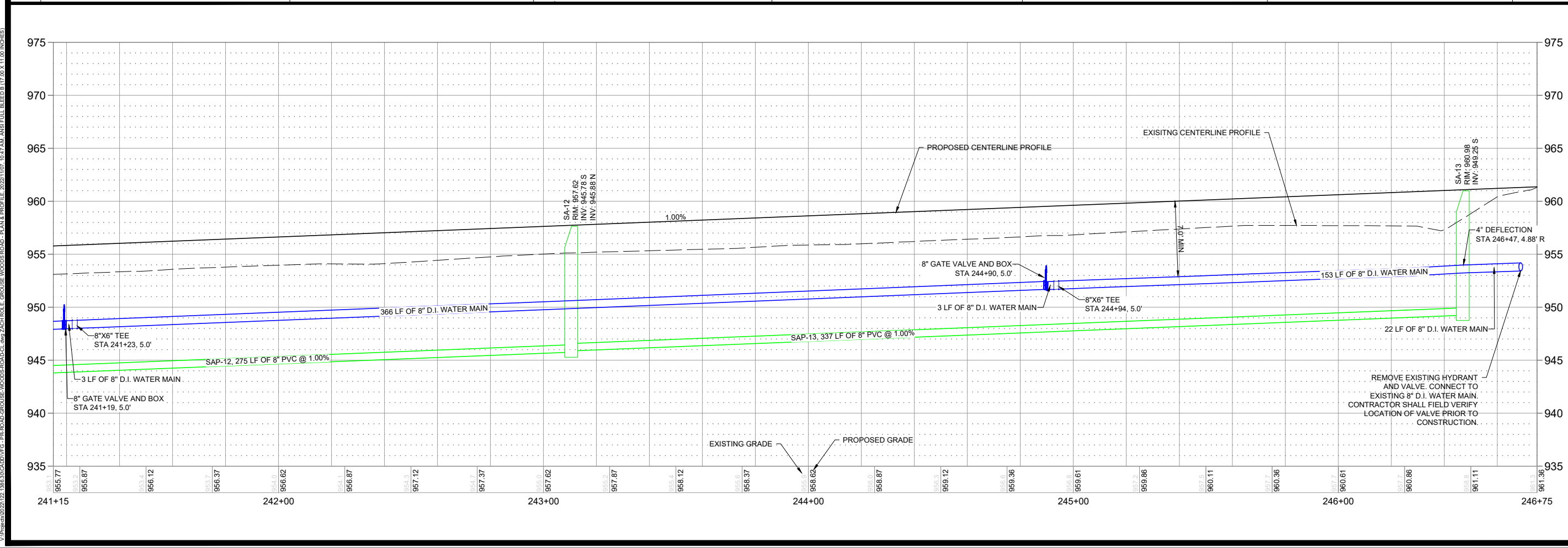
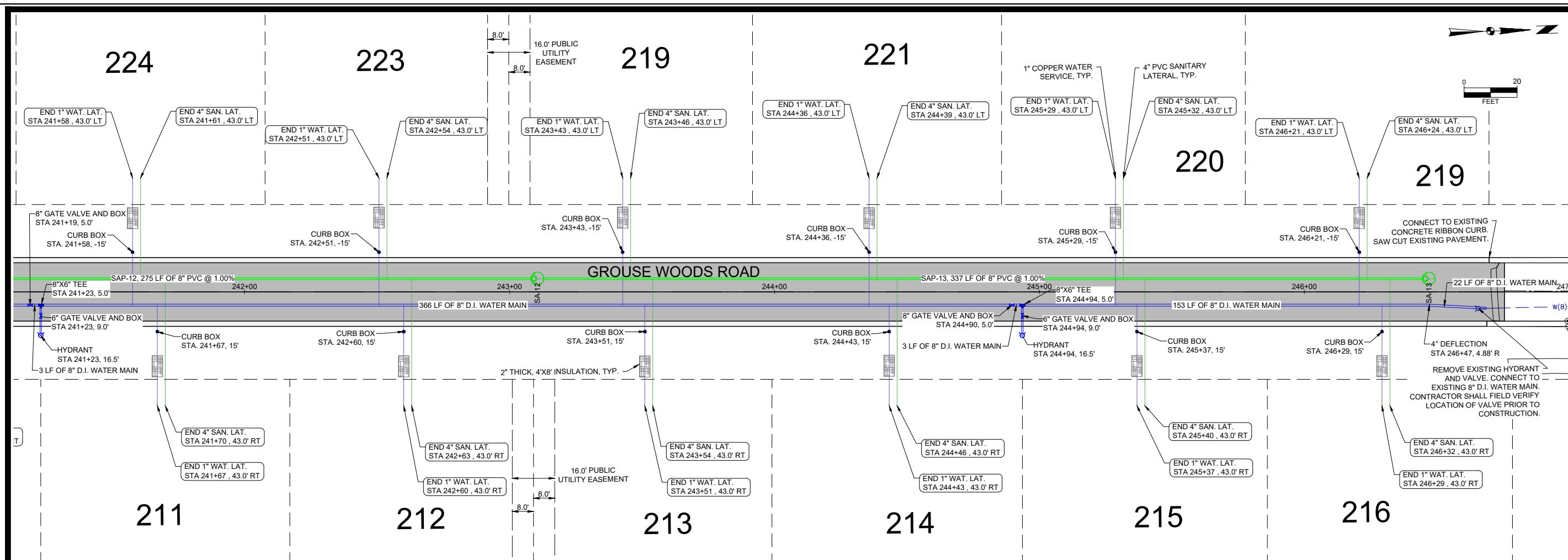
BEAR TREE FARMS - PHASE 7

GROUSE WOODS ROAD - PLAN & PROFILE VILLAGE OF WINDSOR, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD
MADISON, WISCONSIN 53718
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Project No: 122.1386.30
Sheet C 507



MARK	REVISION	DATE	BY
Engineer: ZLR	Checked By: MLC	Scale: 1" = 48' SHOWN	
Technician: GCB	Date: 11-07-2022	T-R-S: TTN+RRW-SS	

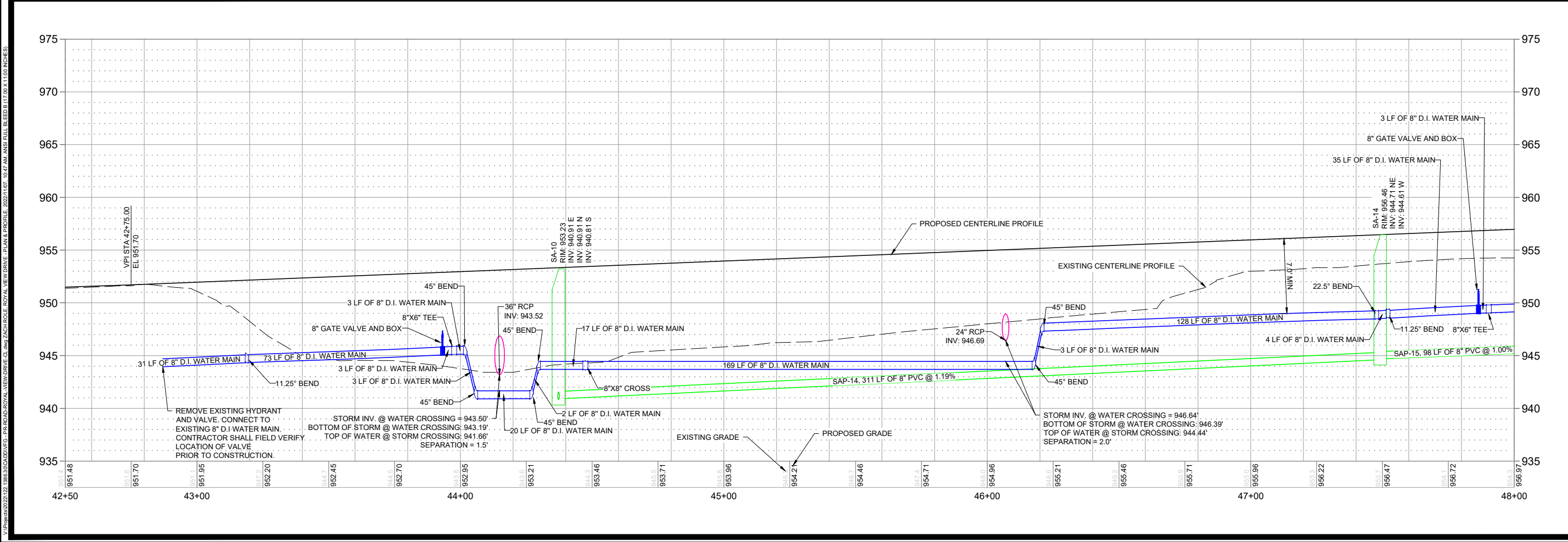
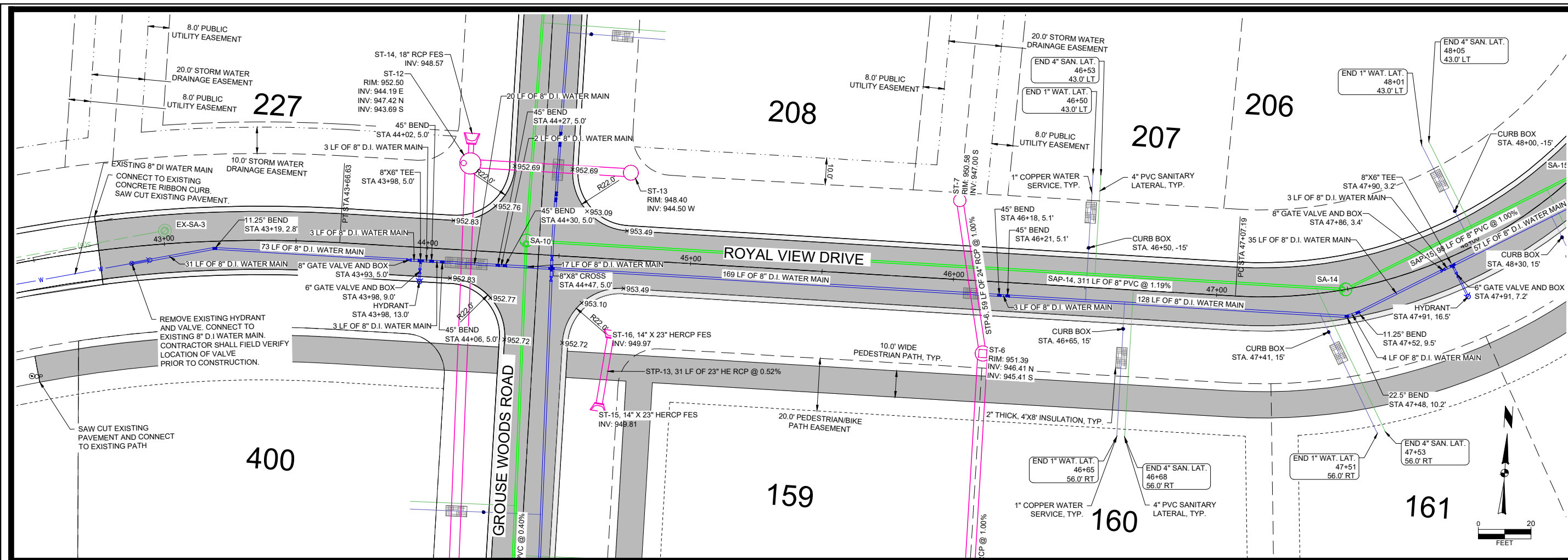
Project No.: 122.1386.30
Sheet C 508

BEAR TREE FARMS - PHASE 7
GROUSE WOODS ROAD - PLAN & PROFILE VILLAGE OF WINDSOR, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.

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Project No.: 122.1386.30
Sheet C 508

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PROJECT NO.: 122.1386.30
SHEET: C 508

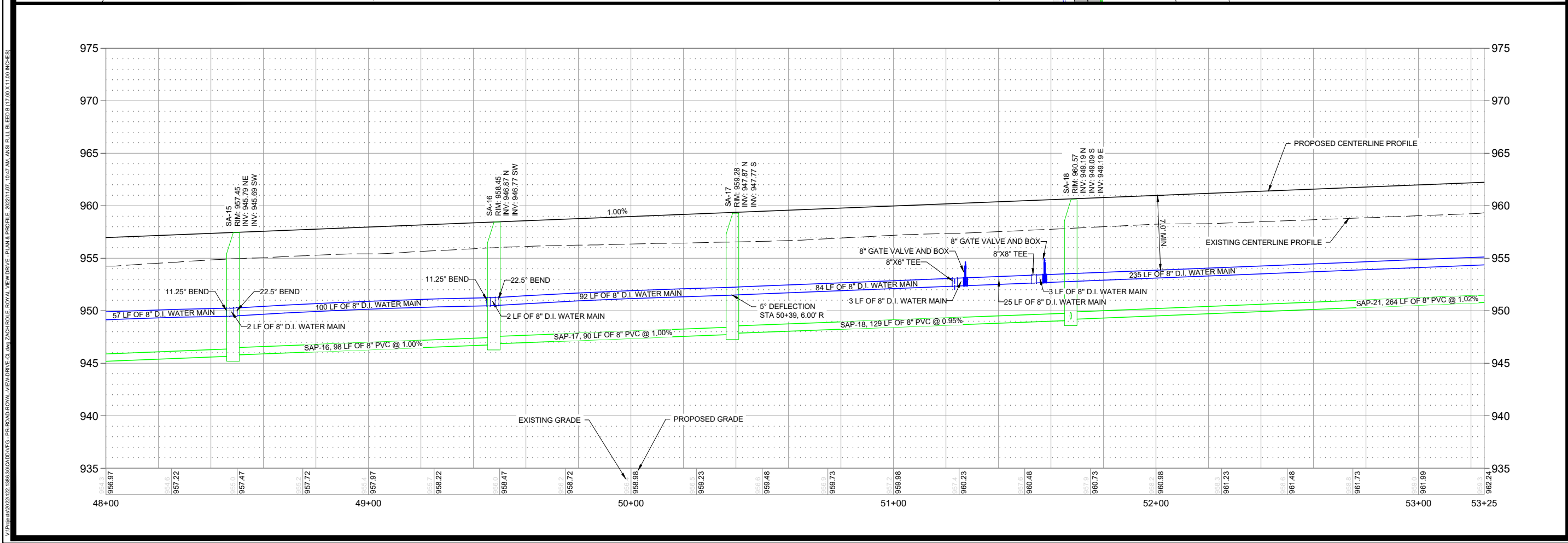
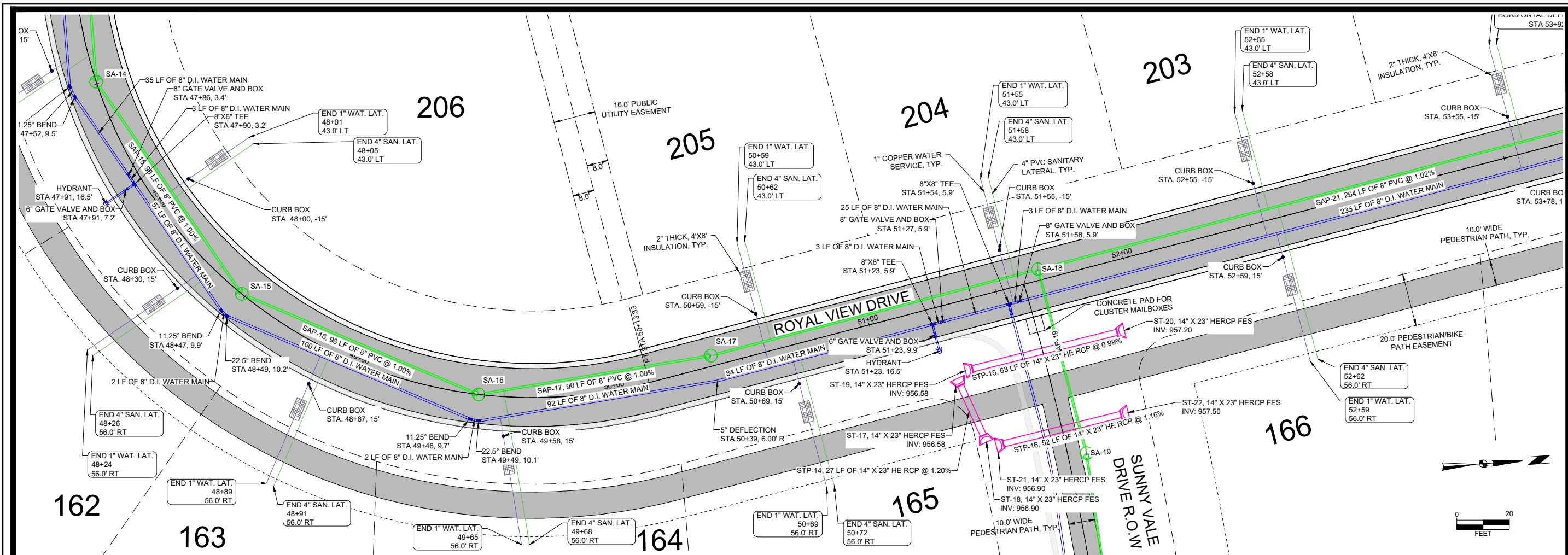


MARK	REVISION	DATE	BY

Engineer: ZLR
 Checked By: MLC
 Technician: GCB
 Date: 11-07-2022
 Scale: 1" = 48' SHOWN
 T-R-S: TTNRRW-SS
 Project No: 122.1386.30

BEAR TREE FARMS - PHASE 7
ROYAL VIEW DRIVE - PLAN & PROFILE
SNYDER & ASSOCIATES, INC.
 VILLAGE OF WINDSOR, DANE COUNTY, WI
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Project No: 122.1386.30
 Sheet C 509



MARK	REVISION	DATE	BY

Checked By: MLC
 Engineer: ZLR
 Technician: GCB
 Date: 11-07-2022
 Scale: 1" = AS SHOWN
 T-R-S: TTN-RRV-SS
 Project No: 122.1386.30

BEAR TREE FARMS - PHASE 7

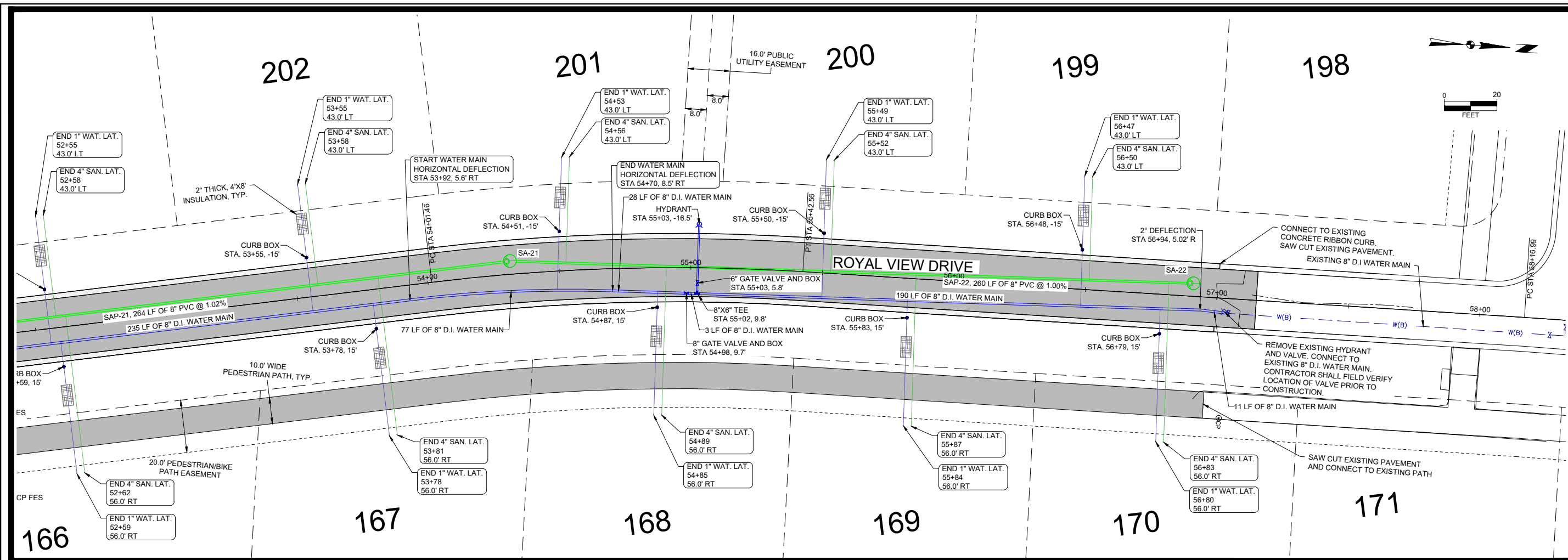
ROYAL VIEW DRIVE - PLAN & PROFILE

SNYDER & ASSOCIATES, INC.

