# VILLAGE OF WINDSOR VILLAGE BOARD RESOLUTION 2023-11

# APPROVAL OF THE PHASE 7 AMENDMENT TO THE DEVELOPMENT AGREEMENT FOR BEAR TREE FARMS

WHEREAS, Bear Tree Farms, Inc. (the "Petitioner") has requested approval of the Phase 7 Amendment to the Development Agreement for Bear Tree Farms Lots 156-170, 199-216, 219-227 & 400-406 (the "Subject Property").

WHEREAS, the Village Staff and Consultants have reviewed the Petitioner's request and prepared a Staff Report dated February 09, 2023 (the "Staff Report") recommending approval, subject to certain conditions specified in the Staff Report; and

WHEREAS, following review of information presented at the Village Board meeting and the Staff Report, the Village Board approves the Phase 7 Amendment to the Development Agreement for Bear Tree Farms Lots 156-170, 199-216, 219-227 & 400-406, subject to the conditions specified in the Staff Report and as set forth herein.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Windsor as follows:

The Village of Windsor Village Board approves the Phase 7 Amendment to the Development Agreement for Bear Tree Farms Lots 156-170, 199-216, 219-227 & 400-406 subject to the following conditions:

- A. The Petitioner shall address the Staff Comments set forth in the Staff Report to the satisfaction of the Community Development Director.
- B. The Petitioner shall comply with the requirements of Sec. 52-64, R-2, Single Family Residential District of the Windsor Code of Ordinances.
- C. The Petitioner shall construct the Phase 7 as illustrated on the following executed Plan Sheets:
  - 1. Bear Tree Farms Phase 7 Construction Plans (dated 2022.11.07)
- D. The Petitioner shall present to the Community Development Director the following executed documents:
  - 1. Development Agreement, in a form approved by the Village Attorney, identifying the installation of public improvements including a financial surety for the public improvements in an amount and form required by law.
  - 2. Construction Plans and Specifications for all public improvements, in accordance with the Development Agreement.
  - 3. Declaration of Covenants, Restrictions, Conditions, and Easements, in a form approved by the Village Attorney, ensuring the quality of the development and representations made to the Village.
  - 4. Stormwater Management Plan, in a form approved by the Community Development Director, identifying the installation of public stormwater management systems.
  - 5. Stormwater Management Agreement, in a form approved by the Village Attorney, identifying the restrictions and maintenance requirements for the public stormwater management systems,

- as set forth in the Declaration of Restrictions and Maintenance Requirements for Stormwater Management Measures and Waiver of Right to Contest Special Assessments and Charges for the Plat of Bear Tree Farms as recorded in the office of the Dane County Register of Deeds on December 17, 2015 as Document #5204220, and the First Amendment thereto recorded on October 19, 2018 as Document #5449059.
- 6. Path Maintenance Agreement, in a form approved by the Village Attorney, identifying the restrictions and maintenance requirements for the multi-use path systems as set forth in the Requirement for Path Maintenance and Waiver of Right to Contest Special Assessments and Charges for the Plat of Bear Tree Farms as recorded in the office of the Dane County Register of Deeds on December 17, 2015 as Document #5204221.
- 7. Phase 6 Replat, satisfying all conditions of approval by the Village and any other approving authorities and thereafter promptly recorded with the Dane County Register of Deeds.
- 8. Deed Restriction for Lots 407-416 and 441-448 of Phase 8, in a form approved by the Village Attorney, identifying the restriction of the lots connecting to municipal sanitary sewer and water service until Madison Metropolitan Sewerage District connection fees are paid.
- E. The Petitioner shall promptly reimburse the Village for all costs and expenses incurred by the Village in connection with the review and approval of the matters herein, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services.
- F. The Plan Commission's recommendation and Village Board's approval of the matters herein expires one hundred-eighty (180) days from the date of adoption of this Resolution (or in the case of the Village Board, from the date of adoption of a resolution by that body) unless the Petitioner has satisfied all conditions of approval stated herein. Time is of the essence. If the Petitioner encounters an unforeseen development delay, as determined by the Community Development Director, the Community Development Director is authorized to extend the one hundred-eighty (180) day expiration, one time, up to an additional one hundred-twenty (120) days. If the Village Board is unable to or does not act on the Plan Commission's recommendation prior to expiration, then this matter shall be re-referred to the Plan Commission prior to further action by the Village Board.

The above and foregoing Resolution was duly adopted at a meeting of the Village Board of the Village of Windsor held on February 16, 2023, by a vote of 4 in favor and 0 opposed.

## **VILLAGE OF WINDSOR**

Robert E Wignificate

Robert E. Wipperfurth, President

Attested by:

Christine Capstran, Clerk

**Incorporated by Reference:** 

Staff Report

Petitioner Application

Agreement for Public Improvements and Development Matters of the Plat of Bear Tree Farms



## STAFF REPORT

To: Village Board

Cc: Robert Wipperfurth, Tina Butteris, & William Cole

From: Shaun Mularkey & Jamie Rybarczyk

Submtl Date: January 17, 2023

Rpt Date: February 09, 2023

Decision Date: April 17, 2023

Mtg Date for PC: N/A

Mtg Date for VB: February 16, 2023

Re: Bear Tree Farms – Phase 7 Request

**BACKGROUND:** 

Petitioner: Bear Tree Farms, Inc.
Property Owner: Bear Tree Farms, Inc.

Address: Lots 156-170, 199-216, 219-227 & 400-406

Taxkey: N/A

Area: 23.7 acres (approx.)

Existing Zoning: R-2, Single Family Residential District

Proposed Zoning: N/A

Future Land Use: Transition Residential

## **REQUEST:**

The Petitioner is requesting approval of Phase 7 of the Bear Tree Farms Subdivision.

See Exhibit A for additional information regarding the Development Review Application.

## **OVERVIEW:**

The Agreement for Public Improvements and Development Matters for the Bear Tree Farms Plat (Development Agreement) requires Village Board approval of an amendment for each new phase. The Petitioner is requesting approval of the Phase 7 Amendment. The Village previously approved a Replat of a portion of Bear Tree Farms to create additional stormwater management for Phase 6, which due to the location of stormwater management impacts portions of Phase 7 and Phase 8.

The Phase 7 Amendment includes 49-lots as illustrated in the:

- Phasing Plan
- Bear Tree Farms Phase 7 Construction Plans
- Amendment to Agreement for Public Improvements and Development Matters for Phase 7
- Stormwater Management & Erosion Control Plan Bear Tree Farms (March 1, 2021)
- Bear Tree Farms Replat

### STAFF COMMENTS – COMMUNITY DEVELOPMENT:

The Community Development Department provides the following comments:

A. Comprehensive Plan: 2035

The Petitioner's request is consistent with the goals, objectives and policies of the Village of Windsor Comprehensive Plan: 2035.

B. Ch. 52: Zoning Districts

The Petitioner's request is consistent with the requirements of Sec. 52-64, R-2, Single Family Residential District of the Windsor Code of Ordinances.

### STAFF COMMENTS - PUBLIC WORKS:

The Public Works Department provides the following comments:

### A. Plat Document

- The lot sizes and dimensions appear to meet the requirements of Chapter 52 and Division 4 of Chapter 38 of the Windsor Code of Ordinances for the R-2, Single Family Residential District. A 75-foot lot width at the building setback is required. This should be confirmed by the Petitioner or added to the plans on wedge shaped lots.
- 2. There are several backlot corners that are very near to others, which can result in confusion by future landowners. We suggest that the corners for the following lots be adjusted to be colocated: 440/439/441/442, 436/435/446/445, and 449/450/431.
- 3. Section 38-194 of the Windsor Code of Ordinances requires a final developer's agreement as part of plat approvals. We assume that an agreement already exists for the current plat, but the Village may want to amend that agreement to reflect current conditions.
- 4. Section 38-194 of the Windsor Code of Ordinances requires review of construction plans as part of plat approvals. Phase 7 of the development includes the northern portion of the Phase 6 Replat. These plans have been submitted, but are being reviewed under separate cover. Any plat approvals should be contingent upon Village approval of the construction plans for the Phase 6 Replat.
- 5. In addition to the above two prior approvals, we recommend that covenants and deed restrictions and the lot grading & drainage plan be submitted and approved prior to Final Plat approval. The Plat should include minimum building opening elevations on Lots adjacent to stormwater management areas. In addition, we recommend that the plat show drainage easements along each lot line (actually on each parcel) and that drainage arrows be shown along each lot line on the final lot grading and drainage plan, as described in 38-195. This will help assure that during home construction a builder/lot owner will not create blockages to drainage from adjacent lots.
- 6. Section 38-195 also requires that the building envelope be shown on each parcel of the Plat.
- 7. The Village may wish to require that the vision corner areas called out in Section 52-32 should be shown on lots at the intersections of streets.
- 8. Several Outlots are shown. The ownership and purpose of the dedications should be shown on the Plat. We note that for Outlots and easements intended for sidewalk and/or trail uses clarification is needed regarding the future maintenance responsibility. We recommend that the deed restrictions for the development clearly establish that mowing of the grass adjacent to the paved portions of the sidewalks/trails is the responsibility of the adjacent lot owners. (There is

- often an argument whether such sidewalks and bike trails should be on easements or on Outlots. Building setbacks start at the edge of Outlots. Consequently, outlots create greater space between adjacent structures and the paved edges of sidewalks/bike trails than do easements, but raise the question of future maintenance of adjacent grassed areas as described above, and for snow removal from the sidewalks/bike trails.)
- 9. We note that the subdivision is proposed to have two traffic lanes, no on-street parking, and drainage swales along both sides in the right-of-way (a multi-use path along one side is proposed in an easement). The swales will require driveway culverts. Plat notes should call out who is responsible for maintenance and future replacement of culverts (the Village or individual property owners). In addition, sizing calculations should be submitted to confirm the 18-inch proposed size is adequate.
- 10. Plat Note #5 references Outlots 401 and 402. These should be updated to reflect the appropriate outlot number.

#### B. Construction Plans

- 1. While not actually part of this construction phase, there are future phases that will create a number of parcels that are only served by a single water main. This may cause issues with future outages. We suggest a water main loop be constructed, either connecting existing 6-inch line in Community Park to Whistle Rock Circle in a future phase (via directional drill), or inserting the necessary fittings in Phase 7 to allow for a loop along the back sides of Lots 156-159.
- 2. Sheet C 201: A water main note states that all new mains must be installed a minimum of 4 feet from the flag of the curb. Given the severity of the curves, this may be difficult to achieve.
- 3. Sheet C 204: Ditch slopes should have a max of 3:1.
- 4. Sheet C 403: Additional grading may occur in Phase 8 to maximize sanitary sewer discharging to sanitary manhole located at station 293+00.
- 5. Sheet C 404: Construct erosion protection in the ditch lines at the existing westerly connection with Royal View Drive.
- 6. Sheet C 503: Pipe SAP-1 and SAP-23 shall be constructed at DNR minimum of 0.4% to accommodate future sanitary sewer constructed in Phase 8.
- 7. Sheet C 504: A temporary tee-turnaround is suggested at the dead-ends of Whistle Rock Circle for large-vehicles to turn around. The watermain profile should be modified to construct the high point at the hydrant located at station 284+42. An 8" gate valve should be constructed east of the watermain tee to properly isolate water main.
- 8. Sheet C 505: Sanitary sewer exceeding 15' of cover shall be constructed with SDR 26 pipe and shall be noted on the plans.
- 9. Sheet C 507: We recommend that the water main offset shown near STA 236+00 be eliminated in favor of a gradual lowering of the water main. The offset near STA 238+00 appears to be unavoidable. An 8" gate valve should be constructed east of the watermain cross to properly isolate water main.
- 10. Sheet C 508: Main line valves are shown near hydrant tees, which is a good idea. We recommend these be put on the uphill side of each hydrant to allow for better elimination of future air collecting. This note applies to all hydrants on the plan set.
- 11. Sheet C 509: One side of the water main offset at STA 44+25 should be eliminated, and existing pipe joints be used to aim for the next offset at STA 46+25.

- 12. Sheet C 510: The cluster mailbox at STA 51+50 is shown in the middle of a future ROW. We suggest the mailbox be moved to be adjacent to the nearby hydrant. This will eliminate the need to potentially relocate the boxes in the future and facilitate easier snow removal for both the hydrant and mailboxes. On a similar note, the path extending down Sunny Vale Drive ROW should connect to the street to allow for snow plows to more easily access the path.
- 13. Sheet C 703: Add note the water service below the ditch should have a minimum of 5 feet of cover.

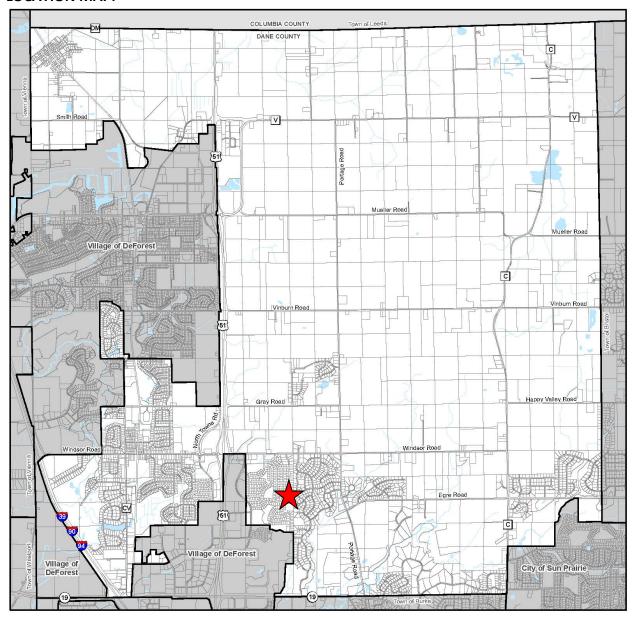
## STAFF RECOMMENDED CONDITIONS:

Staff recommends any approval be subject to the following conditions:

- A. The Petitioner shall address the Staff Comments set forth in the Staff Report to the satisfaction of the Community Development Director.
- B. The Petitioner shall comply with the requirements of Sec. 52-64, R-2, Single Family Residential District of the Windsor Code of Ordinances.
- C. The Petitioner shall construct the Phase 7 as illustrated on the following executed Plan Sheets:
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- 8. Deed Restriction for Lots 407-416 and 441-448 of Phase 8, in a form approved by the Village Attorney, identifying the restriction of the lots connecting to municipal sanitary sewer and water service until Madison Metropolitan Sewerage District connection fees are paid.
- E. The Petitioner shall promptly reimburse the Village for all costs and expenses incurred by the Village in connection with the review and approval of the matters herein, including, but not limited to, the cost of professional services incurred by the Village for the review and preparation of required documents, attendance at meetings or other related professional services.
- F. The Plan Commission's recommendation and Village Board's approval of the matters herein expires one hundred-eighty (180) days from the date of adoption of this Resolution (or in the case of the Village Board, from the date of adoption of a resolution by that body) unless the Petitioner has satisfied all conditions of approval stated herein. Time is of the essence. If the Petitioner encounters an unforeseen development delay, as determined by the Community Development Director, the Community Development Director is authorized to extend the one hundred-eighty (180) day expiration, one time, up to an additional one hundred-twenty (120) days. If the Village Board is unable to or does not act on the Plan Commission's recommendation prior to expiration, then this matter shall be re-referred to the Plan Commission prior to further action by the Village Board.

## **LOCATION MAP:**



## **EXHIBIT:**

A. Development Review Application



# **Development Review Application**

Acknowledgement of Understanding

The Petitioner, Property Owner, and Agent have reviewed and understand the Village of Windsor Code of Ordinances as it relates to the Development Review Application, Supplemental Information, and Technical Specifications required for the Development Review Request.

The Petitioner, Property Owner, and Agent understand that an Administrative Fee and Escrow Fee will be charged for review of the Development Review Request by the Village staff and professional consultants, and payment must be submitted with the Development Review Request.

Property Information	on
Location / Address: Bear Tree Farms	
Taxkey Number: Lots156-170, 199-216, 219-227, 400-406	
Area:	
Petitioner	
Name: Bear Tree Farms, Inc.	
Address: 6658 Royal View Drive	
City, State, Zip Code: DeForest, WI 53532	
Phone: 608-846-2800	Residence / Business / Cel
Email; dbzig64@gmail.com	
Signature: 1827 President	
Property Owner	3
Name: Bear Tree Farms, Inc.	
Address: 6658 Royal View Drive	
City, State, Zip Code: DeForest, WI 53532	
Phone: 608-846-2800	Residence / Business / Cel
Email: dbzig64@gmail.com	
Signature: Washing Prairies	
Agent	
Name: Dwight Ziegler	20-20-0
Address: 6658 Royal View Drive	<u> </u>
City, State, Zip Code: DeForest, WI 53532	
Phone: 608-846-2800	Residence / Business / Ce
Email: dbzig64@gmall.com	

Signature:

# **Development Review Application**

Development Review Request

The Petitioner must submit one electronic file (PDF format) of the Development Review Application and Supplemental Application Information to the Director of Planning/Zoning Administrator at <a href="mailto:amy@windsorwi.gov">amy@windsorwi.gov</a> no less than thirty (30) days prior to the Village of Windsor meeting. The Village Plan Commission typically meets the second Thursday of every month, the Village Board typically meets the first Thursday of every month, both at 5:00 p.m. at the Village Municipal Building, 4084 Mueller Road, DeForest, WI 53532.

		Application					
Development Review Request	Fee	Escrow (Min)	Escrow (Max)				
☐ Comprehensive Plan Amendment	\$300	\$1,000	N/A				
☐ Buildings and Building Regulations							
☐ Standard Site Plan Review	\$300	\$2,500	N/A				
☐ Limited Site Plan Review	\$150	N/A	N/A				
□ Planning and Development							
☐ Concept Plan	\$150	N/A	N/A				
Preliminary Plat	\$300	\$1,000/lot	\$10,000/lot				
☐ Final Plat	\$300	\$1,000/lot	\$10,000/lot				
☐ Replat	\$300	\$1,000/lot	\$10,000/lot				
☐ Certified Survey Map	\$150	\$1,000/lot	\$5,000/lot				
☐ Condominium Plat	\$300	\$1,000/lot	\$10,000/lot				
☐ Zoning Districts	- 1						
☐ Zoning Map and/or Ordinance Amendment	\$150	\$1,000	N/A				
☐ Conditional Use Permit	\$150	\$1,000	N/A				
☐ Planned Unit Development	\$300	\$2,500	N/A				
□ Sign	\$100	N/A	N/A				
☐ Zoning Variance	\$150	\$1,000	N/A				
□ Nonmetallic Mining Operations							
☐ Processing Facility License	\$250	\$5,000	N/A				
☐ Mining Registration License	\$250	\$500	N/A				
☐ Mining Operator's License	\$250	\$5,000	\$10,000				
□ Other	\$150	T.B.D.	T.B.D.				

# **Development Review Application**

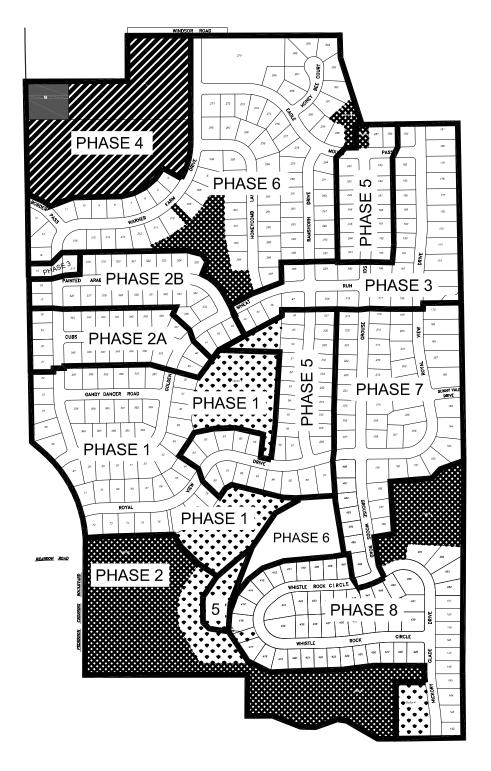
Supplemental Application Information

The Petitioner must submit one electronic file (PDF format) of the Supplemental Application Information per the below stated requirements. All questions regarding the Supplemental Application Information shall be directed to the Director of Planning/Zoning Administrator at <a href="mailto:amy@windsorwi.gov">amy@windsorwi.gov</a> or (608) 888-0066.

The Windsor Code of Ordinances is located at www.windsorwi.gov/ordinances.

Development Review Request	Supplemental Application Information				
☐ Comprehensive Plan Amendment	Refer to Windsor Comprehensive Plan: 2035				
	☐ Refer to Wis. Stats. 66.1001				
☐ Buildings and Building Regulations					
☐ Standard Site Plan Review	☐ Refer to Ch 10, Art IX				
	Refer to Ch 52, Sec 52-101(3)				
☐ Limited Site Plan Review	☐ Refer to Ch 10, Art IX				
	☐ Refer to Ch 52, Sec 52-101(3)				
☐ Planning and Development					
☐ Concept Plan	Refer to Ch 38, Art IV, Div 2, Sec 38-128				
☐ Preliminary Plat	☐ Refer to Ch 38, Art IV, Div 3				
☐ Final Plat	☐ Refer to Ch 38, Art IV, Div 4				
☐ Replat	Refer to Ch 38, Art IV, Div 5				
☐ Certified Survey Map	☐ Refer to Ch 38, Art IV, Div 6				
☐ Condominium Plat	Refer to Ch 38, Art IV, Div 10				
☐ Zoning Districts					
☐ Zoning Map and/or Ordinance Amendment	☐ Refer to Ch 52, Art V, Sec 52-101(4)				
☐ Conditional Use Permit	☐ Refer to Ch 52, Art V, Sec 52-101(5)				
☐ Planned Unit Development	☐ Refer to Ch 52, Art V, Sec 52-101(6)				
□ Sign	☐ Refer to Ch 52, Art V, Sec 52-101(7)				
☐ Zoning Variance	☐ Refer to Ch 52, Art V, Sec 52-101(8)				
☐ Nonmetallic Mining Operations					
☐ Processing Facility License	☐ Refer to Ch 52, Sec 52-75 & Ch 55, Sec 55-4(2)				
☐ Mining Registration License	☐ Refer to Ch 52, Sec 52-75 & Ch 55, Sec 55-4(3)				
☐ Mining Operator's License	☐ Refer to Ch 52, Sec 52-75 & Ch 55, Sec 55-4(4)				

## PHASING PLAN



R-2 (SINGLE FAMILY)

.....

MF-3 (MULTI-FAMILY)



C-1 (LIMITED COMMERCIAL)



RE-1 (RECREATIONAL)



CO-1 (CONSERVANCY)



ESTIMATED TIMELINE

PHASE 1 2015

PHASE 2 2018

PHASE 3 2020

PHASE 5 2021 PHASE 6 2022

PHASE 7 2023

PHASE 8 2024

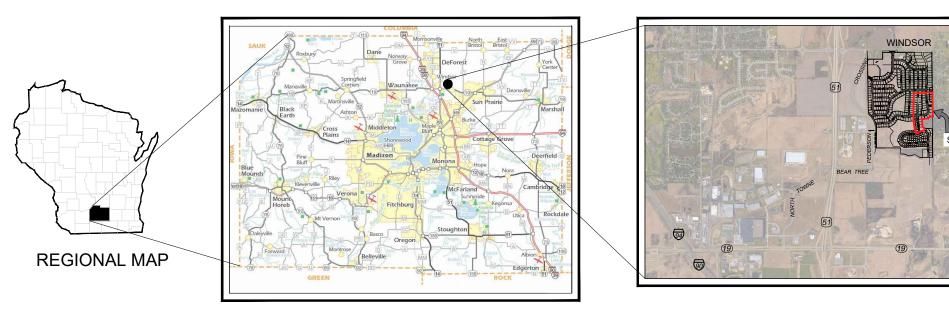


BEAR TREE FARMS PHASING PLAN 11/01/2022

PHASING SUBJECT TO CHANGE BASED ON MARKET CONDITIONS

# BEAR TREE FARMS PHASE 7 **CONSTRUCTION PLANS**

**VILLAGE OF WINDSOR** SECTION 28 & 33, TOWNSHIP 9N, RANGE 10E



## **Sheet List Table**

Sheet Number TITLE PAGE C 200 NOTES C 201 NOTES C 203 C 204 TYPICAL SECTIONS C 205 TYPICAL SECTIONS GRADING PLAN - PHASES 7 & 8 C 400 C 401 GRADING PLAN - PHASES 7 & 8 C 402 GRADING PLAN - PHASE 7 C 403 GRADING PLAN - PHASE 7 C 404 EROSION CONTROL - PHASE 7 C 405 EROSION CONTROL - PHASE 7 C 500 UTILTY PLAN LITH TY TABLES - STORM & SANITARY C 501 C 502 UILTITY TABLES - WATER MAIN C 503 OUTLOT 3 - PLAN & PROFILE C 504 WHISTLE ROCK CIRCLE - PLAN & PROFILE C 505 WHISTLE ROCK CIRCLE - PLAN & PROFILE C 506 GROUSE WOODS ROAD - PLAN & PROFILE C 507 GROUSE WOODS ROAD - PLAN & PROFILE C 508 GROUSE WOODS ROAD - PLAN & PROFILE C 509 ROYAL VIEW DRIVE - PLAN & PROFILE C 510 ROYAL VIEW DRIVE - PLAN & PROFILE C 511 ROYAL VIEW DRIVE - PLAN & PROFILE C 512 SUNNY VALE DRIVE - PLAN & PROFILE STORM CENTRAL - PLAN & PROFILE STORM WEST - PLAN & PROFILE C 514 C 515 C 516 STORM EAST - PLAN & PROFILE C 700 EROSION CONTROL DETAILS C 701 EROSION CONTROL DETAILS C 702 UTILITY DETAILS - WATER UTILITY DETAILS - SANITARY SEWER

UTILITY DETAILS - STORM SEWER

MISC. DETAILS

UTITLITY DETAILS - STORM SEWER

C 704

C 705

DANE COUNTY

DANE COUNTY, WISCONSIN

# SITE LOCATION MAP

VILLAGE OF WINDSOR, DANE COUNTY, WISCONSIN

PK NAIL IN PAVEMENT ±7' FROM THE END OF THE PAVEMENT ON WARNER FARM DRIVE

## BENCHMARK #2

PK NAIL IN PAVEMENT ±50' FROM THE END OF THE PAVEMENT ON GOLDEN WHEAT RUN

CERTAIN UNDERGROUND UTILITIES HAVE BEEN LOCATED ON THE PLANS. THESE LOCATIONS SHALL NOT BE TAKEN AS CONCLUSIVE. VERIFICATION TO THE SATISFACTION OF THE CONTRACTOR OF ALL UNDERGROUND UTILITIES, WHETHER SHOWN ON THE DRAWING OR NOT, SHALL BE ASSUMED AS A CONDITION OF THE CONTRACT. FOR EXACT LOCATION CONTACT DIGGERS HOTLINE 1-800-242-851





Project No: 122.1386.30 Sheet C 100

#### CONSTRUCTION SEQUENCE

- INSTALL AND MAINTAIN THE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT'S AS DESCRIBED IN THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL ADDITIONALLY INSTALL CONSTRUCTION FOLIPMENT PARKING AREAS. STABILIZE BARE AREAS IMMEDIATELY WITH GRAVEL AND TEMPORARY VEGETATION AS CONSTRUCTION TAKES PLACE. THE TEMPORARY ACCESS POINT SHALL BE PLACED IN THE LOCATION SHOWN ON THE GRADING AND EROSION CONTROL PLAN. THE ENTRANCE/EXITS WILL BE INSPECTED DAILY. IF THE AGGREGATE WITHIN THE TEMPORARY ACCESS PADS BECOMES COVERED WITH SOIL OR IF SIGNIFICANT QUANTITIES OF SOIL ARE TRACKED ONTO THE EXISTING ROADWAY THEN ADDITIONAL AGGREGATE WILL BE INSTALLED TO ALLOW THE ENTRANCE/EXITS TO
- INSTALL EROSION AND SEDIMENT CONTROL BARRIERS (SILT FENCE) IMMEDIATELY DOWNSLOPE OF AREAS TO BE DISTURBED DURING CONSTRUCTION AS SHOWN ON THE APPROVED GRADING PLAN. THE BARRIERS MUST BE INSTALLED PARALLEL TO THE SIT CONTOURS TO THE EXTENT PRACTICABLE WITH THE ENDS EXTENDED UPSLOPE ONE TO TWO FEET TO PREVENT FLANKING OF THE RUNOFE, AT NO TIME FROM THE START OF ROLIGH GRADING LINTIL SITE STARILIZATION SHALL AN LINBROKEN SLOPE EXIST BETWEEN DISTURBED AREAS AND THE RECEIVING WATERS. THE DANE COUNTY EROSION CONTROL AND STORMWATER MANAGEMENT MANUAL WILL BE REFERENCED FOR THE PROPER INSTALLATION AND MAINTENANCE OF SILT FENCE AND ALL OTHER EROSION CONTROL MEASURES ON THE
- SEDIMENT BASIN SHALL BE CONSTRUCTED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES AND SHALL BE RESTORED AT THE TIME OF SITE STABILIZATION.
- 4. STRIP TOPSOIL FROM THE AREAS OF THE SITE THAT WILL BE GRADED WITHIN 48 HOURS. ANY AREAS THAT WILL NOT BE IMMEDIATELY GRADED MUST NOT BE STRIPPED OF TOPSOIL UNTIL THE PRECEDING AREAS ARE TOPSOILED, SEEDED AND MULCHED. PLACE SOIL STOCKPILES AT LEAST 25 FEET AWAY FROM ANY DOWNSLOPE STREET, DRIVEWAY, OR DITCH, ALL TOPSOIL PILES WILL HAVE SILT FENCE PLACED ON THEIR DOWNSLOPE SIDES. TOPSOIL PILES WILL BE SEEDED WITH ANNUAL RYE IF THEY ARE IN PLACE FOR MORE THAN 7 DAYS.
- GRADING WILL BE PHASED TO THE EXTENT PRACTICABLE TO LIMIT THE AMOUNT OF THE EXPOSED SOIL AT ANY ONE TIME AND TO PROVIDE A BUFFER BETWEEN THE GRADED AREAS AND THE RECEIVING WATERS. THE INTENT OF THESE GRADING RESTRICTIONS IS TO PROVIDE AN UNDISTURBED BUFFER AREA ALLOWING ADDITIONAL EROSION AND SEDIMENTATION PROTECTION DURING CONSTRUCTION.
- 6. TOPSOIL, SEED AND MULCH ALL AREAS WHICH ARE AT FINAL GRADE AND WHICH WILL NOT BE DISTURBED DURING SUBSEQUENT PHASES OF CONSTRUCTION. ANY AREAS LEFT INACTIVE FOR MORE THAN 7 DAYS MUST BE STABILIZED IMMEDIATELY.
- INSTALL SANITARY SEWER, WATER MAIN, & STORM SEWER
- COMPLETE FINAL GRADING FOR ROADWAY AND STABILIZE WITH GRAVEL.
- COMPLETE FINAL GRADE OF THE SITE
- UTILITY TRENCHES SHALL BE FILLED WITH SUITABLE BACKFILL MATERIAL AND COMPACTED AS NEEDED. TOPSOIL SHALL BE REPLACED FERTILIZED. SEEDED AND PROTECTED AS CALLED FOR BELOW IN ITEMS 11 AND 12. UTILITY CONSTRUCTION SHALL BE COORDINATED WITH THER GRADING ACTIVITIES SO THAT RESTORATION CAN BE COMPLETED AS SOON AS POSSIBLE AFTER CONSTRUCTION.
- WITHIN 7 DAYS OF THE COMPLETION OF FINAL GRADING A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE REPLACED ON ALL DISTURBED SURFACES THAT ARE TO BE REVEGETATED. TOPSOIL SHALL BE UNIFORMLY PLACED, GRADED SMOOTH AND SCARIFIED FOR SEEDING
- FFRTILIZF ALL AREAS TO BE SEEDED OR SODDED WITH 500LBS. PER ACRE OF 16-8-8 (MINIMUM). INCORPORATE THE FERTILIZER INTO THE SOIL BY SCARIFYING AS INDICATED ABOVE IN ITEM 11. SEED ALL DISTURBED AREAS WITH THE FOLLOWING SEEDING MIXTURE
  - 30.50 LBS/ACRE OF KENTUCKY BLUEGRASS 17.50 LBS/ACRE OF RED FESCUE
  - 17.50 LBS/ACRE OF HARD FESCUE
  - 22.00 LBS/ACRE OF PERENNIAL RYE GRASS

THE OWNER RESERVES THE RIGHT TO REVISE THE SEEDING MIXTURE SUBJECT TO APPROVAL BY THE VILLAGE OF WINDSOR

SOD MAY BE SUBSTITUTED FOR SEEDING ON ALL AREAS TO BE SEEDED AND IS RECOMMENDED FOR ALL AREAS WITH SLOPES OF 5:1 OR

MULCH ALL SEEDED AREAS WITH 1.5 TONS PER ACRE OF CLEAN STRAW. STRAW SHALL BE ANCHORED IN PLACE WITH SUITABLE

FOR AREAS ON WHICH GRADING IS COMPLETED AFTER SEPTEMBER 30.
TEMPORARY SEED SHALL INCLUDE A SOIL STABILIZING POLYMER AND COVER CROP OF WINTER RYE (AT A RATE OF 75#/ACRE) AND MUST BE APPLIED AS SOON AS THESE AREAS REACH THEIR FINAL GRADE. ADDITIONAL EROSION CONTROL BARRIERS MAY BE NEEDED DOWNSLOPE OF THESE AREAS LINTIL FINAL SEEDING OR SODDING IS COMPLETED IN SPRING (BY JUNE 1). ANY AREAS WITH SLOPES GREATER THAN 6:1 MUST BE SEEDED AND MULCHED BUT NOT TOPSOILED. AREAS WITH SLOPED LESS THAN 6:1 MUST BE TOPSOILED SEEDED AND MULCHED. ALL AREAS MUST BE TOPSOILED. SEEDED AND MULCHED AS DESCRIBED ABOVE IN THE FOLLOWING SPRING.

- WHENEVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION. TO PREVENT ROOT DAMAGE, DO NOT GRADE PLACE SOIL PILES, OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION
- 14. <u>SILT FENCE MAINTENANCE</u>: EROSION CONTROL BARRIERS (SILT FENCE) MUST BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OF 0.5-INCHES OR MORE, AND DAILY DURING PERIODS OF PROLONGED RAINFALL. REPAIRS OR REPLACEMENT SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS ON THE UPSLOPE SIDE ON THE SILT FENCES SHALL BE REMOVED WHEN THE DEPOSITS REACH HALF THE HEIGHT OF THE SILT FENCE.
- 15. GRAVEL TRACKING PAD MAINTENANCE: ADDITIONAL STONE IS REQUIRED IF EXISTING STONE BECOMES BURIED OR IF SEDIMENT IS NOT BEING REMOVED EFFECTIVELY FROM TIRES. SEDIMENT THAT IS TRACKED ONTO THE ROADWAY MUST BE REMOVED IMMEDIATELY. TRACKING PADS MAY REQUIRE PERIODIC CLEANING TO MAINTAIN THE EFFECTIVENESS OF THE PRACTICE, WHICH MAY INCLUDE THE REMOVAL AND RE-INSTALLATION OF THE STONE

## **AGENCIES**

FIRE, RESCUE, AMBULANCE, POLICE DIAL 911

DEFOREST FIRE DEPARTMENT DEFOREST, WI 53532

608-846-4364 NON-EMERGENCY

DEFOREST POLICE DEPARTMENT 306 DEFOREST ST. DEFOREST, WI 53532 608-846-6755 NON-EMERGENCY

UNITED STATES POST OFFICE 619 S. MAIN STREET DEFOREST, WI 53532 608-846-5910

#### UTILITIES

WINDSOR UTILITIES (WATER AND SANITARY SEWER) 6716 PARK ST. WINDSOR WI 53508

ATTN: JON CLAAS - (608) 888-0011

VILLAGE OF WINDSOR - PUBLIC WORKS 4084 MUELLER ROAD DEFOREST, WI 53532

ATTN: DAVIS CLARK, DPW - (608) 235-1196

CENTURY TELEPHONE 201 STARK ST. RANDOLPH, WI 53956 ATTN: MARK MURN (608) 842-1705 / (608) 963-8594

ALLIANT ENERGY (ELECTRIC) 6462 BLANCHAR'S CROSSING WINDSOR, WI 53598 ATTN: BRAND SMITH (608) 575-3616 CELL

CHARTER COMMUNICATIONS (CABLE) 2701 DANIELS ST MADISON, WI 53718 ATTN: KIRK UPPERMAN DESK: (608) 274-3822 EXT 6741 CELL: (608) 209-3206

133 S. BLAIR ST MADISON, WI 53703 ATTN: JOHN WICHERN (608) 252-7224

#### **EROSION CONTROL NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS. INCLUDING WISDNR WPDES DISCHARGE PERMIT (IF APPLICABLE), COUNTY AND LOCAL EROSION CONTROL PERMIT. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY
- 2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES
- ALL INSTALLATION AND MAINTENANCE OF EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARD, FOUND AT: OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT

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- 4. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH ALL APPLICABLE PERMITS ISSUED FOR THE PROJECT.
- ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOLIRS AFTER CIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD. REPAIRS SHALL BE MADE IMMEDIATELY TO EROSION CONTROL PRACTICES AS NECESSARY.
- 6. TEMPORARY STOCKPILES SHALL BE STABILIZED IF NOT REMOVED IN 7 DAYS. PERIMETER CONTROL ON THE DOWNHILL SIDE SHALL BE IN PLACE AT ALL TIMES (SILT FENCE OR APPROVED EQUAL).
- TEMPORARY SEED MIXTURE SHALL CONFORM TO 630.2.1.5.1.4 OF THE WISDOT STANDARD SPECIFICATIONS USE WINTER
- DISTURBED AREAS THAT CANNOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION BY SEEDING AND MULCHING TEMPERATURE OR TIMING OF CONSTRUCTION, SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM) IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1050.
- SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS TO MAINTAIN A THREE FOOT DEPTH OF TREATMENT BELOW THE NORMAL WATER ELEVATION. SEDIMENT WILL BE REMOVED FROM THE DIVERSION DITCHES WHEN IT REACHES HALF THE HEIGHT OF THE DITCH. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE AND DITCH CHECKS WHEN IT REACHES HALF THE HEIGHT OF THE FENCE/BALE THE SILT FENCE AND DITCH CHECKS SHALL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED IN ACCORDANCE WITH WORR TECHNICAL STANDARD 1061 PRIOR TO DISCHARGE TO WATERS OF THE STATE, WETLANDS, OR OFFSITE
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED AREAS ARE TO DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED. DEPENDING ON HOW THE CONTRACTOR GRADES THE SITE. IT MAY BE NECESSARY TO INSTALL TEMPORARY EROSION CONTROL AND/OR SEDIMENT TRAPS IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT, TEMPORARY SEDIMENT TRAPS SHALL BE DESIGNED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1063.
- 12. TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE LOCAL MUNICIPALITY.
- 13. DUST CONTROL SHALL BE PROVIDED AS NECESSARY IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 106B.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL EROSION CONTROL FACILITIES AND MEASURES NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT THE PROJECT SITE. THESE FACILITIES AND MEASURES MAY OR MAY NOT BE SHOWN ON THE DRAWINGS AND THEIR ABSENCE ON THE DRAWINGS DOES NOT ALLEVIATE THE CONTRACTOR FROM PROVIDING THEM. ANY MEASURES AND FACILITIES SHOWN ON THE DRAWINGS ARE THE MINIMUM ACTIONS REQUIRED
- ERODED MATERIAL THAT HAS LEFT THE CONSTRUCTION SITE SHALL BE COLLECTED AND RETURNED TO THE SITE BY
- AFTER FINAL VEGETATION IS ESTABLISHED. REMOVE ALL EROSION CONTROL FACILITIES. RESTORE AREAS DISTURBED BY THE REMOVALS.
- 17. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
- 18. COMPLETE AND STABILIZE SEDIMENT BASINS/TRAPS PRIOR TO MASS LAND DISTURBANCE TO CONTROL RUNOFF DURING CONSTRUCTION. REMOVE SEDIMENT AS NEEDED TO MAINTAIN 3 FEET OF DEPTH TO THE OUTLET, AND PROPERLY DISPOSE OF SEDIMENT REMOVED DURING MAINTENANCE. CONSTRUCT AND MAINTAIN THE SEDIMENT BASIN PER WDNR TECHNICAL
- PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO
- FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES USE CLASS LITYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WOOT FACILITIES DEVELOPMENT MANUAL AND INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARDS.
- 21. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II, TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT FACILITIES DEVELOPMENT MANUAL; INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARDS.
- 22. ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE COVERED WITH A BIO-DEGRADABLE EROSION MAT INCLUDING BIO-DEGRADABLE STAPLES.
- 23. ALL BIO-DEGRADABLE EROSION MAT SHALL BE CURLEX NET FREE OR APPROVED EQUAL
- WATERING OF NEW SEEDING SHALL BE OF A DURATION AND FREQUENCY ADEQUATE TO ENSURE PROPER ESTABLISHMENT OF NEW SEEDING.
- MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.

## GRADING

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LA TEST EDITION, AND THE LOCAL ORDINANCES AND
- THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING
- SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE SITE HAS BEEN STABILIZED WITH VEGETATION AND THE APPROVAL OF THE GOVERNING AGENCY.
- 4. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING, CUT AND FILL CALCULATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
- 5. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PADS AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
- NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY
- 7. ALL SPOT GRADES SHOWN ON PLAN ARE EDGE OF PAVEMENT OR FINISHED GROUND UNLESS OTHERWISE NOTED.

#### **GENERAL CONDITIONS**

- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY TWO WORKING DAYS (48 HOURS) PRIOR TO THE STAR OF CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT
- 3. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR
- THE BIDDER WILL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES AND SHALL STATE SUCH QUANTITIES IN HIS PROPOSAL. HE SHALL BASE HIS BID ON HIS OWN ESTIMATE OF THE WORK REQUIRED AND SHALL NOT RELY ON THE ENGINEER'S
- 5 THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION A OF THE CONTRACTOR IS RESPONSIBLE FOR VERIFTING SUIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT IS AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL CALL DIGGER'S HOTLINE AT 1-800-242-8511 TO NOTIFY THE UTILITIES OF HIS INTENTIONS, AND TO REQUEST FIELD STAKING OF EXISTING UTILITIES.
- CONTRACTOR IS ADVISED THAT ALL MUD AND DEBRIS MUST NOT BE DEPOSITED ONTO THE ADJACENT ROADWAYS PER THE REQUIREMENT OF THE MUNICIPALITY OR OTHER APPROPRIATE GOVERNMENT AGENCIES.
- ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR. THE COST OF THE RESTORATION IS CONSIDERED INCIDENTAL, AND SHOULD BE INCLUDED IN THE BID
- 11. ACCESS TO THE CONSTRUCTION SITE SHALL BE LIMITED TO THE STONE ENTRANCE PADS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTATION, ANY MONUMENTS DISTURBED BY CONTRACTOR SHALL BE REPLACED AT THE CONTRACTORS EXPENSE
- CONTRACTOR IS RESPONSIBLE FOR FACILITATING ESSENTIAL SERVICES SUCH AS EMERGENCY ACCESS, GARBAGE, MAIL, ETC TEMPORARY PROVISIONS SHALL BE PROVIDED AS NECESSARY.
- CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED.
- CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SANITARY SEWER, WATER MAIN AND STORM SEWER PRIOR TO CONSTRUCTION. CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES DURING CONSTRUCTION, ANY DAMAGE TO THE EXISTING UTILITIES AND ANY REPAIRS NEEDED AS A RESULT OF THE DAMAGE SHALL BE AT THE EXPENSE OF THE CONTRACTOR REGARDLESS OF THE LOCATION MARKED IN THE FIELD OR SHOWN ON THE PLANS.

- THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARI SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, AND THE LOCAL ORDINANCES AND
- PAVING SHALL CONSIST OF FINE GRADING PAVEMENT AREAS. INSTALLATION OF CRUSHED STONE BASE, CONCRETE AND/OR BITUMINOUS PAVEMENT, PAVEMENT MARKING, AND CLEANUP. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.
- AGGREGATES USED IN THE CRUSHED AGGREGATE BASE SHALL BE (1.25-INCH) DENSE GRADED BASE IN ACCORDANCE WITH SUBSECTION 305.2.2 OF THE STANDARD SPECIFICATIONS.
- THE CONSTRUCTED BASE COURSE SHALL PASS A PROOF ROLL PRIOR TO PLACEMENT OF ASPHALT PAVING
- $5. \qquad \text{GEO-TEXTILE FABRIC SHALL BE PLACED FOLLOWING A PROOF ROLL IF CONDITIONS WARRANT AS DETERMINED BY THE PUBLIC SERVICE DIRECTOR. GEO-TEXTILE SHALL BE MIRAFI <math>600 \times 0.000 \times 0.0000 \times 0.000$
- HOT MIX ASPHALT PAVEMENT (HMA) SHALL BE LT 58-28 S IN ACCORDANCE WITH SECTION 460 OF THE STANDARD
- ASPHALTIC MATERIALS SHALL BE PERFORMANCE GRADED (PG) BINDERS IN ACCORDANCE WITH SECTION 455 OF THE
- AGGREGATES USED IN THE HMA SHALL BE IN ACCORDANCE WITH SUBSECTION 460.2.2.3 OF THE STANDARD SPECIFICATIONS. THE NOMINAL AGGREGATE SIZE FOR THE UPPER LAYER PAVEMENT FOR THE PARKING LOT SHALL BE (9.5MM). AND THE LOWER LAYER PAVEMENT FOR THE PARKING LOT AND BOTH UPPER AND LOWER LAYERS OF TIMOTHY COURT SHALL BE (12.5MM)
- TACK COAT SHALL BE IN ACCORDANCE WITH SUBSECTION 455.2.5 OF THE STANDARD SPECIFICATIONS. THE RATE OF APPLICATION SHALL BE 0.025 GAL/SY.
- 10. CONCRETE FOR CURB, DRIVEWAY, WALKS AND NON-FLOOR SLABS SHALL BE GRADE A (OR GRADE A2 IF PLACING BY SLIP-FORMED PROCESS) AIR ENTRAINED IN ACCORDANCE WITH SECTION 501 FOR THE STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
- 11. CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SECTIONS OF THE STANDARD SPECIFICATIONS: SECTION 415 FOR CONCRETE PAVEMENT
  SECTION 601 FOR CONCRETE CURB AND GUTTER
- ALL FINISHED CONCRETE SHALL BE COVERED WITH A LIQUID CURING COMPOUND CONFORMING TO AASHTO M 148, TYPE 2, IN ACCORDANCE WITH SECTION 415 OF THE STANDARD SPECIFICATIONS
- 13. PAVEMENT MARKINGS SHALL BE PAINT IN ACCORDANCE WITH SECTION 646 OF THE STANDARD SPECIFICATIONS. THE FOLLOWING ITEMS SHALL BE PAINTED WITH COLORS NOTED BELOW: PARKING STALLS: WHITE
  - PEDESTRIAN CROSSWALKS: WHITE LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN OPPOSITE DIRECTIONS: YELLOW LANE STRIPING WHERE SEPARATING TRAFFIC IS MOVING IN SAME DIRECTIONS: WHITE
- ADA SYMBOLS: BLUE OR PER LOCAL CODE FIRE LANES: PER LOCAL CODE

  EXTERIOR SIDEWALK CURBED, LIGHT POLE BASES, AND GUARD POSTS: YELLOW
- 14. CONTRACTOR SHALL PROVIDE ASPHALTIC RAMP TRANSITION WEDGING AT RIBBON CURB AND OTHER OBSTRUCTIONS IN ROADWAY IF ROADWAY WILL BE SNOW PLOWED BY VILLAGE OF WINDSOR BEFORE FINAL LIFT OF ASPHALT CAN BE INSTALLED.

1. ALL STREET SIGNS MUST MEET ALL MUTCD STANDARDS

SECTION 602 FOR CONCRETE SIDEWALKS.

- ALL STREET SIGNS SHALL MEET THE MINIMUM RETRO REFLECTIVITY GUIDELINES ACCORDING TO THE MUTCD.
- STREET SIGN POSTS SHALL BE 2" SQUARE GALVANIZED METAL WITH BREAK-AWAY (V-LOCK BREAKAWAYS ACCEPTABLE).
- 4. STREET NAME SIGNS SHALL BE WHITE LETTERING ON GREEN BACKGROUND
- 5. ALL SIGNS SHALL BE APPROVED BY THE DIRECTOR OF PUBLIC SERVICES

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SNYDER & ASSOCIATES

Project No: 122.1386.30

#### SANITARY SEWER MAIN PIPE

PVC WITH ELASTOMETRIC GASKETS SDR-35 CONFORMING TO ASTM D-3034 FOR PIPE DEPTHS WITH LESS THAN 20' OF COVER.

PVC WITH ELASTOMETRIC GASKETS SDR-26 CONFORMING TO ASTM D-3034 FOR PIPE DEPTHS WITH OVER 20' OF

BEDDING & COVER MATERIALS SHALL BE CRUSHED STONE, OR CRUSHED STONE SCREENING. CRUSHED STONE SHALL BE USED IN AREAS OF HIGH GROUND WATER.

BACKFILLING SHALL INCLUDE 12" OF GRAVEL UNDER ROADWAYS, CONSOLIDATION BY MECHANICAL MEANS TO 95% STANDARD PROCTOR DENSITY FOR IMPORTED GRANULAR MATERIAL AND 100% FOR EXCAVATED MATERIALS OF EXISTING MATERIAL IN THE ADJACENT TRENCH WALL.

PROVIDE DEFLECTION TEST (MANDREL) IN ACCORDANCE WITH THE WISCONSIN STANDARDS FOR SEWER AND WATER CONSTRUCTION. IF DEFLECTION TESTING TAKES PLACE WITHIN THE 30 DAYS OF PLACEMENT OF THE FINAL BACKFILL, DEFLECTION MAY NOT EXCEED 5%. MAXIMUM DEFLECTION MAY NOT EXCEED 7.5% WHEN TESTING OCCURS MORE THAN 30 DAYS AFTER PLACEMENT OF THE FINAL BACKFILL.

PROVIDE A SUCCESSFUL LOW PRESSURE AIR TEST IN ACCORDANCE WITH THE WISCONSIN STANDARDS FOR SEWER AND WATER CONSTRUCTION. THE TESTS MUST BE PERFORMED IN THE PRESENCE OF THE ENGINEER.

PROVIDE A TELEVISION INSPECTION OF COMPLETED SANITARY SEWER INSTALLATION. CONTRACTOR SHALL PROVIDE WISD I A HARD COPY REPORT AND VIDEO ON A DVD OR OTHER APPROVED MEDIA FORMAT. A VHS TAPE WILL NOT BE ACCEPTED.

#### ANITARY MANHOLES:

SANITARY MANHOLES SHALL BE 48" I.D. PRECAST CONCRETE UNLESS OTHERWISE NOTED

FRAMES AND COVERS SHALL BE NEENAH R-1550 WITH NON-ROCKING, SELF-SEALING TYPE 'B' LID WITH 2 CONCEALED

TYPE I FLEXIBLE WATERTIGHT FRAME/CHIMNEY JOINT WITH CRETEX (OR-EQUAL) INTERNAL CHIMNEY SEALS

KOR-N-SEAL BOOT FOR FLEXIBLE WATERTIGHT PIPE TO MANHOLE CONNECTIONS

#### DO NOT INSTALL MANHOLE STEPS

MANHOLE JOINTS SHALL BE SEALED WITH CIRCULAR O-RING CONFORMING TO ASTM C443 OR BITUMINOUS JOINTING MATERIAL EQUAL TO EZ-STICK, KENT SEAL, RAM-NEK, OR MAS-STIK BUTYL RUBBER GASKETS OR BUTYL RUBBER ROPE

EXTERNAL MANHOLE WRAP (MAR-MAC MANUFACTURING COMPANY MAC WRAP OR APPROVED EQUAL) SHALL BE APPLIED AT ALL MANHOLE JOINTS

MANHOLES SHALL BE ADJUSTED SO THAT CASTING AND LID IS  $\frac{1}{4}$  BELOW GRADE OF ASPHALT BINDER. A CAST IRON ADJUSTING RING SHOULD BE INSTALLED AT THE TIME OF ASPHALT SURFACE PLACEMENT.

#### ADJUSTING RINGS AND FRAME SHALL BE PLACED WITH MORTAF

EXTERIOR OF MANHOLE "CHIMNEY" SHALL BE SEALED WITH  $\frac{1}{4}$ " THICK TROWELLABLE BUTYL RUBBER FROM BOTTOM OF FRAME TO TOP OF CONE SECTION

#### SANITARY LATERALS:

PVC SANITARY SEWER LATERALS.

PVC WITH ELASTOMETRIC GASKETS SDR-35 CONFORMING TO ASTM D-3034 FOR PIPE DEPTHS WITH LESS THAN 20 FEET OF COVER

PVC WITH ELASTOMETRIC GASKETS SDR-26 CONFORMING TO ASTM D-3034 FOR PIPE DEPTHS WITH OVER 20 FEET

A 12 GAUGE, SOLID COPPER, NEOPRENE WRAPPED, GREEN TRACER WIRE SHALL BE INSTALLED ON TOP OF ALL

THE END OF THE TRACER WIRE AT THE SEWER WYE SHALL BE CONNECTED TO A 2' LONG. 5%" DIAMETER GROUND

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TEST ACCESS BOX: TAYLOR P200NFG OR A VALVCO CP TEST MINI-BOX WITH "SEWER" STAMPED LID AND TRACER WIRE CONNECTION HOLES WITH STAINLESS STEEL BOLTS. LID SHALL HAVE STANDARD PENTAGONAL HEAD KEY.

THE TRACER WIRE SHALL BE INSTALLED ON TOP OF ALL PVC SANITARY SEWER LATERALS AND TAPED AT 6-FOOT INTERVALS FROM THE WYE AT THE SEWER MAIN TO THE CENTER OF THE TERRACE. A SECOND WIRE SHALL BE EXTENDED FROM THE CENTER OF THE TERRACE TO THE END OF THE LATERAL STUBBED INTO THE LOT. A SPOOL OF EXCESS WIRE SHALL BE PROVIDED AT THE END OF THE LATERAL EQUAL TO ONE-HALF THE DEPTH OF THE LOT FOR USE BY THE BUILDING PLUMBER AT THE TIME OF BUILDING CONNECTION. THE CONDUCTOR SHALL BE BROUGHT TO THE SURFACE TO A TEST BOX LOCATED DIRECTLY ABOVE THE SEWER LATERAL IN THE CENTER OF THE TERRACE BETWEEN THE BACK OF THE CURB AND THE FRONT OF THE SIDEWALK.

BELOW GRADE SPLICES ARE DISCOURAGED. IF SPLICES ARE NECESSARY, THE SPLICE SHOULD BE MADE WITH A 3M SCOTCHLOK SELF-STRIPPING CONNECTOR, OR APPROVED EQUAL.

POINT OF TERMINATION SHALL BE MARKED WITH A 6' STEEL FENCE POST WITH 1' OF THE POST BELOW THE END OF THE LATERAL. A 6' 4X4 TREATED WOOD POST WILL ALSO BE INSTALLED AT THE END OF EACH LATERAL WITH 3' OF THE POST REING RUINED BEI OW GRADE. THE FXPOST PORTION OF THE POST SHALL BE PAINTED GREEN.

- ALL CONNECTIONS TO EXISTING PIPES SHALL BE MADE AT A BELL OR IF APPROVED WITH A RIDGED REPAIR SLEEVE OR OTHER APPROVED CONNECTION. PIPE TO MANHOLE CONNECTIONS SHALL BE CORED AND CONNECTED WITH A FLEXIBLE WATERTIGHT PIPE TO MANHOLE CONNECTION (KOR-N-SEAL, OR APPROVED EQUAL).
- 3. PROPOSED SANITARY SEWER, WATER MAIN, AND INTERNALLY CONNECTED STORM SEWER SHOWN ON THIS PLAN SHALL TERMINATE AT POINT TEN (10) FEET BEYOND THE PROPERTY LINE OR PATH. STORM SEWER CONNECTING TO EXTERIOR DOWN SPOUTS SHALL BE PER THE ARCHITECTURAL PLANS. THE EXACT LOCATION OF ALL DOWN SPOUTS SHALL BE PER THE ARCHITECTURAL PLANS.
- 4. ALL MANHOLES INSTALLED OUTSIDE OF THE RIGHT-OF-WAY SHALL HAVE A RIM ELEVATION A MINIMUM OF 1' ABOVE THE PROPOSED GROUND AND BE MARKED WITH A TREATED 4" X 4" POST AND HAVE A SIGN WITH THE WORDS "SANITARY SEWER" ATTACHED TO THE POST.
- 5. LATERAL DEPTH AT THE RIGHT-OF-WAY SHALL NOT EXCEED 12' WITHOUT PROPER JUSTIFICATION. VARIENCES FROM THIS MAP BE APPROVED BY THE UTILITY OR THEIR ENGINEER.
- ADJUSTMENT RINGS SHALL HAVE A MINIMUM HEIGHT OF 4" AND A MAXIMUM HEIGHT OF 12". ADJUSTMENT RINGS SHALL BE POLYETHYLENE PLASTIC UNLESS OTHERWISE APPROVED.

  MAINTAIN A MINIMUM SEPARATION OF 8" OF HORIZONTAL SEPARATION BETWEEN WATER MAIN AND SANITARY

#### WATER NOTES

MATERIALS FOR WATER SERVICE SHALL BE AS FOLLOWS:

#### WATER MAIN

WATER MAIN SHALL BE DUCTILE IRON CONFORMING TO AWWA C-151, MINIMUM CLASS 52 WITH CONDUCTIVITY STRAPS AND BEDDED WITH SAND, CRUSHED STONE OR CRUSHED STONE SCREENINGS. CRUSHED STONE SHALL BE USED IN AREAS OF HIGH GROUND WATER. BACKFILLING SHALL INCLUDE 12' OF GRAVEL UNDER ROADWAYS, CONSOLIDATION BY MECHANICAL MEANS TO 95% STANDARD PROCTOR DENSITY FOR IMPORTED GRANULAR MATERIAL AND 100% FOR EXCAVATED MATERIALS OF EXISTING MATERIAL IN THE ADJACENT TRENCH WALL

WATER MAIN SHALL BE INSTALLED WITH TRACER WIRE. TRACER WIRE SHALL SURFACE AT ALL HYDRANTS IN A CONDUIT OR A TRACER WIRE ACCESS BOX

ALL MAINS SHALL BE A MINIMUM OF 8" IN DIAMETER WITH THE EXCEPTION OF HYDRANT LEADS THAT SHALL BE 6".

WATER MAINS SHALL HAVE A MINIMUM COVER OF 7". COVER MATERIALS SHALL BE SAND, CRUSHED STONE OR CRUSHED STONE SCREENINGS.
ALL WATER MAINS ARE REQUIRED TO BE LOOPED.

WATER MAINS SHALL BE A MINIMUM OF 4' OFF THE FLAG OF THE CURB.

WATER MAINS SHALL HAVE A POLYETHYLENE WRAP - LINEAR LOW-DENSITY POLYETHYLENE (LLDPE) 8 MILS. MIN. OR HIGH-DENSITY CROSS LAMINATED POLYETHYLENE (HDCLPE) 4 MILS MIN.

WINDSOR UTILITIES STAFF WILL FLUSH THE MAINS AND WITNESS THE SAMPLE COLLECTION FOR SAFE WATER TESTING

TESTING OF MAINS - IF A ONE-HOUR HYDROSTATIC PRESSURE TEST AT 150 POUNDS HOLDS WITH NO LOSS, WINDSOR UTILITIES WILL NOT REQUIRE A LEAKAGE TEST. IF THE HIGH PRESSURE TEST FAILS ONE OR MORE TIMES, A LEAKAGE TEST SHALL BE PERFORMED. A COMBINATION LEAKAGE AND PRESSURE TEST CAN BE PERFORMED IN LIEU OF THE PRESSURE TEST.

WINDSOR UTILITIES STAFF SHALL BE PRESENT FOR CONDUCTIVITY TESTING.

WATER MAIN FITTINGS SHALL BE AWWA C-110 OR C-135 MECHANICAL JOINT CLASS 350 FITTINGS WITH MEGA-LUG JOINT RESTRAINTS. MEGA-LUG AND BUTTRESS ALL FITTINGS.

#### WATER VALVES:

WATER VALVES SHALL BE AMERICAN FLOW CONTROL SERIES 2500 RESILIENT WEDGE MECHANICAL JOINT VALVES OR EQUAL. SHAFT BEARING SHALL BE SELF LUBRICATING TEFLON, NYLON OR BRONZE. SHAFT SEALS SHALL HAVE SPLIT V-TYPE PACKINGS THAT ARE REPLACEABLE WITHOUT REMOVING THE VALVE FROM THE LINE. PROVIDE VALVE BOX ADAPTOR FOR ALL VALVE BOXES (ADAPTOR, INC. OR APPROVED EQUAL). WATER VALVE BOXES SHALL BE CAST IRON, TELESCOPIC ADJUSTABLE WITH NON-TIP COVER MARKED "WATER".

VALVES SHALL BE FURNISHED WITH 2" SQUARE WRENCH NUTS, VALVE BOX AND KEY. INSTALL VALVE BOX ADAPTOR UNDER THE BONNET OF THE VALVE BOX.

INSTALL CONCRETE BLOCKS UNDER VALVE FOR SUPPORT.

VALVE BOXES SHALL BE ADJUSTED SO THAT UPPER SECTION AND COVER IS ½" BELOW GRADE OF ASPHALT BINDER. A CAST IRON ADJUSTMENT RING SHOULD BE INSTALLED AT THE TIME OF ASPHALT SURFACE PLACEMENT. WATER VALVE BOXES INSTALLED BEYOND ROADWAYS SHALL BE PAINTED BLUE AND MARKED WITH A STEEL FENCE POST.

ONLY WINDSOR UTILITIES OR ASSIGNS HAVE AUTHORITY TO OPERATE VALVES OR HYDRANTS. PERMISSION MUST BE GRANTED FOR OTHERS TO OPERATE VALVES OR HYDRANTS.

#### FIRE HYDRANTS

FIRE HYDRANTS SHALL BE AMERICAN FLOW CONTROL (WATEROUS) WB67, 5.25" WATEROUS PACER WITH TWO 2.5" THREADED NOZZLES AND ONE 5" STORZ NOZZLE CONNECTION WITH A RODON HYDRA FINDER FLAG. HYDRANTS SHALL BE RED, ORIGINAL MANUFACTURER ENAMEL COATING.

FIRE HYDRANTS SHALL BE LOCATED 3.5' BEHIND THE BACK OF CURB AND HYDRANT VALVES SHALL BE PLACED IN THE ROADWAY PAVEMENT.

A FIRE HYDRANT WILL BE REQUIRED AT THE END OF ALL DEAD END LINES.
CENTER OF PUMPER NOZZLE SHALL BE 18" TO 23" TO FINISH GRADE.

FIRE HYDRANT LEADS SHALL BE WRAPPED IN POLYETHYLENE TO WITHIN 6" OF FINISHED GRADE.

#### WATER SERVICE PIPE (LATERAL):

DIRECT TAP DUCTILE IRON PIPE FOR 1" SERVICE, USE TAPPING SADDLE FOR ALL TAPS OVER 1".

SERVICE PIPE SHALL BE TYPE "K" SOFT COPPER AND BE SEAMLESS FROM THE MAIN TO THE CURB BOX.

BEDDING AND COVER MATERIALS SHALL BE SAND OR CRUSHED STONE SCREENINGS.

SERVICE PIPES SHALL HAVE 7' OF COVER AND EXTEND 10' INTO THE LOT MINIMUM. POINT OF TERMINATION SHALL BE MARKED WITH A 6' STEEL FENCE POST WITH 1' OF THE POST BELOW THE END OF THE SERVICE PIPE. A 6' 4X4 TREATED WOOD POST WILL ALSO BE INSTALLED AT THE END OF EACH SERVICE WITH 3' OF THE POST BURIED BELOW GRADE. THE EXPOSED PORTION OF THE POST SHALL BE PAINTED BLUE.

#### USE THE FOLLOWING WATER SERVICE FITTINGS:

PORATION STOP: 1" MUELLER H15008 (COMPRESSION) OR APPROVED EQUAL

1.5" - 2" MUELLER H15013 (COMPRESSION) OR APPROVED EQUAL

CURB STOP: 1" MUELLER H1504-2 OR H15209 (COMPRESSION) OR APPROVED EQUAL 1.5" - 2" MUELLER H15209 (COMPRESSION) OR APPROVED EQUAL

#### 1.5 - 2 MUELLER H 15209 (COMPRESSION) OR APPROVED E

## CURB BOXES:

### CURB BOXES SHALL BE ARCH STYLE

1" MUELLER H10385 OR APPROVED EQUAL WITH STATIONARY ROD.

1.5" - 2" MUELLER H10386 OR APPROVED EQUAL WITH STATIONARY ROD.

CURB BOXES SHALL BE CENTERED IN THE TERRACE BETWEEN CURB AND WALK. PROVIDE CONCRETE BLOCK SUPPORT UNDER CURB BOX AND CURB STOP.

IF CURB STOP LOCATION IS IN PAVEMENT A VALVE BOX SHALL BE USED IN LIEU OF A CURB BOX.

MINIMUM LENGTH OF EXTENSION ROD SHALL BE 4' WITH A CENTERING RING.

#### TRACER WIRI

SINGLE STRAND, SINGLE CONDUCTOR, BLUE INSULATED COPPER WIRE, MINIMUM THICKNESS NO. 12 AWG.

TERMINAL BOX SHALL BE 2.5" DIAMETER BY 18" SHAFT LENGTH ABS PLASTIC TERMINAL BOX, CAST IRON LID CP TEST SERVICES OR EQUAL.

INSTALL TRACER WIRE ON TOP OF THE PIPE AND CONTINUE THROUGH VALVES AND TERMINATING IN A TERMINAL BOX AT GRADE INSTALLED BEHIND FIRE HYDRANTS. LEAVE 12" OF SLACK FOR LOCATING EQUIPMENT CONNECTION.

#### MISCELLANEOUS WATER NOTES:

EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE UTILITY OR THEIR ENGINEER SHALL BE HAULED OFF-SITE AND SELECT AND SELECT TRENCH BACKFILL WILL BE REQUIRED.

PROVIDE A 2" THICK STYROFOAM INSULATION BETWEEN WATER MAIN AND ALL STORM SEWER CROSSINGS AND WHERE WATER SERVICES CROSS UNDER DITCHES AND 7 FEET OF COVER IS NOT MAINTAINED.

A SIGN SHALL BE INSTALLED ADJACENT TO ANY VALVES LOCATED OUTSIDE OF THE RIGHT-OF-WAY WITH THE TEXT "WATER VALVE". SIGNS SHALL BE MOUNTED TO A TREATED 4'x4' WOOD POST.

#### ADDITIONAL UTILITY NOTES

- EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED
  GRANULAR BACKFILL IS REQUIRED UNDER AND WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS. FLOODING OF
  BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED
  INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
- PRIOR TO FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES
  MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO
  THE OWNER.
- 4. TRACER WIRE SHALL BE INSTALLED ON ALL BURIED NON-METALLIC SANITARY SEWERS, PRIVATE SANITARY INTERCEPTOR MAIN SEWERS, STORM BUILDING SEWERS, AND PRIVATE STORM INTERCEPTOR MAIN SEWERS THAT DISCHARGE TO MUNICIPAL MAINS TRACER WIRE SHALL BE A MINIMUM OF 12-GAUGE, INSULATED, SINGLE-CONDUCTOR COPPER WIRE OR EQUIVALENT. TRACER WIRE COLOR SHALL BE BLUE FOR POTABLE WATER, GREEN FOR SANITARY SEWER. AND BROWN FOR STORM SEWER.
- ALL STREET LIGHTING TO BE PROVIDED BY ALLIANT ENERGY.
- CONTRACTOR SHALL PROVIDE ACCURATE AS-BUILT QUANTITIES FOR ALL UTILITIES INCLUDING ELEVATIONS, PIPE SIZE, STRUCTURE SIZE AND PIPE LENGTHS.

#### STORM SEWER NOTES

1. STORM SEWER AND STORMWATER MANAGEMENT SHALL BE AS FOLLOWS:

STORM SEWER SHALL BE RCP UNLESS OTHERWISE SPECIFIED ON PLANS. STORM SEWER PIPE BEDDING SHALL BE CLEAR STONE.
MINIMUM COVER FOR ALL STORM SEWER SHALL BE 2'.

- EXCAVATED MATERIAL FROM THE TRENCH NOT SUITABLE FOR BACKFILL AS DEEMED BY THE PUBLIC SERVICES DIRECTOR
  SHALL BE HAULED OFF-SITE AND SELECT TRENCH BACKFILL WILL BE REQUIRED.
- ADJUSTMENT RINGS SHALL HAVE A MINIMUM HEIGHT OF 4" AND A MAXIMUM HEIGHT OF 12". ADJUSTMENT RINGS FOR STORM MANHOLES SHALL BE POLYETHYLENE PLASTIC UNLESS OTHERWISE APPROVED. CURB INLET RINGS SHALL BE CONCRETE.
- 4. MANHOLES 3' DEEP AND GREATER SHALL BE CONSTRUCTED WITH STEPS
- 5. INLETS AT LOW POINTS SHALL HAVE TYPE NEENAH TYPE R GRATES. INLETS ON GRADE SHALL BE DIRECTIONAL TYPE L. INLETS SHALL ALL RE STAMPED "DRAINS TO RIVER"
- 6. THE LAST TWO PIPES SHALL BE STRAPPED TOGETHER AT END SECTIONS ON ALL PIPES 18" AND GREATER.
- 7. TRASH GRATES SHALL BE PROVIDED ON ALL END SECTIONS ON ENCLOSED STORM SEWER NETWORKS
- 8. EXTREME CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. MECHANICALLY COMPACTED GRANULAR BACKFILL IS REQUIRED UNDER AND WITHIN 5 FEET OF ALL PAVEMENT INCLUDING SIDEWALKS AND FUTURE PARKING AREA AS SPECIFIED ON PLANS. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. THE COST OF THIS GRANULAR MATERIAL AND ITS COMPACTION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY.
- PRIOR TO FINAL PAVING OPERATIONS, THE UTILITY CONTRACTOR SHALL ADJUST ALL MANHOLE AND INLET RIMS AND VALVE BOXES TO FINISHED GRADE.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE OWNER WITH A SET OF MARKED-UP PRINTS SHOWING ALL CHANGES MADE DURING THE CONSTRUCTION PROCESS. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE OWNER.
- 11. ALL INFILTRATION BASINS SHALL INCLUDE ENGINEERED SOILS OR PERMAMATRIX SOIL AMENDMENT APPLIED PER MANUFACTURER RECOMMENDATIONS.
- 12. ALL STORM WATER MANAGEMENT FACILITIES SHALL BE SEEDED WITH A NATIVE SEED MIXTURE WITHIN THE LIMITS OF THE OUTLOT OR EASEMENT. THE NATIVE SEED MIXTURE SHALL BE APPROVED BY THE DIRECTOR OF PUBLIC SERVICES.
- 13. ALL STORM WATER FACILITIES SHALL CONFORM TO WDNR TECHNICAL STANDARDS FOR PRE AND POST CONSTRUCTION STORM WATER MANAGEMENT.

#### URBAN FORESTRY NOTES

- 1. TREES MUST COMPLY TO ANSI Z60.1-1996 "AMERICAN STANDARD NURSERY STOCK" OR MOST RECENT VERSION THEROF
- 2. TREES MUST BE A MINIMUM 2" CALIPER.
- 3. ALL TREES AND LANDSCAPING SHALL BE UNDER WARRANTY FOR ONE FULL GROWING SEASON.
- 4. THE MINIMUM DISTANCE BETWEEN TREE TRUNKS SHALL BE 30' FOR SMALL TREES AND 45' TO 50' FOR MEDIUM OR LARGE TREES.
- THE MINIMUM DISTANCE FROM THE FRONT OF A STREET SIGN TO THE TREE TRUNK IS 25' AND THE MINIMUM DISTANCE FROM THE BACK OF THE STREET SIGN IS 10'.
- 6. THE MINIMUM DISTANCE FROM A CURB CUT, CARRIAGE WALK, OR DRIVEWAY IS 10'
- 7. THE MINIMUM DISTANCE FROM A FIRE HYDRANT IS 10'.
- 8. THE MINIMUM DISTANCE FROM ANY WATER MAIN INCLUDING SERVICES IS 10'.
- IF EITHER INTERSECTING STREET IS CONSIDERED MAJOR OR ARTERIAL, THE MINIMUM DISTANCE FROM THE RIGHT-OF-WAY CORNER IS 50'.
- 10. THE MINIMUM DISTANCE FROM THE RIGHT-OF-WAY CORNER FOR ALL OTHER STREET CLASSIFICATIONS IS 25'.
- 11. NO MORE THAN 20% OF TREES SHALL BE FROM ONE FAMILY
- 12. NO MORE THAN 10% OF TREES SHALL BE FROM ONE GENUS
- 13. NO MORE THAN 5% OF ANY SINGLE SPECIES, INCLUDING CULTIVARS AND VARIETIES.
- 14. ANY SPECIES SHALL BE TREE FORM. SHRUB FORM ARE NOT ALLOWED
- 15. ALL BURLAP AND WIRE CAGES SHALL BE REMOVED FROM ROOTS PRIOR TO PLANTING.
- 16. APPLY STARTER FERTILIZER AT THE RATE RECOMMENDED BY THE NURSERY
- 17. SATURATE SOIL WITH WATER WHEN PIT IS HALF FULL OF TOPSOIL AND AGAIN WHEN FULL.
- DO NOT PRUNE TREES. INJURED OR DEAD BRANCHES MAY BE REMOVED ACCORDING TO STANDARD HORTICULTURAL PRACTICES. DO NOT CUT LEADER.
- PROVIDE 4" THICKNESS OF ORGANIC MULCH AROUND ALL TREES. MULCH SHOULD NOT REST AGAINST THE TREE TRUNK LEAVE ½" AROUND THE TRUNK FREE OF MULCH.
- 20. PLANTING DEPTH OF TREE SHALL BE SUCH THAT ROOT FLAIR IS VISIBLE JUST ABOVE GRADE.



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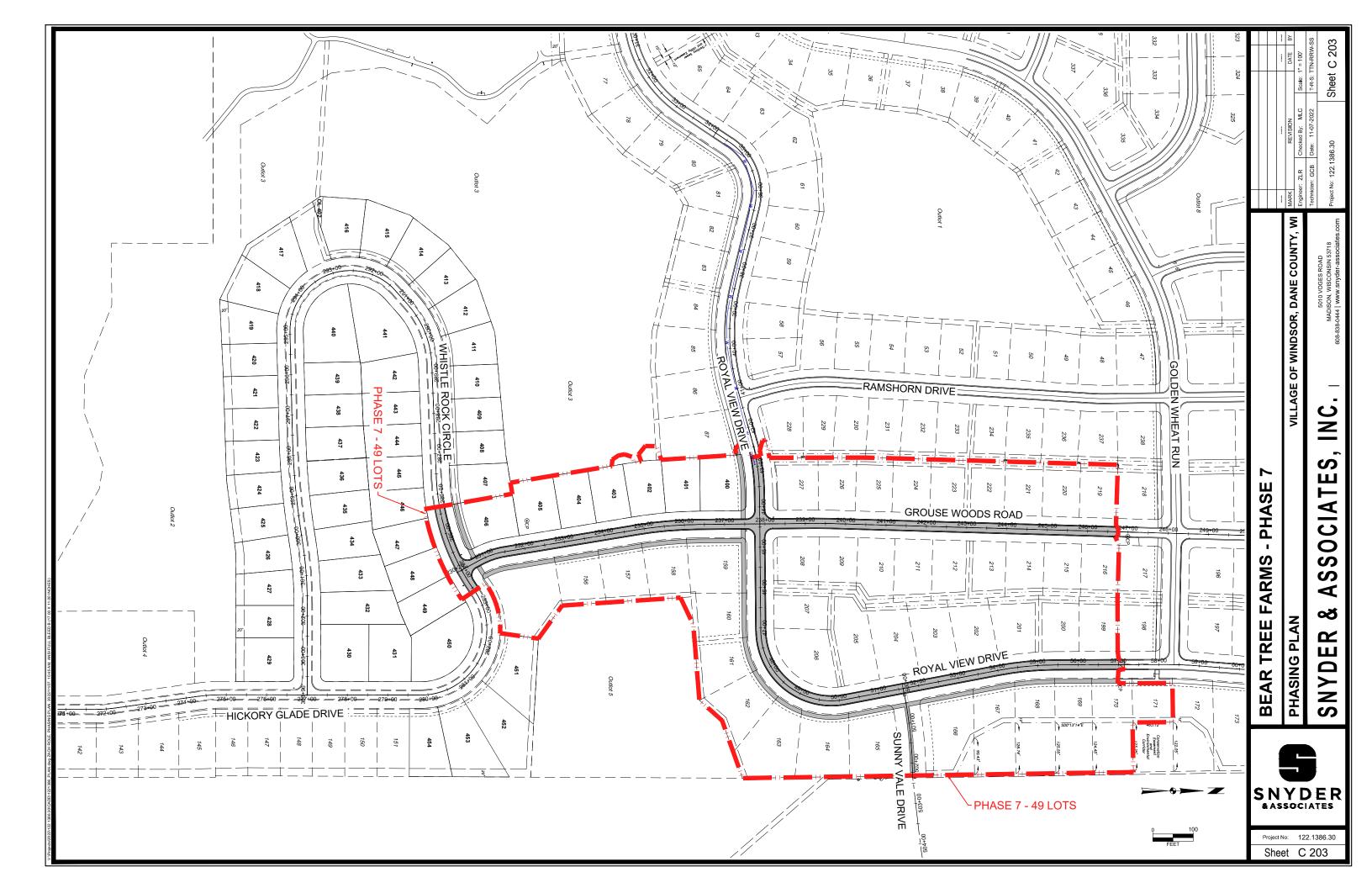
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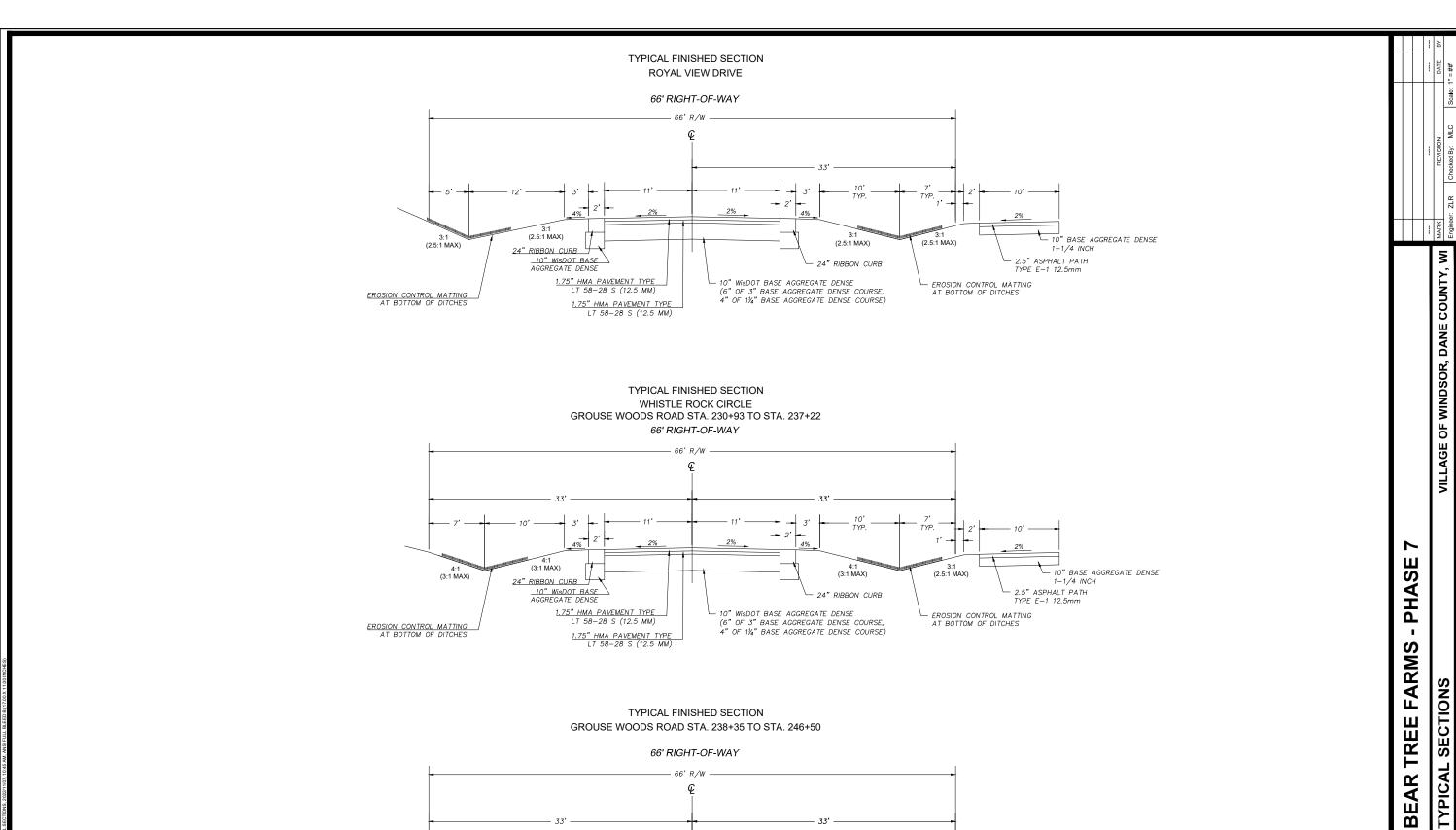
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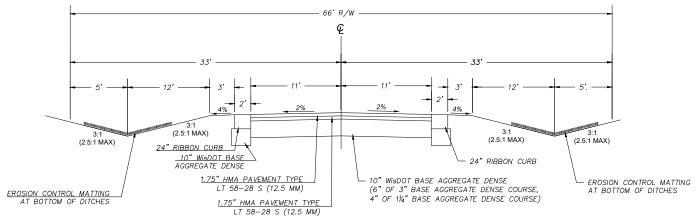
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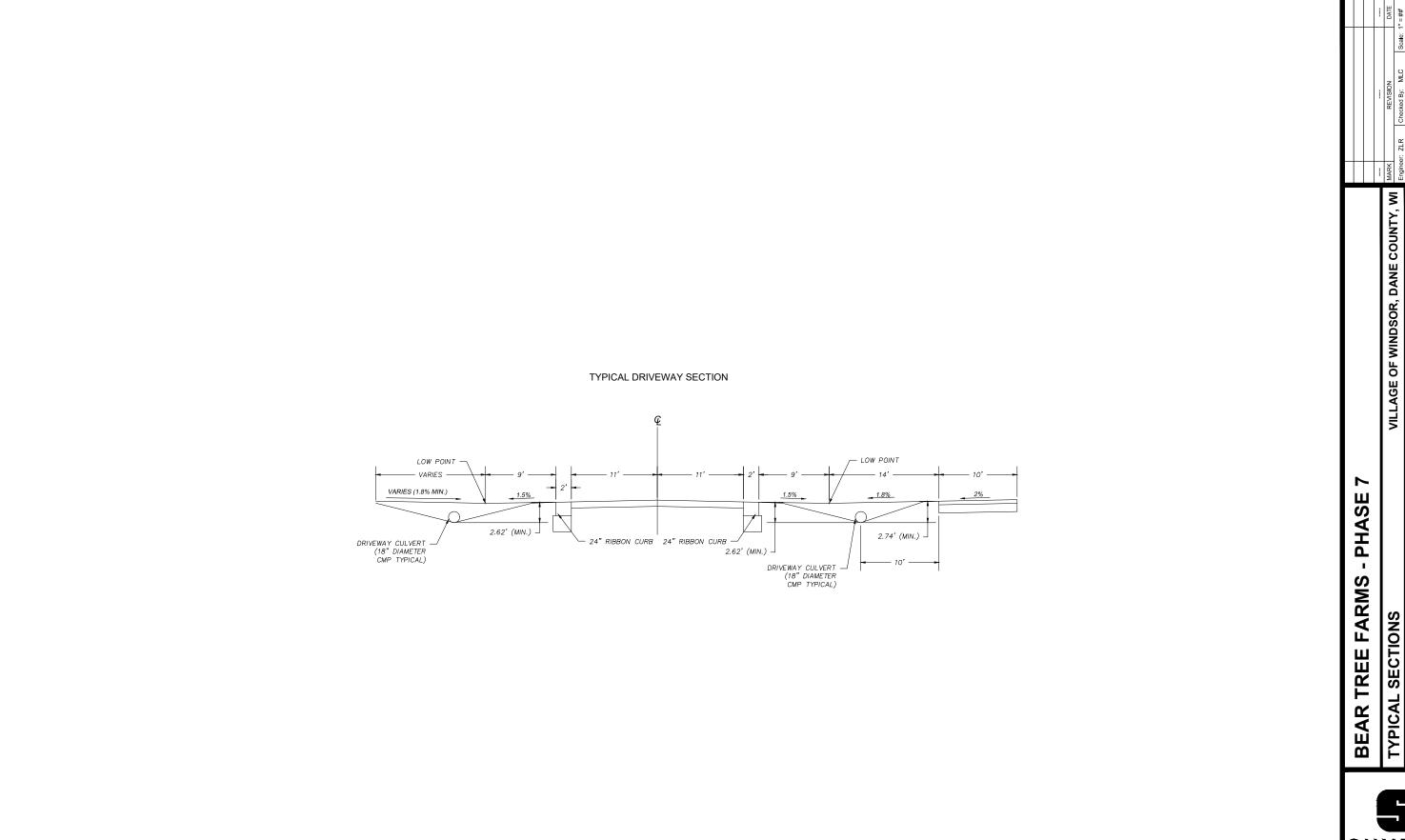
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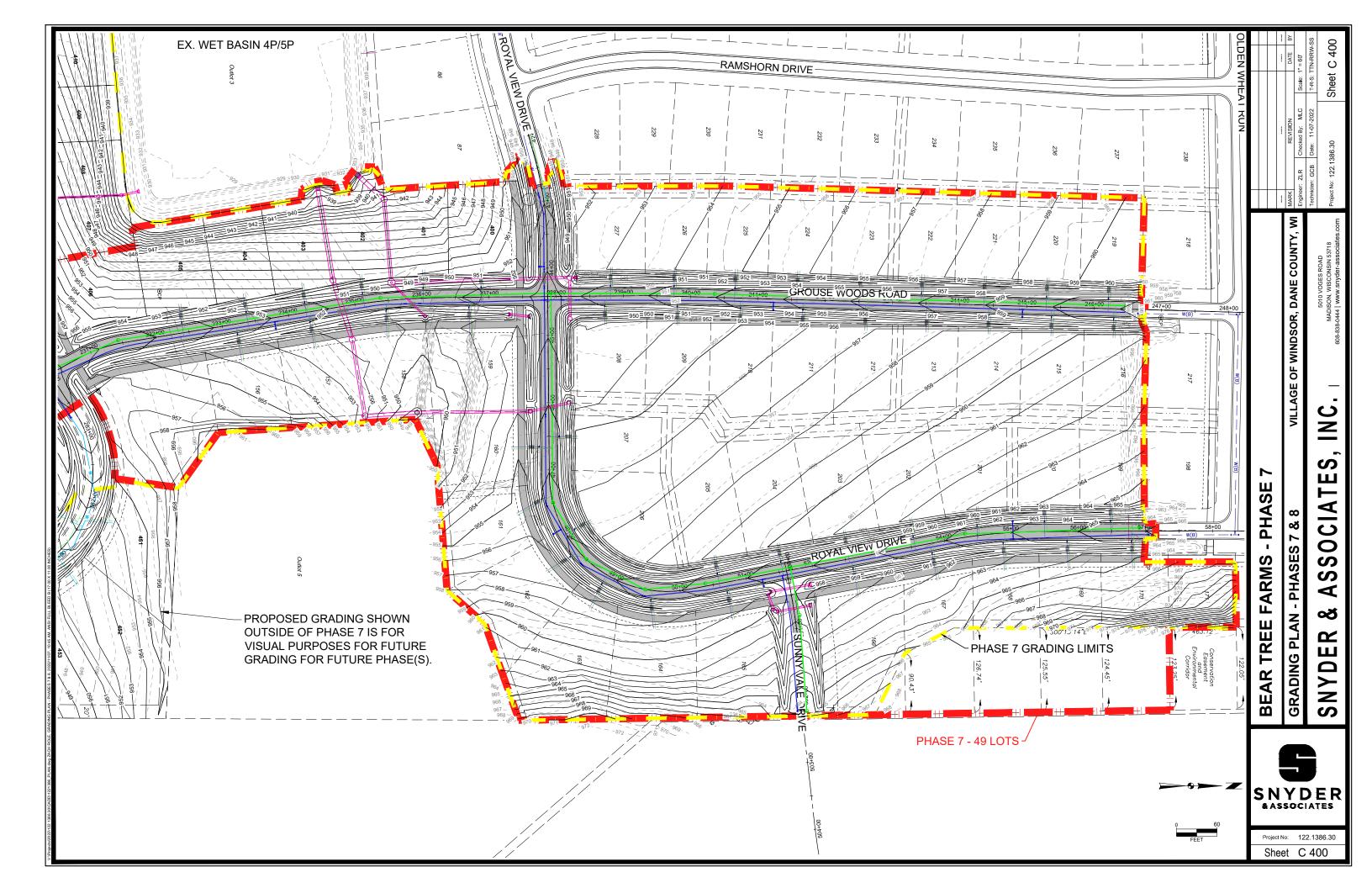
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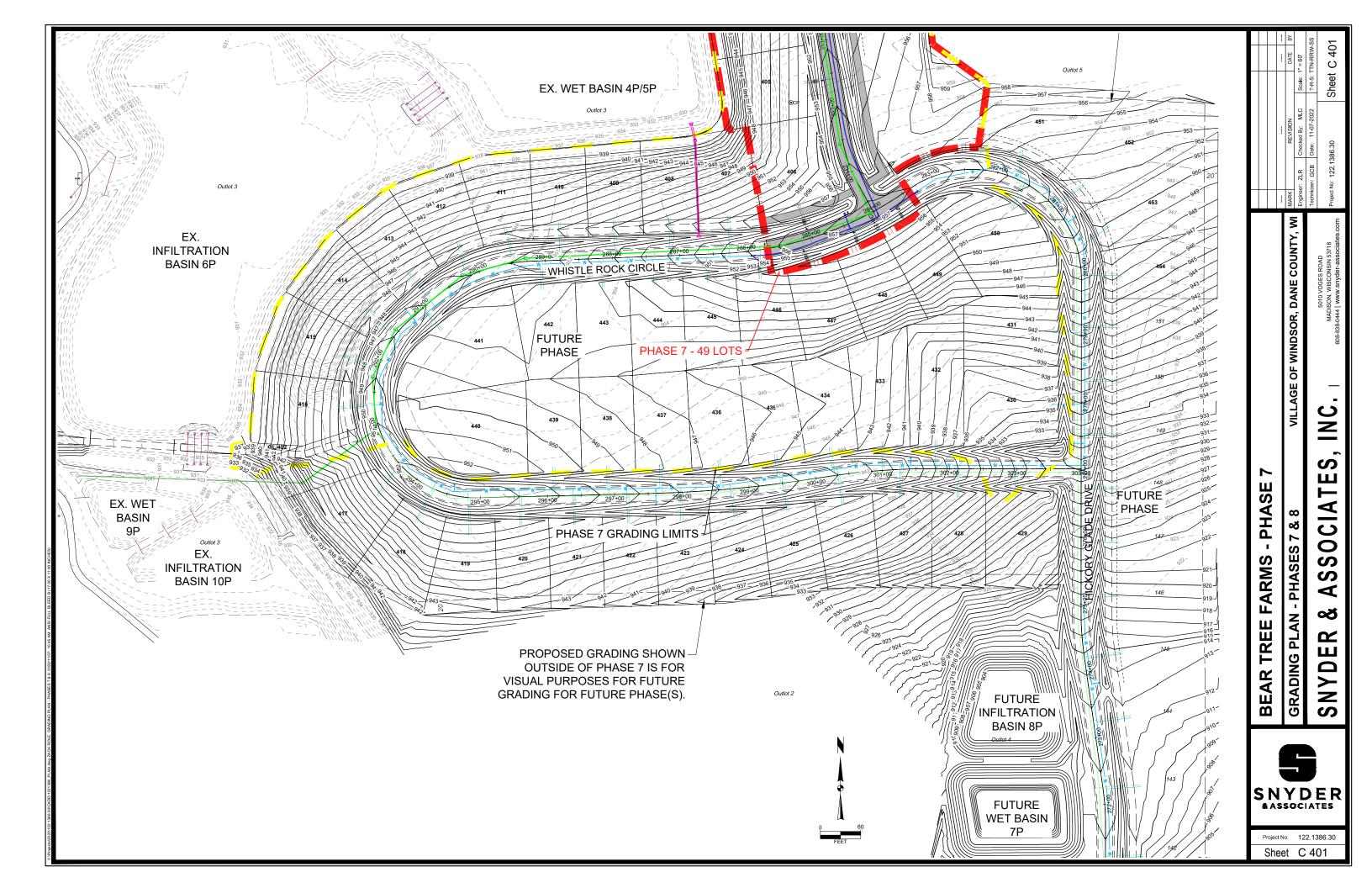
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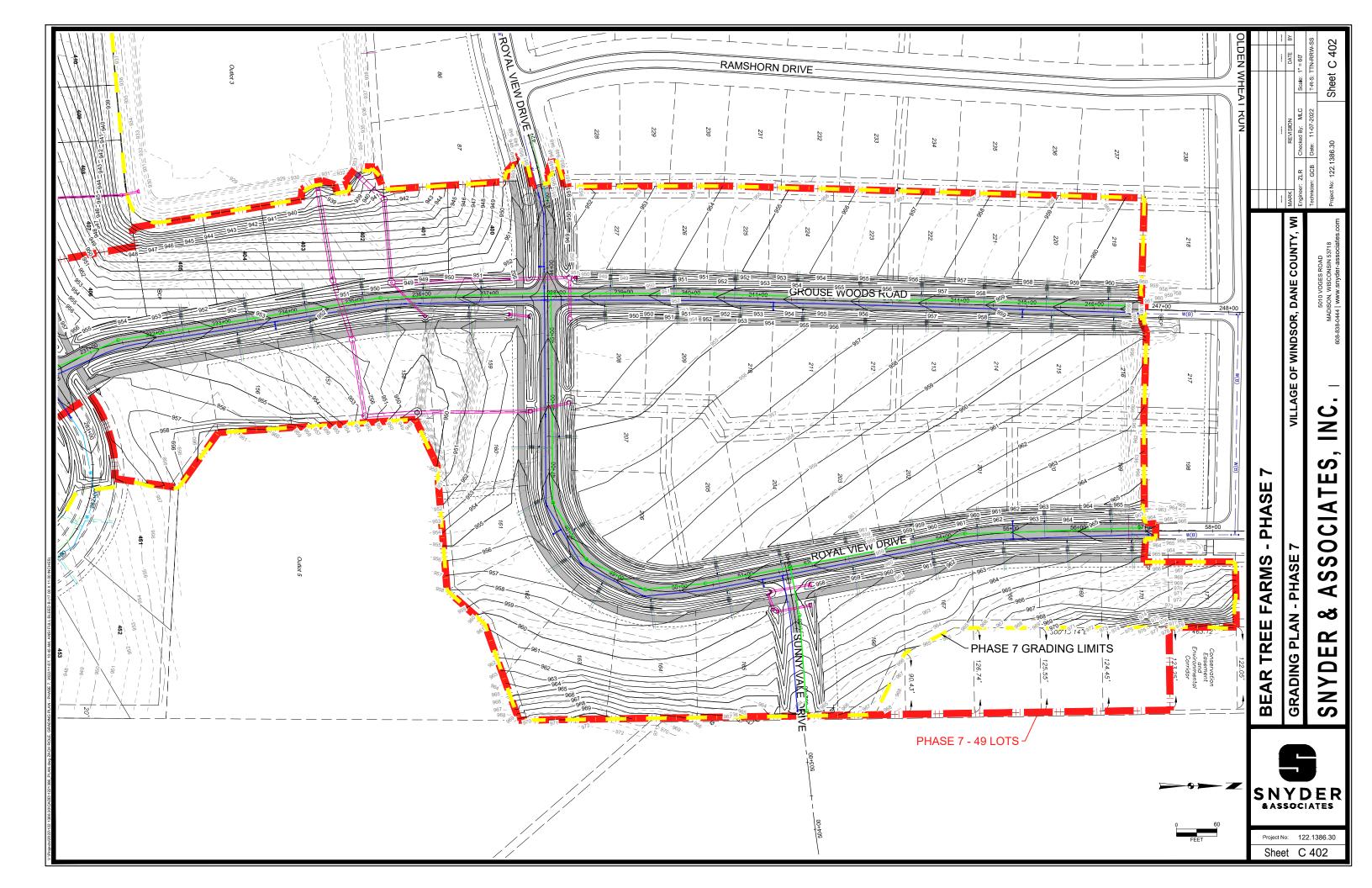
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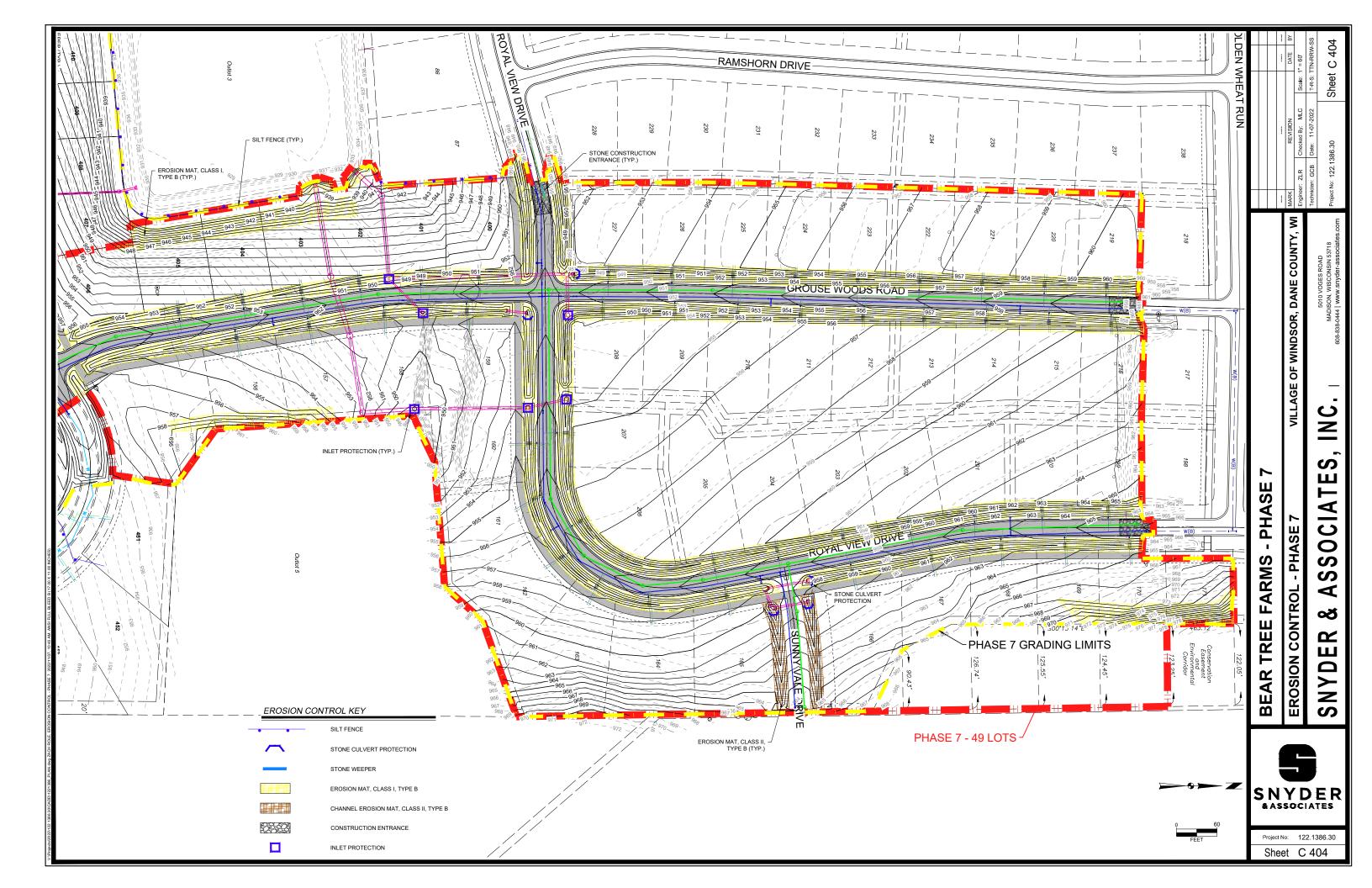
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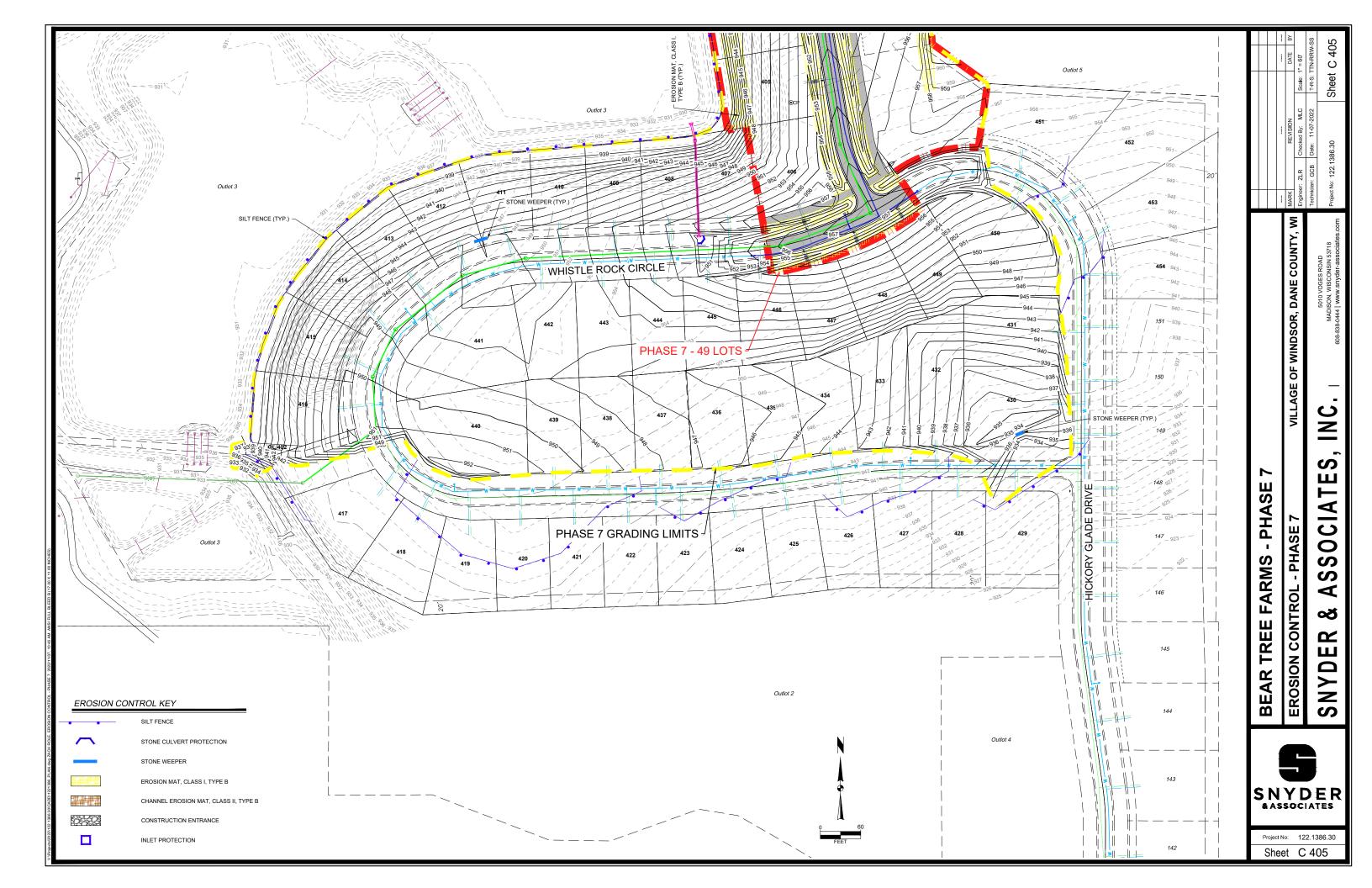