SNYDER & ASSOCIATES

Project No: 122.1386.30
 Sheet C 510

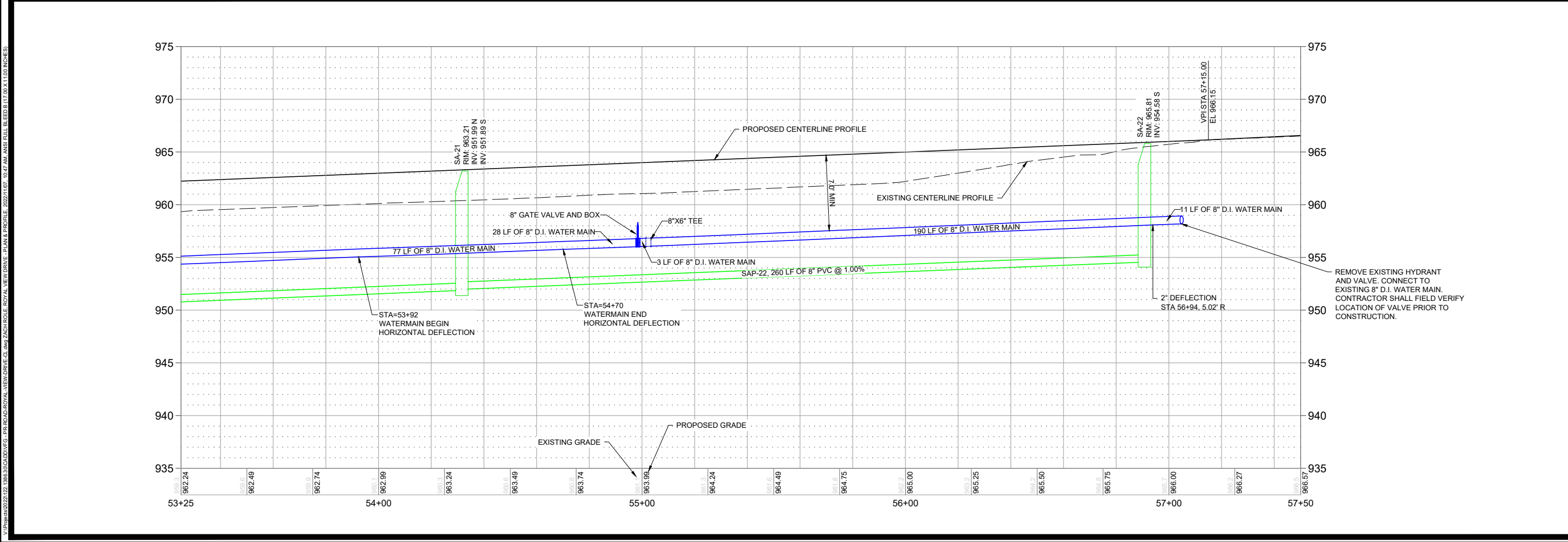
5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-835-0444 | www.snyder-associates.com



MARK	REVISION	DATE	BY

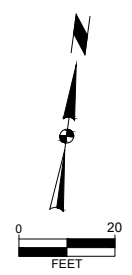
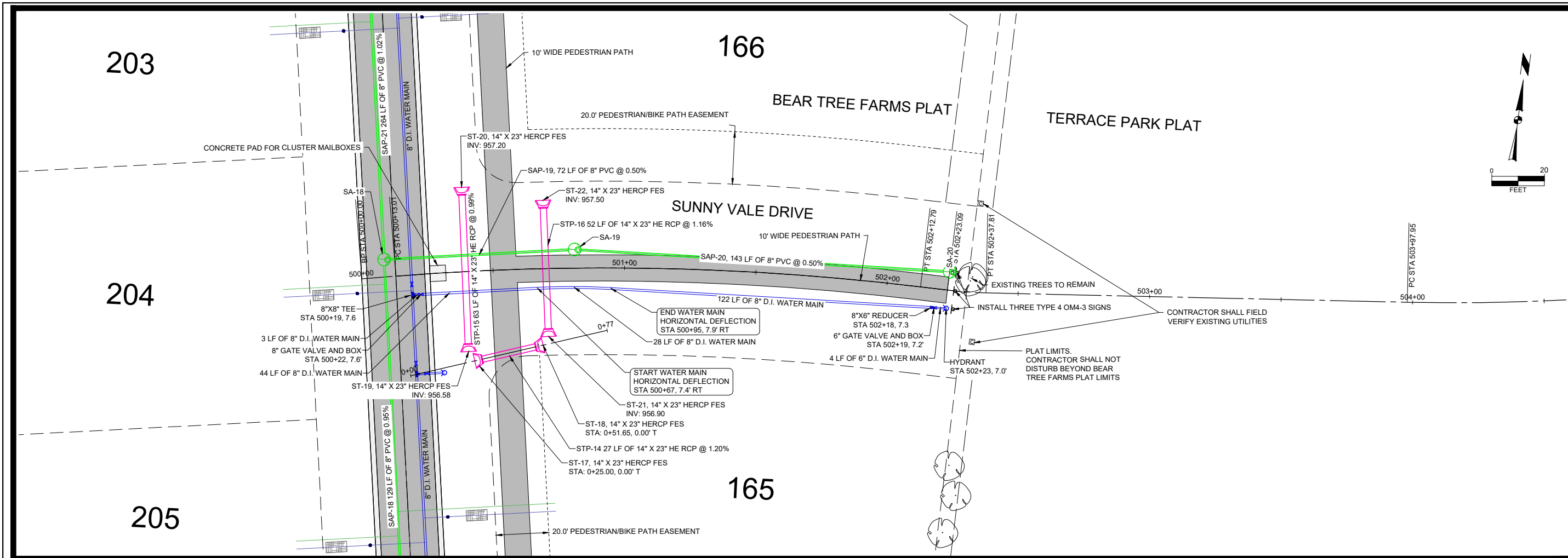
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 T-R-S: TTN+RRW-SS
 Project No: 122.1386.30
 Sheet C 511

BEAR TREE FARMS - PHASE 7
ROYAL VIEW DRIVE - PLAN & PROFILE
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
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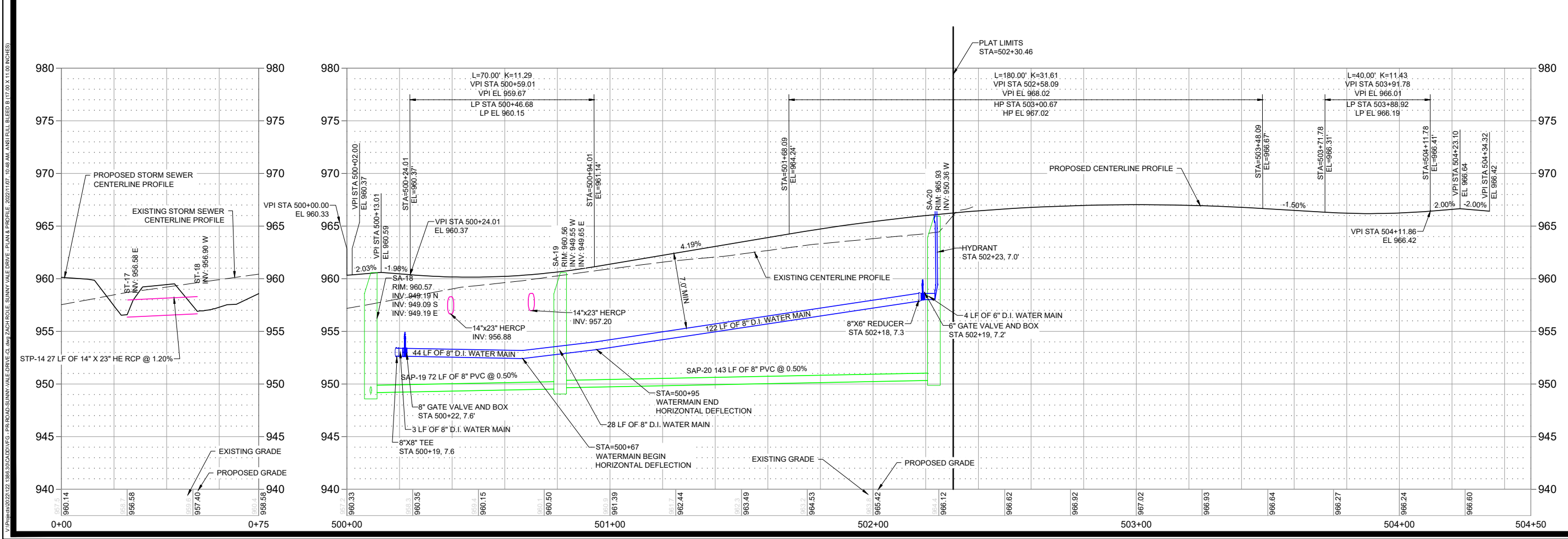
SNYDER & ASSOCIATES

Project No: 122.1386.30
 Sheet C 511



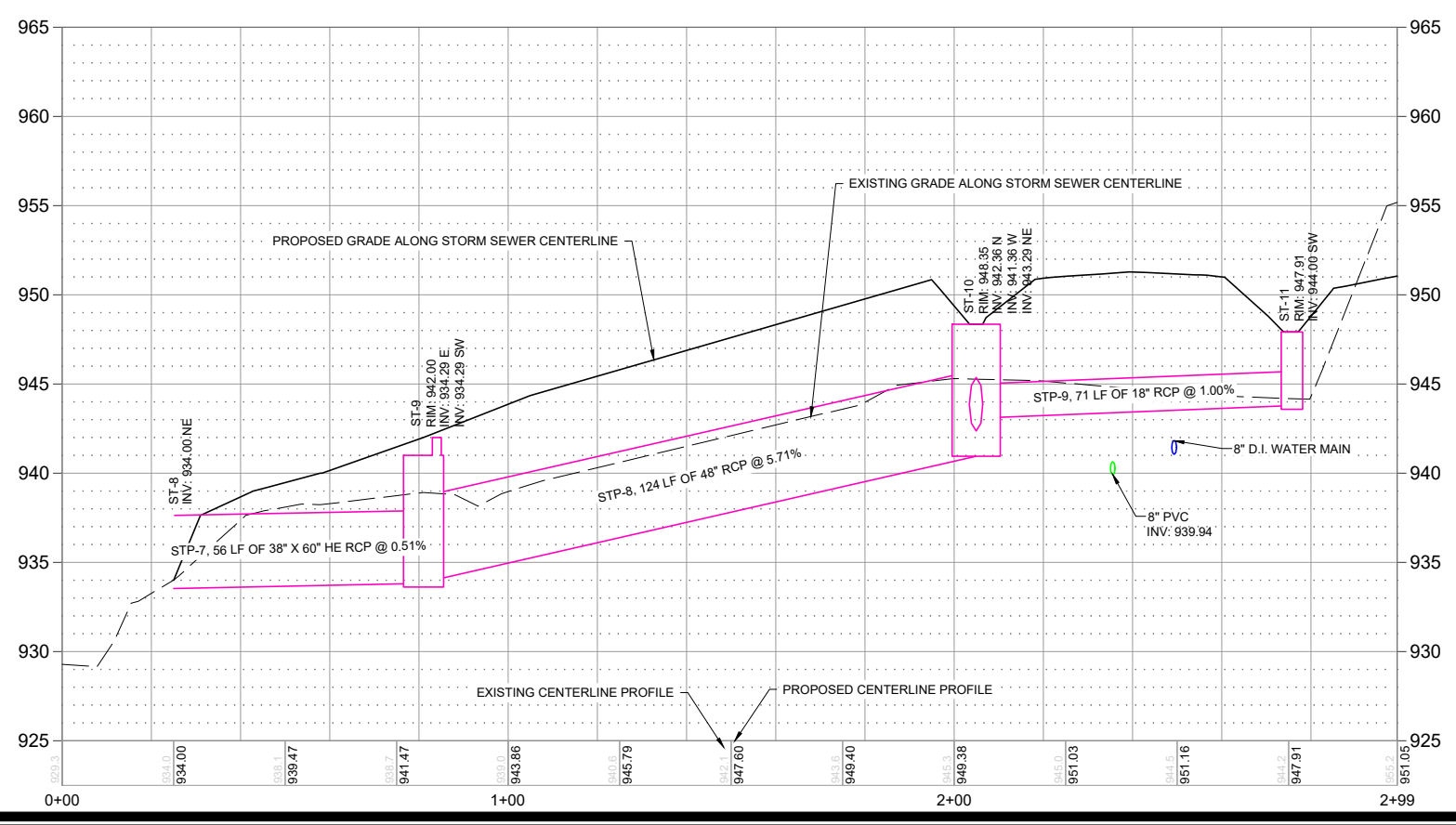
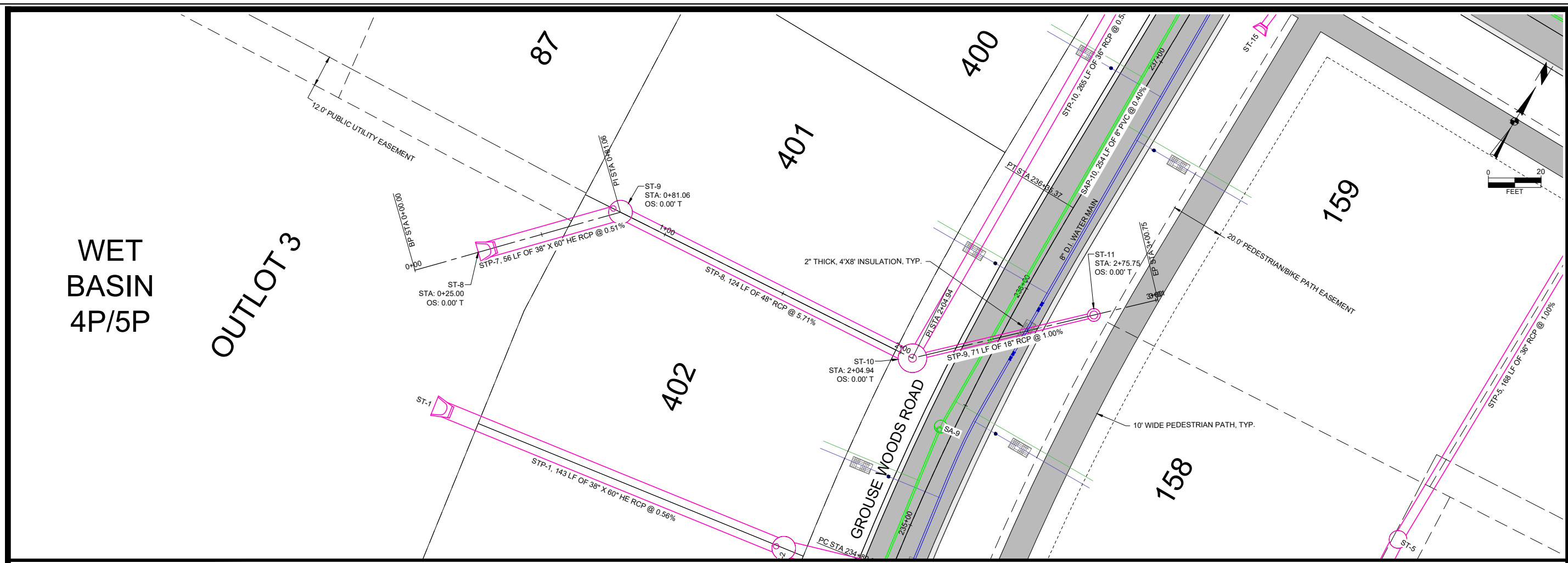
MARK	REVISION	DATE	BY
Engineer: ZLR	Checked By: MLC	Date: 11-07-2022	T-R-S: TTN+RRW+SS
Technician: GCB			
Project No: 122.1386.30			Sheet C 512

BEAR TREE FARMS - PHASE 7
SUNNY VALE DRIVE - PLAN & PROFILE
SNYDER & ASSOCIATES, INC.
 VILLAGE OF WINDSOR, DANE COUNTY, WI
 5010 VOGES ROAD
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 Project No: 122.1386.30
 Sheet C 512