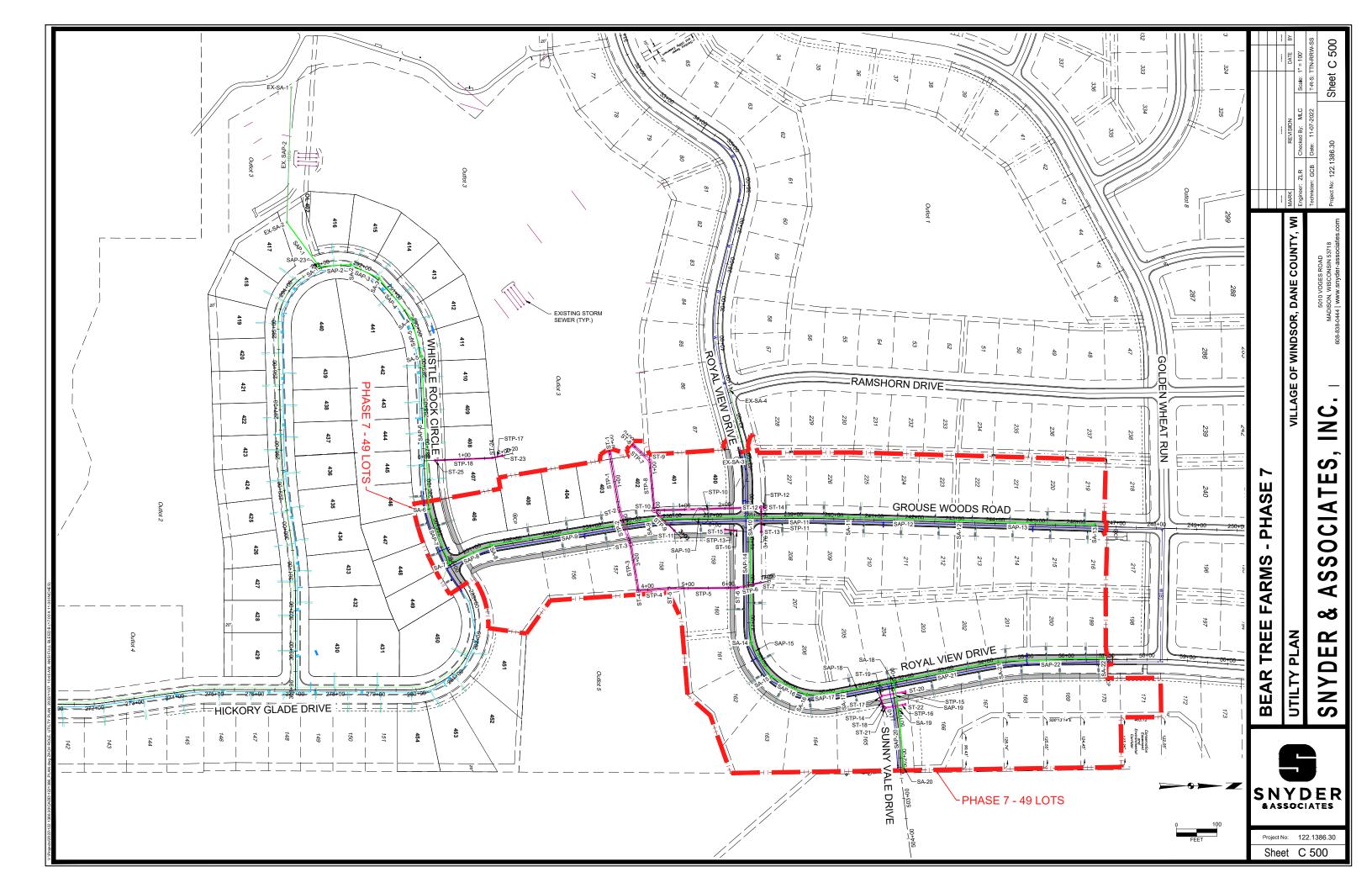












	SANITARY SEWER STRUCTURE SCHEDULE										
STRUCTURE NAME	STRUCTURE TYPE	REFERENCE ALIGNMENT	STATION	OFFSET	RIM / TC	INVERT	INV IN	INV OUT	DEPTH		
SA-1	48 IN DIA	PR-ROAD-WHISTLE_ROCK-HICKORY_GLADE-CL	293+04.0	5.0 R	951.03	932.34	932.44 933.84	932.34	18.69		
SA-2	48 IN DIA	PR-ROAD-WHISTLE_ROCK-HICKORY_GLADE-CL	292+27.6	5.0 R	949.89	932.83	932.93	932.83	17.06		
SA-3	48 IN DIA	PR-ROAD-WHISTLE_ROCK-HICKORY_GLADE-CL	291+51.2	5.0 R	948.76	933.32	933.42	933.32	15.44		
SA-4	48 IN DIA	PR-ROAD-WHISTLE_ROCK-HICKORY_GLADE-CL	290+24.9	5.0 R	946.98	934.06	934.16	934.06	12.92		
SA-5	48 IN DIA	PR-ROAD-WHISTLE_ROCK-HICKORY_GLADE-CL	289+28.8	5.0 R	947.10	934.65	934.75	934.65	12.45		
SA-6	48 IN DIA	PR-ROAD-WHISTLE_ROCK-HICKORY_GLADE-CL	285+49.0	0.0	956.07	936.65	936.75	936.65	19.42		
SA-7	48 IN DIA	PR-ROAD-WHISTLE_ROCK-HICKORY_GLADE-CL	284+06.3	0.0 L	957.36	937.46	937.56 938.96	937.46	19.90		
SA-8	48 IN DIA	PR-ROAD-GROUSE-WOODS-ROAD-CL	231+44.1	5.0 L	955.54	938.01	938.11	938.01	17.53		
SA-9	48 IN DIA	PR-ROAD-GROUSE-WOODS-ROAD-CL	235+38.7	5.0 L	951.17	939.69	939.79	939.69	11.48		
SA-10	48 IN DIA	PR-ROAD-GROUSE-WOODS-ROAD-CL	237+92.1	5.0 L	953.23	940.81	940.91 940.91	940.81	12.42		
SA-11	48 IN DIA	PR-ROAD-GROUSE-WOODS-ROAD-CL	240+35.5	5.0 L	954.88	942.93	943.03	942.93	11.95		
SA-12	48 IN DIA	PR-ROAD-GROUSE-WOODS-ROAD-CL	243+10.5	5.0 L	957.62	945.78	945.88	945.78	11.84		
SA-13	48 IN DIA	PR-ROAD-GROUSE-WOODS-ROAD-CL	246+47.0	5.0 L	960.98	949.25		949.25	11.73		
SA-14	48 IN DIA	PR-ROAD-ROYAL-VIEW-DRIVE-CL	47+49.1	0.0	956.46	944.61	944.71	944.61	11.84		
SA-15	48 IN DIA	PR-ROAD-ROYAL-VIEW-DRIVE-CL	48+48.5	0.0	957.45	945.69	945.79	945.69	11.76		
SA-16	48 IN DIA	PR-ROAD-ROYAL-VIEW-DRIVE-CL	49+47.8	0.0	958.45	946.77	946.87	946.77	11.68		
SA-17	48 IN DIA	PR-ROAD-ROYAL-VIEW-DRIVE-CL	50+38.6	4.0 L	959.28	947.77	947.87	947.77	11.52		
SA-18	48 IN DIA	PR-ROAD-ROYAL-VIEW-DRIVE-CL	51+67.5	4.1 L	960.57	949.09	949.19 949.19	949.09	11.48		
SA-19	48 IN DIA	PR-ROAD-SUNNY-VALE-DRIVE-CL	500+81.1	7.1 L	960.56	949.55	949.65	949.55	11.01		
SA-20	48 IN DIA	PR-ROAD-SUNNY-VALE-DRIVE-CL	502+23.1	7.0 L	965.93	950.36		950.36	15.57		
SA-21	48 IN DIA	PR-ROAD-ROYAL-VIEW-DRIVE-CL	54+31.6	5.0 L	963.21	951.89	951.99	951.89	11.32		
SA-22	48 IN DIA	PR-ROAD-ROYAL-VIEW-DRIVE-CL	56+90.7	4.9 L	965.81	954.58		954.58	11.23		

	STORM SEWER	R STRUCTURE SCHEDULE							
STRUCTURE NAME	STRUCTURE TYPE	REFERENCE ALIGNMENT	STATION	OFFSET	RIM / TC	INVERT	INV IN	INV OUT	DEPTH
ST-1	38" X 60" HERCP FES	PR-STRM-EAST-PIPE-RUN	0+25.0	0.0			934.00		
ST-2	96" DIA. PRECAST STORM MANHOLE W/ SOLID LID	PR-STRM-EAST-PIPE-RUN	1+68.2	0.0	951.11	934.80	934.80	934.80	16.30
ST-3	96" DIA. PRECAST STORM MANHOLE W/ SOLID LID	PR-STRM-EAST-PIPE-RUN	2+61.3	0.0	951.76	935.32	935.32	935.32	16.43
ST-4	96" DIA. PRECAST STORM MANHOLE W/ SOLID LID	PR-STRM-EAST-PIPE-RUN	3+76.3	0.0	952.22	941.95	941.95	941.95	10.27
ST-5	72" DIA. PRECAST STORM MANHOLE W/ HAALA 72" TOP MOUNT CONE GRATE	PR-STRM-EAST-PIPE-RUN	4+54.0	0.0	948.00	942.73	943.73	942.73	5.27
ST-6	60" DIA. PRECAST STORM MANHOLE W/ HAALA 3' X 3' TOP GRATE RAISED BOX GRATE	PR-STRM-EAST-PIPE-RUN	6+22.3	0.0	951.39	945.41	946.41	945.41	5.98
ST-7	48" DIA. PRECAST STORM MANHOLE W/ HAALA 48" TOP MOUNT CONE GRATE	PR-STRM-EAST-PIPE-RUN	6+81.1	0.0	950.58	947.00		947.00	3.58
ST-8	38" X 60" HERCP FES	PR-STRM-CENTRAL-PIPE-RUN	0+25.0	0.0			934.00		
ST-9	96" DIA. PRECAST STORM MANHOLE W/ SOLID LID	PR-STRM-CENTRAL-PIPE-RUN	0+81.1	0.0	942.00	934.29	934.29	934.29	7.71
ST-10	120" DIA. PRECAST STORM MANHOLE W/ HAALA 36" TOP MOUNT CONE GRATE	PR-STRM-CENTRAL-PIPE-RUN	2+04.9	0.0	948.35	941.36	942.36 943.29	941.36	6.99
ST-11	48" DIA. PRECAST STORM MANHOLE W/ HAALA 36" TOP MOUNT CONE GRATE	PR-STRM-CENTRAL-PIPE-RUN	2+75.8	0.0	947.91	944.00		944.00	3.91
ST-12	84" DIA. PRECAST STORM MANHOLE W/ SOLID LID PR-STRM-WEST-PIPE-RUN 2+90.0		2+90.0	0.0	952.50	943.69	944.19 947.42	943.69	8.81
ST-13	60" DIA. PRECAST STORM MANHOLE W/ HAALA 60" TOP MOUNT CONE GRATE	PR-STRM-WEST-PIPE-RUN	3+51.1	0.0	948.40	944.50		944.50	3.90
ST-14	18" RCP FES	PR-STRM-WEST-PIPE-RUN	2+90.0	11.5 L				948.57	
ST-15	14" X 23" HERCP FES	PR-STRM-SE-CORNER-GROUSE-ROYAL-CULVERT	0+25.0	0.0			949.81		
ST-16	14" X 23" HERCP FES	PR-STRM-SE-CORNER-GROUSE-ROYAL-CULVERT	0+56.0	0.0				949.97	
ST-17	14" X 23" HERCP FES	PR-STRM-SE-CORNER-ROYAL-SUNNY-CULVERT	0+25.0	0.0			956.58		
ST-18	14" X 23" HERCP FES	PR-STRM-SE-CORNER-ROYAL-SUNNY-CULVERT	0+51.6	0.0				956.90	
ST-19	14" X 23" HERCP FES	PR-ROAD-SUNNY-VALE-DRIVE-CL	500+39.1	30.4 R			956.58		
ST-20	14" X 23" HERCP FES	PR-ROAD-SUNNY-VALE-DRIVE-CL	500+39.7	32.1 L				957.20	
ST-21	14" X 23" HERCP FES	PR-ROAD-SUNNY-VALE-DRIVE-CL	500+70.6	25.8 R			956.90		
ST-22	14" X 23" HERCP FES	PR-ROAD-SUNNY-VALE-DRIVE-CL	500+69.6	26.0 L				957.50	
ST-23	14" X 23" HERCP FES	PR-STRM-SOUTH-PIPE-RUN	1+95.1	0.0			934.00		
ST-24	48" DIA. PRECAST STORM MANHOLE W/ SOLID LID	PR-STRM-SOUTH-PIPE-RUN	1+68.3	0.0	938.56	934.83	934.83	934.83	3.73
ST-25	14" X 23" HERCP FES	PR-STRM-SOUTH-PIPE-RUN	0+25.0	0.0				950.36	

	SANITARY PIPE TABLE									
PIPE NAME	PIPE TYPE	SIZE (IN.)	FROM	то	LENGTH (FT)	START INV	END INV	SLOP		
SAP-1	PVC	8	SA-1	EX-SA-2	135	932.34	925.14	5.33%		
SAP-2	PVC	8	SA-2	SA-1	78	932.83	932.44	0.50%		
SAP-3	PVC	8	SA-3	SA-2	78	933.32	932.93	0.509		
SAP-4	PVC	8	SA-4	SA-3	128	934.06	933.42	0.50%		
SAP-5	PVC	8	SA-5	SA-4	97	934.65	934.16	0.509		
SAP-6	PVC	8	SA-6	SA-5	380	936.65	934.75	0.509		
SAP-7	PVC	8	SA-7	SA-6	142	937.46	936.75	0.509		
SAP-8	PVC	8	SA-8	SA-7	112	938.01	937.56	0.409		
SAP-9	PVC	8	SA-9	SA-8	395	939.69	938.11	0.409		
SAP-10	PVC	8	SA-10	SA-9	254	940.81	939.79	0.409		
SAP-11	PVC	8	SA-11	SA-10	244	942.93	940.91	0.839		
SAP-12	PVC	8	SA-12	SA-11	275	945.78	943.03	1.009		
SAP-13	PVC	8	SA-13	SA-12	337	949.25	945.88	1.009		
SAP-14	PVC	8	SA-14	SA-10	311	944.61	940.91	1.199		
SAP-15	PVC	8	SA-15	SA-14	98	945.69	944.71	1.009		
SAP-16	PVC	8	SA-16	SA-15	98	946.77	945.79	1.00%		
SAP-17	PVC	8	SA-17	SA-16	90	947.77	946.87	1.009		
SAP-18	PVC	8	SA-18	SA-17	129	949.09	947.87	0.959		
SAP-19	PVC	8	SA-19	SA-18	72	949.55	949.19	0.509		
SAP-20	PVC	8	SA-20	SA-19	143	950.36	949.65	0.509		
SAP-21	PVC	8	SA-21	SA-18	264	951.89	949.19	1.029		
SAP-22	PVC	8	SA-22	SA-21	260	954.58	951.99	1.00%		
SAP-23	PVC	8		SA-1	16	935.10	933.84	7.89%		

	STORM PIPE TABLE											
PIPE NAME	PIPE TYPE	CIRCULAR SIZE (IN.)	ELLIPTICAL SIZE (IN.)	FROM	то	LENGTH (FT)	START INV	END INV	SLOPE			
STP-1	CLASS HE-III		38" X 60" HERCP	ST-2	ST-1	143	934.80	934.00	0.56%			
STP-2	CLASS HE-III		38" X 60" HERCP	ST-3	ST-2	93	935.32	934.80	0.56%			
STP-3	RCP	48		ST-4	ST-3	115	941.95	935.32	5.76%			
STP-4	RCP	48		ST-5	ST-4	78	942.73	941.95	1.00%			
STP-5	RCP	36		ST-6	ST-5	168	945.41	943.73	1.00%			
STP-6	RCP	24		ST-7	ST-6	59	947.00	946.41	1.00%			
STP-7	CLASS HE-III		38" X 60" HERCP	ST-9	ST-8	56	934.29	934.00	0.51%			
STP-8	RCP	48		ST-10	ST-9	124	941.36	934.29	5.71%			
STP-9	RCP	18		ST-11	ST-10	71	944.00	943.29	1.00%			
STP-10	RCP	36		ST-12	ST-10	265	943.69	942.36	0.50%			
STP-11	RCP	30		ST-13	ST-12	61	944.50	944.19	0.51%			
STP-12	RCP	18		ST-14	ST-12	11	948.57	947.42	10.00%			
STP-13	CLASS HE-III		14" X 23" HERCP	ST-16	ST-15	31	949.97	949.81	0.52%			
STP-14	CLASS HE-III		14" X 23" HERCP	ST-18	ST-17	27	956.90	956.58	1.20%			
STP-15	CLASS HE-III		14" X 23" HERCP	ST-20	ST-19	63	957.20	956.58	0.99%			
STP-16	CLASS HE-III		14" X 23" HERCP	ST-22	ST-21	52	957.50	956.90	1.16%			
STP-17	CLASS HE-III		14" X 23" HERCP	ST-24	ST-23	27	934.83	934.00	3.09%			
STP-18	CLASS HE-III		14" X 23" HERCP	ST-25	ST-24	143	950.36	934.83	10.84%			

- SEE PLAN & PROFILE SHEETS FOR ADDITIONAL SANITARY AND STORM INFORMATION.
   QUANTITIES IN TABLE SHALL BE CONFIRMED WITH QUANTITIES SHOWN IN PLAN AND PROFILE SHEETS.

BEAR TREE FARMS - PHASE 7		
UTILTY TABLES - STORM & SANITARY	VILLAGE OF	VILLAGE OF WINDSOR, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.	INC.	5010 VOGES ROAD MADISON, WISCONSIN 53718 608-338-0444   www.snyder-associates.com

Sheet C 501

SNYDER & ASSOCIATES

Project No: 122.1386.30

WHISTLE ROCK CIRCLE WATER MAIN PIPE TABLE									
NAME	NAME SIZE (IN.) MATERIAL								
WM-1	8	8" DI WM	78						
WM-2	8	8" DI WM	66						
WM-3	8	8" DI WM	3						
WM-4	8	8" DI WM	13						
WM-5	8	8" DI WM	32						
WM-6	8	8" DI WM	18						
WM-7	8	8" DI WM	44						
WM-100	6	6" DI WM	4						
WM-101	6	6" DI WM	3						
WM-102	6	6" DI WM	20						
WM-103	6	6" DI WM	4						

GROUSE WOODS ROAD WATER MAIN PIPE TABLE								
NAME	SIZE (IN.)	MATERIAL	LENGTH					
WM-8	8	8" DI WM	3					
WM-9	8	8" DI WM	87					
WM-10	8	8" DI WM	58					
WM-11	8	8" DI WM	203					
WM-12	M-13 8 8" DI WM M-14 8 8" DI WM M-15 8 8" DI WM M-16 8 8" DI WM		3					
WM-13			141					
WM-14			30					
WM-15			19					
WM-16			2					
WM-17			18					
WM-18	8	8" DI WM	2					
WM-19	8	8" DI WM	180					
WM-20	8	8" DI WM	3					
WM-21	8	8" DI WM	3					
WM-22	8	8" DI WM	6					
WM-23	8	8" DI WM	15					
WM-24	8	8" DI WM	2					
WM-25	8	8" DI WM	18					
WM-26	8	8" DI WM	3					
WM-27	8	8" DI WM	202					
WM-28	8	8" DI WM	83					
WM-29	8	8" DI WM	3					
WM-30	8	8" DI WM	366					
WM-31	8	8" DI WM	3					
WM-32	8	8" DI WM	153					

	GROUSE WOODS ROAD WATER MAIN PIPE TABLE									
	NAME	SIZE (IN.)	MATERIAL	LENGTH						
	WM-33	8	8" DI WM	22						
	WM-104	6	6" DI WM	3						
	WM-105	6	6" DI WM	6						
	WM-106	6	6" DI WM	3						
	WM-107	6	6" DI WM	7						
	WM-108	6	6" DI WM	3						
	WM-109	6	6" DI WM	7						

WATER MAIN FITTING TABLE									
FITTING NAME	SIZE (IN.)	TYPE	STATION	OFFSET	NORTHING	EASTING			
WF-1	8 x 6	8"X6" REDUCER	285+89.12	-7.43 L	531093.07	840676.29			
WF-2	8 x 6	8"X6" TEE	284+42.96	-7.90 L	531132.98	840818.64			
WF-3	8	8"X8" TEE	283+97.24	-10.23 L	531151.67	840861.29			
WF-4	8 x 6	8"X6" REDUCER	283+34.37	-9.63 L	531186.29	840914.66			

WATER MAIN FITTING TABLE							
FITTING NAME	SIZE (IN.)	TYPE	STATION	OFFSET	NORTHING	EASTING	
WF-5	8 x 6	8"X6" TEE	233+78.14	6.04 R	531491.68	840775.87	
WF-6	8	45° BEND	235+73.64	7.15 R	531684.65	840749.40	
WF-7	8	45° BEND	235+75.81	7.24 R	531686.81	840749.34	
WF-8	8	45° BEND	235+95.16	7.84 R	531706.01	840748.81	
WF-9	8	45° BEND	235+97.62	7.89 R	531708.44	840748.74	
WF-10	8	8"X8" CROSS	237+82.10	5.19 R	531892.58	840743.64	
WF-11	8	45° BEND	238+08.20	5.23 R	531918.68	840743.44	
WF-12	8	45° BEND	238+10.51	5.27 R	531920.99	840743.45	
WF-13	8	45° BEND	238+29.27	5.54 R	531939.75	840743.55	
WF-14	8	45° BEND	238+33.20	5.59 R	531943.69	840743.57	
WF-15	8 x 6	8"X6" TEE	241+23.07	5.00 R	532233.29	840747.11	
WF-16	8 x 6	8"X6" TEE	244+93.57	5.00 R	532603.64	840757.70	

	W	ATER MAIN APPUR	RTENANC	E TABL	.E	
	APPURTENANCE NAME	TYPE	STATION	OFFSET	NORTHING	EASTING
	WA-1	HYDRANT	285+93.81	-6.93 L	531092.94	840671.51
	WA-2	6" GATE VALVE AND BOX	285+89.78	-7.36 L	531093.05	840675.61
	WA-3	8" GATE VALVE AND BOX	284+46.85	-7.70 L	531131.57	840814.94
ı	WA-4	6" GATE VALVE AND BOX	283+33.65	-9.62 L	531186.67	840915.23
ı	WA-5	HYDRANT	283+29.28	-9.54 L	531188.95	840918.65
ł	WA-6	6" GATE VALVE AND BOX	284+42.74	-3.92 L	531136.71	840817.22
	WA-7	HYDRANT	284+41.58	16.50 R	531155.83	840809.95

- 1. SEE PLAN & PROFILE SHEETS FOR ADDITIONAL SANITARY AND STORM INFORMATION.
- 2. QUANTITIES IN TABLE SHALL BE CONFIRMED WITH QUANTITIES SHOWN IN PLAN AND PROFILE SHEETS.

WATER MAIN APPURTENANCE TABLE							
APPURTENANCE NAME	TYPE	STATION	OFFSET	NORTHING	EASTING		
WA-8	8" GATE VALVE AND BOX	230+26.78	4.50 R	531155.32	840859.66		
WA-9	6" GATE VALVE AND BOX	233+78.12	10.04 R	531492.31	840779.82		
WA-10	HYDRANT	233+78.10	16.50 R	531493.34	840786.20		
WA-11	8" GATE VALVE AND BOX	233+82.14	6.06 R	531495.63	840775.23		
WA-12	8" GATE VALVE AND BOX	237+78.16	5.26 R	531888.64	840743.75		
WA-13	8" GATE VALVE AND BOX	237+86.06	5.12 R	531896.54	840743.53		
WA-14	8" GATE VALVE AND BOX	241+19.07	5.00 R	532229.29	840747.00		
WA-15	6" GATE VALVE AND BOX	241+23.07	9.00 R	532233.18	840751.11		
WA-16	HYDRANT	241+23.07	16.50 R	532232.96	840758.61		
WA-17	8" GATE VALVE AND BOX	244+89.58	5.00 R	532599.64	840757.59		
WA-18	6" GATE VALVE AND BOX	244+93.57	9.00 R	532603.52	840761.70		
WA-19	HYDRANT	244+93.54	16.50 R	532603.27	840769.20		

ROYA		& SUNNY VALI IN PIPE TABLE	E DRIVE
NAME	SIZE (IN.)	MATERIAL	LENGTH
WM-34	8	8" DI WM	31
WM-35	8	8" DI WM	73
WM-36	8	8" DI WM	3
WM-37	8	8" DI WM	3
WM-38	8	8" DI WM	3
WM-39	8	8" DI WM	20
WM-40	8	8" DI WM	2
WM-41	8	8" DI WM	17
WM-42	8	8" DI WM	169
WM-43	8	8" DI WM	3
WM-44	8	8" DI WM	128
WM-45	8	8" DI WM	4
WM-46	8	8" DI WM	35
WM-47	8	8" DI WM	3
WM-48	8	8" DI WM	57
WM-49	8	8" DI WM	2
WM-50	8	8" DI WM	100
WM-51	8	8" DI WM	2
WM-52	8	8" DI WM	92
WM-53	8	8" DI WM	84
WM-54	8	8" DI WM	3
WM-55	8	8" DI WM	235

NAME	SIZE (IN.)	MATERIAL	LENGTH
WM-56	8	8" DI WM	77
WM-57	8	8" DI WM	28
WM-58	8	8" DI WM	3
WM-59	8	8" DI WM	190
WM-60	8	8" DI WM	11
WM-61	8	8" DI WM	25
WM-62	8	8" DI WM	3
WM-63	8	8" DI WM	28
WM-64	8	8" DI WM	122
WM-65	8	8" DI WM	44
WM-66	8	8" DI WM	3
WM-67	8	8" DI WM	0
WM-110	6	6" DI WM	3
WM-111	6	6" DI WM	4
WM-112	6	6" DI WM	3
WM-113	6	6" DI WM	9
WM-114	6	6" DI WM	3
WM-115	6	6" DI WM	6
WM-116	6	6" DI WM	3
WM-117	6	6" DI WM	22
WM-118	6	6" DI WM	4

	WATER MAIN FITTING TABLE						
FITTING NAME	SIZE (IN.)	TYPE	STATION	OFFSET	NORTHING	EASTING	
WF-17	8	11.25° BEND	43+19.05	2.75 R	531891.40	840615.60	
WF-18	8 x 6	8"X6" TEE	43+97.64	5.00 R	531892.12	840693.86	
WF-19	8	45° BEND	44+01.82	5.00 R	531892.16	840698.04	
WF-20	8	45° BEND	44+05.86	5.00 R	531892.20	840702.08	
WF-21	8	45° BEND	44+26.97	5.01 R	531892.38	840723.19	
WF-22	8	45° BEND	44+29.69	5.01 R	531892.41	840725.91	
WF-23	8	45° BEND	46+17.66	5.08 R	531894.07	840913.87	
WF-24	8	45° BEND	46+20.85	5.10 R	531894.08	840917.06	
WF-25	8	22.5° BEND	47+47.84	10.17 R	531895.17	841046.02	
WF-26	8	11.25° BEND	47+52.05	9.54 R	531896.89	841050.17	
WF-27	8 x 6	8"X6" TEE	47+90.36	3.21 R	531917.27	841084.74	
WF-28	8	11.25° BEND	48+46.58	9.87 R	531946.93	841135.09	
WF-29	8	22.5° BEND	48+49.27	10.17 R	531948.79	841137.26	
WF-30	8	11.25° BEND	49+45.76	9.71 R	532038.58	841182.83	
WF-31	8	22.5° BEND	49+48.92	10.07 R	532041.79	841183.81	
WF-32	8 x 6	8"X6" TEE	51+23.34	5.91 R	532216.82	841158.93	
WF-33	8 x 6	8"X6" TEE	55+02.43	9.82 R	532589.64	841098.73	
WF-34	8 x 6	8"X6" REDUCER	502+18.07	7.29 R	532268.51	841349.61	
WF-35	8	8"X8" TEE	500+18.72	7.58 R	532246.48	841153.26	

WATER MAIN APPURTENANCE TABLE							
APPURTENANCE NAME	TYPE	STATION	OFFSET	NORTHING	EASTING		
WA-20	8" GATE VALVE AND BOX	43+93.21	5.00 R	531892.08	840689.43		
WA-21	6" GATE VALVE AND BOX	43+97.60	9.00 R	531888.12	840693.86		
WA-22	HYDRANT	43+97.64	13.00 R	531884.12	840693.93		
WA-23	8" GATE VALVE AND BOX	47+86.43	3.44 R	531915.23	841081.28		
WA-24	6" GATE VALVE AND BOX	47+90.55	7.20 R	531913.82	841086.77		
WA-25	HYDRANT	47+90.95	16.50 R	531905.81	841091.50		
WA-26	6" GATE VALVE AND BOX	51+23.35	9.91 R	532217.57	841162.86		
WA-27	HYDRANT	51+23.35	16.50 R	532218.81	841169.33		
WA-28	8" GATE VALVE AND BOX	51+27.40	5.91 R	532220.80	841158.17		
WA-29	8" GATE VALVE AND BOX	54+98.38	9.73 R	532585.65	841098.86		
WA-30	6" GATE VALVE AND BOX	55+02.52	5.83 R	532589.51	841094.73		
WA-31	HYDRANT	55+02.99	-16.50 L	532588.73	841072.41		
WA-32	6" GATE VALVE AND BOX	502+18.85	7.24 R	532268.57	841350.39		
WA-33	HYDRANT	502+23.47	6.96 R	532268.93	841355.02		
WA-34	8" GATE VALVE AND BOX	500+18.81	3.57 R	532250.42	841152.51		
WA-35	8" GATE VALVE AND BOX	500+21.99	7.64 R	532247.09	841156.45		



Sheet C 502

VILLAGE OF WINDSOR, DANE COUNTY, WI

- PHASE

FARMS.

**BEAR TREE** 

S

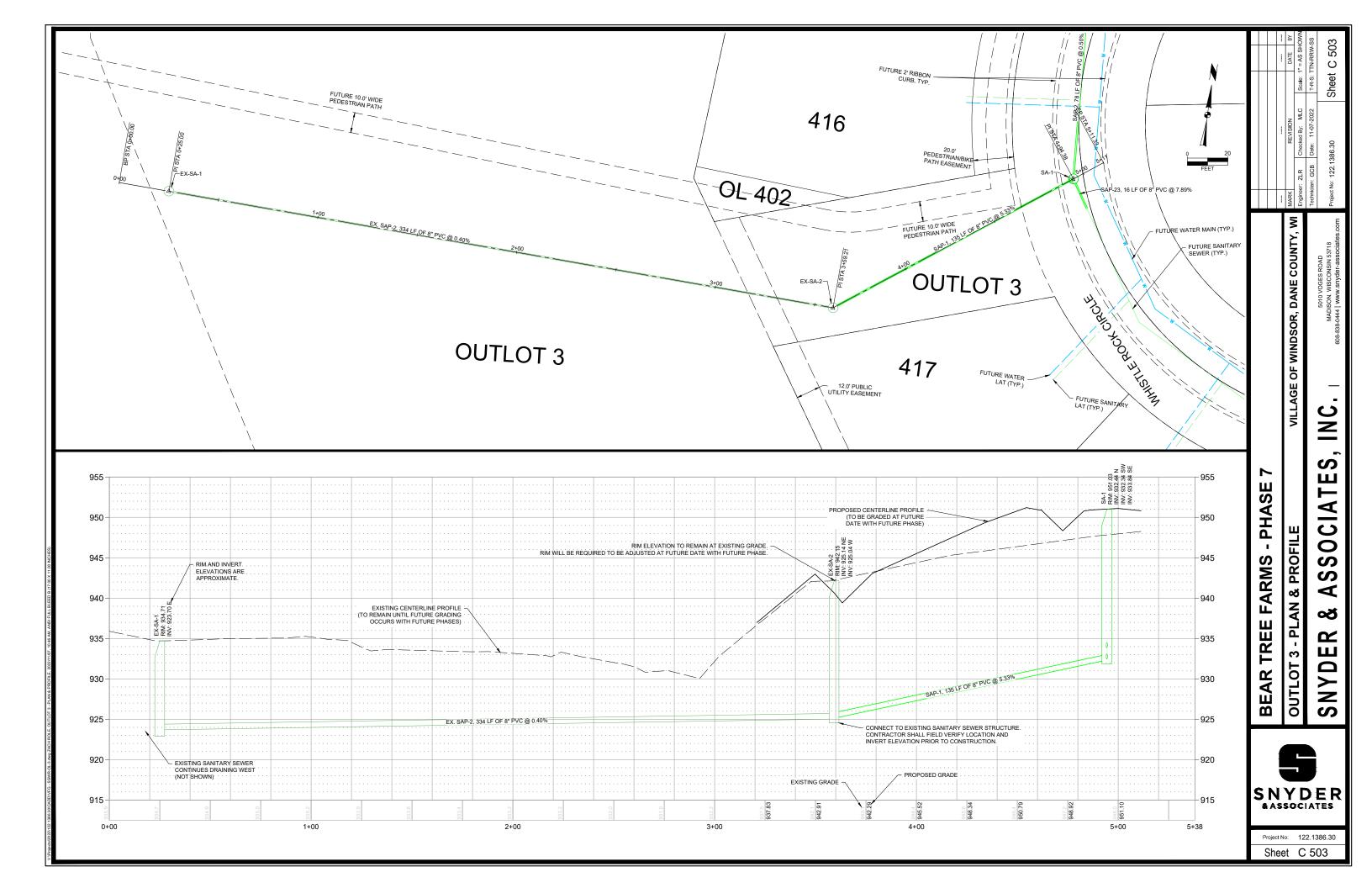
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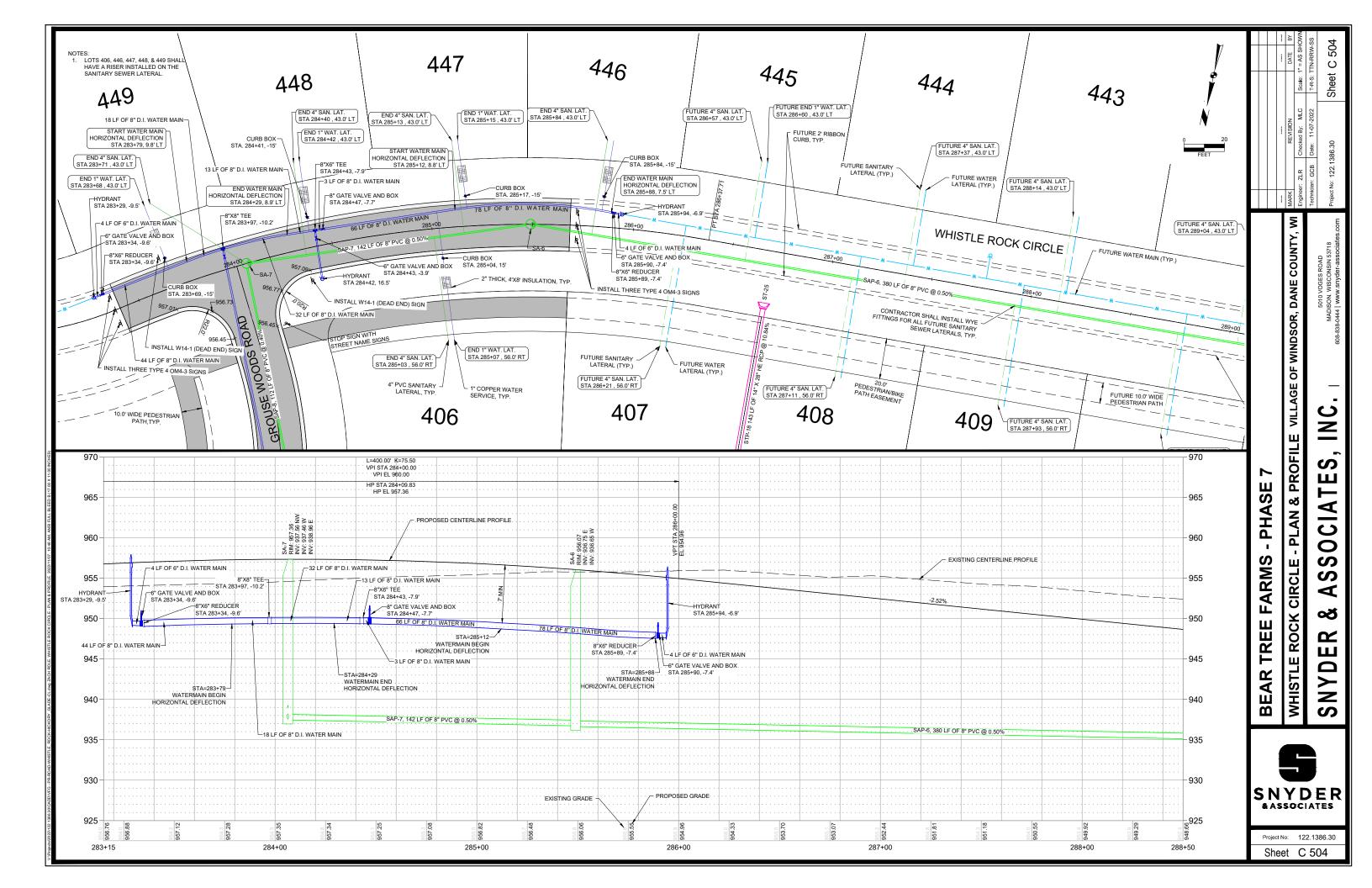
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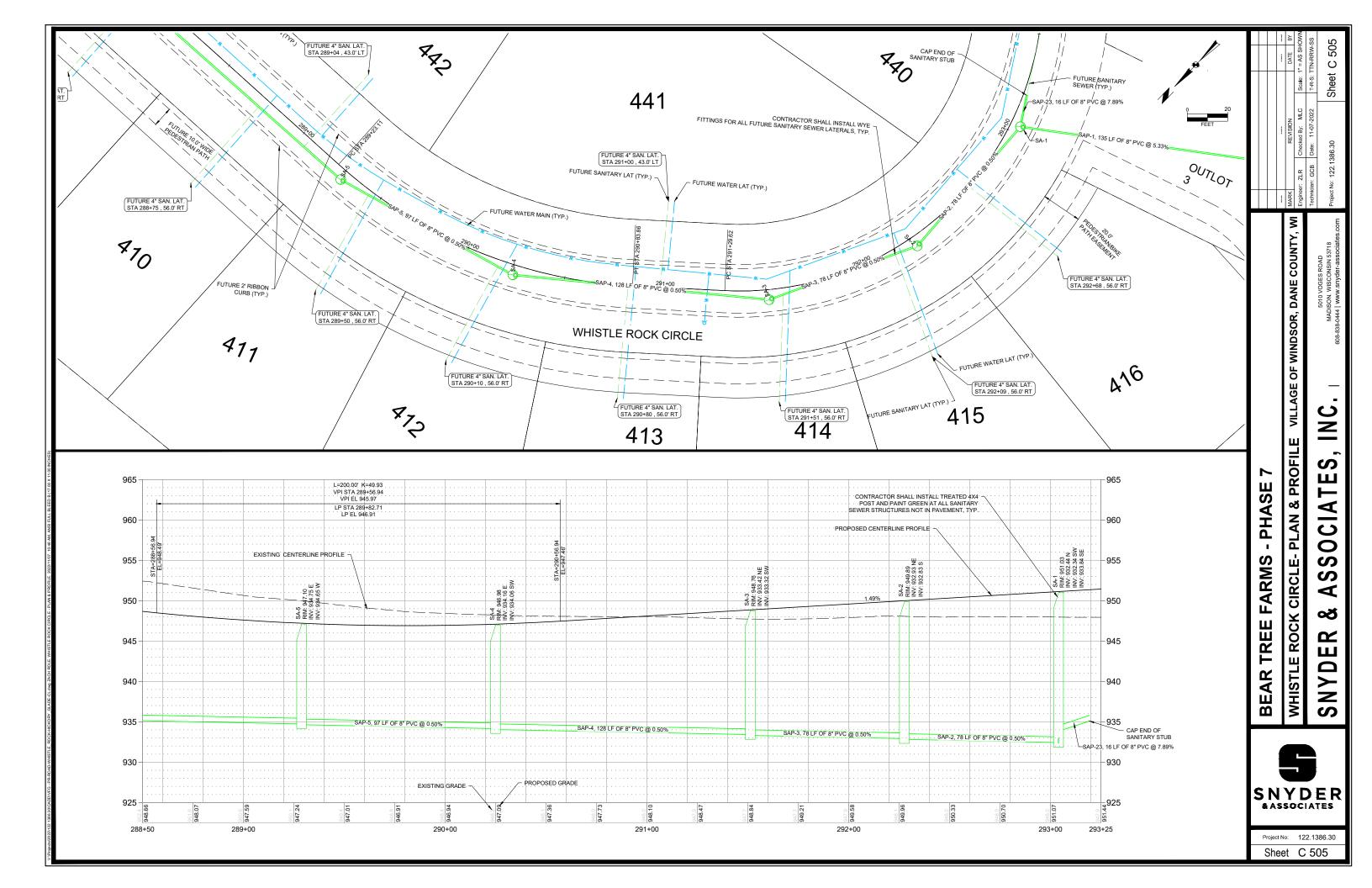
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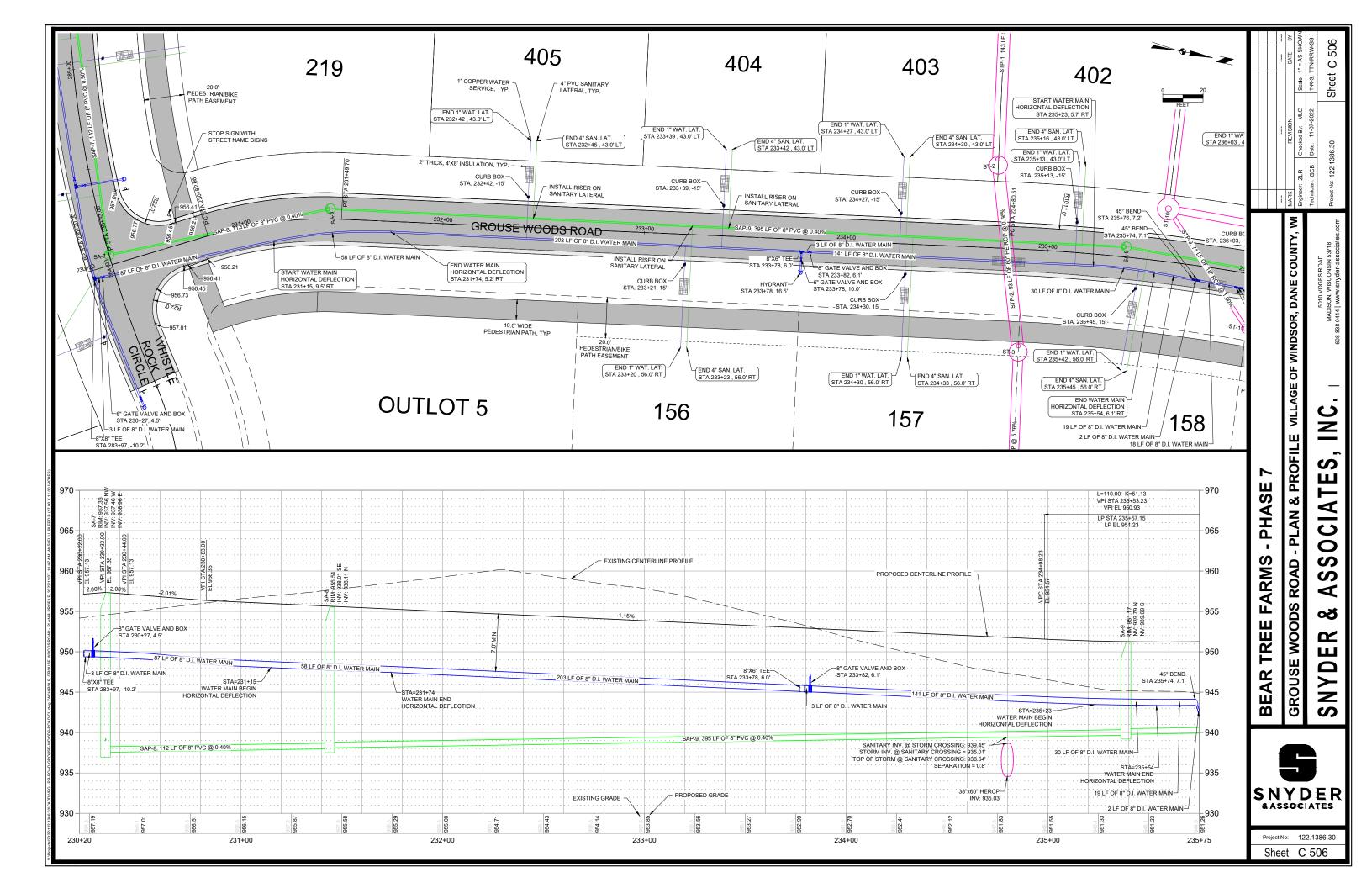
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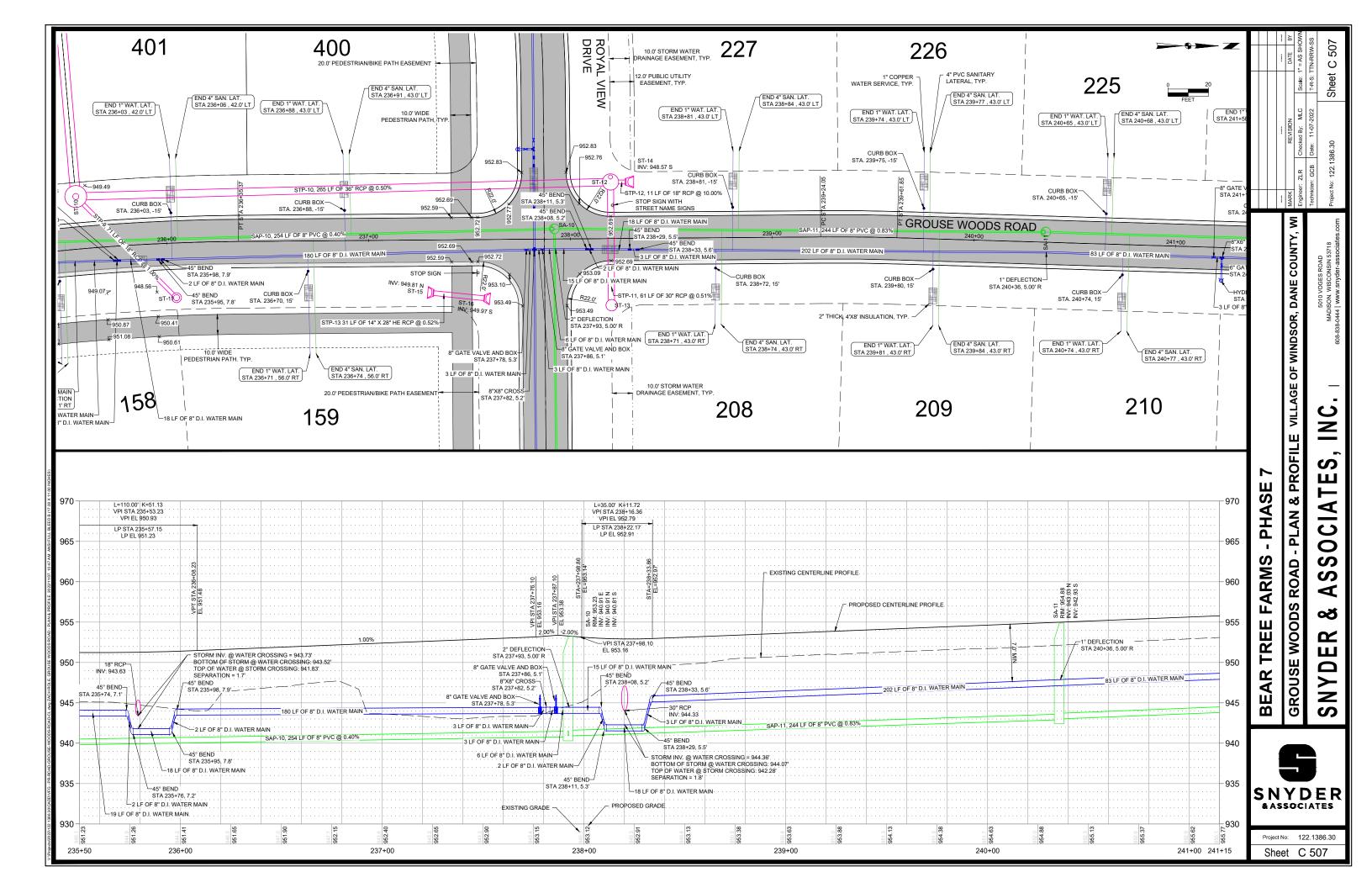
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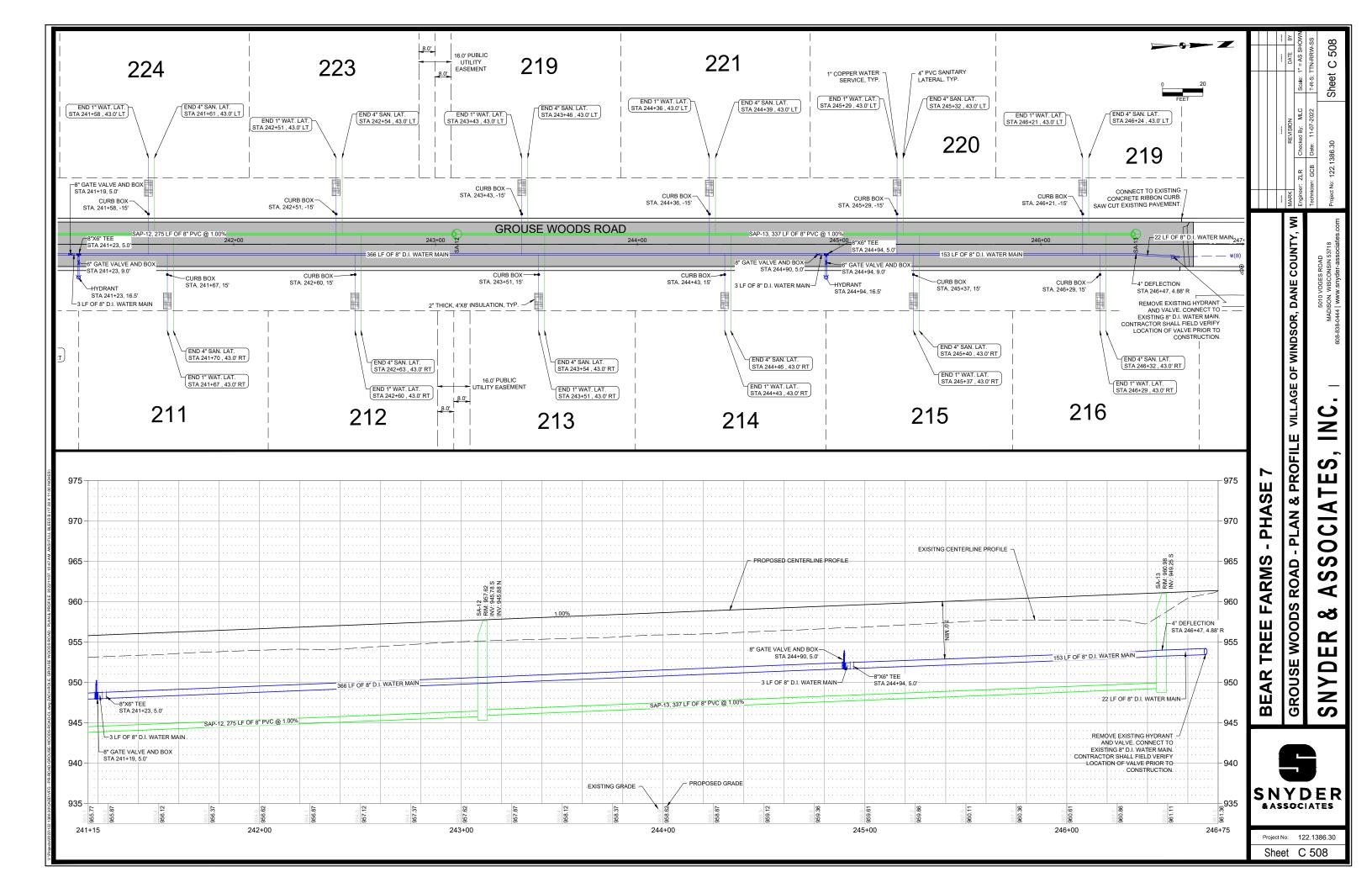