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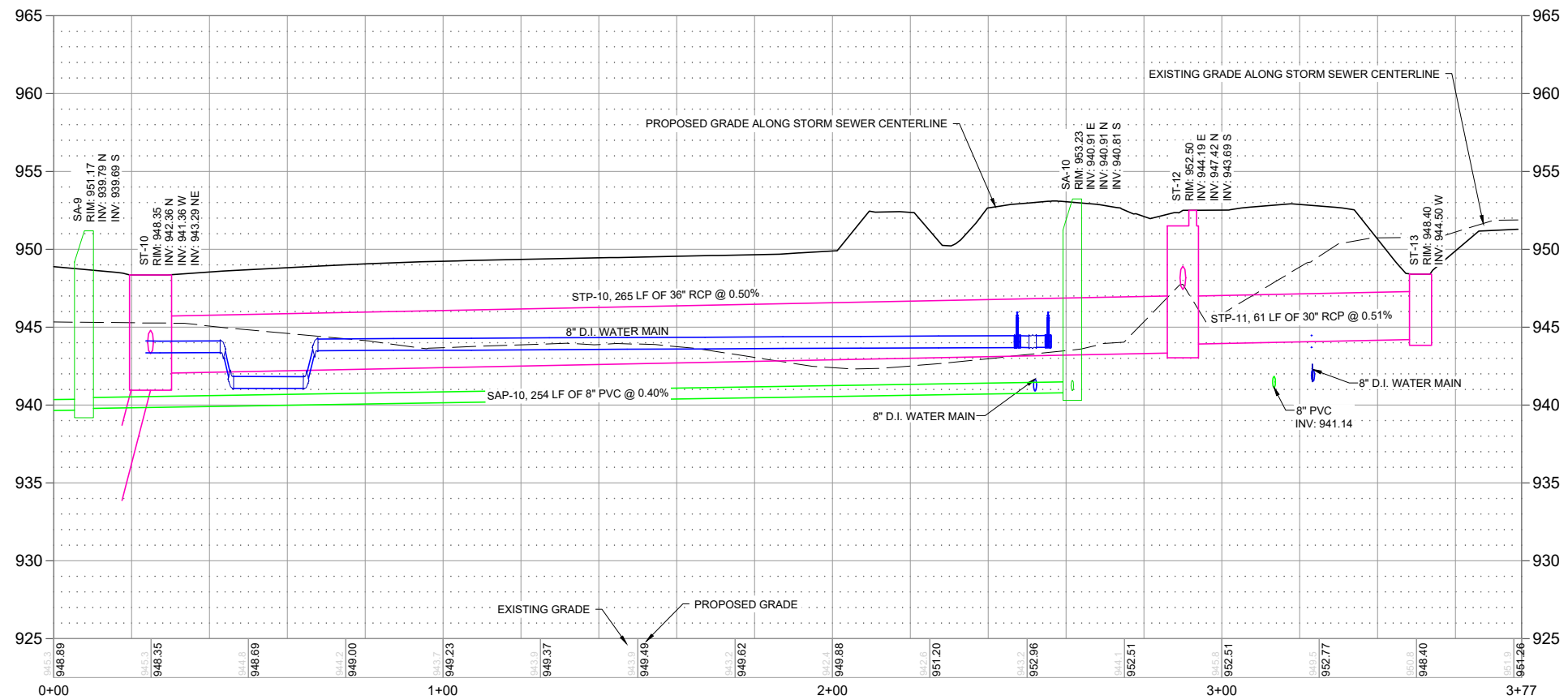
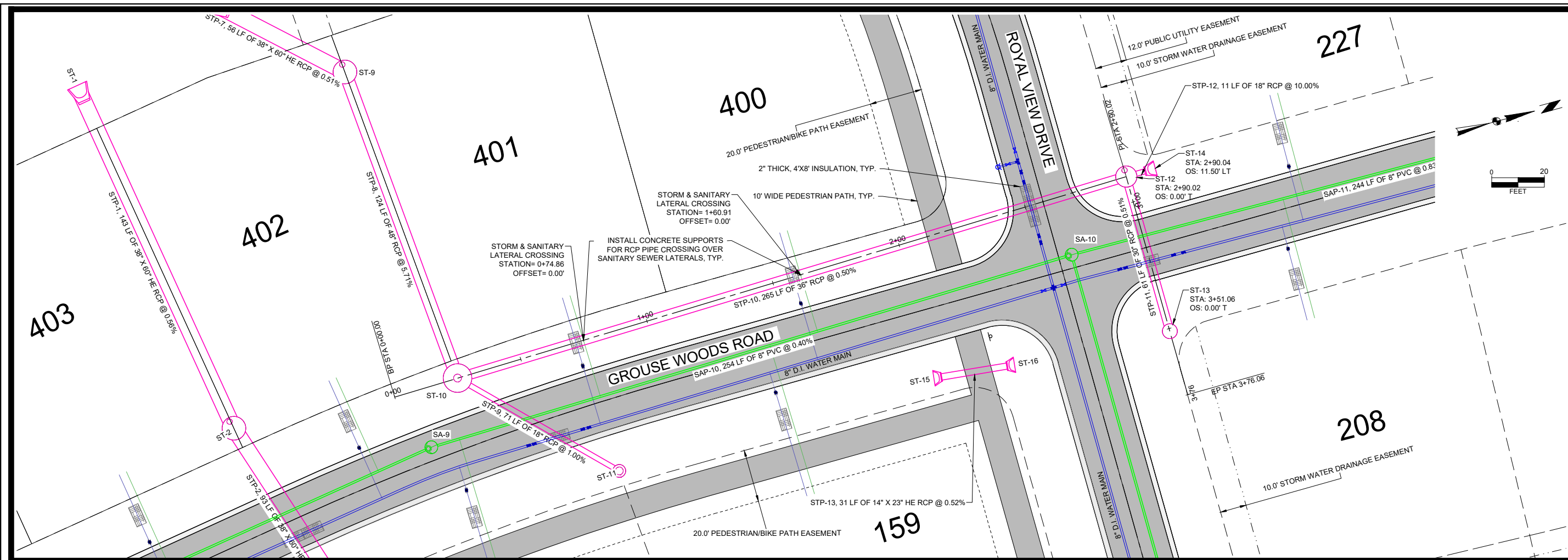
MARK	REVISION	DATE	BY

Engineer: ZLR
 Checked By: MLC
 Date: 11-07-2022
 Technician: GCB
 T-R-S: TTN+RRW+SS
 Project No.: 122.1386.30
 Sheet C 513

BEAR TREE FARMS - PHASE 7
STORM CENTRAL - PLAN & PROFILE
VILLAGE OF WINDSOR, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.

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SNYDER & ASSOCIATES
 Project No: 122.1386.30
 Sheet C 513



MARK	REVISION	DATE	BY

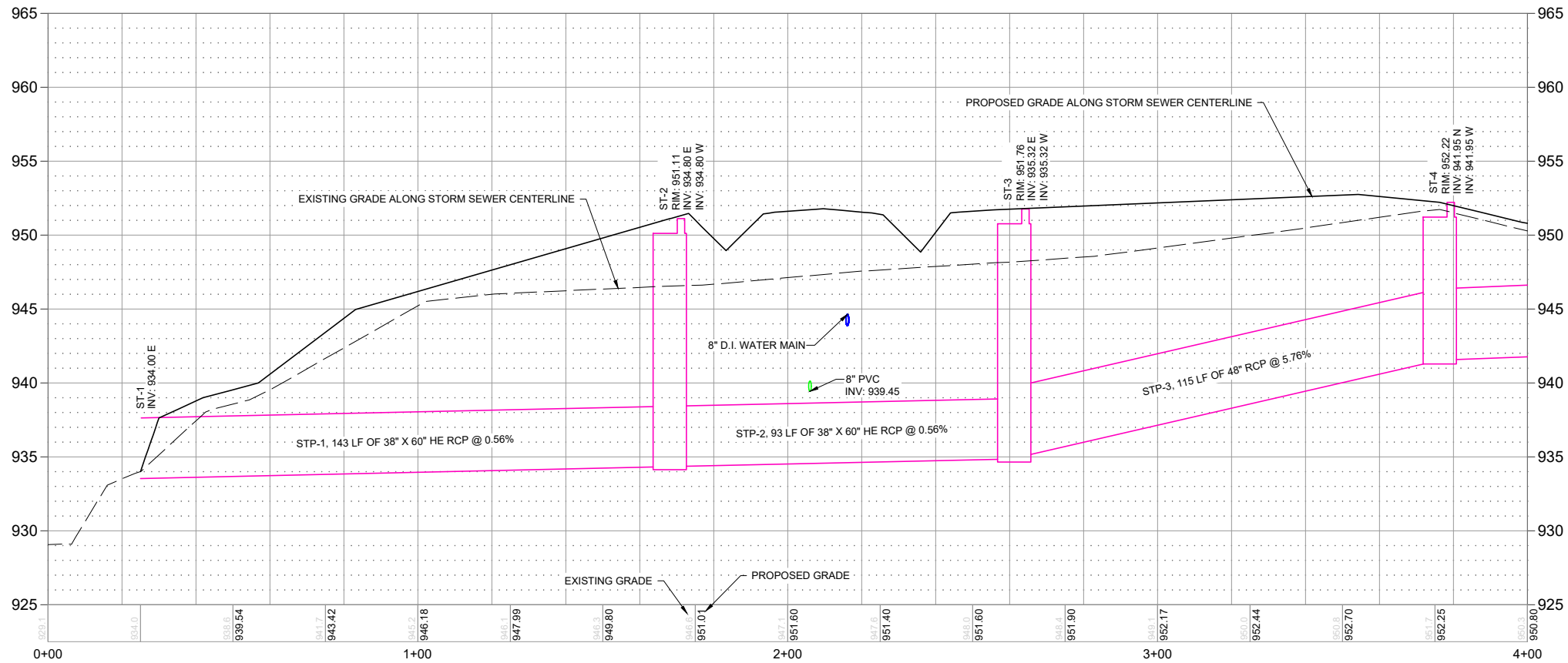
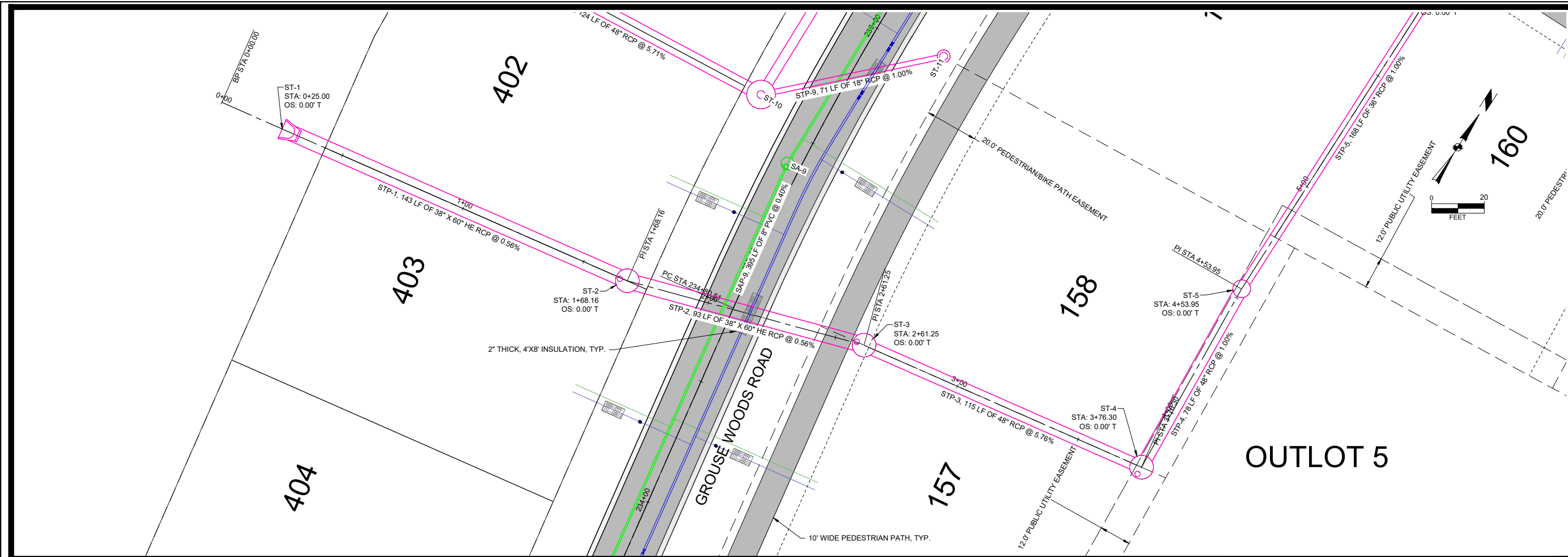
Engineer: ZLR
 Checked By: MLC
 Technician: GCB
 Date: 11-07-2022
 Scale: 1" = 48' SHOWN
 T-R-S: TTN+RRV+SS
 Project No.: 122.1386.30
 Sheet C 514

BEAR TREE FARMS - PHASE 7
STORM WEST - PLAN & PROFILE
VILLAGE OF WINDSOR, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.

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 MADISON, WISCONSIN 53718
 608-835-0444 | www.snyder-associates.com

Project No: 122.1386.30
 Sheet C 514

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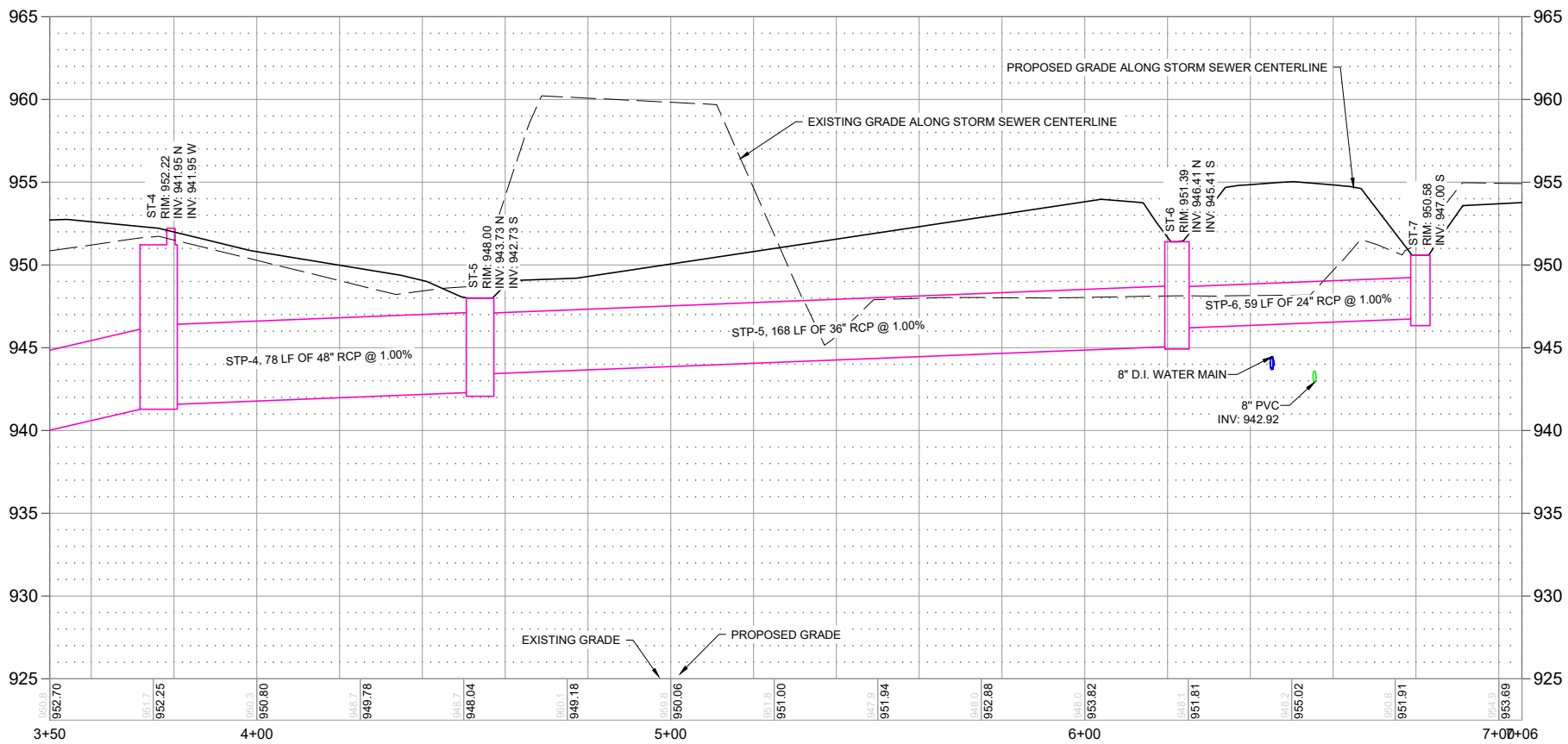
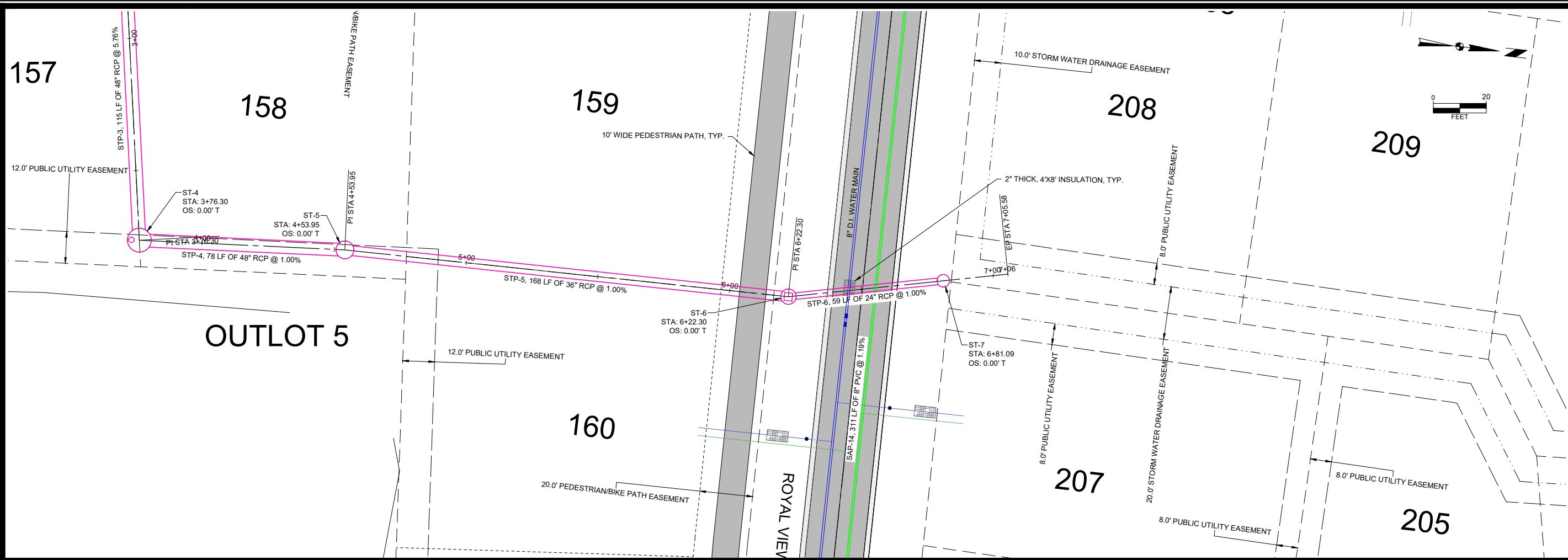
MARK	REVISION	DATE	BY
	Checked By: MLC		
	Engineer: ZLR	Date: 11-07-2022	Scale: 1" = 48' SHOWN
	Technician: GCB		T-R-S: TTN+RRW-SS

Project No.: 122.1386.30
Sheet C 515

BEAR TREE FARMS - PHASE 7
STORM EAST - PLAN & PROFILE
 VILLAGE OF WINDSOR, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
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Project No: 122.1386.30
Sheet C 515

P:\2022\122.1386.30\CD\DWG-PR-STORMEAST-PROFILE.dwg ZACH ROULE, STORM EAST - PLAN & PROFILE, 2022/11/07, 05:59 AM, ANSI FULL BLEED, 8.5 (7.0) X 11.0 (INCHES)



MARK	REVISION	DATE	BY

Engineer: ZLR
Checked By: MLC
Scale: 1" = 48' SHOWN
Technician: GCB
Date: 11-07-2022
T-R-S: TTN+RRW+SS

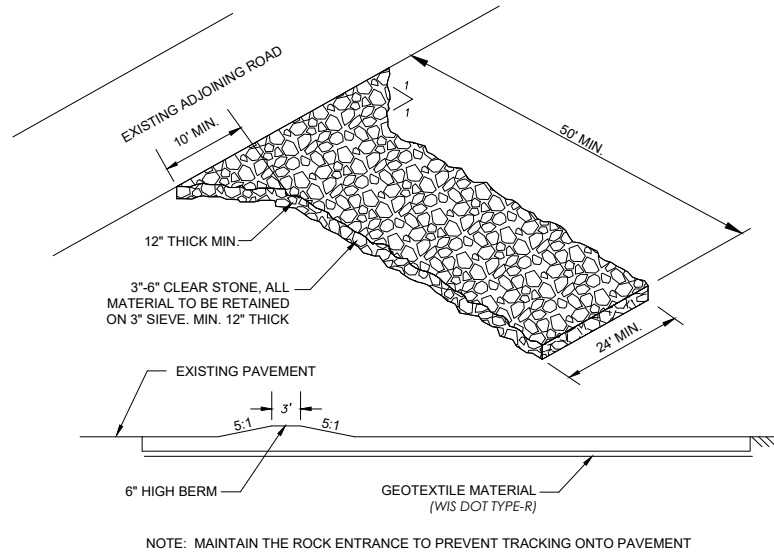
BEAR TREE FARMS - PHASE 7
STORM EAST - PLAN & PROFILE
SNYDER & ASSOCIATES, INC.

VILLAGE OF WINDSOR, DANE COUNTY, WI

5010 VOGES ROAD
MADISON, WISCONSIN 53718
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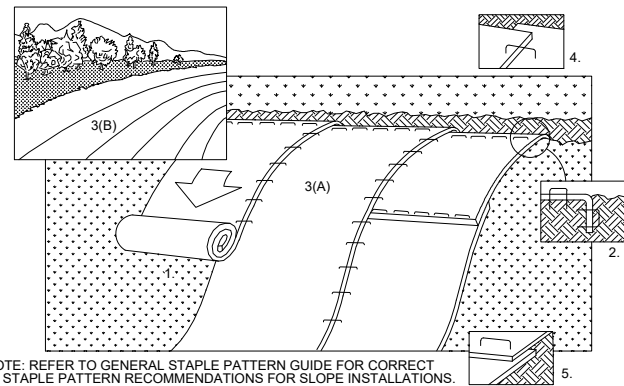
Project No: 122.1386.30
Sheet C 516

Sheet C 516
Project No: 122.1386.30



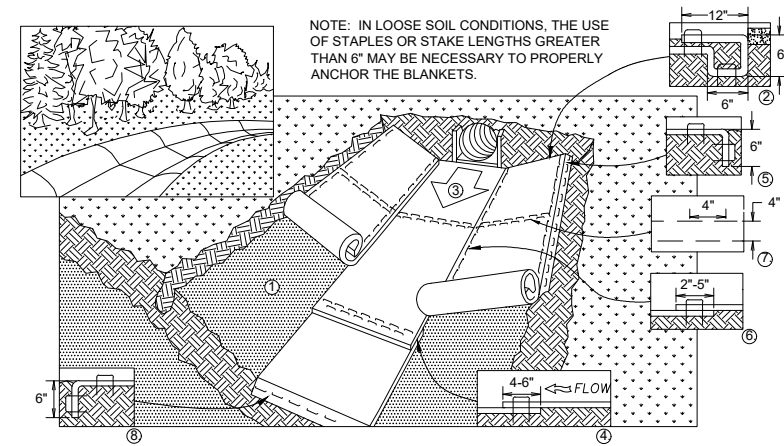
1 CONSTRUCTION ENTRANCE DETAIL
SCALE: NTS

NOTE: MAINTAIN THE ROCK ENTRANCE TO PREVENT TRACKING ONTO PAVEMENT



4 EROSION CONTROL MAT - SLOPE INSTALLATION
SCALE: NTS

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
- EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD # 1052.
- FOR NON-CANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, USE CLASS I, TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT FACILITIES DEVELOPMENT MANUAL AND INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARDS.

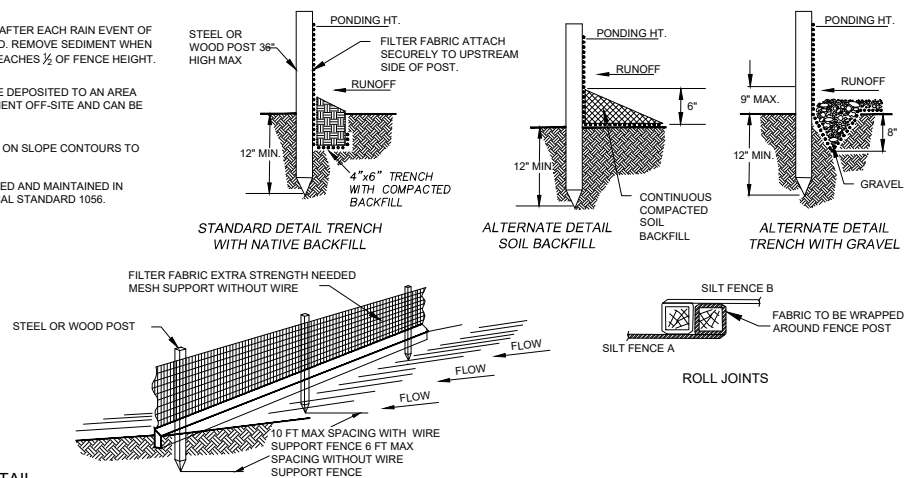


6 EROSION CONTROL MAT - CHANNEL INSTALLATION
SCALE: NTS

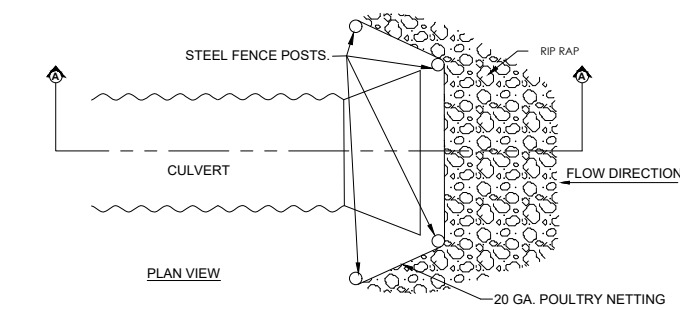
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
- PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
- FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- EROSION MAT SHALL EXTEND FOR WHICHEVER IS GREATER: UPSLOPE THREE FOOT MIN. VERTICALLY FROM DITCH BOTTOM OR 1' HIGHER THAN DESIGN FLOW DEPTH.
- EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS 1053.
- FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II, TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT FACILITIES DEVELOPMENT MANUAL; INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARDS.

2 NOT USED
SCALE: NTS

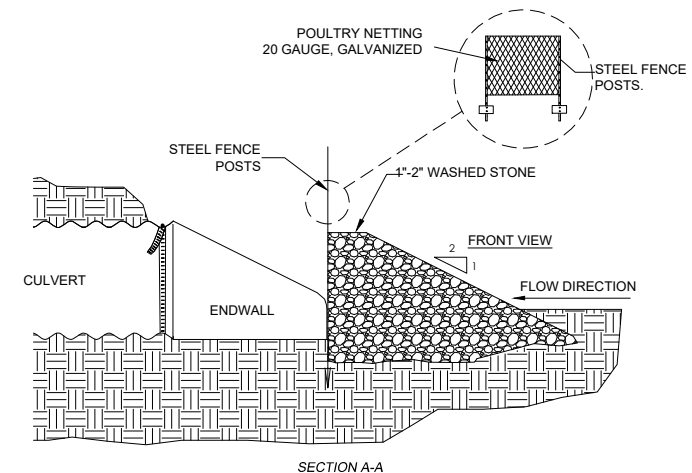
- INSPECT FENCE WEEKLY AND AFTER EACH RAIN EVENT OF 0.5 INCHES AND REPAIR IF REQUIRED. REMOVE SEDIMENT WHEN NECESSARY OR WHEN SEDIMENT REACHES 1/2 OF FENCE HEIGHT.
- REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
- SILT FENCE SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.



3 SILT FENCE DETAIL
SCALE: NTS



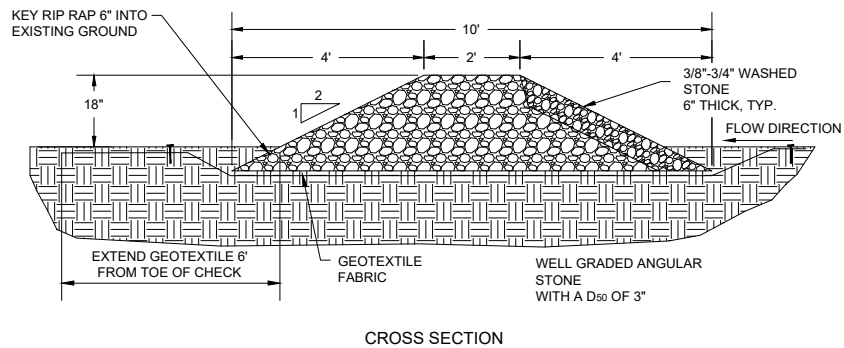
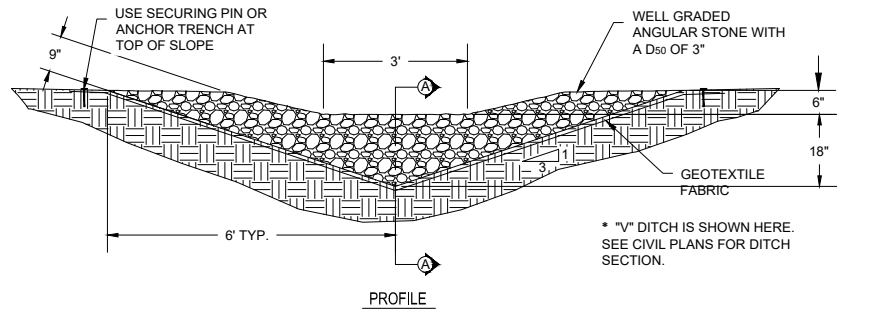
5 STONE CULVERT PROTECTION DETAIL
SCALE: NTS



NOTE: STONE CULVERT PROTECTION SHOWN TO BE USED FOR CULVERTS UP TO 18" IN DIAMETER. CONSULT ENGINEER FOR MODIFICATIONS FOR >18" DIAMETER CULVERTS.

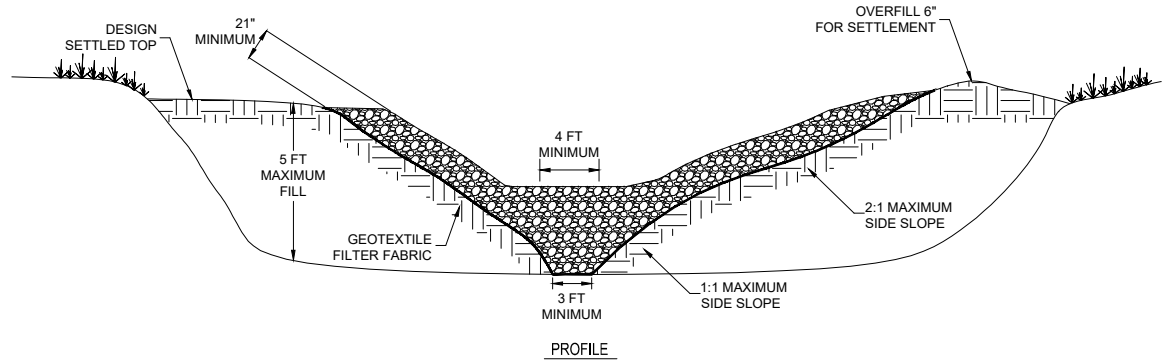
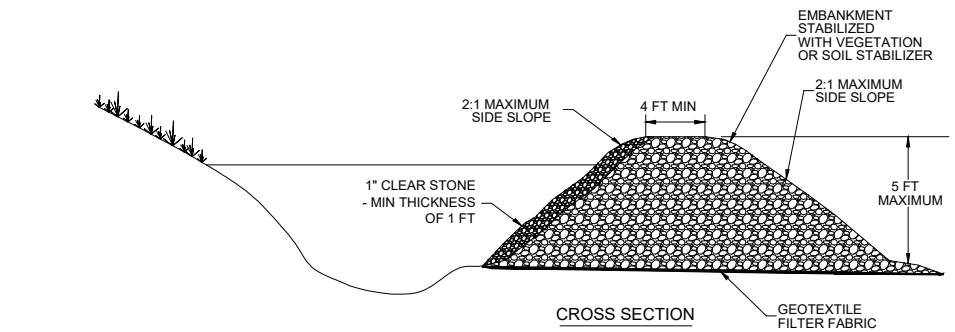
MARK	REVISION	DATE	BY
Engineer: ZLR	Checked By: MLC	Scale: 1" = 10'	
Technician: GCB	Date: 11-07-2022	T-R-S: TTN+RRW-SS	
Project No: 122.1386.30			Sheet C 700

U:\prow\10221222\1386\30\CD\1221386_Plan_DET.dwg ZACHRY/E. EROSION CONTROL DETAILS 2022/11/07 10:50 AM ANSIEU/LL (B) (1720 X 1100 INCHES)



NOTE:
1. STONE DITCH CHECKS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS 1062.

1 STONE DITCH CHECK DETAIL
C10.1 SCALE: NTS



3 SEDIMENT TRAP
C10.1 SCALE: NTS

CONSTRUCTION SPECIFICATIONS

SEDIMENT TRAPS SHOULD BE OPERATIONAL BEFORE SITE GRADING BEGINS.

BASIN AREA AND AREAS UNDER THE EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MATERIAL AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.

FILL MATERIAL FOR THE EMBANKMENT SHALL BE MINERAL SOIL, FREE OF ROOTS, WOODY VEGETATION, OVERSIZED STONES, ROCKS OR OTHER OBJECTIONABLE MATERIAL AND BE SUFFICIENTLY MOIST FOR COMPACTION.

FILL MATERIAL SHALL BE PLACED IN 6-INCH LIFTS, AS CONTINUOUS LAYERS OVER THE ENTIRE LENGTH OF THE FILL.

COMPACTION SHALL BE OBTAINED BY ROUTING THE HAULING EQUIPMENT OVER THE FILL SO THAT THE ENTIRE SURFACE OF EACH LAYER OF THE FILL IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE EQUIPMENT, OR BY USE OF A COMPACTOR.

THE EMBANKMENT SHALL BE CONSTRUCTED TO AN ELEVATION OF 10 PERCENT HIGHER THAN THE DESIGN HEIGHT TO ALLOW FOR SETTLEMENT IF COMPACTION IS OBTAINED WITH HAULING EQUIPMENT. IF COMPACTORS ARE USED FOR COMPACTING, THE OVERBUILD MAY BE REDUCED TO NOT LESS THAN 5 PERCENT.

THE EMBANKMENT SHALL BE STABILIZED WITH VEGETATION OR SOIL STABILIZER IMMEDIATELY FOLLOWING CONSTRUCTION.

CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED.

LOCAL AND STATE REQUIREMENTS SHALL BE MET CONCERNING FENCING AND SIGNS WARNING THE PUBLIC OF HAZARDS OF SOFT SEDIMENT AND FLOODWATER.

MAINTENANCE

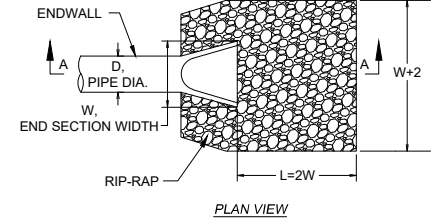
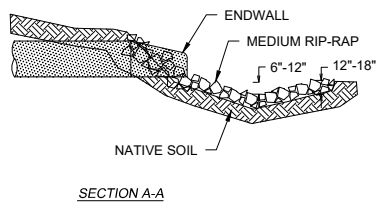
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 OF THE OUTLET. THIS SEDIMENT SHALL BE PLACED IN SUCH A MANNER THAT IT WILL NOT ERODE FROM THE SITE.

THE SEDIMENT SHALL NOT BE DEPOSITED DOWNSTREAM FROM THE EMBANKMENT OR IN OR ADJACENT TO A STREAM OR FLOODPLAIN.

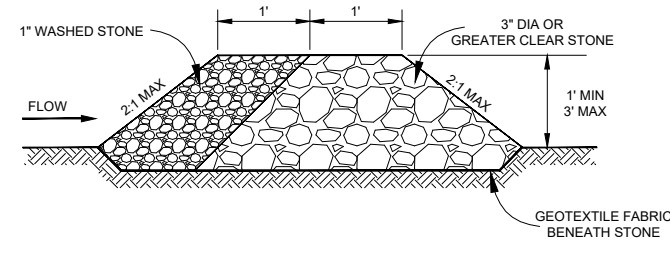
SEDIMENT TRAPS SHALL BE INSPECTED FOR DAMAGE AND REPAIRED WEEKLY AND AFTER EACH RAINFALL EVENT. ALL DAMAGES SHALL BE REPAIRED BEFORE THE END OF EACH WORKING DAY.

IF THE SEDIMENT TRAP DOES NOT DRAIN COMPLETELY WITHIN 24 HOURS OF A STORM EVENT, THE GEOTEXTILE AND STONE OUTLET SHOULD BE CLEANED.

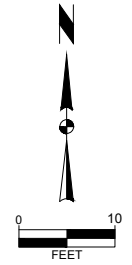
SEDIMENT TRAPS SHOULD BE REMOVED AFTER THE SITE HAS BEEN PERMANENTLY STABILIZED.



2 ENDWALL RIP-RAP DETAIL
C10.1 SCALE: NTS



4 STONE WEEPER DETAIL
C10.1 SCALE: NTS

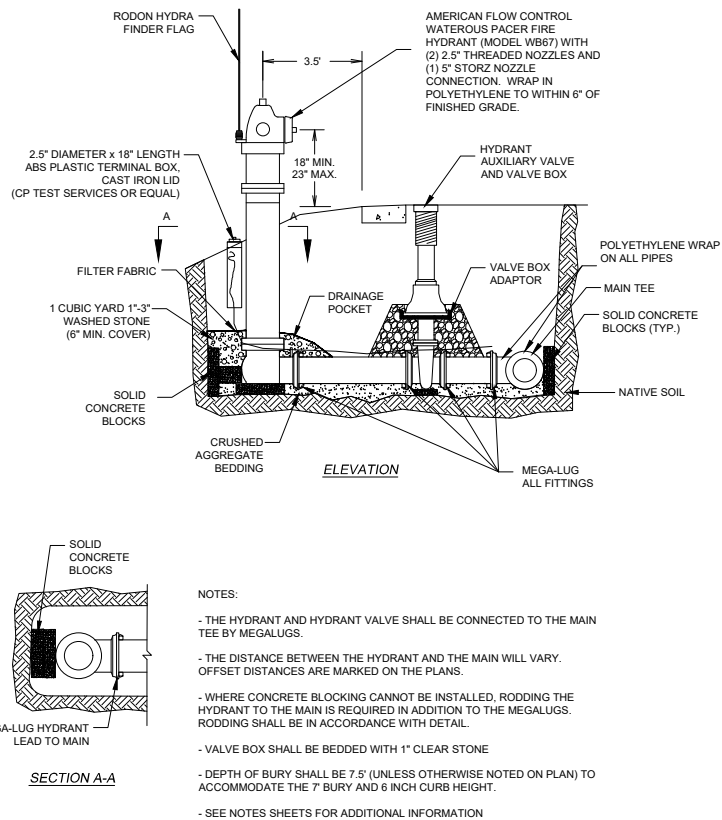


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Engineer: ZLR	Checked By: MLC	Scale: 1" = 10'	
Technician: GCB	Date: 11-07-2022	T-R-S: TTN+RRW+SS	
Project No: 122.1386.30			Sheet C 701

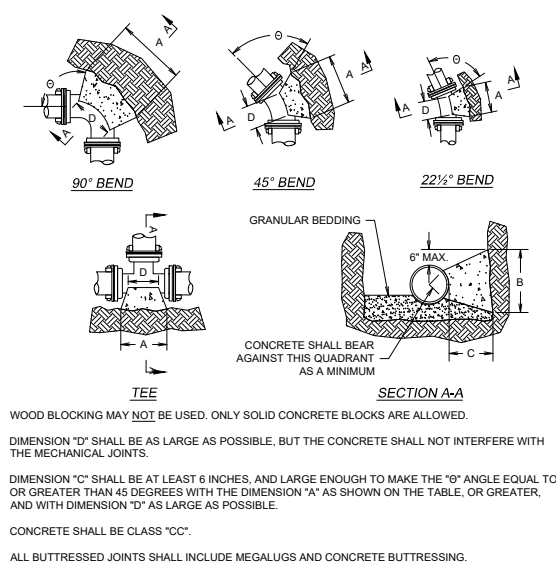
BEAR TREE FARMS - PHASE 7
 EROSION CONTROL DETAILS
 VILLAGE OF WINDSOR, DANE COUNTY, WI
 SNYDER & ASSOCIATES, INC. |
 5010 VOGES ROAD
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1 STANDARD HYDRANT DETAIL
SCALE: NTS

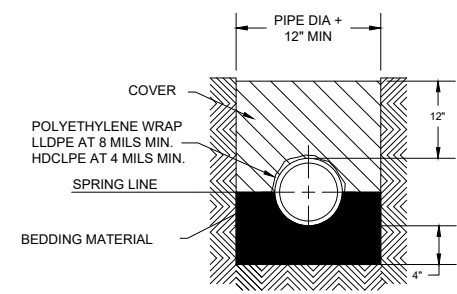


PIPE SIZE	BUTTRESS DIMENSIONS							
	TEES		22.5° BEND		45° BEND		90° BEND	
	A	B	A	B	A	B	A	B
4	1'-3"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-4"	1'-2"
6	1'-6"	1'-4"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
8	1'-6"	1'-4"	1'-0"	1'-0"	1'-4"	1'-2"	1'-10"	1'-6"
10/12	2'-3"	2'-0"	1'-4"	1'-4"	1'-10"	1'-10"	2'-8"	2'-3"

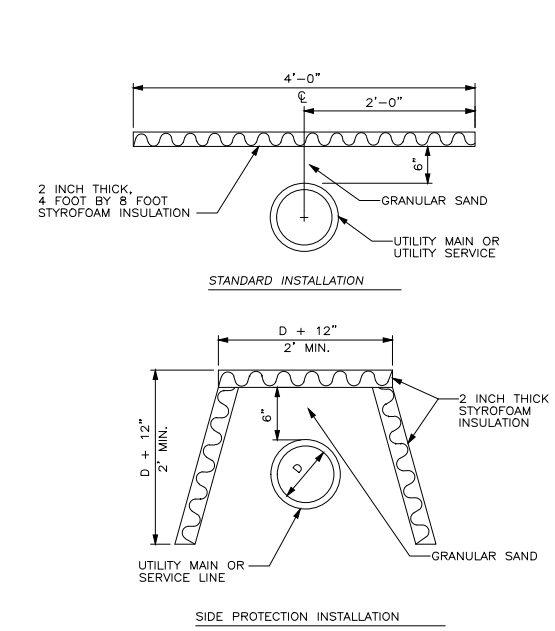
*** = FOR TEE THIS WILL BE THE BRANCH PIPE**

DIMENSIONS IN THE TABLE ARE BASED ON A WATER PRESSURE OF 150 PSI AND SOIL RESISTANCE OF 2000 LBS./SQ.FT.