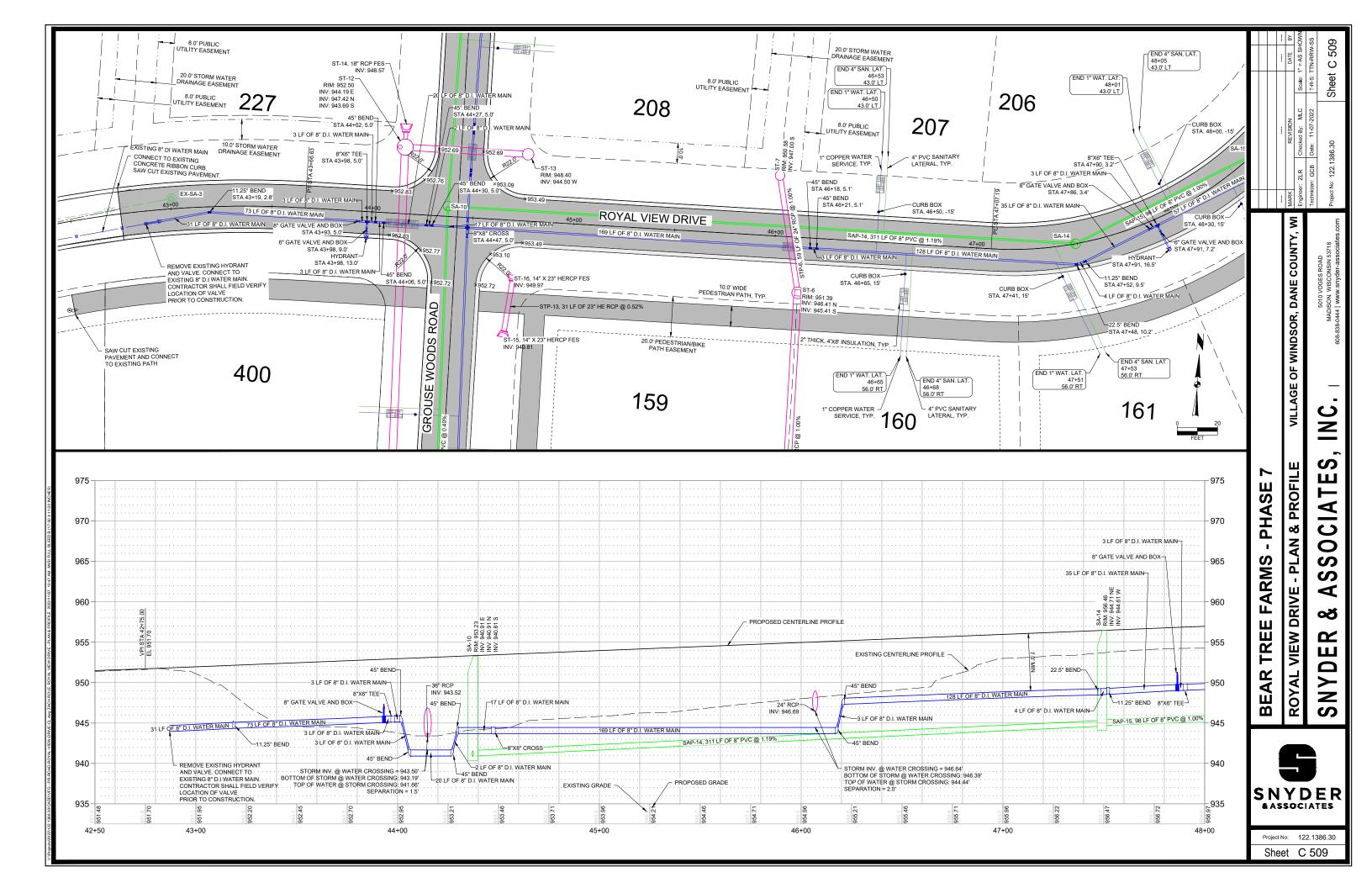


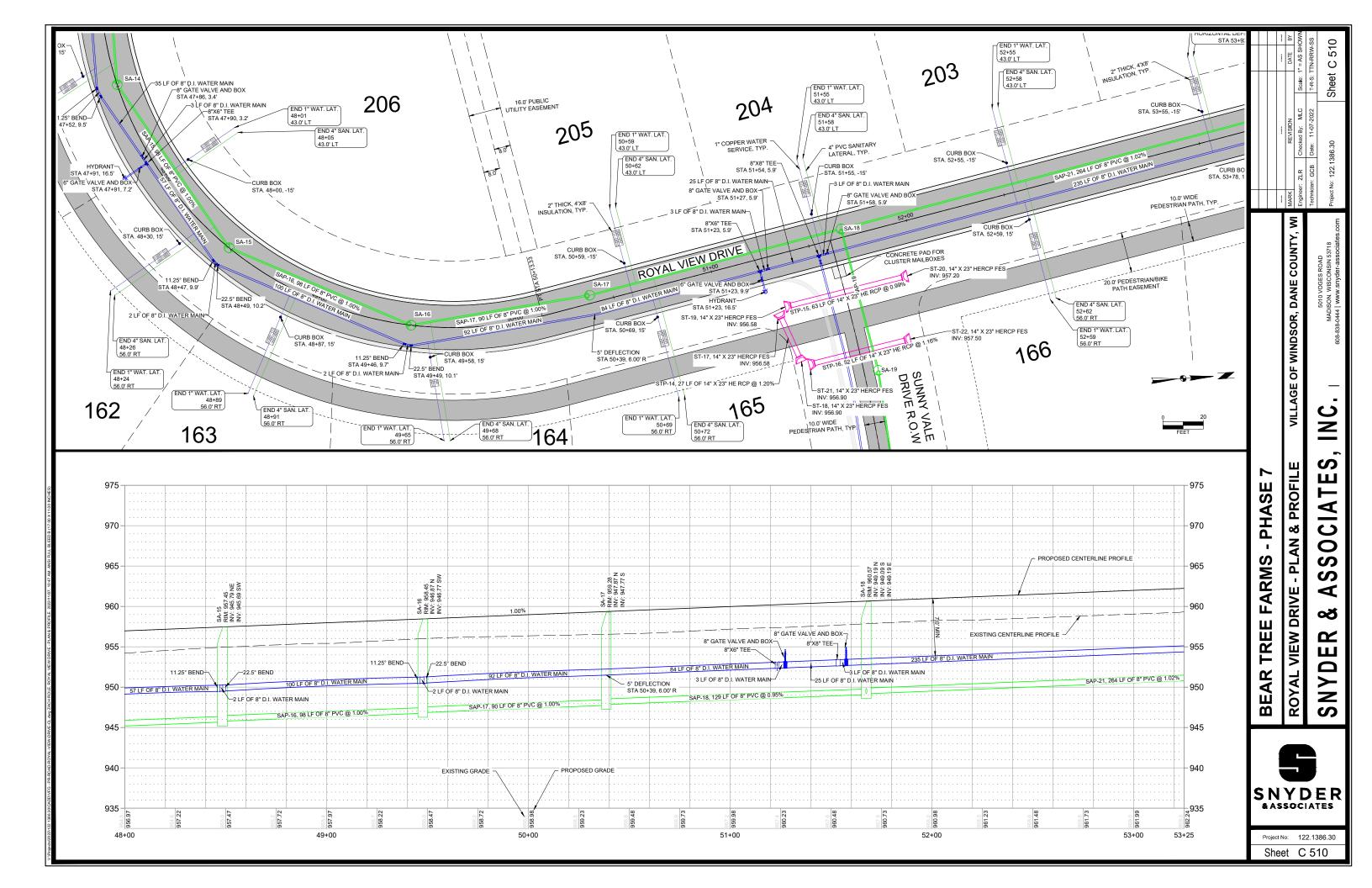


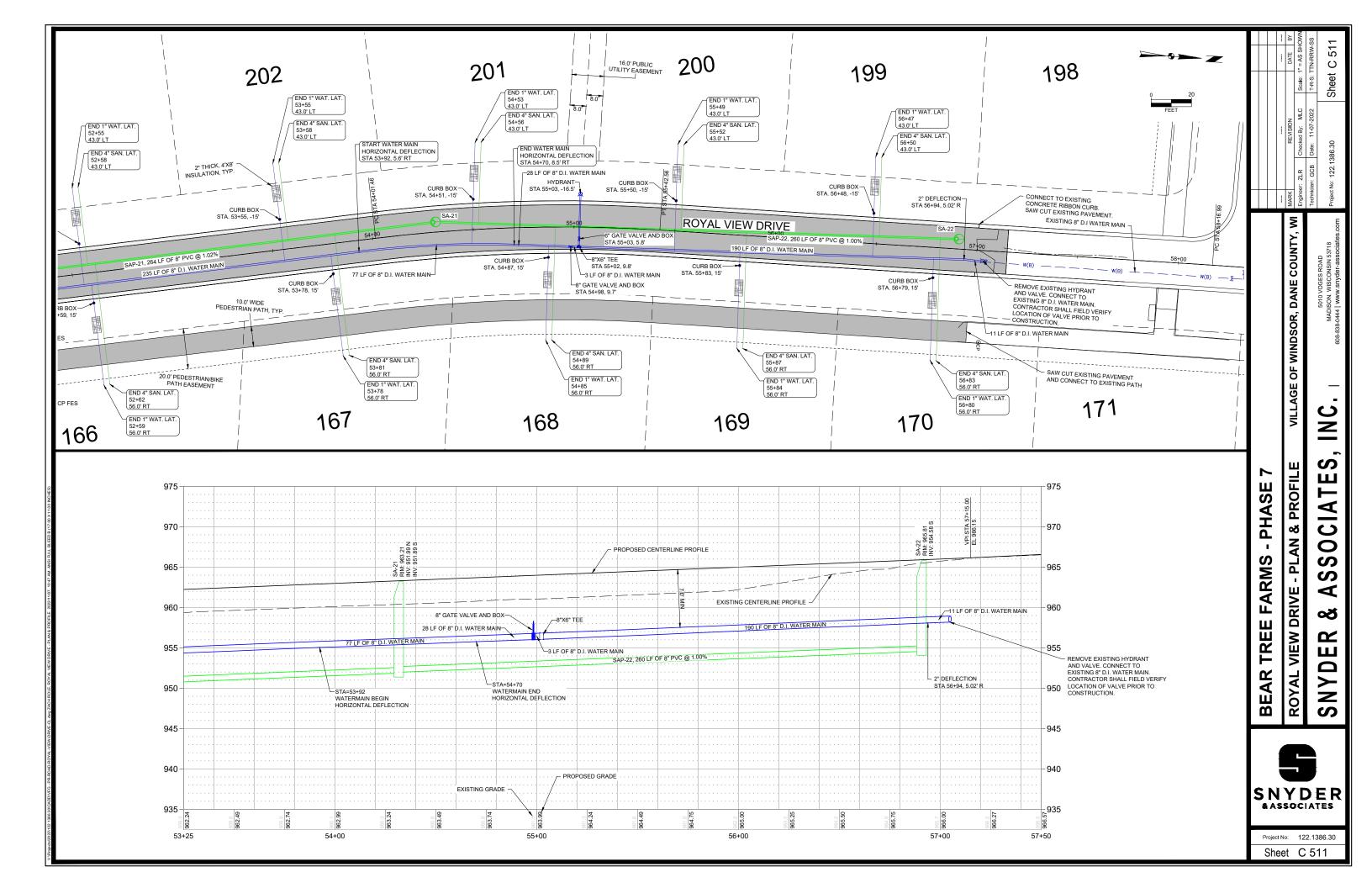


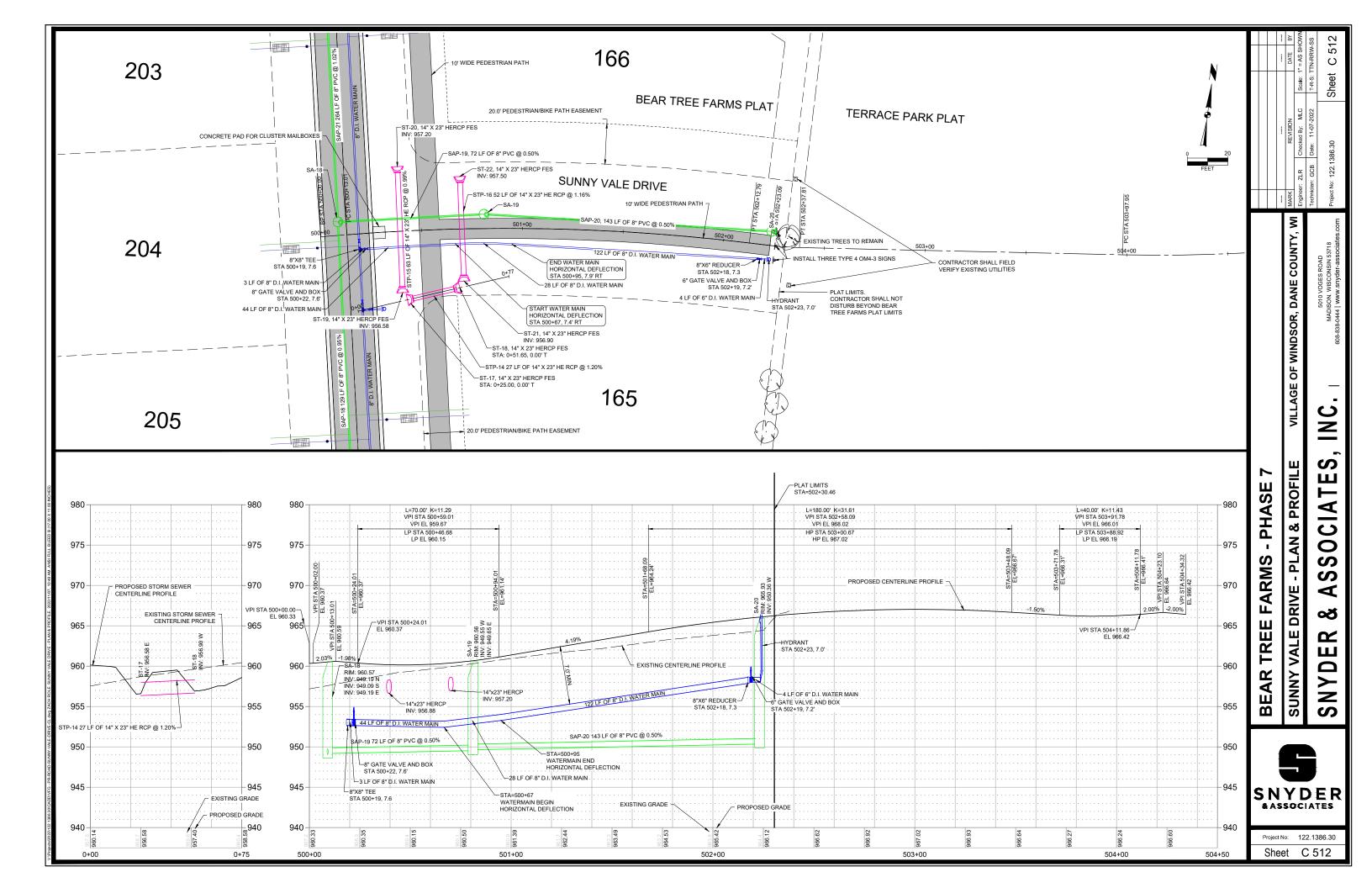


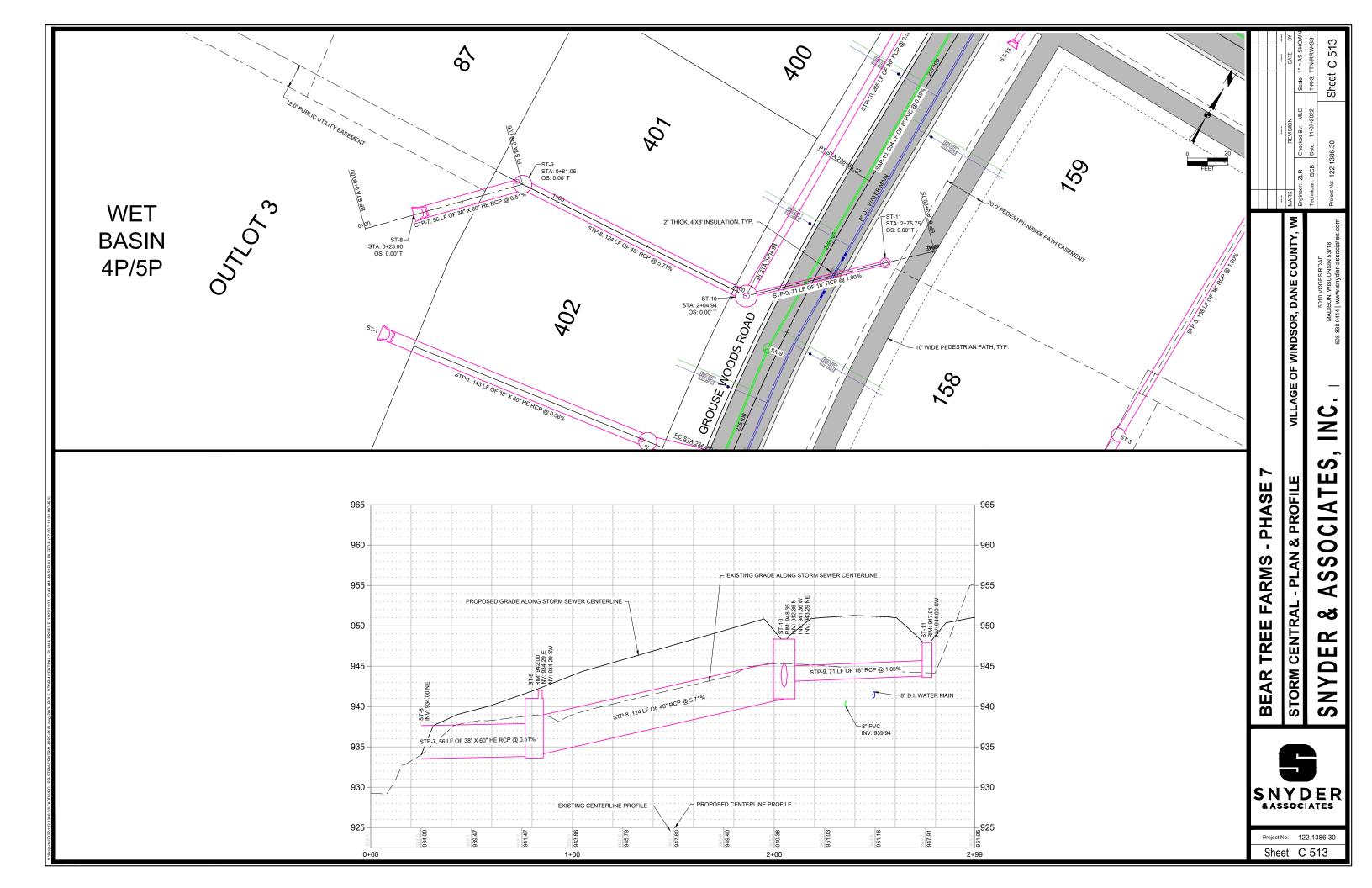


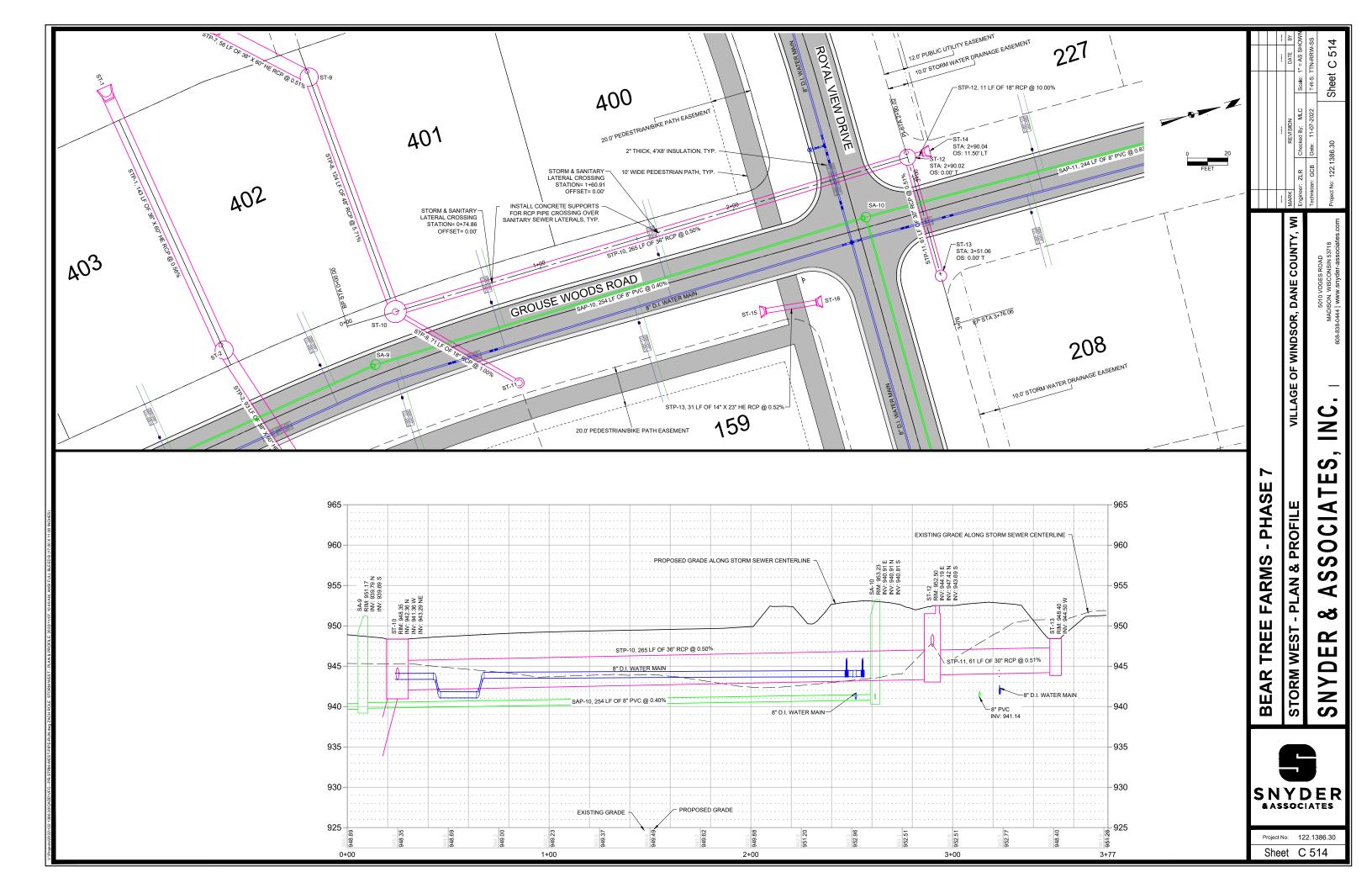


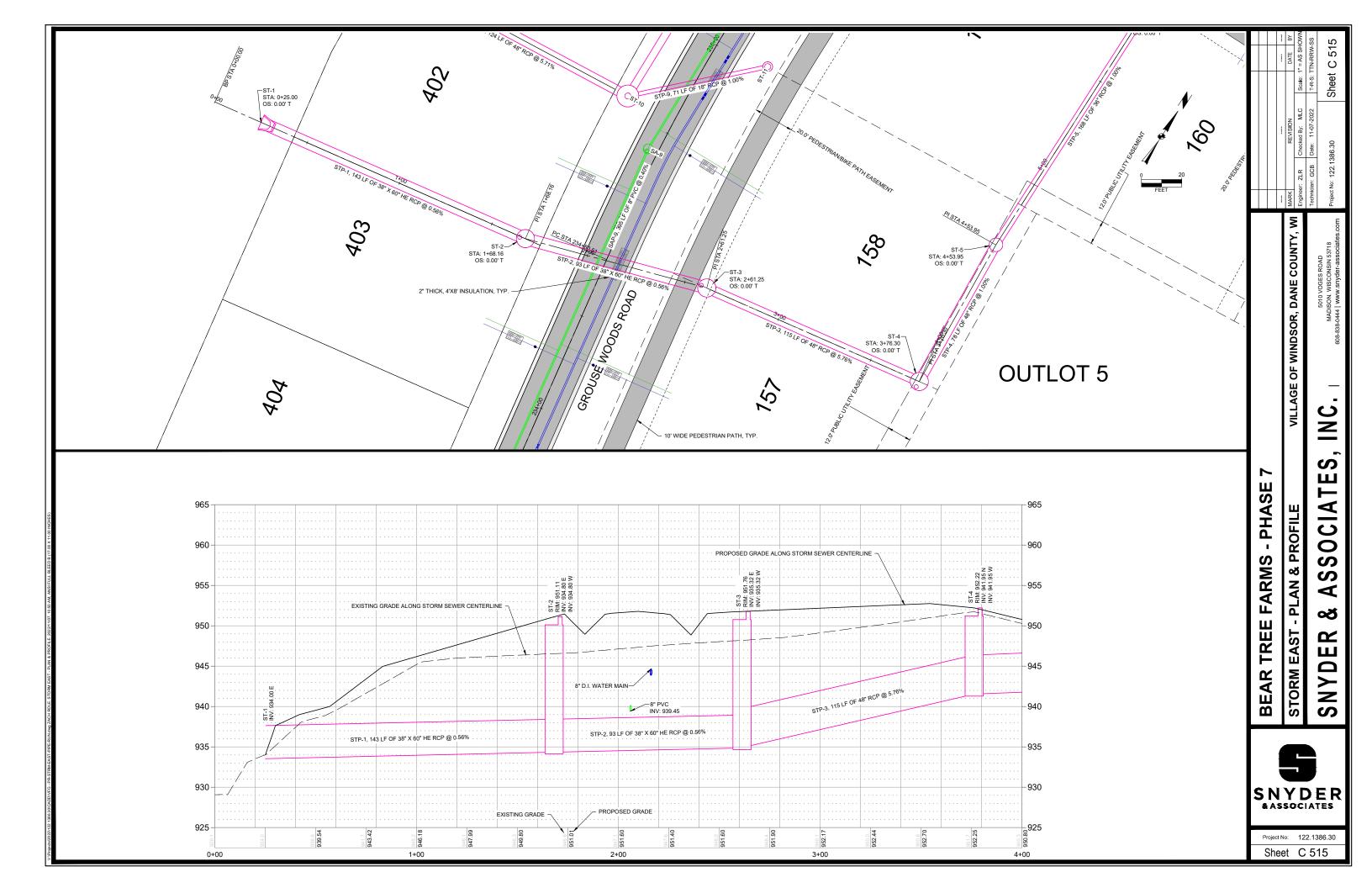


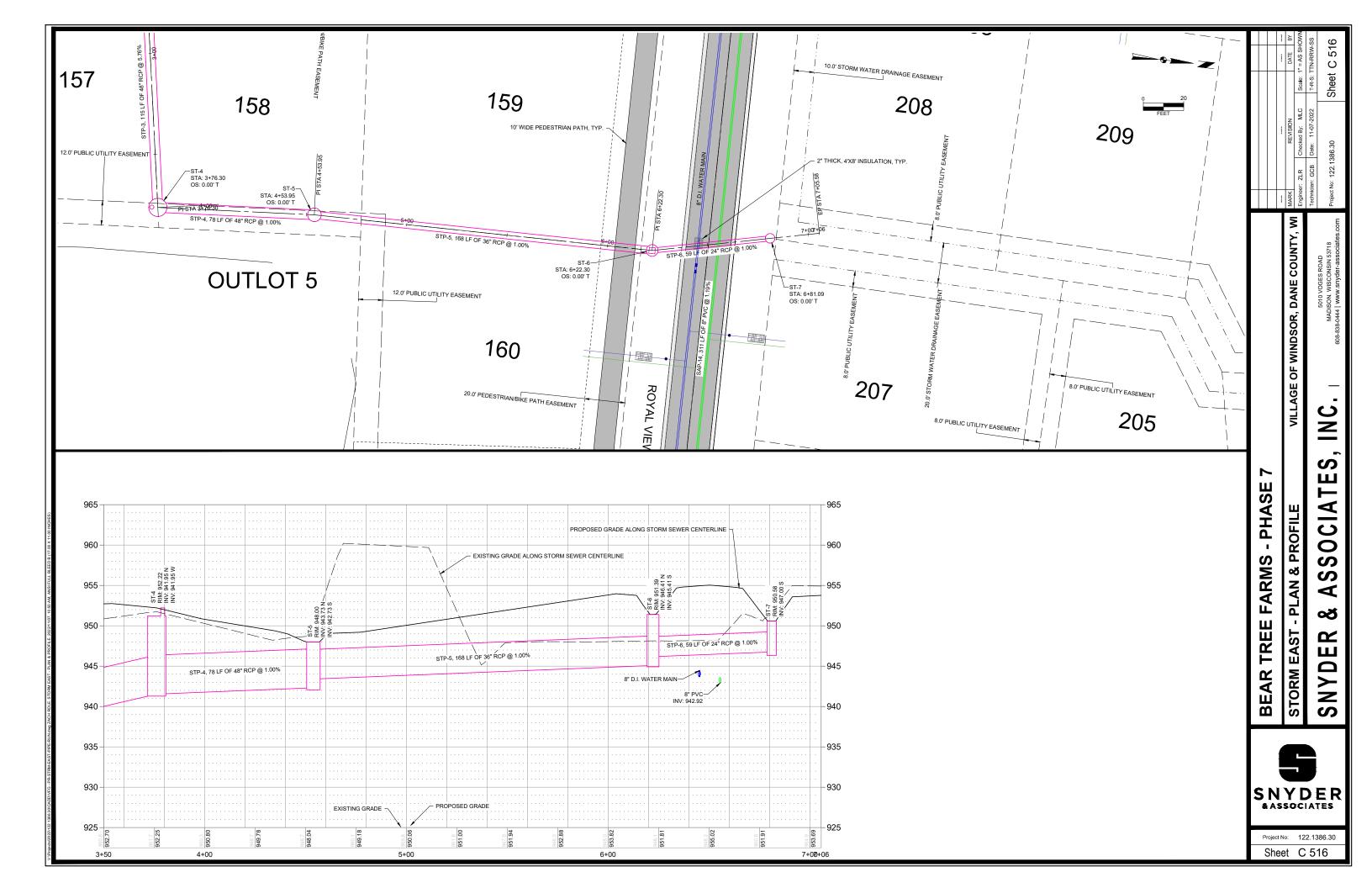


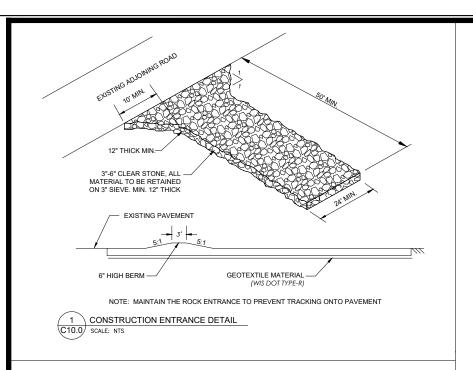


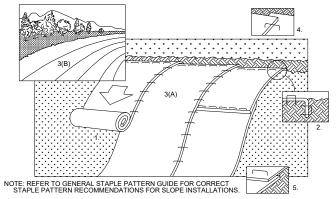




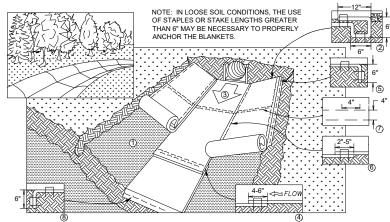








- 1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- 3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
- 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- 5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
- ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
- 7. EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD # 1052.
- 8. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, USE CLASS I, TYPE A EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WORLD FACILITIES DEVELOPMENT MANUAL AND INSTALL AND MAINTAIN PER WOMR TECHNICAL STANDARDS



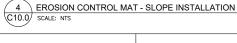
- 1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
- 2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET
- 3. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.
- 4. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE BLANKETS.
- FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPE MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- 6. A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
- THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES
  APPROXIMATELY 12" APART IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER
  STAPLING.
- 8. EROSION MAT SHALL EXTEND FOR WHICHEVER IS GREATER: UPSLOPE THREE FOOT MIN. VERTICALLY FROM DITCH BOTTOM OR 1' HIGHER THAN DESIGN FLOW DEPTH.
- 9. EROSION MAT SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS
- 10. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II, TYPE B EROSION CONTROL MATTING. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDOT FACILITIES DEVELOPMENT MANUAL; INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARDS.

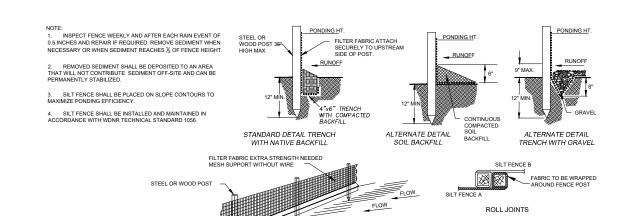
6 EROSION CONTROL MAT - CHANNEL INSTALLATION SCALE: NTS

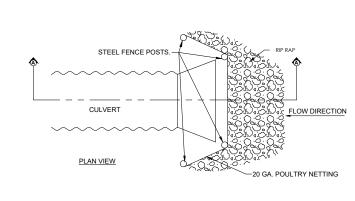
2 NOT USED C10.0 SCALE: NTS

3 SILT FENCE DETAIL

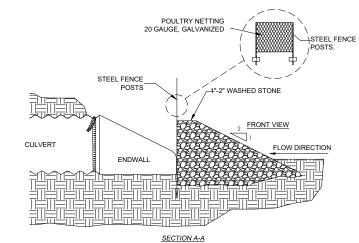
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NOTE: STONE CULVERT PROTECTION SHOWN TO BE USED FOR CULVERTS UP TO 18" IN DIAMETER. CONSULT ENGINEER FOR MODIFICATIONS FOR >18" DIAMETER CULVERTS.

SNYDER & ASSOCIATES

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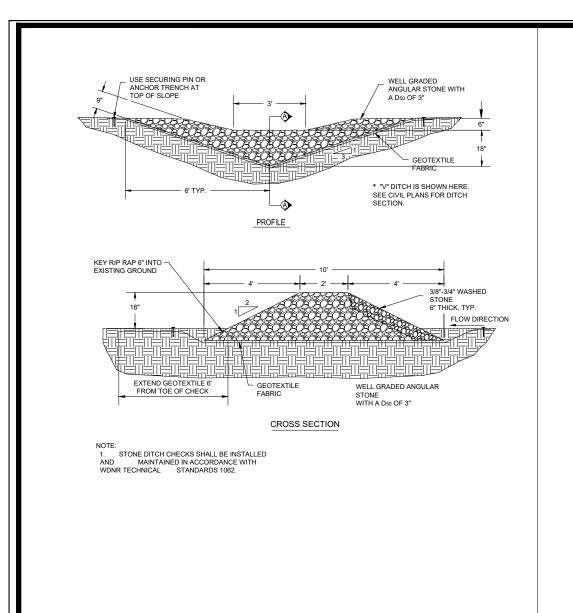
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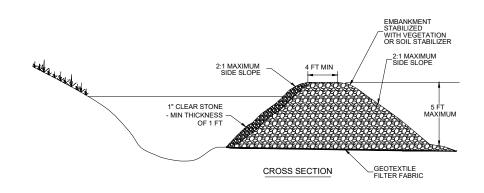
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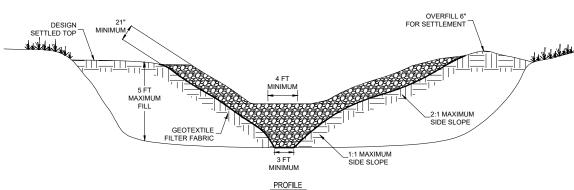
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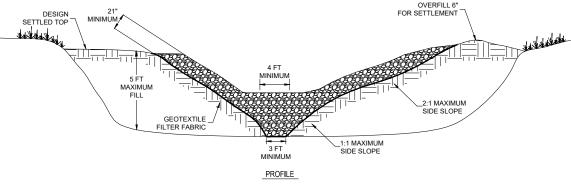


END SECTION WIDTH

PLAN VIEW







#### CONSTRUCTION SPECIFICATIONS

SEDIMENT TRAPS SHOULD BE OPERATIONAL BEFORE SITE

BASIN AREA AND AREAS UNDER THE EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MATERIAL AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.

FILL MATERIAL FOR THE EMBANKMENT SHALL BE MINERAL SOIL, FREE OF ROOTS, WOODY VEGETATION, OVERSIZED STONES, ROCKS OR OTHER OBJECTIONABLE MATERIAL AND BE SUFFICIENTLY MOIST FOR COMPACTION.

FILL MATERIAL SHALL BE PLACED IN 6-INCH LIFTS. AS CONTINUOUS LAYERS OVER THE ENTIRE LENGTH OF THE FILL.

COMPACTION SHALL BE OBTAINED BY ROUTING THE HAULING EQUIPMENT OVER THE FILL SO THAT THE ENTIRE SURFACE OF EACH LAYER OF THE FILL IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE EQUIPMENT, OR BY USE OF A COMPACTOR.

THE EMBANKMENT SHALL BE CONSTRUCTED TO AN ELEVATION OF 10 PERCENT HIGHER THAN THE DESIGN HEIGHT TO ALLOW FOR SETTLEMENT IF COMPACTION IS OBTAINED WITH HAULING EQUIPMENT. IF COMPACTORS ARE USED FOR COMPACTING, THE OVERBUILD MAY BE REDUCED TO NOT LESS THAN 5 PERCENT.

THE EMBANKMENT SHALL BE STABILIZED WITH VEGETATION OR SOIL STABILIZER IMMEDIATELY FOLLOWING CONSTRUCTION.

CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE

LOCAL AND STATE REQUIREMENTS SHALL BE MET CONCERNING FENCING AND SIGNS WARNING THE PUBLIC OF HAZARDS OF SOFT SEDIMENT AND FLOODWATER.

#### MAINTENANCE

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES  $\frac{1}{2}$  OF THE OUTLET. THIS SEDIMENT SHALL BE PLACED IN SUCH A MANNER THAT IT WILL NOT ERODE FROM THE SITE.

THE SEDIMENT SHALL NOT BE DEPOSITED DOWNSTREAM FROM THE EMBANKMENT OR IN OR ADJACENT TO A STREAM OR FLOODPLAIN.

SEDIMENT TRAPS SHALL BE INSPECTED FOR DAMAGE AND REPAIRED WEEKLY AND AFTER EACH RAINFALL EVENT. ALL DAMAGES SHALL BE REPAIRED BEFORE THE END OF EACH

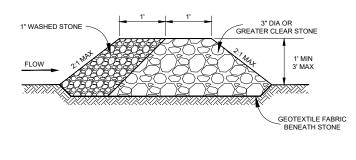
IF THE SEDIMENT TRAP DOES NOT DRAIN COMPLETELY WITHIN 24 HOURS OF A STORM EVENT, THE GEOTEXTILE AND STONE OUTLET SHOULD BE CLEANED.

SEDIMENT TRAPS SHOULD BE REMOVED AFTER THE SITE HAS BEEN PERMANENTLY STABILIZED.

STONE DITCH CHECK DETAIL C10.1 SCALE: NTS











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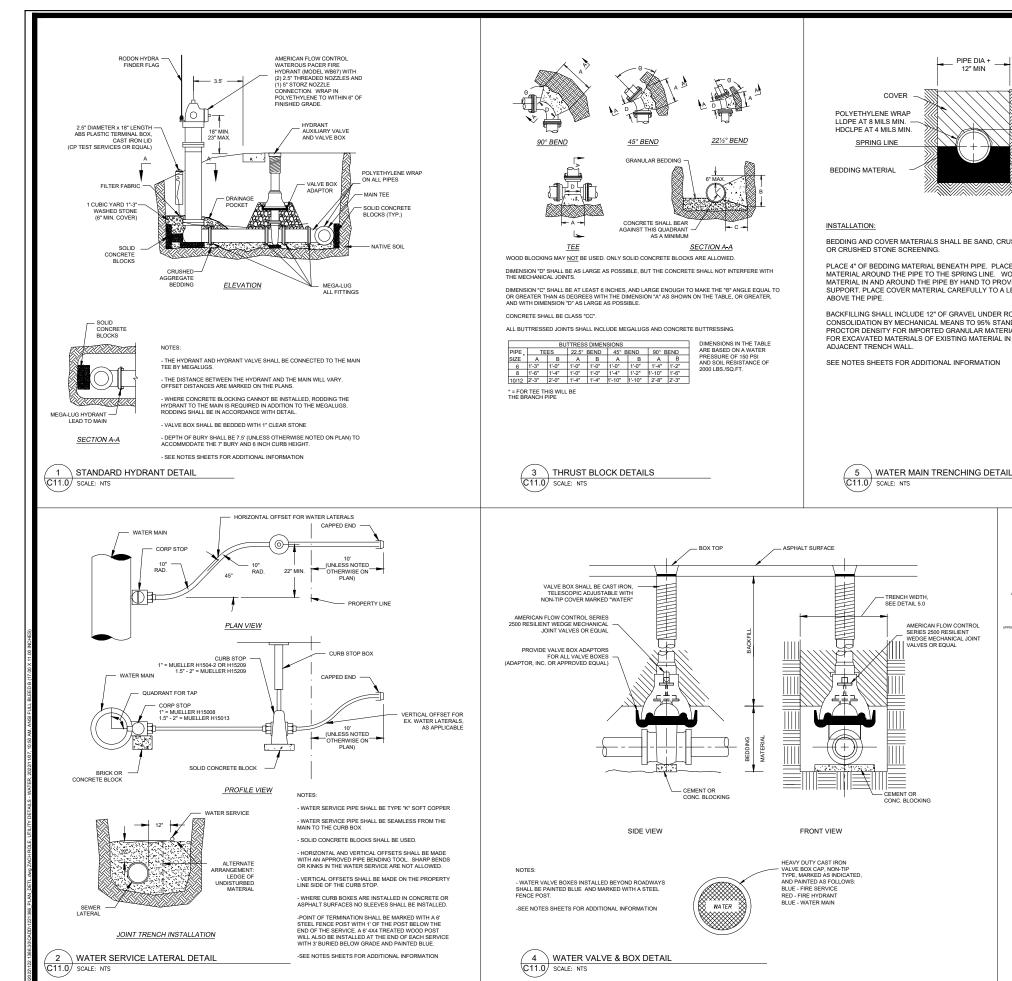
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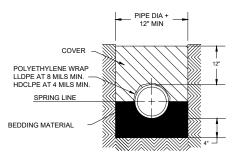