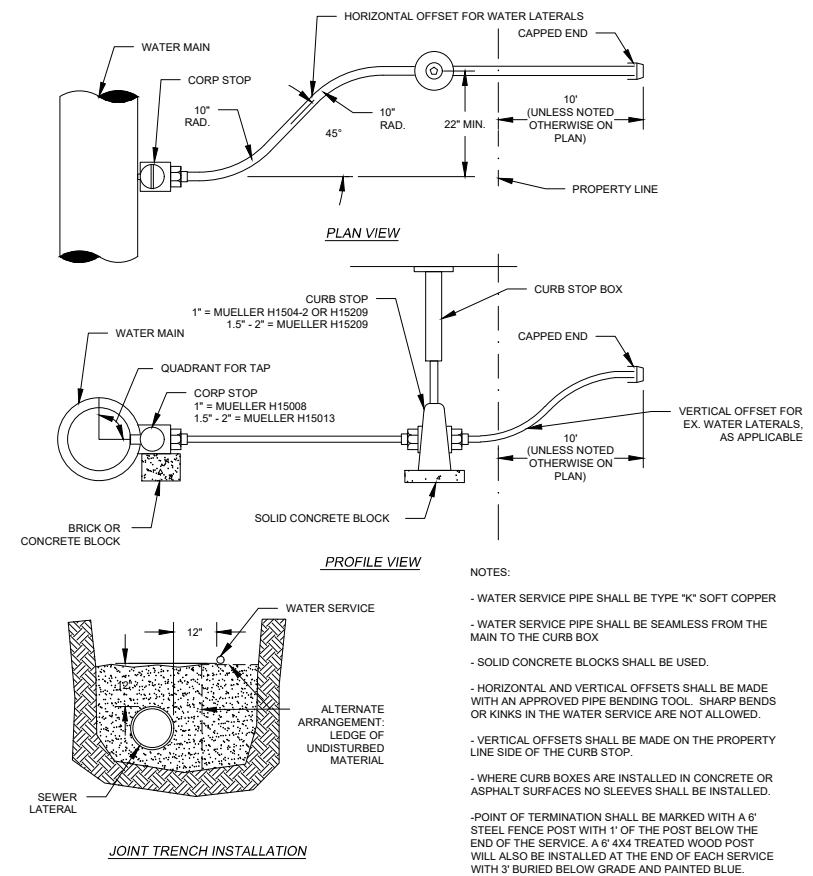
3 THRUST BLOCK DETAILS
SCALE: NTS



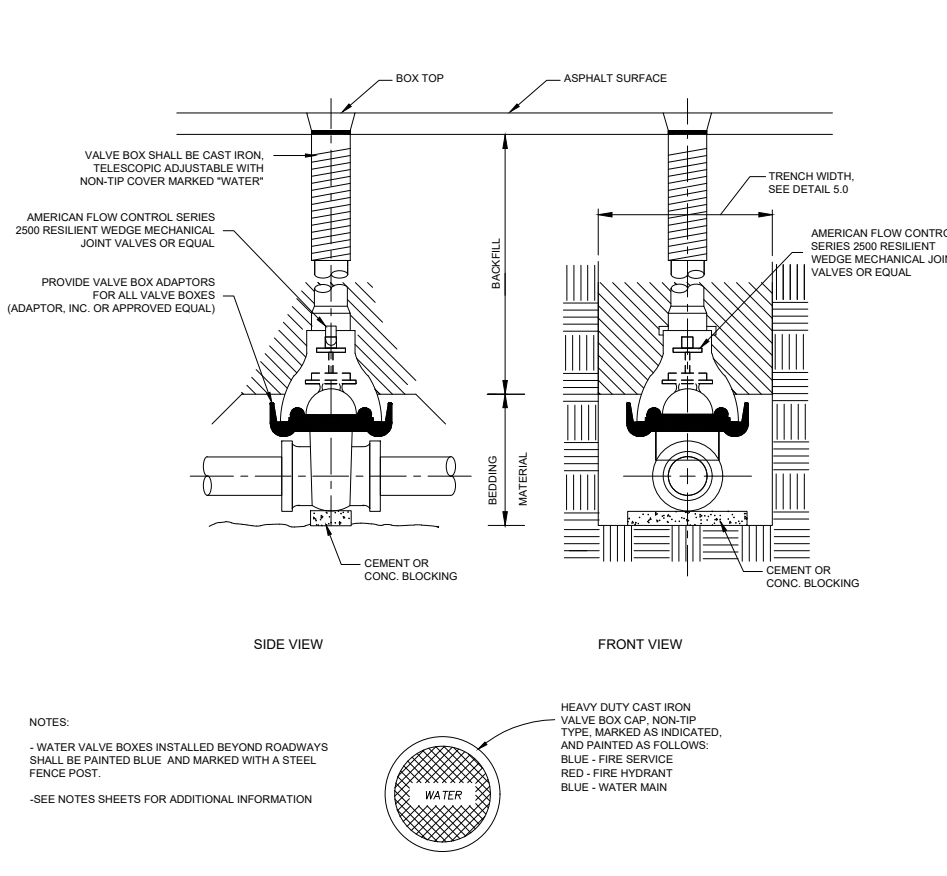
5 WATER MAIN TRENCHING DETAIL
SCALE: NTS



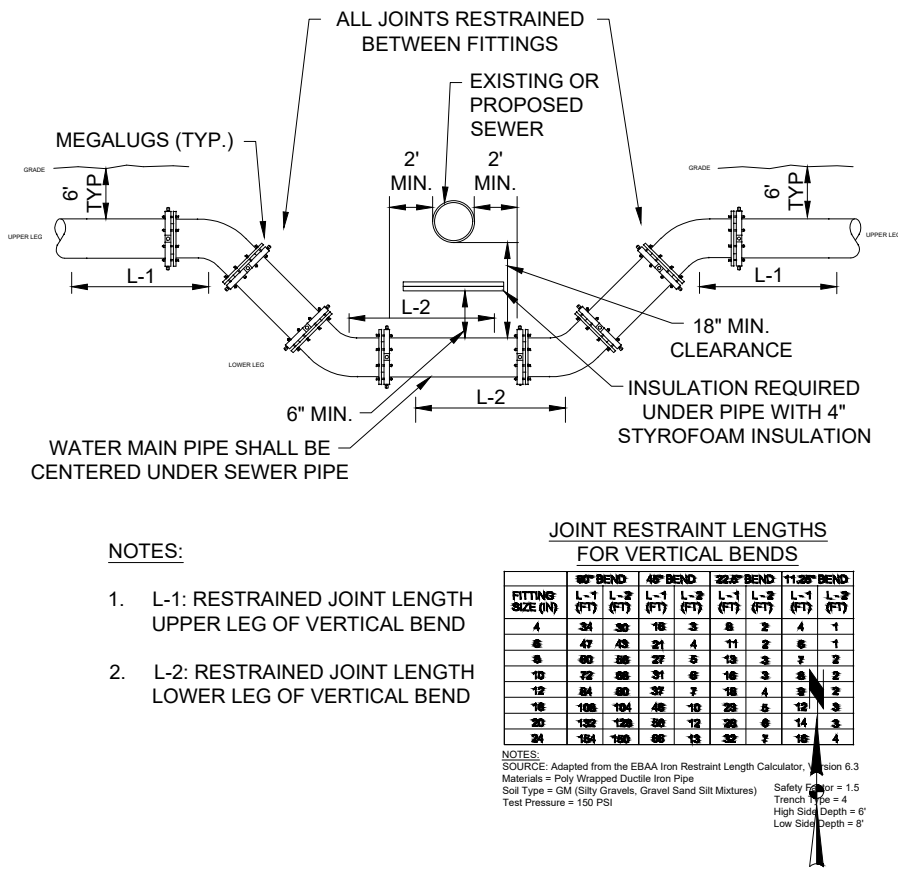
6 PIPE INSULATION DETAIL
SCALE: NTS



2 WATER SERVICE LATERAL DETAIL
SCALE: NTS



4 WATER VALVE & BOX DETAIL
SCALE: NTS



7 WATER MAIN VERTICAL OFFSET & JOINT RESTRAINT DETAIL
SCALE: NTS

BEAR TREE FARMS - PHASE 7

UTILITY DETAILS - WATER

VILLAGE OF WINDSOR, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC.

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Project No: 122.1386.30

Sheet C 702

MARK: _____ REVISION: _____ BY: _____

DATE: _____

Checked By: MLC Scale: 1" = 10'

Date: 11-07-2022 T-R-S: TTN-RRW-SS

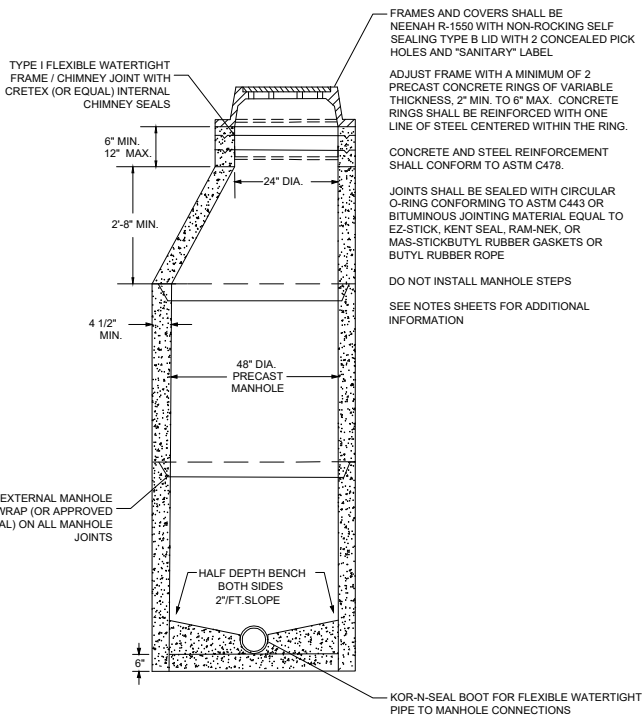
Technician: GCB

Project No: 122.1386.30

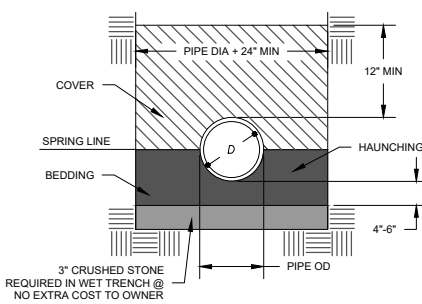
Sheet C 702

Project No: 122.1386.30

Sheet C 702



1 SANITARY SEWER MANHOLE DETAIL
SCALE: NTS



BEDDING AND COVER MATERIALS SHALL BE CRUSHED STONE OR CRUSHED STONE SCREENING. CRUSHED STONE MUST BE USED IN AREAS OF HIGH GROUND WATER.

PLACE AND COMPACT BEDDING AND COVER IN MAXIMUM 6" LAYERS. WORK MATERIAL IN AND AROUND PIPE BY HAND TO PROVIDE UNIFORM SUPPORT.

BACKFILLING SHALL INCLUDE 12" OF GRAVEL UNDER ROADWAYS, CONSOLIDATION BY MECHANICAL MEANS TO 95% STANDARD PROCTOR DENSITY FOR IMPORTED GRANULAR MATERIAL AND 100% FOR EXCAVATED MATERIALS OF EXISTING MATERIAL IN THE ADJACENT TRENCH WALL.

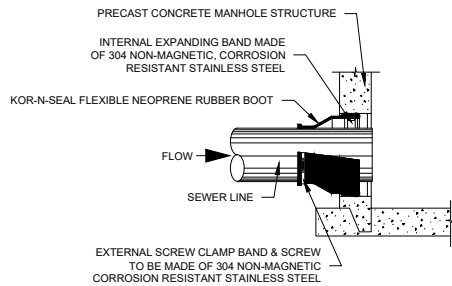
PROVIDE DEFLECTION TEST (MANDREL) IN ACCORDANCE WITH THE WISCONSIN STANDARDS FOR SEWER AND WATER CONSTRUCTION. IF DEFLECTION TESTING TAKES PLACE WITHIN THE 30 DAYS OF PLACEMENT OF THE FINAL BACKFILL, DEFLECTION MAY NOT EXCEED 5%. MAXIMUM DEFLECTION MAY NOT EXCEED 7.5% WHEN TESTING OCCURS MORE THAN 30 DAYS AFTER PLACEMENT OF THE FINAL BACKFILL.

PROVIDE A SUCCESSFUL LOW PRESSURE AIR TEST IN ACCORDANCE WITH THE WISCONSIN STANDARDS FOR SEWER AND WATER CONSTRUCTION. THE TESTS MUST BE PERFORMED IN THE PRESENCE OF THE ENGINEER. PROVIDE A TELEVISION INSPECTION OF COMPLETED SANITARY SEWER INSTALLATION. CONTRACTOR SHALL PROVIDE WSD1 A HARD COPY REPORT AND VIDEO ON A DVD OR OTHER APPROVED MEDIA FORMAT. A VHS TAPE WILL NOT BE ACCEPTED.

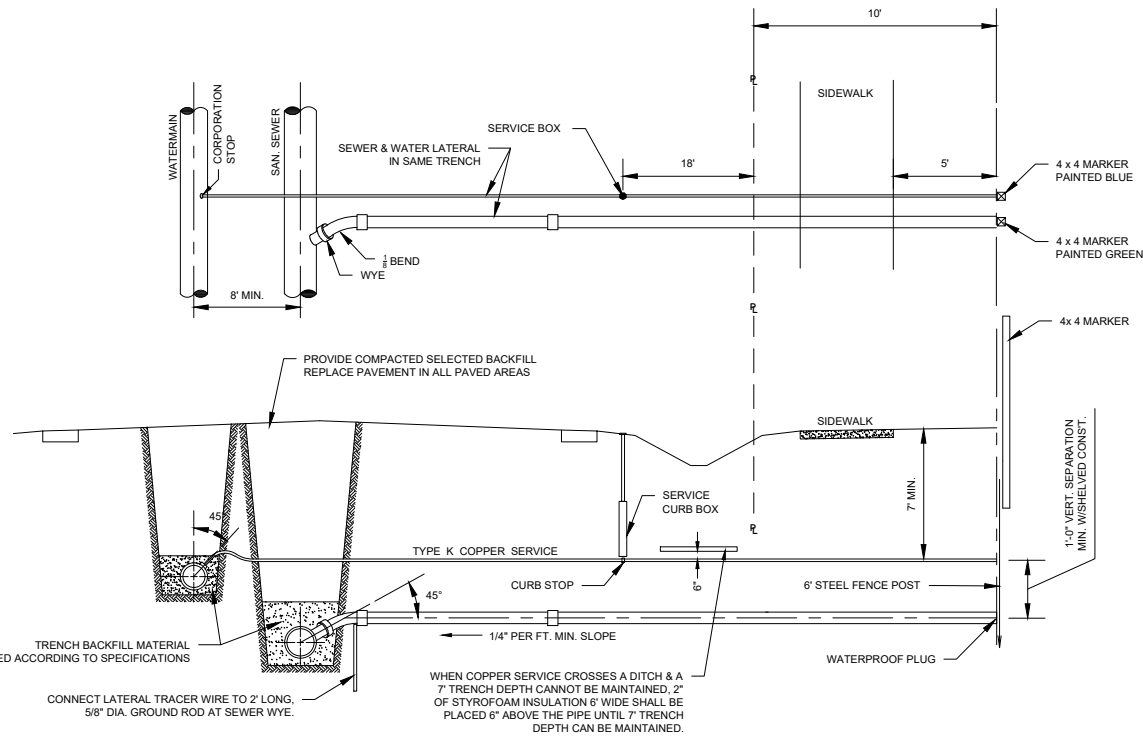
SEE NOTES SHEETS FOR ADDITIONAL INFORMATION

4 TRENCH WIDTH & BEDDING DETAILS
SCALE: NTS

6 NOT USED
SCALE: NTS



2 SANITARY SEWER MANHOLE / BOOT CONNECTION DETAIL
SCALE: NTS



NOTE:

THE TRACER WIRE SHALL BE INSTALLED ON TOP OF ALL PVC SANITARY SEWER LATERALS AND TAPED AT 6' INTERVALS FROM THE WYE AT THE SEWER MAIN TO THE CENTER OF THE TERRACE. A SECOND WIRE SHALL BE EXTENDED FROM THE CENTER OF THE TERRACE TO THE END OF THE LATERAL STUBBED INTO THE LOT. A SPOOL OF EXCESS WIRE SHALL BE PROVIDED AT THE END OF THE LATERAL EQUAL TO ONE-HALF THE DEPTH OF THE LOT FOR USE BY THE BUILDING PLUMBER AT THE TIME OF BUILDING CONNECTION. THE CONDUCTOR SHALL BE BROUGHT TO THE SURFACE TO A TEST BOX LOCATED DIRECTLY ABOVE THE SEWER LATERAL IN THE CENTER OF THE TERRACE BETWEEN THE BACK OF THE CURB AND THE FRONT OF THE SIDEWALK.

BELOW GRADE SPLICES ARE DISCOURAGED. IF SPLICES ARE NECESSARY, THE SPLICE SHOULD BE MADE WITH A 3M SCOTCHLOK SELF-STRIPPING CONNECTOR, OR APPROVED EQUAL.

POINT OF TERMINATION SHALL BE MARKED WITH A 6" STEEL FENCE POST WITH 1" OF THE POST BELOW THE END OF THE LATERAL. A 6" 4X4 TREATED WOOD POST WILL ALSO BE INSTALLED AT THE END OF EACH LATERAL WITH 3" OF THE POST BEING BURIED BELOW GRADE. THE EXPOSED PORTION OF THE POST SHALL BE PAINTED GREEN FOR SANITARY AND BLUE FOR WATER.

SEE NOTES SHEETS FOR ADDITIONAL INFORMATION

5 TYPICAL SEWER AND WATER CONNECTION DETAIL
SCALE: NTS

3 NOT USED
SCALE: NTS

MARK	REVISION	DATE	BY
Engineer: ZLR	Checked By: MLC	Scale: 1" = 10'	
Technician: GCB	Date: 11-07-2022	T-R-S: TTN-RRW-SS	
Project No: 122.1386.30			Sheet C 703

BEAR TREE FARMS - PHASE 7

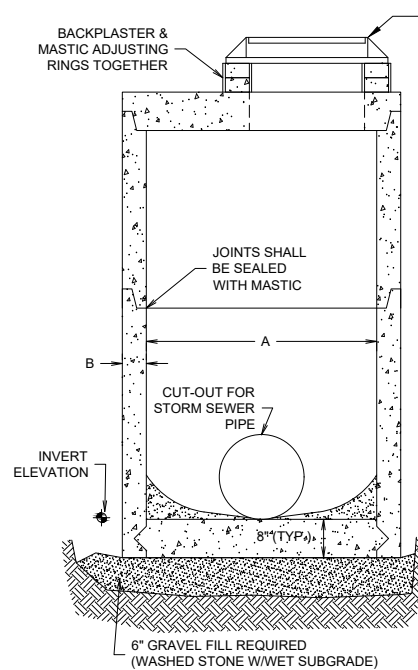
UTILITY DETAILS - SANITARY SEWER

VILLAGE OF WINDSOR, DANE COUNTY, WI

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FRAMES AND COVERS SHALL BE NEENAH R-1550-A WITH NON-ROCKING SELF SEALING TYPE B LID WITH 2 CONCEALED PICK HOLES AND "STORM" LABEL

CONCRETE SHALL BE 4000 PSI, 28 DAY COMPRESSIVE STRENGTH, 6.5 BAG MIX WITH 1-2% AIR ENTRAINMENT.

ADJUST FRAME TO GRADE WITH AT LEAST TWO PRECAST CONCRETE RINGS OF DIFFERENT THICKNESSES.

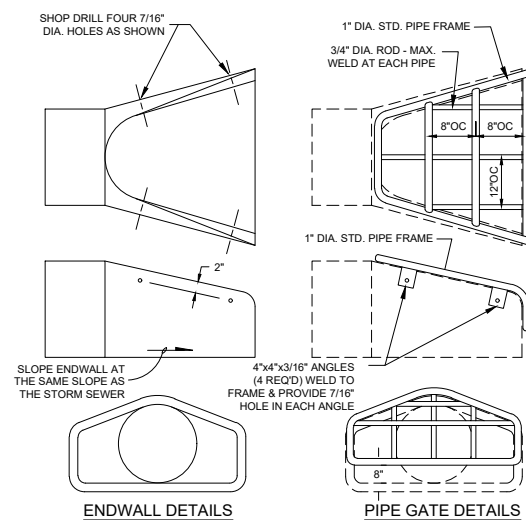
A MINIMUM OF 3" TO A MAXIMUM OF 9" OF ADJUSTING RINGS SHALL BE USED TO ADJUST THE MANHOLE CASTING TO THE FINISHED GRADE. ALL RINGS SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE BACK PLASTERED INSIDE AND OUT WITH CEMENT MORTAR.

STORM MANHOLE DIMENSIONS

MANHOLE SIZE	DIMENSION	
	A	B (MIN.)
48"	48"	5"
60"	60"	6"
72"	72"	7"
84"	84"	7"
96"	96"	9"

1 STORM SEWER MANHOLE
C13.0 SCALE: NTS

3 NOT USED
C13.0 SCALE: NTS

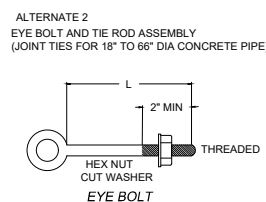
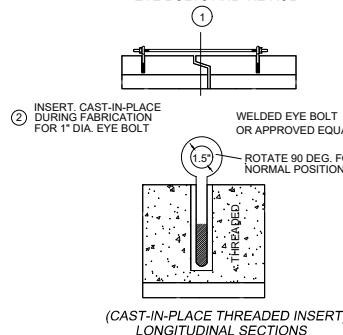
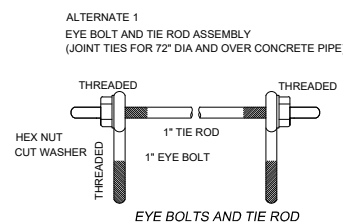


NOTES:
- THE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH FOUR 3/8"x8" MACHINE BOLTS WITH NUTS ON INSIDE WALL.
- ALL ENDWALL SECTIONS SHALL BE STRAPPED TO THE PREVIOUS TWO UPSTREAM PIPE SECTIONS.

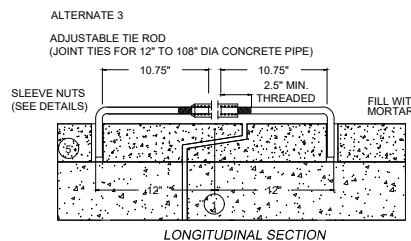
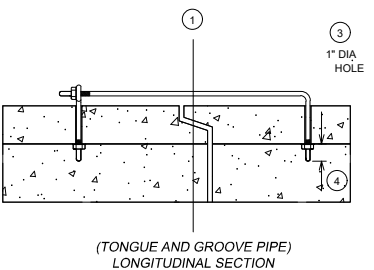
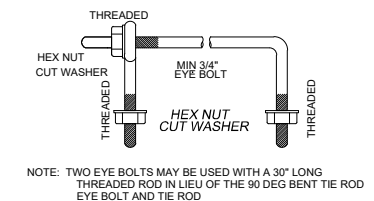
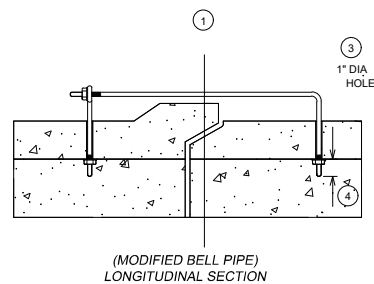
PAINTING SPECIFICATIONS:
- THE PIPE GATE SHALL RECEIVE THE FOLLOWING PREPARATION & PAINTING. THE FIRST COAT SHALL BE RUS-OLEUM X-60 RED BARE METAL PRIMER OR APPROVED EQUAL. THE SECOND COAT SHALL BE RUS-OLEUM 960 ZINC CHROMATE PRIMER OR APPROVED EQUAL. THE THIRD COAT SHALL BE RUS-OLEUM 1282 HIGH GLOSS METAL FINISH OR APPROVED EQUAL.

PREPARATION STEPS:
1. BARE METAL SURFACES - TREAT WITH THE THREE-COAT PAINTING SYSTEM LISTED AFTER A THOROUGH SCRAPING, WIRE BRUSHING & CLEANING.
2. EACH COAT OF PAINT SHALL BE APPLIED OVER THE ENTIRE GATE SURFACE.
3. ALLOW 24-48 HOURS DRYING TIME AT 60° OR ABOVE BETWEEN COATS.

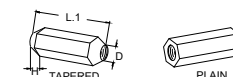
2 STANDARD ENDWALL DETAILS
C13.0 SCALE: NTS



4 CONCRETE PIPE JOINT TIE DETAILS
C13.0 SCALE: NTS



- > OF TONGUE AND GROOVE OR BELL AND SPIGOT JOINTS
- THE INSIDE OF THE THREADED INSERTS SHALL BE CLEAN TO ALLOW THE INSERTION OF THREADED EYE BOLTS
- HOLES SHALL BE CAST-IN-PLACE OR DRILLED, 12" FROM > OF TONGUE AND GROOVE
- BOLT PROJECTION INSIDE OF PIPE SHALL NOT EXCEED 2"
- ROD DIAMETER = 1 INCH



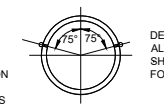
RIGHT AND LEFT THREADS SLEEVE NUTS

PIPE SIZE	L = LENGTH	
	TONGUE & GROOVE PIPE	MODIFIED BELL PIPE
18" TO 24"	4 1/2"	6 1/4"
30"	5"	7"
36"	5 1/2"	7"

PIPE BOLT DIMENSION TABLE

GENERAL NOTES:
CONCRETE CULVERT PIPE SHALL BE TIED TOGETHER IN THE MANNER ILLUSTRATED BY THIS DETAIL AND PER STANDARD SPEC. 502.7 (D) THE CONTRACTOR MAY USE EITHER ALTERNATE 1, 2, OR 3 FOR DRAINAGE STRUCTURES. UNLESS OTHERWISE STATED IN THE CONTRACT, THE MATERIALS, FABRICATION AND WORK NECESSARY TO THE CULVERT PIPE AS SHOWN ON THIS DETAIL WILL BE CONSIDERED INCIDENTAL TO THE CULVERT PIPE.

PLACEMENT OF (2) CAST-IN-PLACE INSERTS OR HOLES DURING FABRICATION FOR PIPE SECTIONS REQUIRING TIE RODS



TRANSVERSE SECTION

BEAR TREE FARMS - PHASE 7

UTILITY DETAILS - STORM SEWER

VILLAGE OF WINDSOR, DANE COUNTY, WI

SNYDER & ASSOCIATES, INC.



SNYDER & ASSOCIATES

Project No: 122.1386.30

Sheet C 704

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Engineer: ZLR	Checked By: MLC	Scale: 1" = 10'	
Technician: GCB	Date: 11-07-2022	T-R-S: TTN-RRW-SS	

Project No: 122.1386.30
Sheet C 704

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GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE ENGINEER, THE CONTRACTOR SHALL NOT ORDER AND DELIVER PRECAST INLET UNITS REQUIRED FOR THE PROJECT UNTIL A LIST OF SIZES IS FURNISHED BY THE ENGINEER.

DETAILED DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR INLETS WHICH MAY INCLUDE PRECAST REINFORCED CONCRETE INLETS, SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PROVIDING THAT SUCH ALTERNATE DESIGNS MAKE PROVISION FOR EQUIVALENT CAPACITY AND STRENGTH.

ALL MEDIAN INLETS ARE DESIGNATED ON THE PLANS AS "INLETS, 1G-MS", ETC. THE FIRST NUMBER AND LETTER DESIGNATE THE TYPE OF STRUCTURE, AND THE FOLLOWING LETTERS DESIGNATE THE TYPE OF COVER TO BE USED TO COMPRISE THE COMPLETE UNIT. BASES SHALL BE PLACED ON A BED OF MATERIAL AT LEAST 6 INCHES IN DEPTH, WHICH MEETS THE REQUIREMENTS OF FOUNDATION BACKFILL. THIS BEDDING SHALL BE COMPACTED AND PROVIDE UNIFORM SUPPORT FOR THE ENTIRE AREA OF THE BASE.

ALL BAR STEEL REINFORCEMENT SHALL BE EMBEDDED 2 INCHES CLEAR UNLESS OTHERWISE SHOWN OR NOTED.

PRECAST REINFORCED RISERS SHALL HAVE A TONGUE AND GROOVE JOINT WITH TONGUE UP OR DOWN.

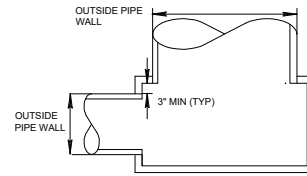
ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF ASTM C 913.

MAXIMUM INSIDE PIPE DIAMETER DETERMINED BY 3" CLEARANCE ON EACH SIDE OF THE OUTSIDE WALL OF THE PIPE. SEE DETAIL "A". ASSUMES PIPE ENTERS PERPENDICULAR TO THE STRUCTURE.

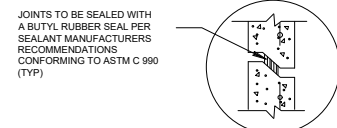
- ① FOR PRECAST INLETS PROVIDE REINFORCING STEEL IN ACCORDANCE TO ASTM C 913.
- ② CONTRACTOR TO PROVIDE DRAWING(S) STAMPED BY A PROFESSIONAL ENGINEER FOR STEEL REINFORCING DESIGN FOR CAST-IN-PLACE STRUCTURES.

PIPE MATRIX

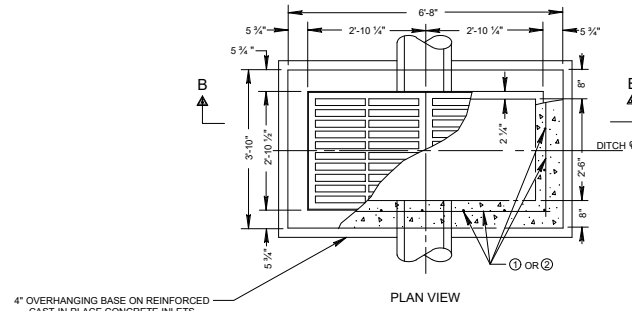
INLET SIZE	WIDTH (IN)	LENGTH (IN)	MAXIMUM INSIDE PIPE DIAMETER
1 GRATE	18	18	
2 GRATE	18	42	



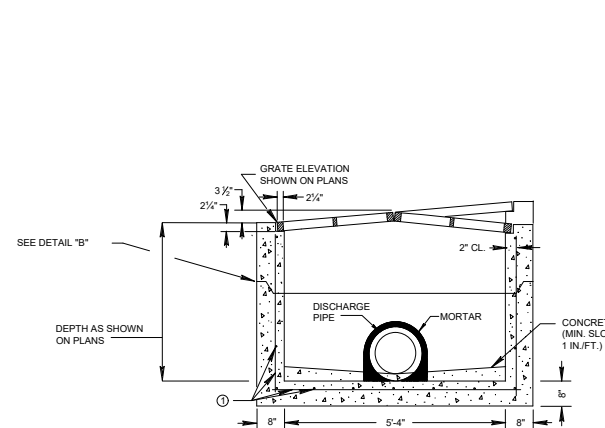
DETAIL "A"



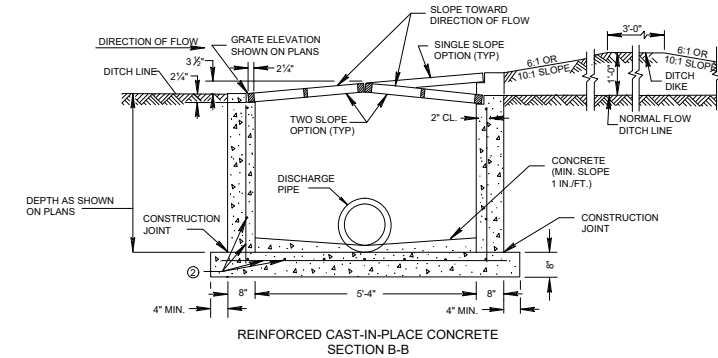
DETAIL "B"



PLAN VIEW



PRECAST REINFORCED CONCRETE SECTION B-B



REINFORCED CAST-IN-PLACE CONCRETE SECTION B-B INLETS MEDIAN 2 GRATE

1 INLETS - MEDIAN 2 GRATE
C13.0 SCALE: NTS

GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE ENGINEER, THE CONTRACTOR SHALL NOT ORDER AND DELIVER PRECAST INLET UNITS REQUIRED FOR THE PROJECT UNTIL A LIST OF SIZES IS FURNISHED BY THE ENGINEER.

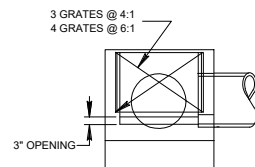
DETAILED DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR INLETS WHICH MAY INCLUDE PRECAST REINFORCED CONCRETE INLETS, SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PROVIDING THAT SUCH ALTERNATE DESIGNS MAKE PROVISION FOR EQUIVALENT CAPACITY AND STRENGTH.

ALL MEDIAN INLETS ARE DESIGNATED ON THE PLANS AS "INLETS, 3G-MS", ETC. THE FIRST NUMBER AND LETTER DESIGNATE THE TYPE OF STRUCTURE, AND THE FOLLOWING LETTERS DESIGNATE THE TYPE OF COVER TO BE USED TO COMPRISE THE COMPLETE UNIT.

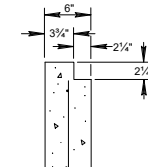
ALL BAR STEEL REINFORCEMENT SHALL BE EMBEDDED 2 INCHES CLEAR UNLESS OTHERWISE SHOWN OR NOTED.

ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF ASTM C 913.

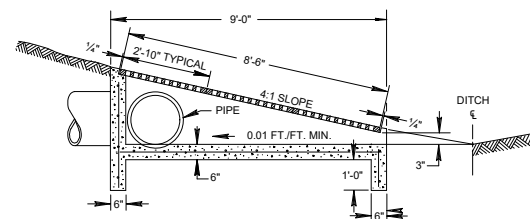
BASES SHALL BE PLACED ON A BED OF MATERIAL AT LEAST 6 INCHES IN DEPTH, WHICH MEETS THE REQUIREMENTS OF FOUNDATION BACKFILL. THIS BEDDING SHALL BE COMPACTED AND PROVIDE UNIFORM SUPPORT FOR THE ENTIRE AREA OF THE BASE.