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NATIVE SOIL SECTION A-A

2 ENDWALI C10.1 SCALE: NTS ENDWALL RIP-RAP DETAIL

ENDWALL MEDIUM RIP-RAP 6"-12" - 12"-18"



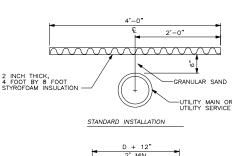


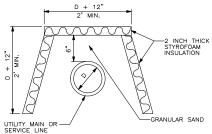
BEDDING AND COVER MATERIALS SHALL BE SAND, CRUSHED STONE OR CRUSHED STONE SCREENING.

PLACE 4" OF BEDDING MATERIAL BENEATH PIPE. PLACE BEDDING MATERIAL AROUND THE PIPE TO THE SPRING LINE. WORK THE MATERIAL IN AND AROUND THE PIPE BY HAND TO PROVIDE UNIFORM SUPPORT. PLACE COVER MATERIAL CAREFULLY TO A LEVEL 6"

BACKFILLING SHALL INCLUDE 12" OF GRAVEL UNDER ROADWAYS. CONSOLIDATION BY MECHANICAL MEANS TO 95% STANDARD PROCTOR DENSITY FOR IMPORTED GRANULAR MATERIAL AND 100% FOR EXCAVATED MATERIALS OF EXISTING MATERIAL IN THE ADJACENT TRENCH WALL.

SEE NOTES SHEETS FOR ADDITIONAL INFORMATION



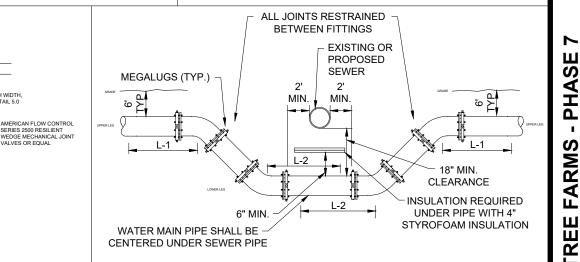


SIDE PROTECTION INSTALLATION

GENERAL NOTES:

1. THE SIDE PROTECTION INSTALLATION SHALL BE USED WHERE FROST WILL PENETRATE BELOW THE PIPE INVERT. 2. SEE NOTES SHEETS FOR ADDITIONAL INFORMATION.

PIPE INSULATION DETAIL C11.0 SCALE: NTS



#### NOTES:

- 1. L-1: RESTRAINED JOINT LENGTH UPPER LEG OF VERTICAL BEND
- 2. L-2: RESTRAINED JOINT LENGTH LOWER LEG OF VERTICAL BEND



7 WATER MAIN VERTICAL OFFSET & JOINT RESTRAINT DETAILE C11.0 SCALE: NTS

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Project No: 122.1386.30

Sheet C 702

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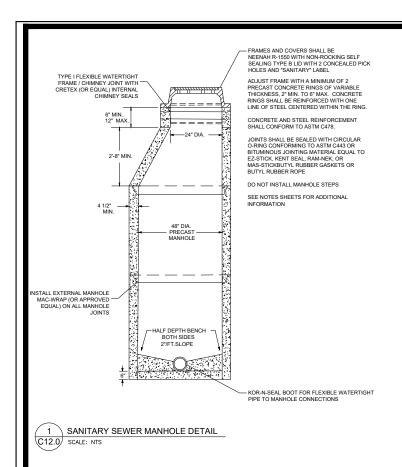
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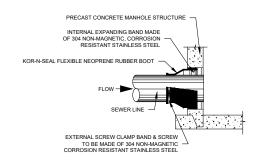
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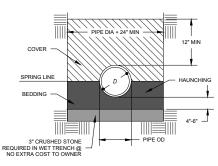
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2 SANITARY SEWER MANHOLE / BOOT CONNECTION DETAIL C12.0 SCALE: NTS

3 NOT USED C12.0 SCALE: NTS



BEDDING AND COVER MATERIALS SHALL BE CRUSHED STONE OR CRUSHED STONE SCREENING. CRUSHED STONE MUST BE USED IN AREAS OF HIGH GROUND WATER.

PLACE AND COMPACT BEDDING AND COVER IN MAXIMUM 6" LAYERS. WORK MATERIAL IN AND AROUND PIPE

BACKFILLING SHALL INCLUDE 12" OF GRAVEL UNDER ROADWAYS. CONSOLIDATION BY MECHANICAL MEANS. TO 95% STANDARD PROCTOR DENSITY FOR IMPORTED GRANULAR MATERIAL AND 100% FOR EXCAVATED MATERIALS OF EXISTING MATERIAL IN THE ADJACENT TRENCH WALL

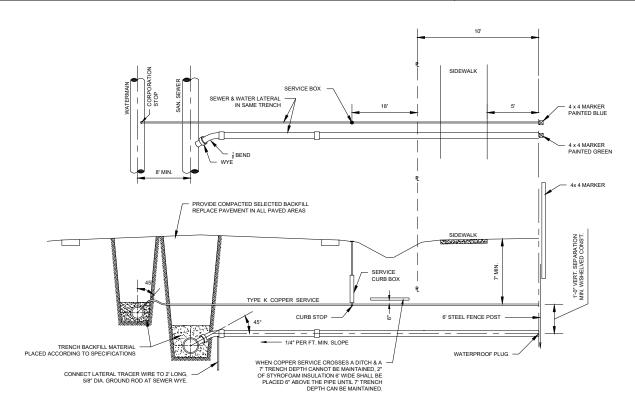
PROVIDE DEFLECTION TEST (MANDREL) IN ACCORDANCE WITH THE WISCONSIN STANDARDS FOR SEWER AND WATER CONSTRUCTION. IF DEFLECTION TESTING TAKES PLACE WITHIN THE 30 DAYS OF PLACEMENT OF THE FINAL BACKFILL, DEFLECTION MAY NOT EXCEED 5%. MAXIMUM DEFLECTION MAY NOT EXCEED 7.5% WHEN TESTING OCCURS MORE THAN 30 DAYS AFTER PLACEMENT OF THE FINAL BACKFILL.

PROVIDE A SUCCESSFUL LOW PRESSURE AIR TEST IN ACCORDANCE WITH THE WISCONSIN STANDARDS FOR SEWER AND WATER CONSTRUCTION. THE TESTS MUST BE PERFORMED IN THE PRESENCE OF THE ENGINEER. PROVIDE A TELEVISION INSPECTION OF COMPLETED SANITARY SEWER INSTALLATION. CONTRACTOR SHALL PROVIDE WISDI A HARD COPY REPORT AND VIDEO ON A DVD OR OTHER APPROVED MEDIA FORMAT. A VHS TAPE WILL NOT BE ACCEPTED.

SEE NOTES SHEETS FOR ADDITIONAL INFORMATION







#### NOTE:

THE INVICENTIAL BE INDIVIDUAL OF FOR THE SEVER MAIN TO THE CENTER OF THE TERROR. AND THE DISTRIBUTION OF THE CENTER OF THE TERROR. A SECOND WIRE SHALL BE EXTENDED FROM THE CENTER OF THE TERROR TO THE END OF THE LATERAL STUBBED INTO THE COT. A SPOOL OF EXCESS WIRE SHALL BE PROVIDED AT THE END OF THE LATERAL EQUAL TO ONE-HALF THE DEPTH OF THE LOT FOR USE BY THE BUILDING PLUMBER AT THE TIME OF BUILDING CONNECTION. THE CONDUCTOR SHALL BE BROUGHT TO THE SUFFACE TO A TEST BOX LOCATED DIRECTLY ABOVE THE SEWER LATERAL IN THE CENTER OF THE TERRACE BETWEEN THE BACK OF THE CURB AND THE FRONT OF THE SEWER SIDEWAIL K.

POINT OF TERMINATION SHALL BE MARKED WITH A 6" STEEL FENCE POST WITH 1" OF THE POST BELOW THE END OF THE LATERAL. A6" 4X4 TREATED WOOD POST WILL ALSO BE INSTALLED AT THE END OF EACH LATERAL. WITH 3" OF THE POST BEING BURIED BELOW GRADE. THE EXPOSED PORTION OF THE POST SHALL BE PAINTED GREEN FOR SANITARY AND BLUE FOR WATER.

SEE NOTES SHEETS FOR ADDITIONAL INFORMATION



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Project No: 122.1386.30

Sheet C 703

TYPICAL SEWER AND WATER CONNECTION DETAIL C12.0 SCALE: NTS

FRAMES AND COVERS SHALL BE NEENAH R-1550-A WITH NON-ROCKING SELF SEALING TYPE B LID WITH 2 CONCEALED PICK HOLES AND "STORM" LABEL

CONCRETE SHALL BE 4000 PSI, 28 DAY COMPRESSIVE STRENGTH, 6.5 BAG MIX WITH 1~2% AIR ENTRAINMENT.

ADJUST FRAME TO GRADE WITH AT LEAST TWO PRECAST CONCRETE RINGS OF DIFFERENT THICKNESSES.

A MINIMUM OF 3" TO A MAXIMUM OF 9" OF ADJUSTING RINGS SHALL BE USED TO ADJUST THE MANHOLE CASTING TO THE FINISHED GRADE. ALL RINGS SHALL BE SEALED TOGETHER USING MASTIC AND ALL JOINTS SHALL BE BACK PLASTERED INSIDE

#### STORM MANHOLE DIMENSIONS

MANHOL	E DIME	DIMENSION	
SIZE	Α	B (MIN.)	
48"	48"	5"	
60"	60"	6"	
72"	72"	7"	
84"	84"	7"	
96"	96"	9"	

1 STORM SEWER MANHOLE SCALE: NTS



SHOP DRILL FOUR 7/16 DIA. HOLES AS SHOWN 1" DIA, STD, PIPE FRAME 1" DIA, STD, PIPE FRAME SLOPE ENDWALL AT THE SAME SLOPE AS -THE STORM SEWER ENDWALL DETAILS PIPE GATE DETAILS

NOTES: ONTE CONTRACTOR SHALL BOLT THE PIPE GATE TO THE CONCRETE ENDWALL WITH FOUR 3/6"x6" MACHINE BOLTS WITH NUTS ON INSIDE WALL.