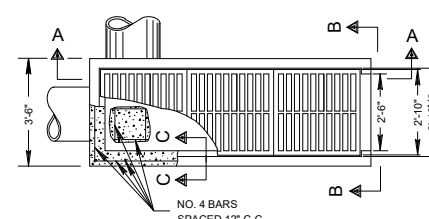
SECTION B-B



SECTION C-C



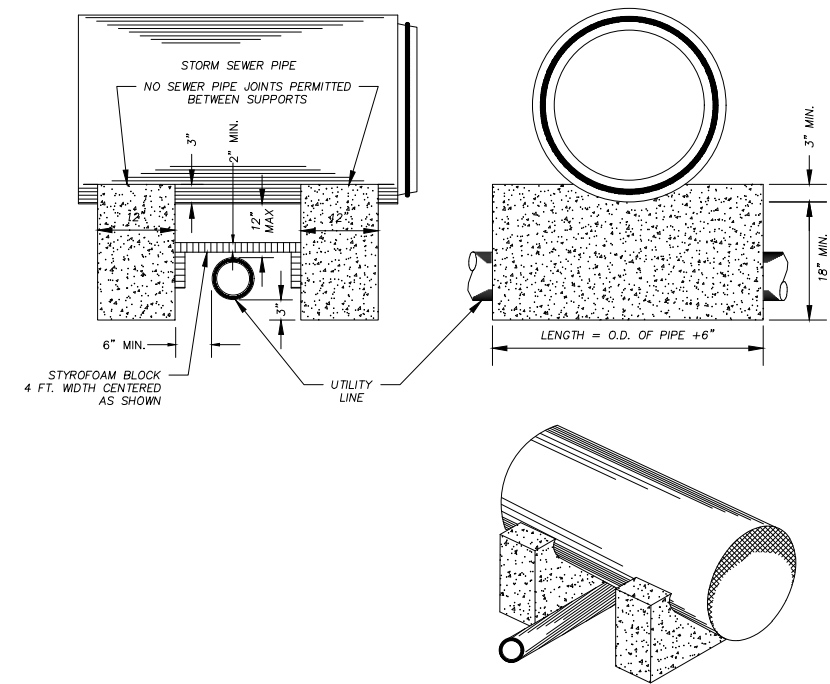
SECTION A-A



PLAN VIEW

INLETS MEDIAN 3 GRATE

2 INLETS - MEDIAN 3 GRATE
C13.0 SCALE: NTS



EACH PAIR OF SUPPORTS IN ANY SIZE IS ONE PAY ITEM

3 STORM SEWER CONCRETE SUPPORTS
C13.0 SCALE: NTS

BEAR TREE FARMS - PHASE 7
UTILITY DETAILS - STORM SEWER



Project No: 122.1386.30
Sheet C 705

VILLAGE OF WINDSOR, DANE COUNTY, WI

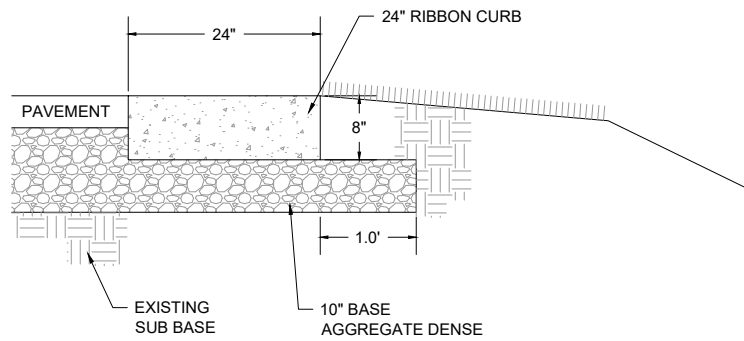
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-835-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES, INC.

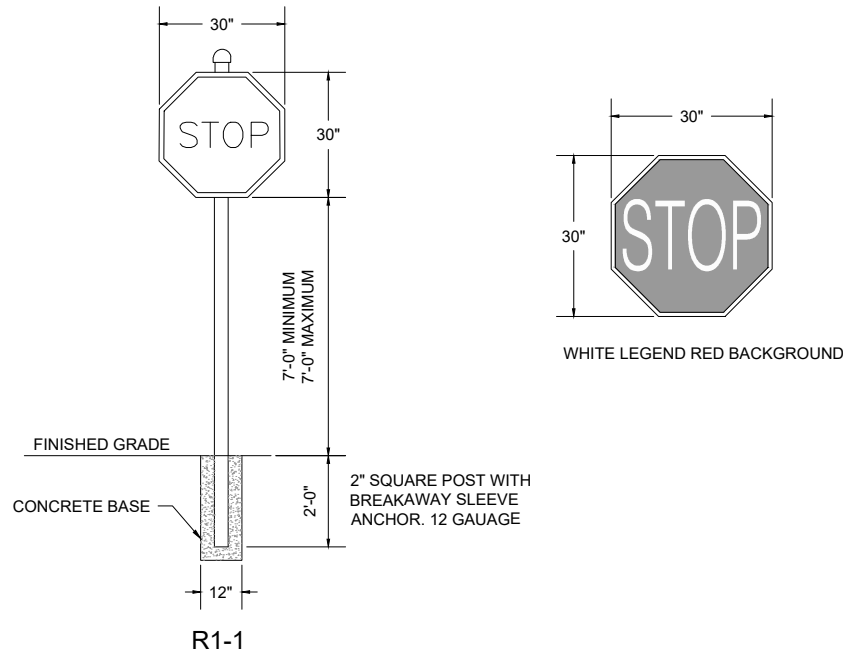
Project No: 122.1386.30

Sheet C 705

MARK	REVISION	DATE	BY
Engineer: ZLR	Checked By: MLC	Scale: 1" = 10'	
Technician: GCB	Date: 11-07-2022	T-R-S: TTN+RRW-SS	

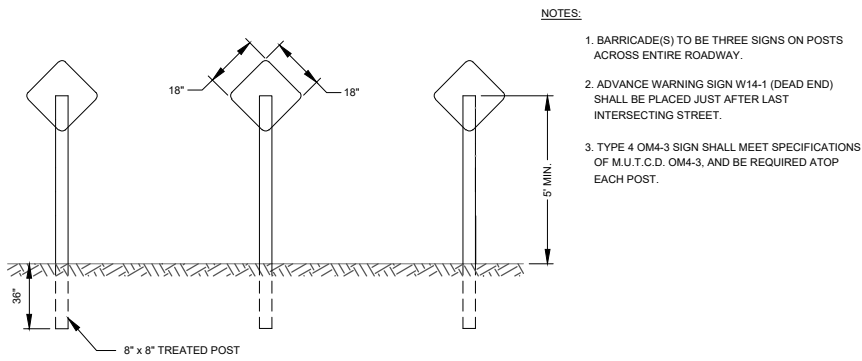


1 RIBBON CURB DETAILS
C14.0 SCALE: NTS



4 STOP SIGN DETAILS
C14.0 SCALE: NTS

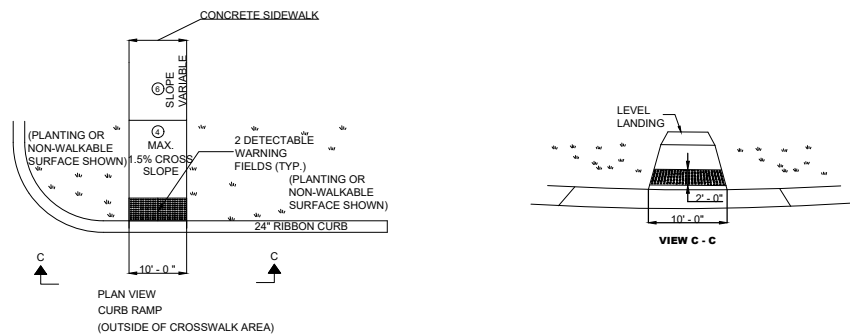
6 NOT USED
C14.0 SCALE: NTS



2 ROAD CLOSED TYPE 4 OM4-3 DETAILS
C14.0 SCALE: NTS

- NOTES:
1. BARRICADE(S) TO BE THREE SIGNS ON POSTS ACROSS ENTIRE ROADWAY.
 2. ADVANCE WARNING SIGN W14-1 (DEAD END) SHALL BE PLACED JUST AFTER LAST INTERSECTING STREET.
 3. TYPE 4 OM4-3 SIGN SHALL MEET SPECIFICATIONS OF M.U.T.C.D. OM4-3, AND BE REQUIRED ATOP EACH POST.

3 NOT USED
C14.0 SCALE: NTS



5 CURB RAMP DETAIL
C14.0 SCALE: NTS

P:\2022\1221386\306\306\1221386_Plan_Detail.dwg ZACHROLE MISC DETAILS 20221107 10:55 AM ANSIELEL BLEED B (17.00 X 11.00 INCHES)

MARK	REVISION	DATE	BY

Engineer: ZLR Checked By: MLC Scale: 1" = 10'
 Technician: GCB Date: 11-07-2022 T-R-S: TTN+RRW+SS

BEAR TREE FARMS - PHASE 7
MISC. DETAILS
VILLAGE OF WINDSOR, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com



**PLAT OF BEAR TREE FARMS,
LOCATED IN THE VILLAGE OF WINDSOR,
DANE COUNTY, WISCONSIN:**

**AMENDMENT TO AGREEMENT FOR PUBLIC
IMPROVEMENTS AND DEVELOPMENT MATTERS
FOR PHASE 7
(“Phase 7 Amendment”)**

This Phase 7 Amendment amends the Agreement for Public Improvements and Development Matters for the Plat of Bear Tree Farms, Village of Windsor, Dane County, Wisconsin which was executed to be effective on August 16, 2018, and recorded in the Dane County Register of Deeds office on August 21, 2018 as Document # 5435598

See Exhibit 1-A for a complete list of legal descriptions
and Parcel Identification Numbers
Affected by this Amendment (the “Affected Lots”).

THIS SPACE RESERVED FOR RECORDING DATA

RETURN TO:

Amy Schweppe Anderson, Village of Windsor
4084 Mueller Road
DeForest, WI 53532

DRAFTED BY:

William Cole, as Legal Counsel to Village of
Windsor, and
Angie Black, as Legal Counsel to Developer

PARCEL IDENTIFICATION NUMBERS

See Exhibit 1-A

PHASE 7 AMENDMENT

1 THIS AMENDMENT TO AGREEMENT FOR PUBLIC IMPROVEMENTS AND
2 DEVELOPMENT MATTERS (the "Amendment" or "Phase 7 Amendment") is made and
3 entered into by and between Bear Tree Farms, Inc., a Wisconsin corporation, with its principal
4 business office located at 6658 Royal View Drive, DeForest, WI 53532 ("Developer"), and the
5 Village of Windsor ("Village"), a municipal corporation, with its principal business office located
6 at 4084 Mueller Road, DeForest, WI 53532, to be effective when executed by both parties.

7
8 RECITALS
9

10 WHEREAS, the parties entered into an Agreement for Public Improvements and
11 Development Matters effective as of August 16, 2018 (the "Development Agreement"), which
12 applies to the Plat of Bear Tree Farms in Dane County, Wisconsin, referred to and described and
13 defined as the "Plat" in the Development Agreement, and requires that the parties amend the
14 Development Agreement to provide for approval of each phase of the development;

15
16 WHEREAS, the Developer has requested approval of Phase 7 of the Plat, and the Village
17 is willing to approve Phase 7 on the terms and conditions set forth in this Amendment;

18
19 WHEREAS, pursuant to the Development Agreement this Phase 7 Amendment shall
20 apply to all lots within Phase 7 of the Plat (the lots subject to this Amendment are described in
21 Exhibit 1-A and Phase 7 of the Plat is depicted in Exhibit 2-A);

22
23 WHEREAS, the Village has previously approved that certain replat of a portion of the
24 Plat, included in Exhibit 5-A (the "Replat"); upon recording, the Replat shall be incorporated into
25 and part of the Plat), which has already or will be recorded shortly after this Amendment.

26
27 WHEREAS, the parties wish to confirm their mutual understanding by executing this
28 Phase 7 Amendment.

29
30 PHASE 7 AMENDMENT
31

32 NOW, THEREFORE, in consideration of the above recitals, which are incorporated
33 herein by reference, and other good and valuable consideration, the sufficiency of which is hereby
34 acknowledged, the Village and Developer agree as follows:

- 35
36 1. DEVELOPMENT AGREEMENT AMENDMENT REQUIRED. Sections 1.2 and 1.3 of
37 the Development Agreement require Village approval of each phase of development within
38 the Plat and a written amendment confirming Village approval and conditions. This
39 Amendment satisfies this requirement as to Phase 7. When fully executed, the Amendment
40 shall be recorded by the Village, at the Developer's expense.
41
42 2. APPROVAL OF PHASE 7 OF THE PLAT. This Phase 7 Amendment confirms that Phase
43 7 of the Plat has been approved by the Village, subject to the following terms and conditions:

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- 2.1. Property Included in Phase 7.** Phase 7 shall include the forty-nine (49) lots described in Exhibit 1-A, which shall comprise “Phase 7,” which is depicted on Exhibit 2-A.
- 2.2. Phasing Plan Amended.** The Phasing Plan depicted on Exhibit 2-A, which is attached and incorporated by reference, is hereby approved. By approving this Phase 7 Amendment, the Village determines that the “Phasing Plan” attached hereto as Exhibit 2-A satisfies Section 1.2 of the Development Agreement, and further acknowledges and agrees that the proposed connections and Public Improvements for Phase 7, as set forth in the Plans described on Exhibit 3-A, and incorporated by reference, are approved by this Phase 7 Amendment.
- 2.3 Public Improvements.** The Village and Developer acknowledge and agree the plans and specifications for completion of the Public Improvements for Phase 7 have been reviewed by the Village Engineer and, per Exhibit 3-A, the Village Engineer has no objection to the Public Improvement work within Phase 7 proceeding subject to and in accordance with this Phase 7 Amendment.
- 2.4 Engineering and Construction Plans.** The Village and Developer acknowledge the Engineering and Construction Plans set forth on Exhibit 3-A and shall proceed in accordance with said plans and this Phase 7 Amendment with respect to Phase 7, except as otherwise indicated herein.
- 2.5 Intentionally Deleted.**
- 2.6 Parkland Dedication or Fee In Lieu of Dedication.** The Village and Developer agree that as of the date of this Phase 7 Amendment, Developer has dedicated 28.9 acres of parkland and has paid \$424,646.82 as fees in lieu of dedication in connection with the Development. Developer does not owe any fees in lieu of dedication in connection with Phase 7.
- 2.7 Fee for Initial Improvement to Parkland Per Wis. Stat. § 236.45(6) and §66.0617(6)(g)¹.** Developer has a continuing responsibility to satisfy all requirements of Village Ordinances and State law with regard to the payment of fees for initial improvements to parkland (“Fees For Initial Improvement of Parkland”) with regard to all lots within Phase 7, in accordance with the Development Agreement, the Village Ordinances and Wisconsin Statutes. In accordance with Section 14 of the Development Agreement, the Developer or purchasers/successor owners of any lots shall pay the Fees For Initial Improvement of Parkland set forth in Exhibit 4-A in accordance with the options and timing for payment set forth in Wis. Stat. §66.0617(6)(g). The Village acknowledges and agrees that, consistent with the Village’s obligations under Section 14 of the

¹ Section 14 of the Development Agreement contains a typo in reference to Wis. Stats. §66.0617(6)(g), and the parties acknowledge and agree the statutory reference in Section 14 is hereby correct to refer to §66.0617(6)(g).

87 Development Agreement, to the extent not allocated to the Windsor Community
88 Park, the balance of any unused park improvement fees previously paid by
89 Developer related to the Plat and to be paid in connection with Phase 7 and future
90 phases of the Plat shall be allocated by the Village for use only in connection with
91 the construction of parks located and to be constructed within Outlots 5, 6, and 8 of
92 the Plat (the “Parks”), in accordance with the type of park facilities and
93 improvements anticipated in the [Village Comprehensive Outdoor Recreation Plan
94 (or “CORP”) and the associated CORP Facility Standards]. Specifically, the
95 Village agrees: (a) the Outlot 6 Park shall be designed as a Pocket Park with a Shelter
96 and Playground Equipment, as set forth in the CORP Facility Standards, and shall
97 be bid for construction and completed no later than [August 30, 2023], (b) the Outlot
98 8 Park shall be designed as a Natural Area Park with a Shelter and Playground
99 Equipment, as set forth in the CORP Facility Standards, and bid for construction and
100 completed no later than [August 30, 2023], and (c) the Outlot 5 Park shall be
101 designed as a Natural Area Park with a Shelter and Playground Equipment, as set
102 forth in the CORP Facility Standards, and shall be bid for construction and
103 construction commenced within one hundred twenty (120) days of when Developer
104 completes that portion of the Public Improvements constituting street frontage
105 immediately adjacent to the Outlot 5 Park and it shall be completed no later than one
106 hundred twenty (120) days after commencement. Upon final completion of the
107 foregoing Parks, the Village shall be free to use any remaining balance of Fees For
108 Initial Improvement of Parkland paid in connection with the Plat for other park or
109 recreation purposes within the Plat and in accordance with Section 14 of the
110 Development Agreement.

111
112 **2.8 Special Assessments and Impact Fees.** Pursuant to Section 15 of the Development
113 Agreement, the special assessments and impact fees due in connection with Phase 7
114 as of the date of this Phase 7 Amendment are set forth at the attached Exhibit 4-A,
115 which shall be payable in accordance with Wis. Stats. §66.0617(6)(g) and other
116 applicable Wisconsin Statutes, but the amounts shall be subject to change based on
117 subsequent revisions to applicable Village Ordinances, if payments are made after
118 the date of revision to the Village’s Ordinances. The Village and Developer agree
119 that as of the date of this Phase 7 Amendment, \$1,282,607.00 in special assessments
120 have been paid pursuant to the Development Agreement dated September 25, 2015
121 cited in footnote 1 in Exhibit 4-A (the “Windsor Sanitary District No. 1
122 Agreement”). Upon full payment of the remaining \$105,677.00 in special
123 assessments due under the Windsor Sanitary District No. 1 Agreement, the special
124 assessment obligations thereunder shall be deemed satisfied in full and the
125 remaining lots in Phase 7 and all future phases of development within the Plat shall
126 not be subject to the special assessment obligations thereunder and the Village
127 agrees to execute, or cause the Windsor Sanitary District No. 1 to execute, a
128 recordable termination of the Windsor Sanitary District No. 1 Agreement upon
129 Developer’s request once the special assessments have been fully paid.

Commented [A1]: Village to review and confirm these amounts.

133 3. **RATIFICATION OF DEVELOPMENT AGREEMENT.** Except as modified by this Phase
134 7 Amendment, the Development Agreement is fully ratified and remains binding on the parties
135 hereto. All terms defined in the Development Agreement have the same meaning in this Phase
136 7 Amendment, except where otherwise defined by this Phase 7 Amendment. Any provision
137 of the Development Agreement not specifically amended herein shall remain in full force and
138 effect and shall apply to Phase 7 to the extent applicable as set forth in the Development
139 Agreement. The terms of this Phase 7 Amendment shall modify and supplement the
140 Development Agreement with regard to Phase 7 and the lots within Phase 7 only unless
141 otherwise expressly stated herein.

142
143 4. **EXHIBITS.** The following Exhibits attached hereto are incorporated by reference:

144 Exhibit 1-A – Affected Lots

145 Exhibit 2-A – Phasing Plan

146 Exhibit 3- A – Approved Plans, Specifications and Other Details of Phase 7 Public
147 Improvements

148 Exhibit 4-A – Phase 7 Special Assessments and Impact Fees

149 Exhibit 5-A – Replat
150
151

152 ***SIGNATURES ON FOLLOWING 3 PAGES***

153 Executed in Dane County, Wisconsin, on this _____ day of _____, 202__.

154
155

VILLAGE OF WINDSOR

156
157

158
159 By: _____
160 Robert E. Wipperfurth, Village President

161
162

163 Attest: _____
164 Christine Capstran, Village Clerk

165
166

ACKNOWLEDGMENT

167
168

169 STATE OF WISCONSIN)
170) ss.
171 COUNTY OF DANE)

172
173

174 Personally came before me this _____ day of _____, 202__, the above-named
175 Robert E. Wipperfurth and Christine Capstran, President and Clerk of the Village of Windsor,
176 respectively, to me known to be the persons and officers who executed the foregoing instrument
177 and acknowledged the same as such officers by the Village's authority.

178
179

180 _____
181 Notary Public, State of Wisconsin
182 My Commission Expires: _____
183

184 Executed in Dane County, Wisconsin, on this _____ day of _____, 202__.

185

186

187

188

DEVELOPER AND OWNER

189

Bear Tree Farms, Inc.

190

191

192

By: Dwight E. Ziegler, President

193

194

195

196

ACKNOWLEDGMENT

197

198 STATE OF WISCONSIN)

199) ss.

200 COUNTY OF DANE)

201

202 Personally came before me this ___ day of _____, 202__, the above-named

203 Dwight E. Ziegler the President of Bear Tree Farms, Inc., to me known to be the person who

204 executed the foregoing instrument and acknowledged the same on behalf of Bear Tree Farms, Inc.

205

206

207

208

209 Notary Public, State of Wisconsin

210 My Commission Expires: _____

211

212

213 ***This instrument drafted by:***

214 William Cole, for the Village

215 Angie Black, for the Developer

216

CONSENT OF MORTGAGEE

The undersigned, Wisconsin River Bank, consents to and subordinates the liens of any of its mortgages on the Property to the terms and provisions of this Phase 7 Amendment, this ____ day of _____, 202__.

WISCONSIN RIVER BANK

By: _____
Richard T. Arneson, President

STATE OF WISCONSIN)
) ss.
COUNTY OF SAUK)

Personally came before me this _____ day of _____, 202__, the above-named Richard T. Arneson, President of Wisconsin River Bank, to me known to be the person who executed the foregoing instrument and acknowledged the same on behalf of Wisconsin River Bank.

Notary Public, State of Wisconsin
My Commission: _____

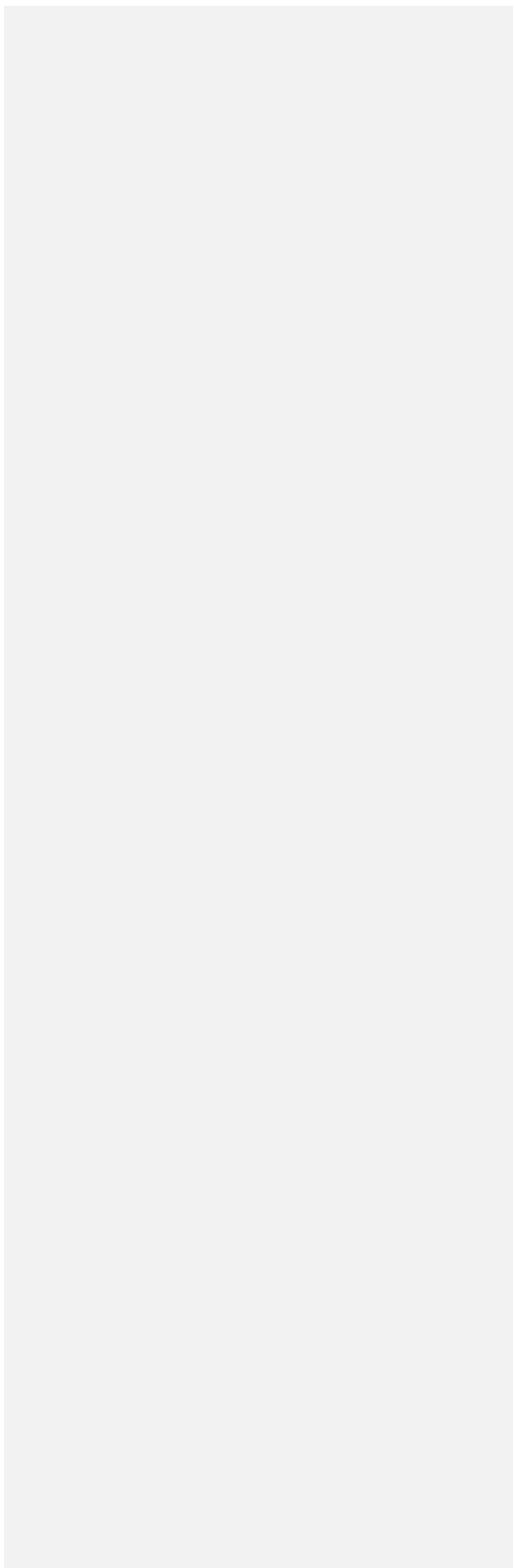
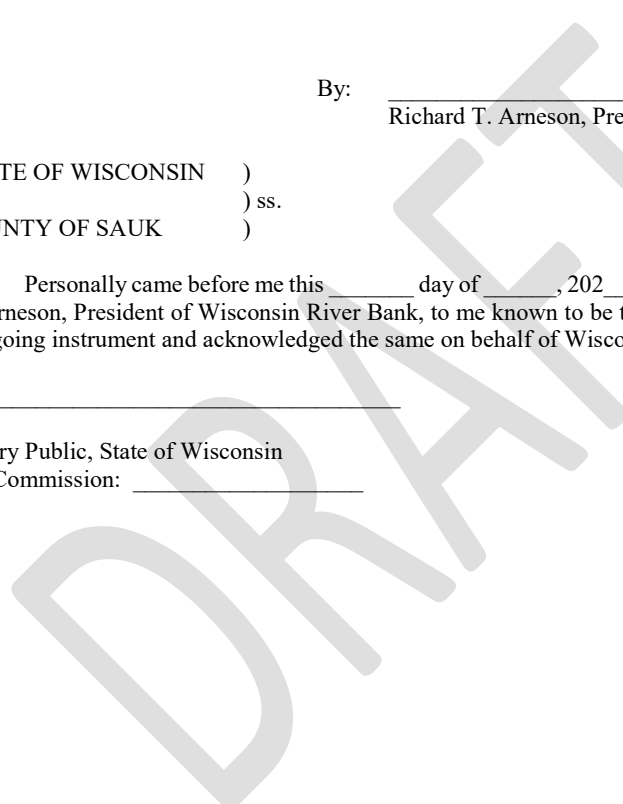
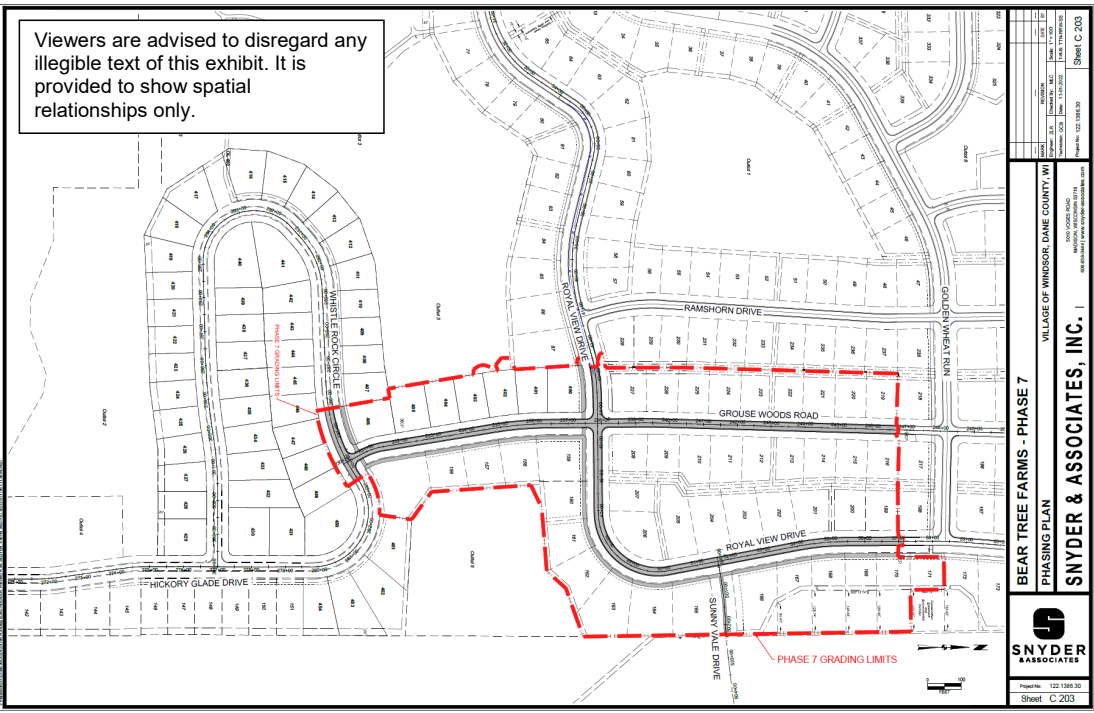



EXHIBIT 1-A
AFFECTED LOTS/
PHASE 7 LOTS

Lot Number	Parcel Number
88	0910-331-2058-1
89	0910-331-2069-1
90	0910-331-2080-1
132	0910-331-2542-1
141	0910-331-2641-1
156	0910-331-2776-1
157	0910-331-2787-1
158	0910-331-2798-1
159	0910-331-2809-1
160	0910-331-2820-1
161	0910-331-2831-1
162	0910-284-4182-1
163	0910-284-4193-1
164	0910-284-4204-1
165	0910-284-4215-1
166	0910-284-4226-1
167	0910-284-4237-1
168	0910-284-4248-1
169	0910-284-4259-1
170	0910-284-4270-1
199	0910-284-4389-1
200	0910-284-4400-1
201	0910-284-4411-1
202	0910-284-4422-1
203	0910-284-4433-1
204	0910-284-4444-1
205	0910-284-4455-1
206	0910-284-4466-1
207	0910-284-4477-1
208	0910-284-4488-1
209	0910-284-4499-1
210	0910-284-4510-1
211	0910-284-4521-1
212	0910-284-4532-1
213	0910-284-4543-1
214	0910-284-4554-1
215	0910-284-4565-1
216	0910-284-4576-1
219	0910-284-4609-1
220	0910-284-4620-1
221	0910-284-4631-1
222	0910-284-4642-1
223	0910-284-4653-1
224	0910-284-4664-1
225	0910-284-4675-1
226	0910-284-4686-1
227	0910-284-4697-1

Commented [A2]: These lots will no longer exist after the Replat is recorded and the newly created lots will presumably be issued new tax id nos.

Viewers are advised to disregard any illegible text of this exhibit. It is provided to show spatial relationships only.



BEAR TREE FARMS - PHASE 7	
PHASING PLAN	
VILLAGE OF WINDSOR, DANE COUNTY, WI	
SNYDER & ASSOCIATES, INC. I	
	
Project No. 122-1886-25	Sheet C 203
DATE: 05/11/2010 TIME: 11:00 AM DRAWN BY: J. SNYDER CHECKED BY: J. SNYDER PROJECT: 122-1886-25	DATE: 05/11/2010 TIME: 11:00 AM DRAWN BY: J. SNYDER CHECKED BY: J. SNYDER PROJECT: 122-1886-25

**EXHIBIT 2-A
PHASING PLAN**

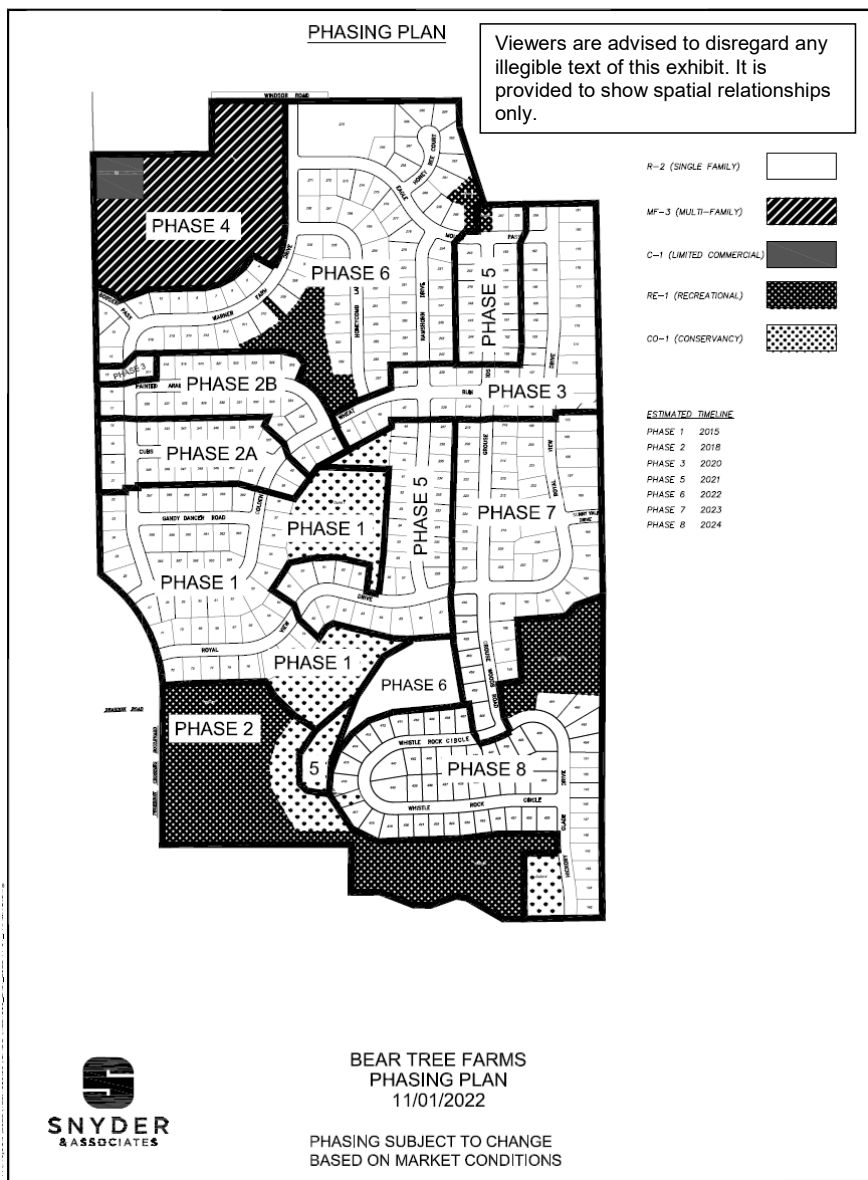


EXHIBIT 3-A
APPROVED PLANS, SPECIFICATIONS AND OTHER DETAILS OF PHASE 7
PUBLIC IMPROVEMENTS

For Phase 7:

PLANS: The Village Engineer has no objection to the final plans for Phase 7 presented by the Developer's Engineers, which plans are marked as follows:

- Phase 7 Bear Tree Farms Construction Plans, dated November 1, 2022, prepared by Snyder & Associates, Inc.

DRAFT

EXHIBIT 4-A
PHASE 7 SPECIAL ASSESSMENTS AND IMPACT FEES

Fees for Initial Improvement of Parkland (2022)

Development Phase	Number of Units	Cost per Unit	Total
Phase 7	49	\$1,319.15	\$64,638.35

Fees Due at Time Building Permit Issued (2022)

Development Review	Fee
Design Review	\$150.00
Erosion Control	\$100.00
Construction Review	(Varies)
Address Assignment	\$40.00
Plan Review	\$100.00
Refuse/Recycling	(Varies)
Wisconsin Permit Seal	\$50.00
Driveway/Culvert	\$25.00
Public Safety Residential	\$355.00 / DU
Traffic Impact Fee (West)	\$981.50 / DU
Water Impact Fee	\$3,000.00 / DU
Sewer Connection Fee	\$600.00 / DU
Unmetered Water Fee	\$62.76 / DU
Grading Plan Review	\$200.00 / DU
Grading Plan Escrow	\$1,000 / DU (Refundable)

Commented [A3]: Are these numbers still accurate?

Special Assessment¹ (as of February 3, 2022)

Lot	Cost per Lot	Total
100 (Example)	\$5,168.38	\$5,168.38

¹ Details of the Special Assessment are as described in the Development Agreement dated September 25, 2015 By and Between Windsor Sanitary District No. 1 (the "District", a town sanitary district, having offices located at 6716 Park Street, Windsor, Wisconsin 53598-0473, Bear Tree Farms, Inc., a Wisconsin corporation (the "Developer") having offices located at 370 Campbell Hill Court, DeForest, WI 53532; and PC Farm Holdings II, LLC, a Wisconsin limited liability company (the "Vendor"), having offices located at 370 Campbell Hill Court, DeForest, WI 53532.

EXHIBIT 5-A

Replat

Viewers are advised to disregard any illegible text of this exhibit. It is provided to show spatial relationships only.

BEAR TREE FARMS REPLAT

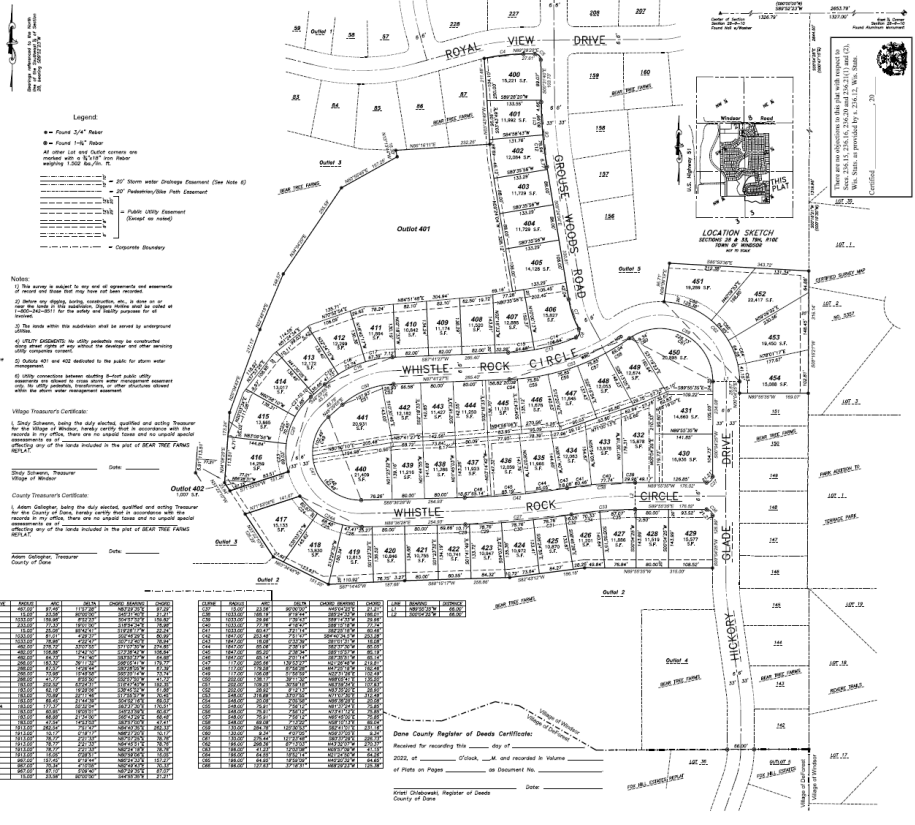
Lots 88 through 141, Lots 152 through 155, and vacated Flackoak Way, Bear Tree Farms, located in the Northeast 1/4, of the Northeast 1/4, and the Northeast 1/4 of the Northeast 1/4, of Section 23, T8N, R18E, Village of Whitewater, Deane County, Wisconsin.

Scale 1" = 100'

Surveyor's Certificate:
I, _____, Professional Land Surveyor No. 24230, do hereby certify that in full compliance with the provisions of Chapter 235 of the Wisconsin Statutes and the Commission Regulations of the Board of Survey and Land Conservation, I have surveyed and replatted the Bear Tree Farms REPLAT and that said replat complies with all applicable laws and the subdivision of the land therein and is a correct and true replat thereof.

Owner's Certificate:
I, Mark A. Pappas, PLS S-2538, do hereby certify that I have caused the land described on this plat to be replatted and replatted by the replater described and approved on the replat and that the replater is a duly qualified and acting Surveyor in the State of Wisconsin.

Notes:
1. The replat is subject to any and all approvals and easements of record and shall not be a lien on the replat.
2. Before any lot is sold, mortgaged, or otherwise encumbered, the replater shall be notified by the replater in writing of the replat.
3. The replat shall not be used for any purpose other than that for which it is intended.
4. The replater shall be liable for any and all damages and costs incurred by the replater in the course of the replating process.
5. The replater shall be liable for any and all damages and costs incurred by the replater in the course of the replating process.



Dated this 28th day of May, 2023, at _____, Wisconsin.

Mark A. Pappas, Professional Land Surveyor No. 24230

Office Map No. 211240

BIRRENKOTT SURVEYING
BIRRENKOTT SURVEYING
1877 N. BRISTOL STREET
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