-ALL ENDWALL SECTIONS SHALL BE STRAPPED TO THE PREVIOUS TWO UPSTREAM PIPE SECTIONS.

PAINTING SPECIFICATIONS:
- THE PIPE GATE SHALL RECEIVER THE FOLLOWING PREPARATION & PAINTING. THE FIRST COAT SHALL BE RUS-OLEUM X-50 RED BARE METAL PRIMER OR APPROVED EQUAL. THE SECOND COAT SHALL BE RUST-OLEUM 960 ZING CHROMATE FRIMER OR A PROVED EQUAL. THE THIRD COAT SHALL BE RUS-OLEUM 1228 HIGH GLOSS METAL FINISH OR APPROVED EQUAL.

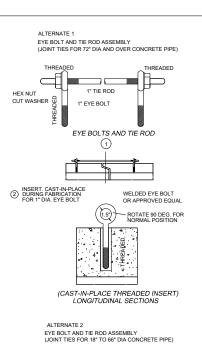
PREPARATION STEPS:

1. BARE METAL SURFACES - TREAT WITH THE THREE-COAT PAINTING SYSTEM LISTED AFTER A THOROLGH SORAPING, WIRE BRUSHING & CLEANING.

2. EACH COAT OF PAINT SHALL BE APPLIED OVER THE ENTIRE GATE SURFACE.

3. ALLOW 24-8 HOURS DRIVING TIME AT 60 'OR ABOVE BETWEEN COATS.

STANDARD ENDWALL DETAILS 2 STANDA C13.0 SCALE: NTS

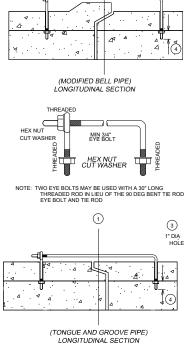


→ 2" MIN

4 CONCRETE PIPE JOINT TIE DETAILS

EYE BOLT

C13.0 SCALE: NTS



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### ALTERNATE 3 ADJUSTABLE TIE ROD (JOINT TIES FOR 12" TO 108" DIA CONCRETE PIPE) 2.5" MIN. FILL WITH LONGITUDINAL SECTION 1 > OF TONGUE AND GROOVE OR BELL AND SPIGOT JOINTS 2) THE INSIDE OF THE THREADED INSERTS SHALL BE CLEAN TO ALLOW THE INSERTION OF THREADED EYE BOLTS

HOLES SHALL BE CAST-IN-PLACE OR DRILLED, 12" FROM > OF TONGUE AND GROOVE

 BOLT PROJECTION INSIDE OF PIPE SHALL NOT EXCEED 2" 5 ROD DIAMETER = 1 INCH



RIGHT AND LEFT THREADS SLEEVE NUTS

	L = LEN	IGTH
· PIPE SIZE	TOUNGE & GROOVE PIPE	MODIFIED BELL PIPE
18" TO 24"	4 1/2"	6 1/4"
30"	5"	7*
36"	5 1/2"	7*

EYE BOLT DIMENSION TABLE

#### GENERAL NOTES:

CONCRETE CULVERT PIPE SHALL BE TIED TOGETHER IN THE MANNER ILLUSTRATED BY THIS DETAIL AND PER STANDARD SPEC. 502.7 (D) THE CONTRACTOR MAY USE EITHER ALTERNATE 1, 2, OR 3 FOR DRAINAGE STRUCTURES. UNLESS OTHERWISE STATED IN THE CONTRACT, THE MATERIALS, FABRICATION AND WORK NECESSARY TO THE CULVERT PIPE AS SHOWN ON THIS DETAIL WILL BE CONSIDERED INCIDENTAL TO THE CULVERT PIPE.

PLACEMENT OF (2) CAST-IN-PLACE INSERTS OR HOLES DURING FABRICATION FOR PIPE SECTIONS REQUIRING TIE RODS



DETAILED DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR JOINT TIES SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.

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VILLAGE OF WINDSOR, DANE COUNTY,

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DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

DETAILED DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR INLETS WHICH MAY INCLUDE PRECAST REINFORCED CONCRETE INLETS. SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PROVIDING THAT SUCH ALTERNATE DESIGNS MAKE PROVISION FOR EQUIVALENT CAPACITY AND STRENGTH.

ALL MEDIAN INLETS ARE DESIGNATED ON THE PLANS AS "INLETS, 1G-MS", ETC. THE FIRST NUMBER AND LETTER DESIGNATE THE TYPE OF STRUCTURE, AND THE FOLLOWING LETTERS DESIGNATE THE TYPE OF COVER TO BE USED TO COMPRISE THE COMPLETE UNIT. BASES SHALL BE PLACED ON A BED OF MATERIAL AT LEAST SINCHES IN DEPTH, WHICH MEETS THE REQUIREMENTS OF FOUNDATION BACKFILL THIS BEDDING SHALL BE COMPACTED AND PROVIDE UNIFORM SUPPORT FOR THE ENTIRE AREA OF THE BASE.

ALL BAR STEEL REINFORCEMENT SHALL BE EMBEDDED 2 INCHES CLEAR UNLESS OTHERWISE SHOWN OR NOTED.

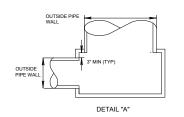
PRECAST REINFORCED RISERS SHALL HAVE A TONGUE AND GROOVE JOINT WITH TONGUE LIP OR DOWN

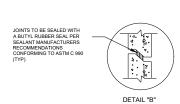
ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF ASTM C 913.

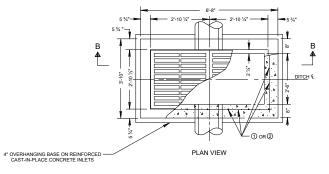
 $\ensuremath{\mathfrak{O}}$  for precast inlets provide reinforcing steel in accordance to astm c 913.

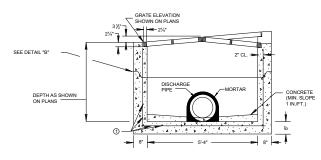
② CONTRACTOR TO PROVIDE DRAWING(S) STAMPED BY A PROFESSIONAL ENGINEER FOR STEEL REINFORCING DESIGN FOR CAST-IN-PLACE STRUCTURES.



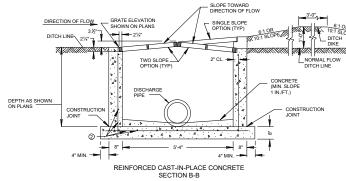








PRECAST REINFORCED CONCRETE



INLETS MEDIAN 2 GRATE

STORM SEWER PIPE

NO SEWER PIPE JOINTS PERMITTED BETWEEN SUPPORTS

## 1 INLETS - MEDIAN 2 GRATE C13.0 SCALE: NTS

#### **GENERAL NOTES**

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.

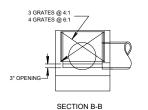
UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE ENGINEER, THE CONTRACTOR SHALL NOT ORDER AND DELIVER PRECAST INLET UNITS REQUIRED FOR THE PROJECT UNTIL A LIST OF SIZES IS FURNISHED BY THE REMINEER.

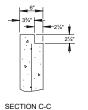
DETAILED DRAWINGS FOR PROPOSED ALTERNATE DESIGNS FOR INLETS WHICH MAY INCLUDE PRECAST REINFORCED CONCRETE INLETS, SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PROVIDING THAT SUCH ALTERNATE DESIGNS MAKE PROVISION FOR EQUIVALENT CAPACITY AND STRENGTH.

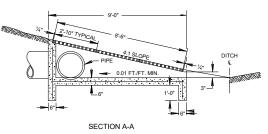
ALL MEDIAN INLETS ARE DESIGNATED ON THE PLANS AS "INLETS, 3G-MS", ETC. THE FIRST NUMBER AND LETTER DESIGNATE THE TYPE OF STRUCTURE, AND THE FOLLOWING LETTERS DESIGNATE THE TYPE OF FOVER TO BE USED TO COMPRISE THE COMPLETE UNIT.

ALL BAR STEEL REINFORCEMENT SHALL BE EMBEDDED 2 INCHES CLEAR UNLESS OTHERWISE SHOWN OR NOTED.

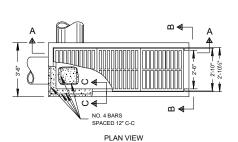
ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF

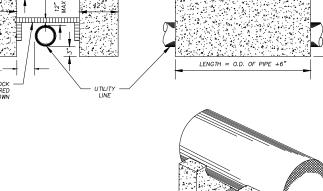


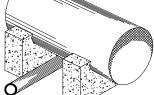




INLETS MEDIAN 3 GRATE









3 STORM SEWER CONCRETE SUPPORTS C13.0 SCALE: NTS

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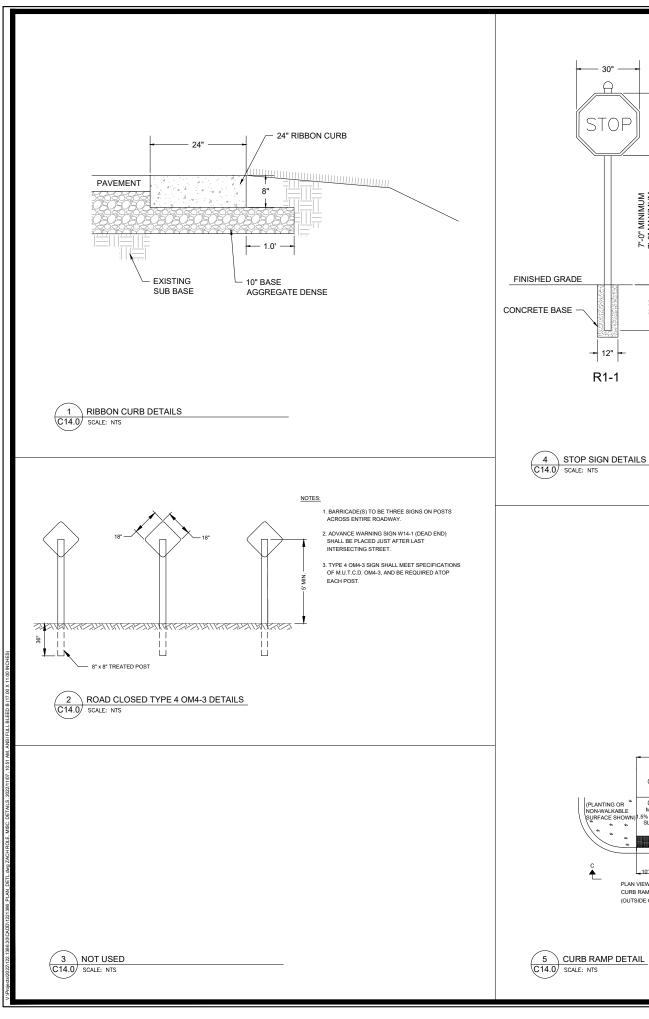
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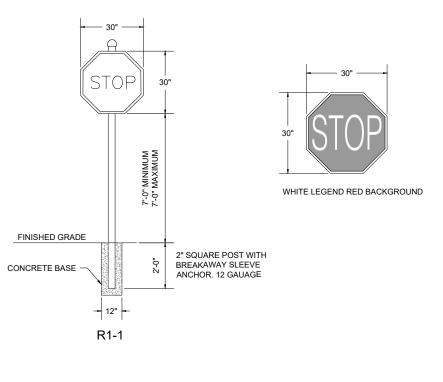
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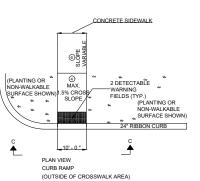
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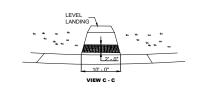
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VILLAGE OF WINDSOR, DANE COUNTY, WI

- PHASE

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Project No: 122.1386.30

#### PLAT OF BEAR TREE FARMS, LOCATED IN THE VILLAGE OF WINDSOR, DANE COUNTY, WISCONSIN:

# AMENDMENT TO AGREEMENT FOR PUBLIC IMPROVEMENTS AND DEVELOPMENT MATTERS FOR PHASE 7

("Phase 7 Amendment")

This Phase 7 Amendment amends the Agreement for Public Improvements and Development Matters for the Plat of Bear Tree Farms, Village of Windsor, Dane County, Wisconsin which was executed to be effective on August 16, 2018, and recorded in the Dane County Register of Deeds office on August 21, 2018 as Document # 5435598

<u>See Exhibit 1-A for a complete list of legal descriptions</u> <u>and Parcel Identification Numbers</u> <u>Affected by this Amendment (the "Affected Lots").</u> THIS SPACE RESERVED FOR RECORDING DATA

RETURN TO:

Amy Schweppe Anderson, Village of Windsor 4084 Mueller Road

DeForest, WI 53532

DRAFTED BY:

William Cole, as Legal Counsel to Village of Windsor, and

Angie Black, as Legal Counsel to Developer

PARCEL IDENTIFICATION NUMBERS See Exhibit 1-A

#### PHASE 7 AMENDMENT

THIS AMENDMENT TO AGREEMENT FOR PUBLIC IMPROVEMENTS AND DEVELOPMENT MATTERS (the "<u>Amendment</u>" or "<u>Phase 7 Amendment</u>") is made and entered into by and between Bear Tree Farms, Inc., a Wisconsin corporation, with its principal business office located at 6658 Royal View Drive, DeForest, WI 53532 ("<u>Developer</u>"), and the Village of Windsor ("<u>Village</u>"), a municipal corporation, with its principal business office located at 4084 Mueller Road, DeForest, WI 53532, to be effective when executed by both parties.

#### **RECITALS**

WHEREAS, the parties entered into an Agreement for Public Improvements and Development Matters effective as of August 16, 2018 (the "Development Agreement"), which applies to the Plat of Bear Tree Farms in Dane County, Wisconsin, referred to and described and defined as the "Plat" in the Development Agreement, and requires that the parties amend the Development Agreement to provide for approval of each phase of the development;

**WHEREAS**, the Developer has requested approval of Phase 7 of the Plat, and the Village is willing to approve Phase 7 on the terms and conditions set forth in this Amendment;

WHEREAS, pursuant to the Development Agreement this Phase 7 Amendment shall apply to all lots within Phase 7 of the Plat (the lots subject to this Amendment are described in **Exhibit 1-A** and Phase 7 of the Plat is depicted in **Exhibit 2-A**);

**WHEREAS**, the Village has previously approved that certain replat of a portion of the Plat, included in **Exhibit 5-A** (the "**Replat**"; upon recording, the Replat shall be incorporated into and part of the Plat), which has already or will be recorded shortly after this Amendment.

WHEREAS, the parties wish to confirm their mutual understanding by executing this Phase 7 Amendment.

#### PHASE 7 AMENDMENT

**NOW, THEREFORE**, in consideration of the above recitals, which are incorporated herein by reference, and other good and valuable consideration, the sufficiency of which is hereby acknowledged, the Village and Developer agree as follows:

- 1. **DEVELOPMENT AGREEMENT AMENDMENT REQUIRED.** Sections 1.2 and 1.3 of the Development Agreement require Village approval of each phase of development within the Plat and a written amendment confirming Village approval and conditions. This Amendment satisfies this requirement as to Phase 7. When fully executed, the Amendment shall be recorded by the Village, at the Developer's expense.
- 2. **APPROVAL OF PHASE 7 OF THE PLAT.** This Phase 7 Amendment confirms that Phase 7 of the Plat has been approved by the Village, subject to the following terms and conditions:

- 2.1. Property Included in Phase 7. Phase 7 shall include the forty-nine (49) lots described in <u>Exhibit 1-A</u>, which shall comprise "<u>Phase 7</u>," which is depicted on <u>Exhibit 2-A</u>.
- 2.2. Phasing Plan Amended. The Phasing Plan depicted on Exhibit 2-A, which is attached and incorporated by reference, is hereby approved. By approving this Phase 7 Amendment, the Village determines that the "Phasing Plan" attached hereto as Exhibit 2-A satisfies Section 1.2 of the Development Agreement, and further acknowledges and agrees that the proposed connections and Public Improvements for Phase 7, as set forth in the Plans described on Exhibit 3-A, and incorporated by reference, are approved by this Phase 7 Amendment.
- 2.3 Public Improvements. The Village and Developer acknowledge and agree the plans and specifications for completion of the Public Improvements for Phase 7 have been reviewed by the Village Engineer and, per <u>Exhibit 3-A</u>, the Village Engineer has no objection to the Public Improvement work within Phase 7 proceeding subject to and in accordance with this Phase 7 Amendment.
- 2.4 Engineering and Construction Plans. The Village and Developer acknowledge the Engineering and Construction Plans set forth on <u>Exhibit 3-A</u> and shall proceed in accordance with said plans and this Phase 7 Amendment with respect to Phase 7, except as otherwise indicated herein.

#### 2.5 Intentionally Deleted.

- 2.6 Parkland Dedication or Fee In Lieu of Dedication. The Village and Developer agree that as of the date of this Phase 7 Amendment, Developer has dedicated 28.9 acres of parkland and has paid \$424,646.82 as fees in lieu of dedication in connection with the Development. Developer does not owe any fees in lieu of dedication in connection with Phase 7.
- 2.7 Fee for Initial Improvement to Parkland Per Wis. Stat. § 236.45(6) and §66.0617(6)(g)¹. Developer has a continuing responsibility to satisfy all requirements of Village Ordinances and State law with regard to the payment of fees for initial improvements to parkland ("Fees For Initial Improvement of Parkland") with regard to all lots within Phase 7, in accordance with the Development Agreement, the Village Ordinances and Wisconsin Statutes. In accordance with Section 14 of the Development Agreement, the Developer or purchasers/successor owners of any lots shall pay the Fees For Initial Improvement of Parkland set forth in Exhibit 4-A in accordance with the options and timing for payment set forth in Wis. Stat. §66.0617(6)(g). The Village acknowledges and agrees that, consistent with the Village's obligations under Section 14 of the

<sup>&</sup>lt;sup>1</sup> Section 14 of the Development Agreement contains a typo in reference to Wis. Stats. §66.0617(6)(g), and the parties acknowledge and agree the statutory reference in Section 14 is hereby correct to refer to §66.0617(6)(g).

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Development Agreement, to the extent not allocated to the Windsor Community Park, the balance of any unused park improvement fees previously paid by Developer related to the Plat and to be paid in connection with Phase 7 and future phases of the Plat shall be allocated by the Village for use only in connection with the construction of parks located and to be constructed within Outlots 5, 6, and 8 of the Plat (the "Parks"), in accordance with the type of park facilities and improvements anticipated in the [Village Comprehensive Outdoor Recreation Plan (or "CORP") and the associated CORP Facility Standards]. Specifically, the Village agrees: (a) the Outlot 6 Park shall be designed as a Pocket Park with a Shelter and Playground Equipment, as set forth in the CORP Facility Standards, and shall be bid for construction and completed no later than [August 30, 2023], (b) the Outlot 8 Park shall be designed as a Natural Area Park with a Shelter and Playground Equipment, as set forth in the CORP Facility Standards, and bid for construction and completed no later than [August 30, 2023], and (c) the Outlot 5 Park shall be designed as a Natural Area Park with a Shelter and Playground Equipment, as set forth in the CORP Facility Standards, and shall be bid for construction and construction commenced within one hundred twenty (120) days of when Developer completes that portion of the Public Improvements constituting street frontage immediately adjacent to the Outlot 5 Park and it shall be completed no later than one hundred twenty (120) days after commencement. Upon final completion of the foregoing Parks, the Village shall be free to use any remaining balance of Fees For Initial Improvement of Parkland paid in connection with the Plat for other park or recreation purposes within the Plat and in accordance with Section 14 of the Development Agreement.

2.8 Special Assessments and Impact Fees. Pursuant to Section 15 of the Development Agreement, the special assessments and impact fees due in connection with Phase 7 as of the date of this Phase 7 Amendment are set forth at the attached Exhibit 4-A, which shall be payable in accordance with Wis. Stats. §66.0617(6)(g) and other applicable Wisconsin Statutes, but the amounts shall be subject to change based on subsequent revisions to applicable Village Ordinances, if payments are made after the date of revision to the Village's Ordinances. The Village and Developer agree that as of the date of this Phase 7 Amendment, \$1,282,607.00 in special assessments have been paid pursuant to the Development Agreement dated September 25, 2015 cited in footnote 1 in Exhibit 4-A (the "Windsor Sanitary District No. 1 Agreement"). Upon full payment of the remaining \$105,677.00 in special assessments due under the Windsor Sanitary District No. 1 Agreement, the special assessment obligations thereunder shall be deemed satisfied in full and the remaining lots in Phase 7 and all future phases of development within the Plat shall not be subject to the special assessment obligations thereunder and the Village agrees to execute, or cause the Windsor Sanitary District No. 1 to execute, a recordable termination of the Windsor Sanitary District No. 1 Agreement upon Developer's request once the special assessments have been fully paid.

Commented [A1]: Village to review and confirm
these amounts.

- 3. RATIFICATION OF DEVELOPMENT AGREEMENT. Except as modified by this Phase 133 134 7 Amendment, the Development Agreement is fully ratified and remains binding on the parties 135 hereto. All terms defined in the Development Agreement have the same meaning in this Phase 136 7 Amendment, except where otherwise defined by this Phase 7 Amendment. Any provision of the Development Agreement not specifically amended herein shall remain in full force and 137 effect and shall apply to Phase 7 to the extent applicable as set forth in the Development 138 Agreement. The terms of this Phase 7 Amendment shall modify and supplement the 139 140 Development Agreement with regard to Phase 7 and the lots within Phase 7 only unless otherwise expressly stated herein.
- 143 4. **EXHIBITS.** The following Exhibits attached hereto are incorporated by reference:

145 Exhibit 1-A – Affected Lots

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Exhibit 2-A – Phasing Plan

Exhibit 3- A – Approved Plans, Specifications and Other Details of Phase 7 Public

Improvements

Exhibit 4-A – Phase 7 Special Assessments and Impact Fees

Exhibit 5-A – Replat

SIGNATURES ON FOLLOWING 3 PAGES

153	Executed in Dane County, Wisconsin, on the	his	day of	, 202
154				
155				
156		VILL	AGE OF WINI	OSOR
157				
158				
159	By:			
160		Robert	E. Wipperfurth	, Village President
161				
162				
163	Attest:			
164		Christi	ine Capstran, Vi	llage Clerk
165				
166				
167	ACKN	OWLEI	<b>DGMENT</b>	
168				
169	STATE OF WISCONSIN )			
170	) ss.			
171	COUNTY OF DANE )			
172				
173	Personally came before me this	day	of	, 202, the above-named
174	Robert E. Wipperfurth and Christine Caps			
175	respectively, to me known to be the person			
176	and acknowledged the same as such officer	rs by the	Village's author	rity.
177				
178				
179			_	
180	N . P.11. G CW.			
181	Notary Public, State of Wisconsin			
182	My Commission Expires:		<u> </u>	
183				

184	Executed in Dane County, Wisconsin, on this	s	day of	, 202 .
185	<b>3</b> /		_ ,	
186				
187				
188		DEVI	ELOPER AND OV	VNER
189		Bear 7	Tree Farms, Inc.	
190				
191				
192				
193		By:	Dwight E. Ziegler	, President
194				
195				
196	ACKNO	WLE	DGMENT	
197				
198	STATE OF WISCONSIN )			
199	) ss.			
200	COUNTY OF DANE )			
201				
202	Personally came before me this			202, the above-named
203	Dwight E. Ziegler the President of Bear Tr			
204	executed the foregoing instrument and ackno	wledg	ed the same on beha	alf of Bear Tree Farms, Inc.
205				
206				
207			-	
208 209	Notary Public State of Wissensin			
210	Notary Public, State of Wisconsin My Commission Expires:			
210	My Commission Expires:		_	
212				
213	This instrument drafted by:			
214	William Cole, for the Village			
215	Angie Black, for the Developer			
216	ingle Black, for the Beveloper			

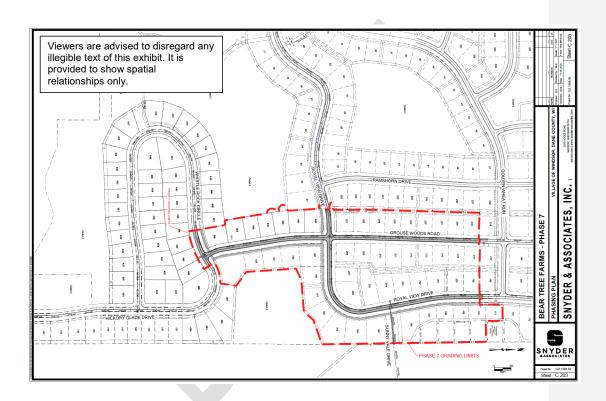
#### CONSENT OF MORTGAGEE

<b>U</b> ,	the terms and j		inates the liens of any of its 7 Amendment, this day
		WISCONSIN RIVER	BANK
	By:		
	J	Richard T. Arneson, P.	resident
STATE OF WISCONSIN	)		
	) ss.		
COUNTY OF SAUK	)		
T. Arneson, President of Wi	sconsin River E	Bank, to me known to be	, the above-named Richard e the person who executed the
foregoing instrument and ac	knowledged the	e same on behalf of Wiso	consin River Bank.
Notary Public, State of Wisc	consin		
My Commission:			

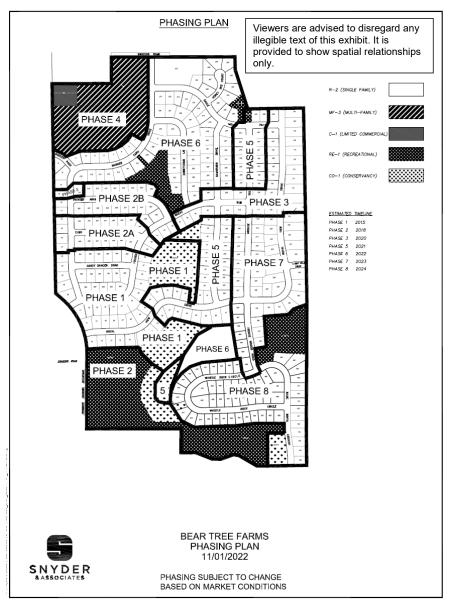
#### EXHIBIT 1-A AFFECTED LOTS/ PHASE 7 LOTS

Lot Number	Parcel Number
<mark>88</mark>	0910-331-2058-1
<mark>89</mark>	0910-331-2069-1
<mark>90</mark>	0910-331-2080-1
<mark>132</mark>	0910-331-2542-1
141	0910-331-2641-1
156	0910-331-2776-1
157	0910-331-2787-1
158	0910-331-2798-1
159	0910-331-2809-1
160	0910-331-2820-1
161	0910-331-2831-1
162	0910-284-4182-1
163	0910-284-4193-1
164	0910-284-4204-1
165	0910-284-4215-1
166	0910-284-4226-1
167	0910-284-4237-1
168	0910-284-4248-1
169	0910-284-4259-1
170	0910-284-4270-1
199	0910-284-4389-1
200	0910-284-4400-1
201	0910-284-4411-1
202	0910-284-4422-1
203	0910-284-4433-1
204	0910-284-4444-1
205	0910-284-4455-1
206	0910-284-4466-1
207	0910-284-4477-1
208	0910-284-4488-1
209	0910-284-4499-1
210	0910-284-4510-1
211	0910-284-4521-1
212	0910-284-4532-1
213	0910-284-4543-1
214	0910-284-4554-1
215	0910-284-4565-1
216	0910-284-4576-1
219	0910-284-4609-1
220	0910-284-4620-1
221	0910-284-4631-1
222	0910-284-4642-1
223	0910-284-4653-1
224	0910-284-4664-1
225	0910-284-4675-1
226	0910-284-4686-1
227	0910-284-4697-1

Commented [A2]: These lots will no longer exist after the Replat is recorded and the newly created lots will presumably be issued new tax id nos.



#### EXHIBIT 2-A PHASING PLAN



# EXHIBIT 3-A APPROVED PLANS, SPECIFICATIONS AND OTHER DETAILS OF PHASE 7 PUBLIC IMPROVEMENTS

#### For Phase 7:

<u>PLANS</u>: The Village Engineer has no objection to the final plans for Phase 7 presented by the Developer's Engineers, which plans are marked as follows:

Phase 7 Bear Tree Farms Construction Plans, dated <u>November 1, 2022</u>, prepared by Snyder & Associates, Inc.



### EXHIBIT 4-A PHASE 7 SPECIAL ASSESSMENTS AND IMPACT FEES

#### Fees for Initial Improvement of Parkland (2022)

<b>Development Phase</b>	Number of Units	Cost per Unit	Total
Phase 7	49	\$1,319.15	\$64,638.35

#### Fees Due at Time Building Permit Issued (2022)

**Development Review** Fee \$150.00 Design Review Erosion Control \$100.00 Construction Review (Varies) Address Assignment \$40.00 Plan Review \$100.00 Refuse/Recycling (Varies) \$50.00 Wisconsin Permit Seal Driveway/Culvert \$25.00 \$355.00 / DU Public Safety Residential \$981.50 / DU Traffic Impact Fee (West) Water Impact Fee \$3,000.00 / DU Sewer Connection Fee \$600.00 / DU Unmetered Water Fee \$62.76 / DU Grading Plan Review \$200.00 / DU Grading Plan Escrow \$1,000 / DU (Refundable)

#### Special Assessment<sup>1</sup> (as of February 3, 2022)

Lot		Cost per Lot	Total	
	100 (Example)	\$5,168.38		\$5,168.38

<sup>&</sup>lt;sup>1</sup> Details of the Special Assessment are as described in the Development Agreement dated September 25, 2015 By and Between Windsor Sanitary District No. 1 (the "District", a town sanitary district, having offices located at 6716 Park Street, Windsor, Wisconsin 53598-0473, Bear Tree Farms, Inc., a Wisconsin corporation (the "Developer") having offices located at 370 Campbell Hill Court, DeForest, WI 53532; and PC Farm Holdings II, LLC, a Wisconsin limited liability company (the "Vendor"), having offices located at 370 Campbell Hill Court, DeForest, WI 53532.

Commented [A3]: Are these numbers still accurate?

#### EXHIBIT 5-A Replat

Viewers are advised to disregard any illegible text of this exhibit. It is provided to show spatial relationships only.

